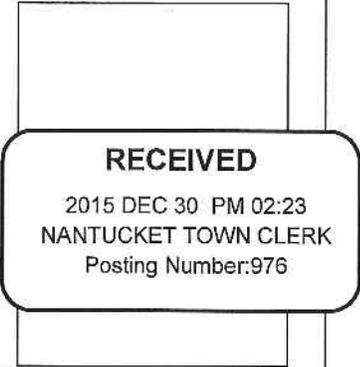




MEETING POSTING



TOWN OF NANTUCKET
Pursuant to MGL Chapter 30A, § 18-25
All meeting **notices and agenda** must be filed and time stamped with the Town Clerk's Office and posted at least 48 hours prior to the meeting (excluding Saturdays, Sundays and Holidays)

Committee/Board/s	Nantucket Planning & Economic Development Commission
Day, Date, and Time	Monday, January 4, 2016, at 6:00pm
Location / Address	<input type="checkbox"/> 4 Fairgrounds Road, Nantucket, MA <input type="checkbox"/> PSF Training Room, 2 nd Floor
Signature of Chair or Authorized Person	Eleanor W. Antonietti, Zoning Administrator & Land Use Specialist

WARNING: IF THERE IS NO QUORUM OF MEMBERS PRESENT, OR IF MEETING POSTING IS NOT IN COMPLIANCE WITH THE OML STATUTE, NO MEETING MAY BE HELD!

NP&EDC

AGENDA
www.nantucket-ma.gov

Please list below the topics the chair reasonably anticipates will be discussed at the meeting

- I. Call to Order:
- II. Establishment of Quorum:
- III. Approval of Agenda:
- IV. Approval of Minutes:
 - June 1, 2015
 - October 5, 2015

PAGES 2 -11

V. Public Comment:

VI. Action / Discussion Items:

Page 17

A. NRTA Year Round Transit Study – Public Outreach

Page 20

B. Improvements to Downtown Bike Routes

Page 37

C. 3C Budget Adjustments

Page 38

D. Out-of-State Travel Request – APA National Conference

E. Rural Counsel (Appointed Wendy Hudson)

*****Re-Affirm Vote

VII. Other Business:

A. Action/Discussion of Budget regarding FY17

Page 39

B. Action/Discussion of Disclosure regarding 268A Section 19 by Director Vorce

Page 12

C. Transportation Report

Pages 41 -108

D. Action/Discussion: 2016 ATM – Citizen’s Warrant Articles

Page 109

E. Action/Discussion regarding Vacation Carryover for Andrew Vorce

F. Action/Discussion: 2016 Meeting Calendar

G. Discussion regarding distribution of ranking sheet for Annual Performance Review of
Director Vorce.

VIII. Other Business

IX. Adjournment

**Nantucket Planning &
Economic Development Commission**

Monday, Monday, June 1, 2015

**At 6:00 PM
at 4 Fairgrounds Road, Nantucket, MA 02554**

Purpose: Regular Meeting:

DRAFT MINUTES taken by Eleanor Antonietti

MEMBERS: Andrew Bennett, Kara Buzanoski, Wendy Hudson, Bert Johnson, Nat Lowell, Joe Marcklinger, John McLaughlin, Linda Williams, Dawn Holdgate (new BOS Rep.), Jack Gardner, Leslie B. Johnson, and Barry Rector

11 MEMBERS PRESENT: Andrew Bennett, Kara Buzanoski, Wendy Hudson, Bert Johnson, Nat Lowell, Joe Marcklinger, John McLaughlin, Linda Williams, Dawn Holdgate, Leslie B. Johnson, and Barry Rector

1 MEMBER ABSENT: Jack Gardner

STAFF: Andrew Vorce, Leslie Snell, Mike Burns, and Eleanor Antonietti

PUBLIC PRESENT: Paula Leary, Chris Boynton

- I. Call to Order**
The meeting was called to order at 6:05 pm.
- II. Establishment of Quorum**
Chairman Lowell declared a quorum was present.
- III. Approval of Agenda**
The MOTION was made by Chairman Lowell and seconded that the NP&EDC does hereby vote to approve the NP&EDC agenda for June 1, 2015, as submitted.
The vote was UNANIMOUS.
- IV. Public Comment:**
- V. Public Hearings:**

**A. FFY 2015 Transportation Improvement Program (TIP)
Amendment**

Transportation Planner, Mike Burns recapped April and May meetings regarding amendment of current TIP to add sidewalk and crosswalk improvements by Landmark House as well as other maintenance costs requested by NRTA. At previous meeting, there were questions about types of vehicles used by NRTA. Paula Leary, NRTA Administrator, and Chris Boynton relatively new 29 and 25 footers. 75% of the fleet is 2010 or newer. 2010 is a key year because new emissions standards enacted by the EPA. Although they are diesel-powered, they are very clean vehicles – using the latest trends and technological advancements in emissions controls.

They are seeing no benefit to having 2 hybrid vehicles due to Nantucket's terrain, slower driving, additional costs, training, equipment, and a rougher ride for passengers. The width and wheelbase are the most important factors along with length and seating capacity. The buses are 96" (8 ft) wide. Wheelbase must be short in order to maneuver on Nantucket streets. There are very few manufacturers who still make a 96" wide and a 25' long bus. The new trend is electric vehicles which are not available in smaller transit vehicles and are very expensive up front.

Transit vehicle procurement must meet Federal Transit Administration criteria, which include: certification of safety, performance, fuel economy, bus emissions; disadvantaged business enterprise (DBE) goals; ADA compliance; Buy America provisions.

NRTA staff work hard to guarantee reliability of service and ensure sound vehicles and consistent dependable schedules.

Nat Lowell – Will newer busses be quieter?

Chris Boynton - Engines will be smaller (max force) so they should be quieter.

Wendy H. - Is size of busses appropriate for all different routes?

Paula L. - Yes. Anything over 29 feet would not make rotary in Sconset, even with small wheel base. The smaller busses are fixed-routes.

Dawn H. - Where do you run hybrid busses and are they quieter?

Paula L. – We alternate, and they are not quieter.

Nat L. thanks her for putting it all together. Do we need to vote?

Mike B. says they do need to vote to approve amendment.

The MOTION was made by Linda Williams and seconded that the NP&EDC does hereby vote to approve amendment.

The vote was UNANIMOUS.

B. Action/Discussion: Regional Transportation Plan Update

C. Action/Discussion: DRAFT FFY 2016-2019 Transportation Improvement Program (TIP)

D. Action/Discussion: DRAFT FFY 2016 Unified Planning Work Program

Transportation Planner, Mike Burns is asking for action to authorize public hearing scheduled on June 22nd. He reviews the process and explains the flow chart (See page 18 in packet) diagramming the RTP, TIP, and UPWP. These 3 documents have a specific planning purpose and entail an organized public participation process. The public review period would start June 11 with a public hearing on June 22 and a meeting to approve on July 20. They have to be approved before August.

RTP is a 25- year document which incorporates fiscal constraints into the original transportation plan. Data and studies inform the RTP. Any project in RTP can be included in TIP. There is a 30-day review period for all documents. The Commission vetted goals and objectives, worked through and refined project descriptions in previous meetings. There is an implementation package which includes bus replacements, bike path, and other capital projects. There will be some fine-tuning and updates (fuel edits and meetings with SSA) in anticipation of June 22 public hearing and July 20 Special Meeting (vote). Action requested tonight is to authorize Public Notice.

Linda - Can we make a motion for all 3 simultaneously?

Mike – Yes.

The MOTION was made by Linda Williams and seconded that the NP&EDC does hereby vote to approve advertising for public comment on the 3 planning documents.

The vote was UNANIMOUS.

VI. Action / Discussion:

A. Action/Discussion: Acceptance of Membership Appointments

1. County Commissioners (current Dawn Holdgate)

2. Housing Authority (current Bert Johnson)

3. Conservation Commission (current Andrew Bennett)

Andrew Vorce explained that Items # 2 & 3 (Housing Authority and ConCom) should be continued. Housing Authority is meeting this Wednesday so continue to 6/22.

The MOTION was made by Linda Williams and seconded that the NP&EDC does **hereby vote to approve** continuing acceptance of Membership Appointments for Housing Authority to June 22 and for ConCom to July 20.

**B. Action/Discussion: Appointment of At-Large Members
(ALPHA Order per Bylaws), continue to 08/03/15
(3) Year Term (Current: Leslie Johnson)**

1. Wendy Morton Hudson

Andrew Vorce explained we have to advertise notification of At-Large Members. This can be done on July 20. It did not get properly advertised with staff changes *etc.*

POINT OF ORDER FOR CLARIFICATION

A reminder that Membership and At-Large Appointees must get sworn-in.

C. Action/Discussion: Election of Officers

1. Chairman (Current: Nat Lowell)

2. Vice-Chairman (Current: Andrew Bennett)

a. Linda W. makes motion to keep slate of officer the same. UNANIMOUS.

D. Action/Discussion: Agency Appointments

**1. Contract Review Committee of Human Services (1) (Current Bert Johnson) being
reappointed by Housing Authority.**

2. Capital Program Committee (1) (Current Linda Williams)

3. MARPA (1) (Current Barry Rector)

4. Affordable Housing Trust Fund (Current Kara Buzanoski)

The MOTION was made by Linda Williams and seconded that the NP&EDC does **hereby vote to keep the slate of officers the same** (as listed in Items C & D above).

The vote was UNANIMOUS.

E. Action/Discussion:

1. Review of Items to Discuss with Board of Selectmen.

Andrew Vorce says we need to flag some topics for Chairmen and Vice-Chairmen of Planning Board, Planning Commission, and BOS to discuss. We are 6 years into 2009 Master Plan which is a flexible and evolving document. It is important to review which boards are doing what. The NP&EDC was called out as primary leader for service and facilities with other boards. We are secondary in terms of economic development with lead being BOS. Referring to Page 156 in packet – lately we have been exhibiting Fight and Flight behavior.

AV's LIST to guide future talks with BOS:

1. **COMMUNICATION.** Clear expectations, timelines, consistency, and tone. There seems to be an intolerance for any attempt at zoning changes. It has to be done piece by piece. There is an education component which is critical to update zoning.

2. **PRIORITIES**

3. **REALISTIC EXPECTATIONS.** There is a time limit in public sector achievement.

4. **IMPLEMENTATION.** The Planning Commission recommends implementing activities to others. For example, road projects involve road takings, layouts, etc.

5. **PLUS STRUCTURE.** We have removed Board of Health from PLUS. Wendy H. had brought up point about strengthening customer service.

6. **RESOURCES.** Joe M. had mentioned lack of senior staff. Hoping to hire experienced planner. BOS have talked about housing. Dawn H. says there was a unanimous consensus among BOS about focusing on housing and bringing the 3 boards together is key. Discussion needs to be organized. We have both programmatic and resource issues. Affordable Housing Trust Fund is in better place. Needs to be more talk about scarce resources. Going to CPC and being in competition with other nonprofits is not the answer. There needs to be dedicated resources.

Kara B. – We also need to have an open mind about other types of housing - not just ownership.

AV – We did have a housing planner at one point, but that position was eliminated by the BOS.

7. **TRANSPORTATION.** Capital coordination.

Kara B. - going to create a cohesive transportation plan with Mike B. and Silvio.

Nat L. underscores need for zoning education to explain “this is what can happen if” ... such as Bartlett Road RC-2. Zoning districts being phased out piecemeal ... we have to get RC-2 and LUG-2 education out to the public. We also need an AREA PLAN process whereby we meet with residents, to help public understand the process of how long it can take for these changes to get to the Warrant.

Barry R. - We do try and do a good job but the public will work with us up to a point and then bail out at ATM. We have tried to help residents understand why a particular change is relevant to a neighborhood and to the community at large.

Nat L. - Failure of Article 53 set the tone. We need to start from scratch in explaining the history of local zoning to the public.

Wendy H. - The hunger for information is a marketing issue. The NCH and NPS projects sailed right through due to grass roots efforts. Get the people at ATM to raise their hands and participate.

Kara B. - Joe citizen does not understand the details of the zoning changes and most people are intimidated by them.

Linda W. - We advertise a lot. We are not doing it in a vacuum. People don't come in to PLUS to ask questions.

Joe M. - We have to have a political action group. People's minds were made up before they got to ATM.

Andrew B. - I heard a lot of fear about stressing out island's infrastructure – sewer, water, power, capacity.

Dawn H. - The school was a very good example of how a team of committees and sub-committees and major organized public outreach are an effective way of avoiding having an article called.

Barry R. - Social media is damaging the cause by spreading misinformation. We need to confront fear-mongering aggressively. Public engagement is critical. We have tried to do this, but people don't show up. We need to send message that if you/your constituents really want a change to happen – there has to be ample proof of sustained support.

Linda W. - We should counteract these phony websites with our own controlled website.

Bert J. – Let's get back on track. This discussion should probably be on future agenda.

Barry R. – I disagree. Let's start this discussion NOW. We have a unique opportunity to collaborate.

Nat L. - FinCom, BOS, PB need to be on same page.

Barry R. – We need BOS to rein in divisiveness.

Wendy H. - PB hired ACCESS NANTUCKET for the Master Plan.

Kara B. - The TON has a social media person (Jason Bridges).

Wendy H. – Maybe we can find some money in this joint group and budget for social media.

Andrew V. wants to add another topic.

8. **GROWTH** in general. Existing zoning had anticipated a certain amount of growth/new houses *etc.* Some actions have reduced growth by removing hundreds of acres from development. The impetus was to scale back what was allowed by an existing zoning. Now the discussion is concentrated on freezing it to the current population. Finance Director should be included in this discussion. We don't control who is going to live where. Social engineering is not our mission.

Leslie J. - Education component and the fear factor (stress on infrastructure) are the most important issues. We have to start that early on.

Wendy H. - Land Bank land use is worthy of discussion. There might be some opportunities there for funding affordable housing. It is public land that should be used for public benefit.

Kara B. points out that over 700 units will not be built b/c of zoning changes.

Wendy H. - Housing is the priority of the moment, just as open space was 40 years ago.

Kara B. - The Affordable Housing Trust Fund proposed that 1% of the 2% LB fee go to affordable housing.

Nat L. - wants to add one more topic.

9. **FINANCING/BUDGETING** Who is paying for it?

Mike B. wants to add downtown parking - whether it's paid or not. Could be revenue stream.

Nat L. - says that is part of 3rd rail and should not be included now.

The MOTION was made by Barry Rector and seconded that the NP&EDC does hereby vote to accept the 9 Items for discussion with the BOS.

The vote was UNANIMOUS.

VII. Other Business:

Mike Burns requested approval to solicit letters of interest to serve on Bicycles and Pedestrian Advisory Committee. Advertise 2 consecutive weeks and appointments would be made on 6/22.

APPROVED BY UNANIMOUS CONSENT

VI. Adjournment

The meeting was adjourned at 7:34 pm

Nantucket Planning & Economic Development Commission

Monday, October 5, 2015

**At 6:00 PM
at 4 Fairgrounds Road, Nantucket, MA 02554**

Purpose: Regular Meeting:

DRAFT MINUTES taken by Eleanor Antonietti

MEMBERS: Andrew Bennett; Kara Buzanoski; Wendy Hudson; Bert Johnson; Nat Lowell; Joe Marcklinger; John McLaughlin; Linda Williams; Dawn Holdgate (BOS Rep.); Jack Gardner; Leslie B. Johnson; and Barry Rector

_ Members Present: Nat Lowell, Chairman; Andrew Bennett; Kara Buzanoski; Wendy Hudson; Bert Johnson; Joe Marcklinger; John McLaughlin; Linda Williams; and Leslie B. Johnson

_ Members Absent: Jack Gardner; Dawn Holdgate (BOS Rep.); and Barry Rector

Staff: Andrew Vorce, Mike Burns, and Eleanor Antonietti

Public present: Lauren Sinatra

I. Call to Order

The meeting was called to order at 6:05 pm

II. Establishment of Quorum

Chairman Lowell declared a quorum

III. Approval of Agenda

IV. PUBLIC COMMENT

NO PUBLIC

V. ACTION & DISCUSSION

A. Action/ Discussion: At Large Member Position

Not necessary. Discussed at last mtg.

B. Review of Intersection Turning Movement Counts

Mike explains, for informational purposes, the video cameras/video capture during mornings and evenings on weekday and Saturday afternoon in middle of August. We counted 6 intersections, but only 3 were used this time. Along with Tubes in roads, we will do this to supplement traffic counting program. Saves time and manpower and is more accurate and reliable in culling data on vehicle counting.

Gabe Sherman (Mass DOT) participating remotely. New liaison.

C. Review FY17 Capital Request for Transportation Projects

Mike B. reviews Fiscal Years re. roadway and bike paths. (starting on *Page 14 of Packet*) Coordinated with DPW. Some of the sewer work will go over to Enterprise Fund. Kara says there are \$23 million in capital requests.

FY 2017 Request Bartlett Rd. / Surfside roundabout (formal engineering and Mass DOT) - \$150,000 (*Page 30 of Packet*)

Huge emphasis reference to a plan or study (Capital Plan or TIP) so we know funding sources for these projects.

[Started voice recording at 18H10]

Road Taking and Construction of Friendship and Somerset - \$250,000

Variable width - not a 40' ROW. This is just takings. The design and construction are separate funding requests.

Joe M. says that when a portion of property is taken, it ought not to reduce buildable area of a lot, potentially causing setback violations.

AV There is a Section for existing (139-33.L in the Bylaw) but not for future. Might want to take a look at that.

Taking on Barrett side.

Mike - Next taking is public section along Winn St. paving sand part btwn. Madaket and Saratoga. Private section of Winn is very narrow.

Boulevard. is in here for 2016-2018 for a \$1 million.

Kara - we have hired GPI to do the design of the Blvd. Hired Bracken to get detail topography and locational survey. It's straight on paper but not on the ground. 80' layout.

Nat L. There is existing drainage. If we find all the d-boxes and leach pits, can we clean and attach them to the road properly?

Kara - They need to be excavated and refurbished if possible.

LW Does this include a bike path? A lot of pedestrian traffic.

Kara - That will be part of the design process on north side but the \$1 million will not cover that. Should that be done the whole way.

Nat L. - Yes. There is so much right of way.

LW There is so much foot traffic along there

AV Blvd. section is 80' but the rest is 40'. Plans are on file for the rest of the takings to come. (Mentions various locations of Takings.)

Kara mentions the July 4th NRTA bus that runs to Surfside.

Mike - Future phases design and funding for in town bike path (\$75,000 for Washington St. Section and another \$75,000 for Orange St. section). Need to get through Mass DOT. Construction may start in spring but no work during summer. Should be ready for 2017 summer season (Phase I).

Next - \$1 million earmarked for Roads & Sidewalk improvements - widening and repair through a combination of roadways to link Children's Beach to Town Parking lot, focusing most of attention onto sidewalks that link 2 ferry terminals. Multiple Phases. Project is being chopped up into different segments and various components are being funded through future fiscal year requests. Serious investment in pedestrian improvements in downtown area, concentrating primarily on areas around ferry terminals.

LW Long overdue. Concern from HDC point of view is use of correct materials. The wrong brick was used in front of pharmacy and insurance company. Not sturdy or historically accurate. Needs to be distressed granite curbing or proper brick and set low to be historically accurate as this is all in Old Historic District. it is more expensive. there is a foundry in Mass. that produces it. incorrect brick Breaks up in first freeze

Joe M. asks if it is the right brick in front of Dreamland?

Yes.

Leslie J. Points out an incongruous slab of granite in front of historic home on Copper Lane. How does that happen? White and stands out. Milk St. by a tree - cement curb. Compromises historical integrity.

Kara explains that the tree broke that curb.

LW When a piece of historic curbing is taken out, a historic piece has to replace what was removed. If you cannot find, than install distressed piece so it blends back in.

John M. (Page 19 of Packet) Suggests an island that says Right Lane, Right Turn for turn from South Water onto Main St.

Kara B. There is a sign but people don't see it. What if we run a piece of granite in middle to define two lanes.

Wendy H. Regarding Easy St., didn't we replace it twice last year with rising sea levels and big storms. Is there a material that is more durable?

Kara B. The new bulkhead is going below ground so this may not happen.

Mike - Last one for FY17 Wauwinet Bike Path matching grant (\$70,800 to match \$300,000 total design cost) through Div. of Fishing and Wildlife. Improved access to federal property going out to Great Pt. This is to secure funds so we don't lose grant. There are definitely ConCom issues with this.

On to FY'18 requests:

1st project is Fairgrounds/OSR Roundabout - \$150,000

2nd project is locally funded intersection - bricking of crosswalks at 5 Corners. More of an aesthetic project. Better delineation.

Roadway Takings for FY18 - AMELIA DRIVE listed as a priority by Roads and ROW Committee .

AV Reminds Board that the Planning Board approved a market and the approval generated \$10,000 towards funding taking of road.

Kara B. We want to go from Amelia across to Polpis and from Fairgrounds to Monomoy (700') \$350,000 to try and reduce traffic. Has talked to Bob Gardner about how to deal with Wannacomet property. Goal is to siphon off OSR traffic. Roundabouts create flow although they slow down traffic. People sitting in traffic is bad for air quality.

LW Hinsdale needs to be brought back into this discussion.

NW Do you see money for study on OSR?

LW Maybe Pastan.

NW Someone else pay for professional approach to this traffic problem

Mike Burns asks Gabe Sherman if discretionary funding for corridor study like this is available? We need supplemental funding in addition to regular 3C funds from Mass DOT to do this study b/c 3C grant money is not sufficient.

Gabe Email that exact question and will look into the answer.

Mike - On to FY 19

Roadway taking from Ticcoma to Lovers Lane. It is gated right now. If there is consensus here then we will move forward for this.

Intersection improvement from Amelia Drive over to Polpis Rd.

Bike path along Somerset Lane - locally funded request for design and construction (\$850,000).

LW Do we need a motion for anything?

M/S/A LW Leslie J. 2nd

**MOTION TO ACCEPT THESE FY PROPOSALS/PROJECTS
UNANIMOUS**

D. Director Vorce/Disclosure & Request for Exemption to MGL 268A, S19 (b)(1)

LW We did this a few years ago. His zone is being rezoned but nowhere near where he lives.

AV I am in R5 zoning district (*see Page 42*), when you have any sort of financial interest, positive or negative, this is required for an appointed authority. We will discussing density bonuses for affordable housing in R5 and my property is zoned R5.

M/S/A LW Bert J. 2nd

MOTION Determined that financial interest is not so substantial as to compromise the integrity of the appointed authority (Andrew Vorce) and authorize chair to sign said determination.

UNANIMOUS

E. Rural Counsel

*******This item was not anticipated by the Chairman/Vice-Chairman 48 hours in advance.**

M/S/A LW Leslie J. 2nd

MOTION to APPOINT WENDY HUDSON to RURAL COUNSEL (general economic health) - quarterly meeting.

UNANIMOUS

V. Other Business:

A. Re-appoint Andrew Vorce to the Ocean Advisory Committee

*****Re-Affirm vote**

M/S/A LW Bert J. 2nd

MOTION to REAPPOINT ANDREW VORCE to OCEAN ADVISORY COMMITTEE

UNANIMOUS

B. DLTA Funding Request (solar PV project) from Town Administration/Energy Office

Lauren Sinatra explains request.

M/S/A LW Leslie J. 2nd

MOTION to ALLOCATE THE REQUESTED \$11,400 OUT OF DLTA PROGRAM TO SUPPORT EFFORT TO DEVELOP SOLAR PHOTOVOLTAIC FACILITY AT AIRPORT BY END OF 2016

UNANIMOUS

VI. Adjournment

Gabe Sherman (Mass DOT) hangs up.

Adjourned 18H52

Transportation Planning Report
T. Michael Burns, AICP
January 4, 2016

This is a progress report of transportation-related activities as of **December 30, 2015**.

1. NRTA Year Round Study

MassDOT is funding a study managed by the NRTA to evaluate the potential operation and cost of year round bus service. There are a number of public outreach meetings scheduled in various locations to maximize public input. Paula Leary will be attending the NP&EDC's meeting to discuss the study and outreach efforts (see attached).

2. Downtown Bike Route Improvements

The Board of Selectmen has requested that staff provide a summary of existing and proposed bike routes between downtown and the network of bike paths for review at a workshop on January 13th. For the NP&EDC's review, staff has attached an outline of past, present, and future initiatives to improve the routes for bicyclists in and out of town.

3. FY 2016 UPWP Budget Reallocation

Staff has utilized more time for Task 1.6 – Title VI and Environmental Justice than originally anticipated during the development of the draft UPWP. This included participation in a Title VI workshop in Hyannis, MA. In anticipation of additional work necessary for this task, staff will be submitted a request to MassDOT to reallocate up to 10 hours allotted to Task 4.3 – Intelligent Transportation System to Task 1.6. No significant time is anticipated for Task 4.3, and if there is a need to dedicate time to this task, staff will request reallocation of time from another underutilized task.

4. In-Town Bike Path – Phase 1 – Construction (Federal Aid)

0.24 mile path between Washington St. Extension and Orange St. via Rail Road ROW
Estimated Total Construction Cost: \$1,132,285.30

MassDOT advertised the project for construction on September 12th following the certification of the right of way process, and bids were opened November 24th. The bids that were submitted were significantly higher than the design estimates (almost \$3 million versus the estimated \$1.1 million). MassDOT and the Town's engineering consultant (VHB) have evaluated the bid results and MassDOT has determined the bids will be rejected and the project will be re-advertised with some changes and clarifications on certain construction items and methods. MassDOT has requested VHB modify the plans and will determine the next advertisement date once the modified plans are submitted.

5. Mill Hill Path – Design/Construction (Local Aid)

Linking the existing 8 foot wide Prospect St path to Joy St via Mill Hill Park and Woodlands Hills

Staff and DPW have reviewed a preliminary plan for this path prepared by Bracken Engineering. Completion of this path is dependent on construction by others of an abutting roadway through the Woodland Hills subdivision, which is necessary to complete the connection of the Prospect St path to Joy St. It is anticipated that this work would be completed in the fall.

6. Milk Street Extension Path – Design/Construction (Local Aid)

2,485 linear foot extension of the Hummock Pond Road Bike Path to Mt Vernon Street

Staff is coordinating with DPW to implement this project by summer 2016. The County has authorized a public hearing on January 6th to take easements needed for the path via a friendly eminent domain. The utilities (Verizon) will be submitting a petition to relocate poles to the opposite side of Milk Street shortly after the right of way is secured. Staff has coordinated with abutters of the project to finalize the design. Staff is also securing archeological services as a precaution for the work on the Prospect Hill Cemetery.

7. Bicycle and Pedestrian Advisory Committee

BPAC continues to meet monthly to discuss a variety of bike and pedestrian issues including bike route stencil locations, bike racks, and provide guidance on the design of other bike/pedestrian projects. The Committee is also reviewing a list of draft goals for FY 2016 (see attached).

8. WPI Fall Project – Accessibility Survey

Staff coordinated with WPI on one of the fall student project to study accessibility needs in the core area and around NRTA bus stops that would not impact the historic character of the island (see attached presentation). The students met with a variety of local committees as part of the study to understand the accessibility needs and concerns with impacting the historic environment downtown.

Summary of Airport and Ferry Statistics:

9. Nantucket Memorial Airport (passenger departures)

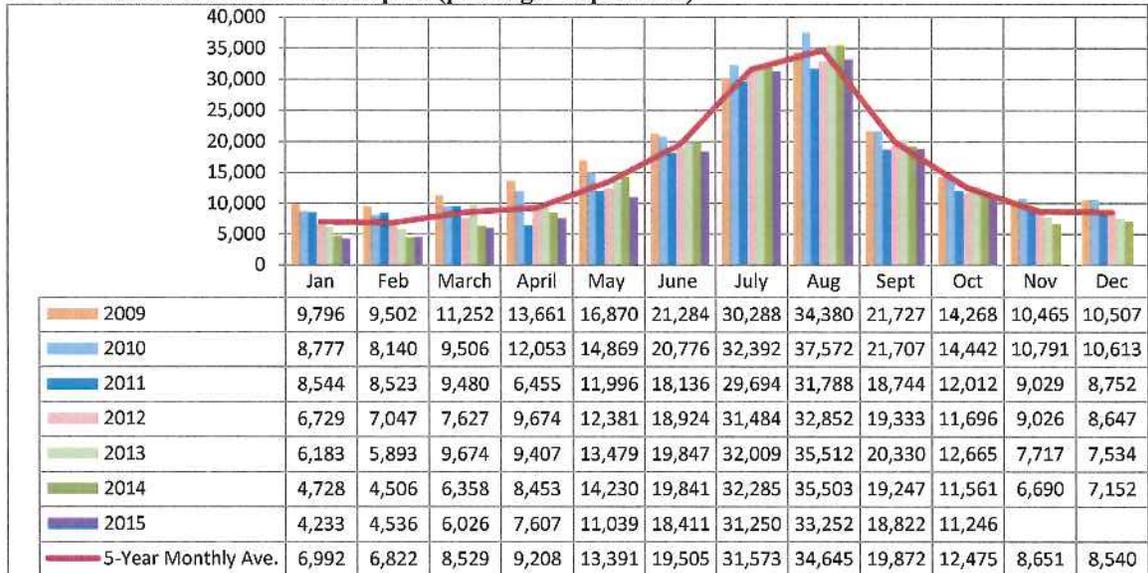


Chart 1. Total Enplanements (Departures)

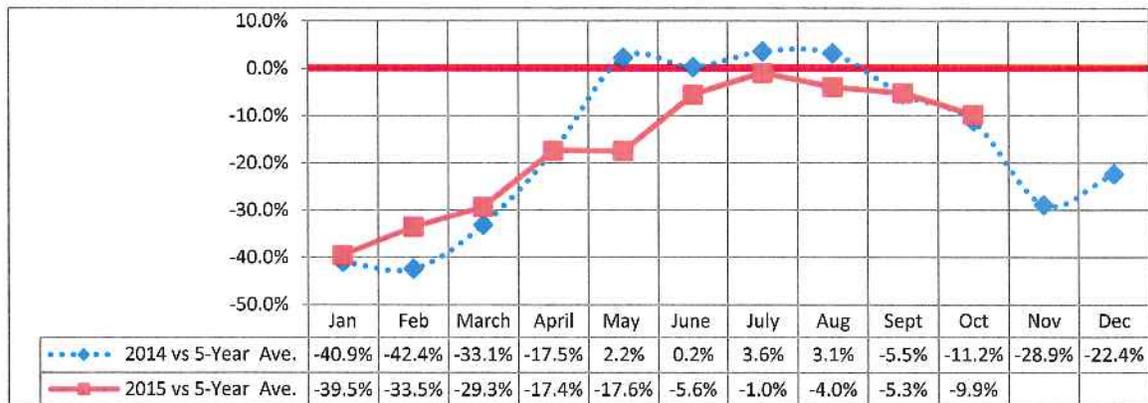


Chart 2. Monthly Enplanement versus 5-Year Average

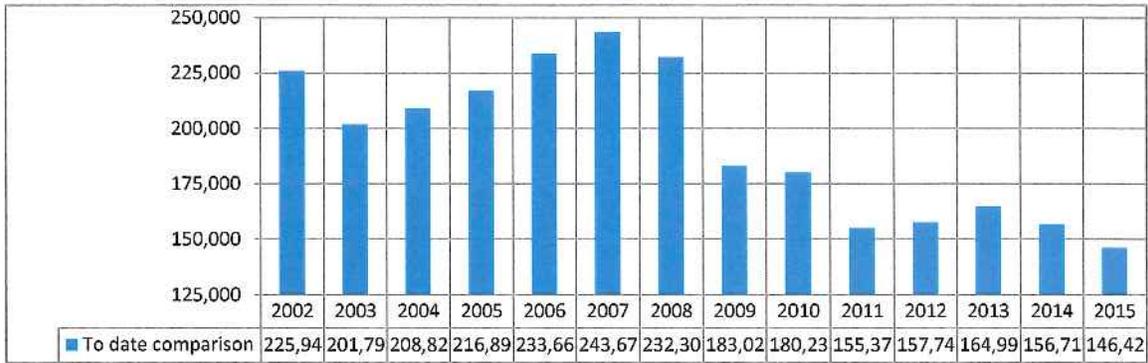


Chart 3. Annual Enplanements "To Date" Comparison

The above charts depict airport departures for each month of the last five years. Chart 1 shows the total number of departures for each month. Chart 2 shows the percent of change for each month compared to the five-year average for that month. Chart 3 shows the total enplanements for each year up to this year's current month.

10. Ferry Service - Steamship Authority

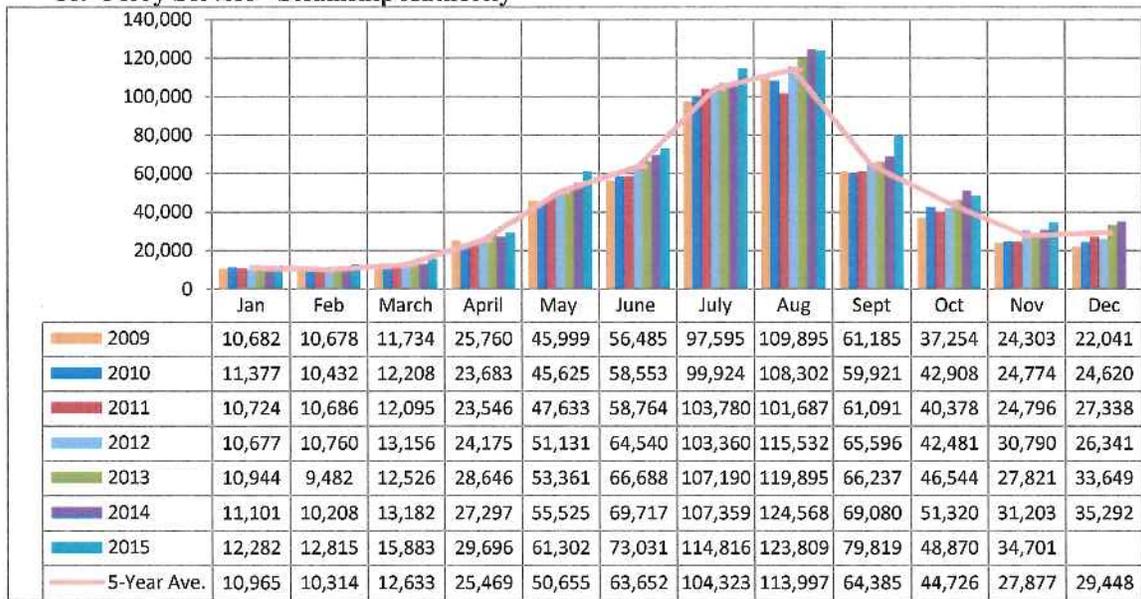


Chart 4. Total Passengers To/From Nantucket via SSA

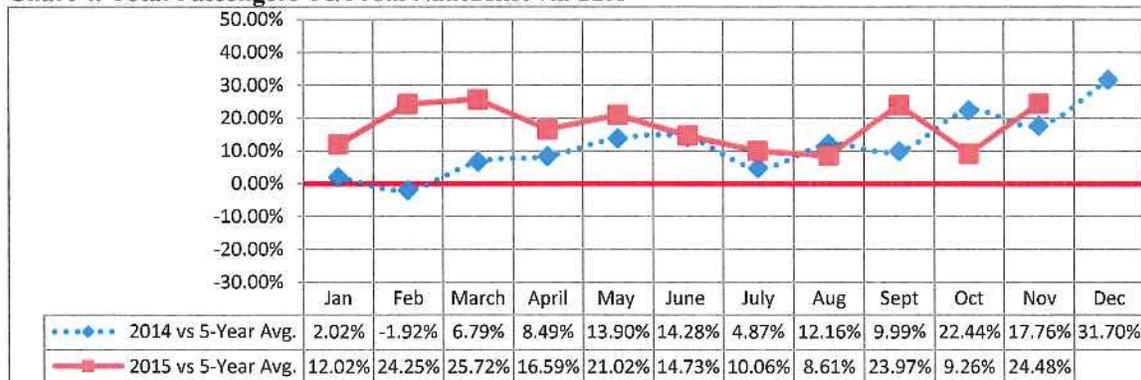


Chart 5. SSA Passenger Monthly Total versus 5-Year Average

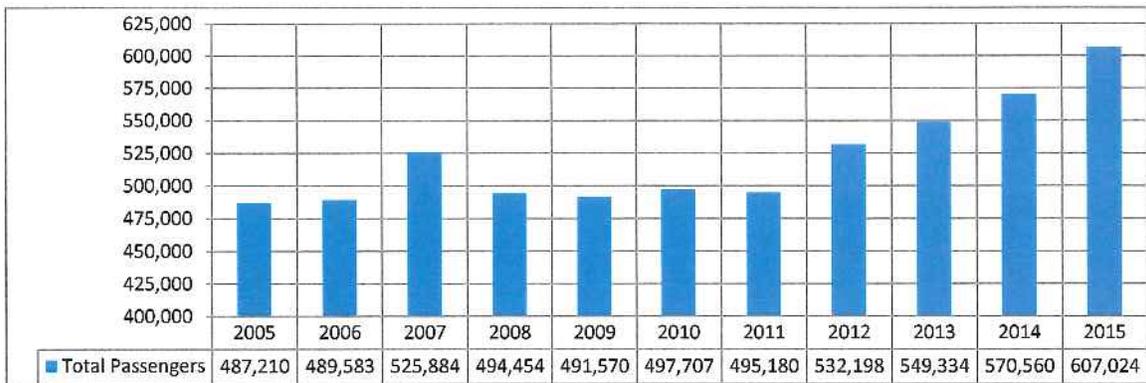


Chart 6. Annual SSA Passengers - "To Date" Comparison

Charts 4, 5, and 6 depict total SSA passengers for each month of the last five years. Chart 4 shows the total number of passengers for this time period 2003 through 2008. Chart 5 shows the percent of change for each month (2007 and 2008 to date) compared to the five-year average for that month. Chart 6 shows the total SSA passengers for each year up to this year's current month.

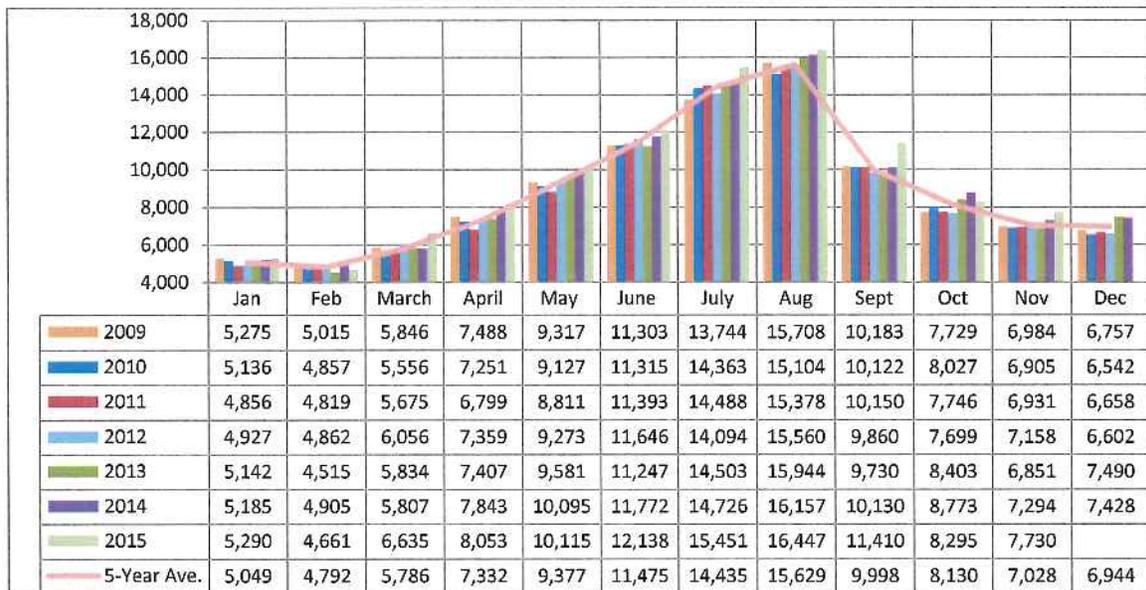


Chart 7. Total Cars and Trucks To/From Nantucket via SSA

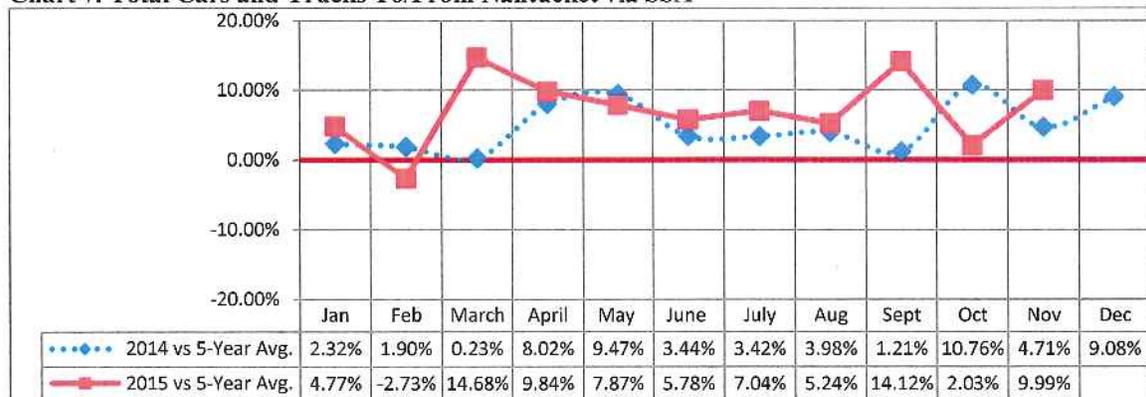


Chart 8. Monthly Cars and Trucks Total versus 5-Year Average

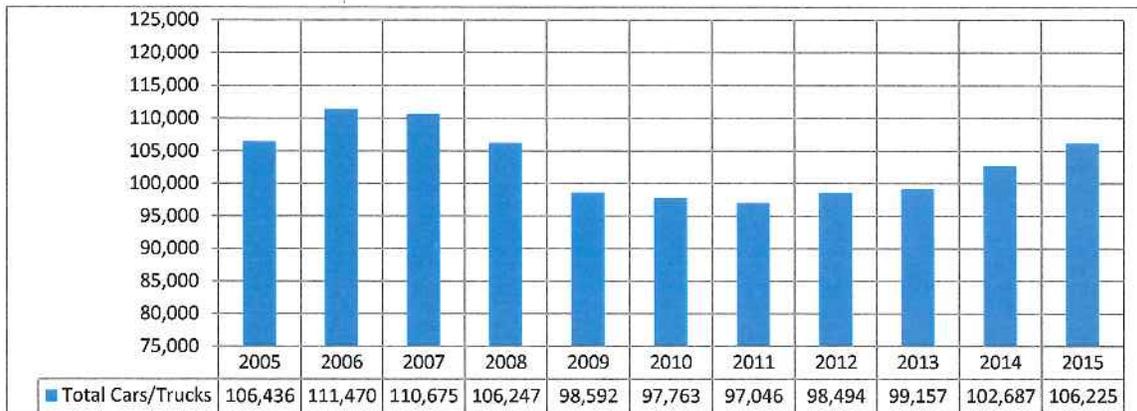


Chart 9. Total Vehicles – To Date Comparison

Charts 7, 8, and 9 depict total cars and trucks carried on the SSA for each month of the last five years. Chart 7 shows the total number of cars and trucks. Chart 8 shows the percent of change for each month compared to the five-year average for that month. Chart 9 shows the total SSA vehicles for each year up to this year's current month.

Nantucket Regional Transit Authority

3 East Chestnut Street, Nantucket, MA 02554
Phone: 508-325-9571 • Fax: 508-325-0788 • TTY: 508-325-7516
www.nrtawave.com • nrta@nantucket-ma.gov

TO: NP&EDC

FROM: PAULA LEARY, NRTA ADMINISTRATOR 

RE: ANNOUNCEMENT - YEAR ROUND FIXED ROUTE TRANSIT STUDY –
UPCOMING PUBLIC MEETINGS

DATE: DECEMBER 18, 2015

The NRTA and its consultant, AECOM, have embarked upon a year-round fixed route transit study to determine the feasibility of providing year round bus service, developing service scenarios, and an implementation plan. This study is being 100% funded through a contract with the Massachusetts Department of Transportation Planning.

The first and most crucial step is the public participation process. There are several ways for the public to provide important. Open House Interactive Public Participation Workshops will be held at the Boys & Girls Club on Monday, January 11th from 6:30 to 8:30 pm and Tuesday, January 12th from 11:00 a.m. to 1:00 p.m. These workshops are drop in and will consist of various interactive stations to provide input on origins and destinations, connections and use. There will also be an opportunity to complete the survey.

An on-line survey is available thru January 15th. The survey is available in both English and Spanish. The survey can be accessed through the NRTA's website www.nrtawave.com or by going directly to www.surveymonkey.com/r/NRTAbus.com.

We need as much participation and input as possible. This is the community's opportunity to show that year round service in Nantucket is both wanted and needed by the community.





WAYS TO PARTICIPATE

Interactive Public Input Workshops

Boys & Girls Club

MONDAY, JANUARY 11TH

6:30 PM - 8:30 PM

TUESDAY, JANUARY 12TH

11:00 AM – 1:00 PM

ON-LINE SURVEY

www.nrtawave.com

OR

www.surveymonkey.com/r/NRTAbus



WANT TO RIDE the WAVE YEAR ROUND?

You're invited!

The NRTA WAVE is looking at the feasibility of year-round bus service

We Need Your Input

Tell us when, how often, and where you want to go

Service Scenarios will be developed

Participate in Interactive Public Workshops

Interactive Public Workshops

Nantucket

Boys & Girls Club
61 Sparks Avenue

Nantucket Regional Transit Authority

Monday, January 11
6:30 PM – 8:30 PM

Tuesday, January 12
11:00 AM – 1:00 PM

Complete Our Survey

Enter to win a \$25 Amazon® gift card

The survey is available online at:

www.surveymonkey.com/r/NRTA_bus

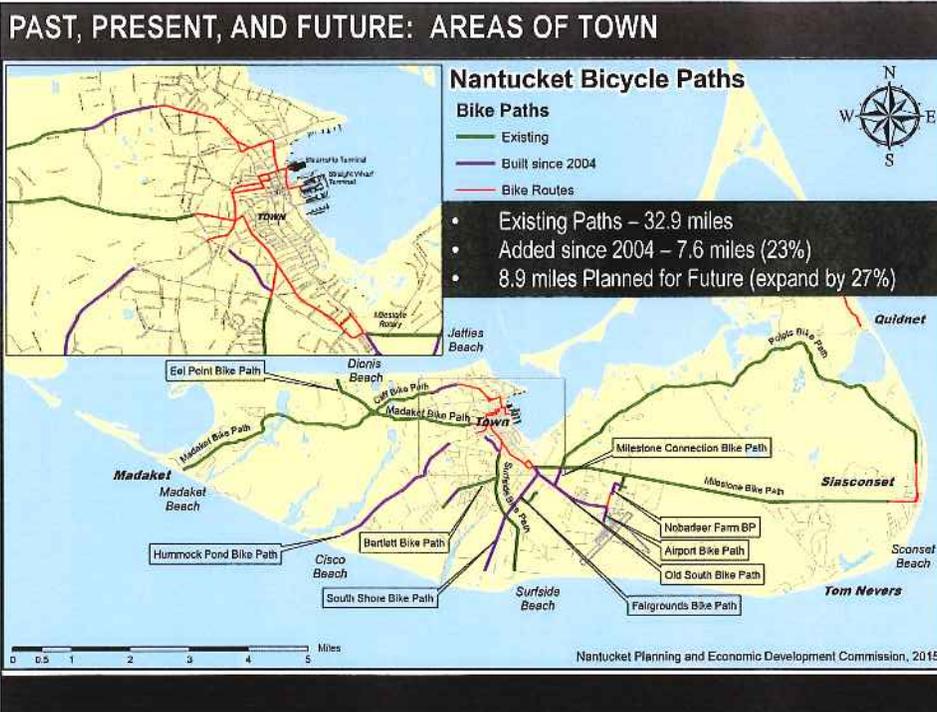
Use the QR code to access the survey from your mobile device.

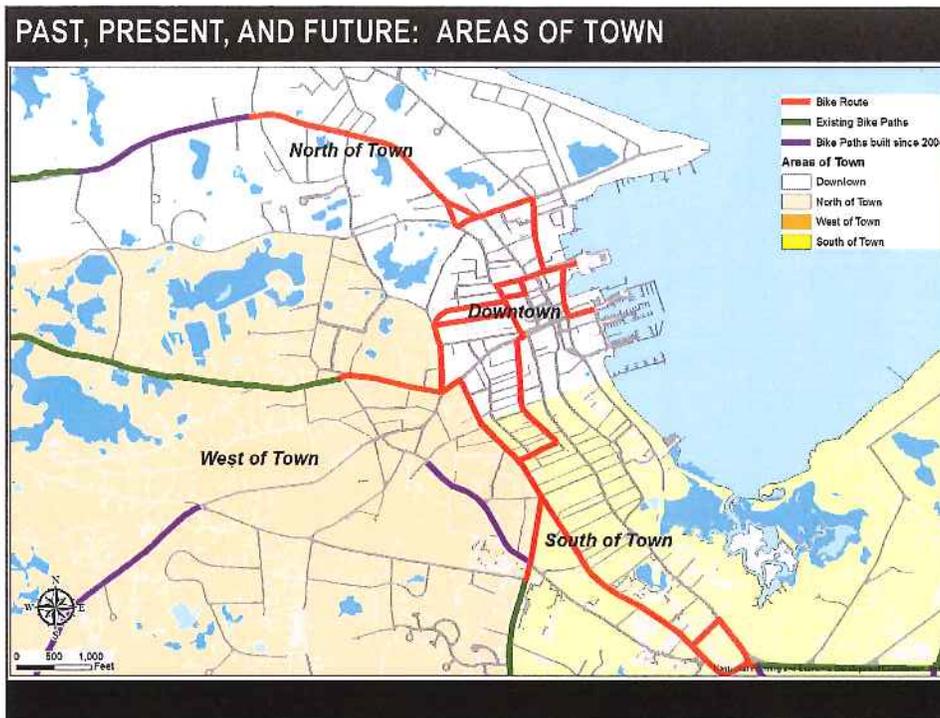


REGIONAL TRANSPORTATION PLAN

SUMMARY OF DOWNTOWN AREA BIKE AND PEDESTRIAN IMPROVEMENTS

Past, Present, and Future





PAST, PRESENT, AND FUTURE: PAST

I. Past (2005 – 2015)

A. Downtown

- 1) Bike route wayfinding stickers and paper maps
- 2) Test of bike route stencils
- 3) Survey and conceptual design of downtown sidewalk improvements
- 4) Study of bike parking opportunities and options (ReMain Nantucket)

B. North of Town (Cliff Rd)

- 1) Extension of the Cliff Rd bike path

C. West of Town (Milk St / Pleasant St)

- 1) Improved bike route and wayfinding signage
- 2) Resurfaced Madaket bike path
- 3) Construction of the Hummock Pond bike path
- 4) Initiate design of Prospect Hill Improvements
 - a. Prospect St sidewalk
 - b. Mill Hill Path
 - c. Milk St Extension Path
 - d. Winn St Improvements

D. South of Town (Washington St / Orange St)

- 1) Conceptual design of Mid-island sidewalk improvements
- 2) In-Town bike path
 - a. Study of conceptual design and alignment options
 - b. Design of phase 1

PAST (2005 TO 2015): DOWNTOWN



- Bike Route Wayfinding Stickers and Signage (Visitor Services / Young's Bike Shop)
- Test of Bike Route Stencils (DPW)



PAST (2005 TO 2015): DOWNTOWN



- Bike Route Wayfinding Stickers and Signage (Visitor Services / Young's Bike Shop)
- Test of Bike Route Stencils (DPW)
- Study of Bike Rack Needs and Options (ReMain Nantucket)



PAST (2005 TO 2015): DOWNTOWN



- Bike Route Wayfinding Stickers and Signage (Visitor Services / Young's Bike Shop)
- Test of Bike Route Stencils (DPW)
- Study of Bike Rack Needs and Options (ReMain Nantucket)
- Survey of Sidewalk Conditions (Roads and ROW)



Map 31. Sidewalk Replacements



Map 32. Sidewalk Modifications

PAST (2005 TO 2015): NORTH OF TOWN



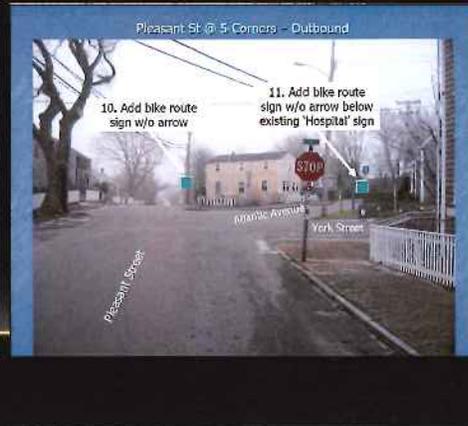
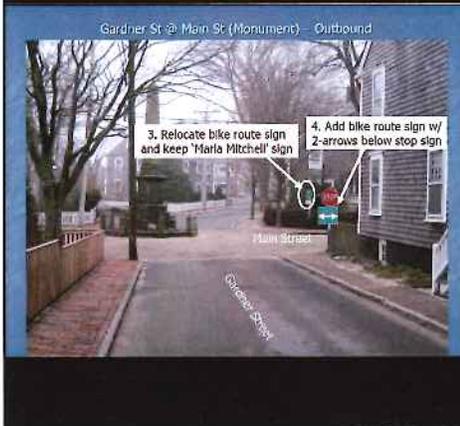
- Extension of the Cliff Road Bike Path



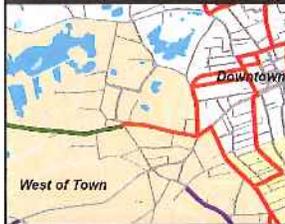
PAST (2005 TO 2015): WEST OF TOWN



- Improved Wayfinding signage



PAST (2005 TO 2015): WEST OF TOWN



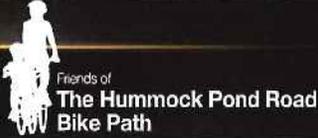
- Improved Wayfinding signage
- Resurfaced Madaket Bike Path



PAST (2005 TO 2015): WEST OF TOWN

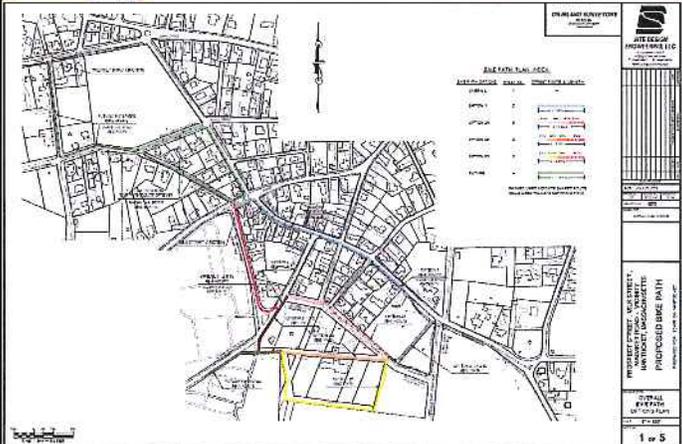
- Improved Wayfinding signage
- Resurfaced Madaket Bike Path
- Built Hummock Pond Bike Path



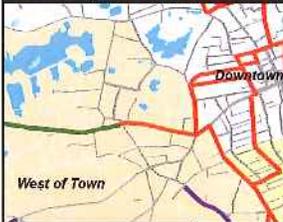



PAST (2005 TO 2015): WEST OF TOWN

- Improved Wayfinding signage
- Resurfaced Madaket Bike Path
- Built Hummock Pond Bike Path
- Prospect Hill Improvement Concepts
 - Prospect St Sidewalk, Mill Hill Path, Milk St Path, Winn St

PAST (2005 TO 2015): WEST OF TOWN



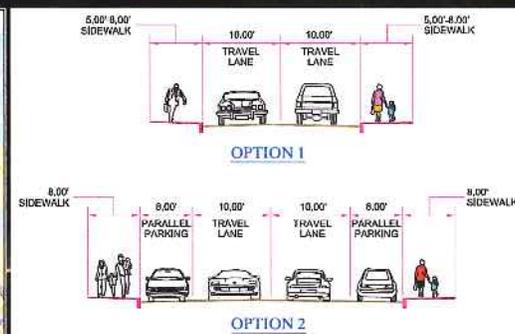
- Improved Wayfinding signage
- Resurfaced Madaket Bike Path
- Built Hummock Pond Bike Path
- Prospect Hill Improvement Concepts
 - Prospect St Sidewalk, Mill Hill Path, Milk St Path, Winn St

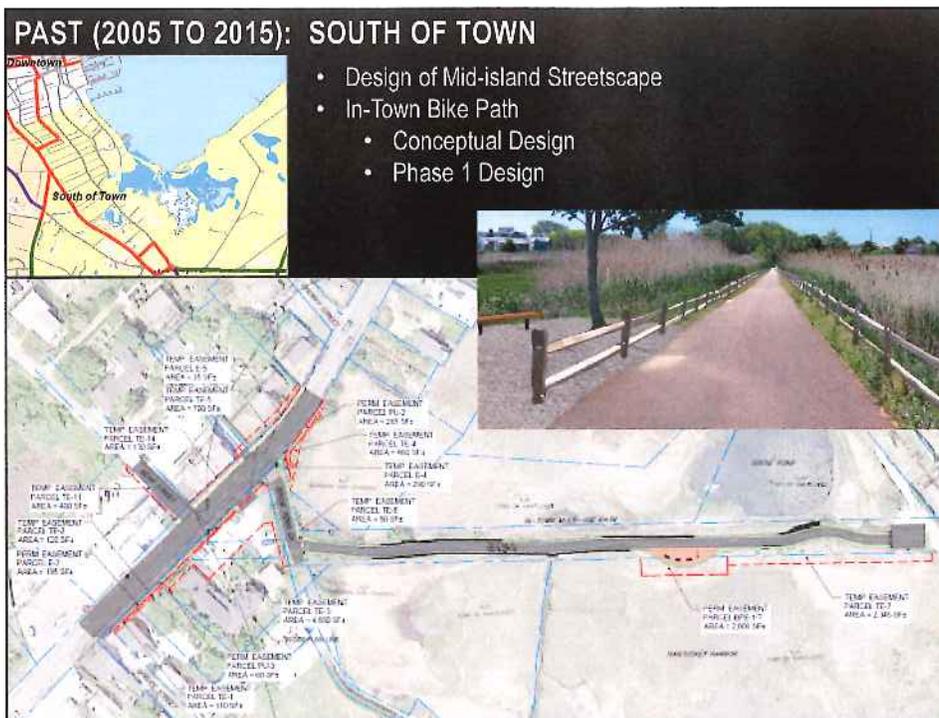
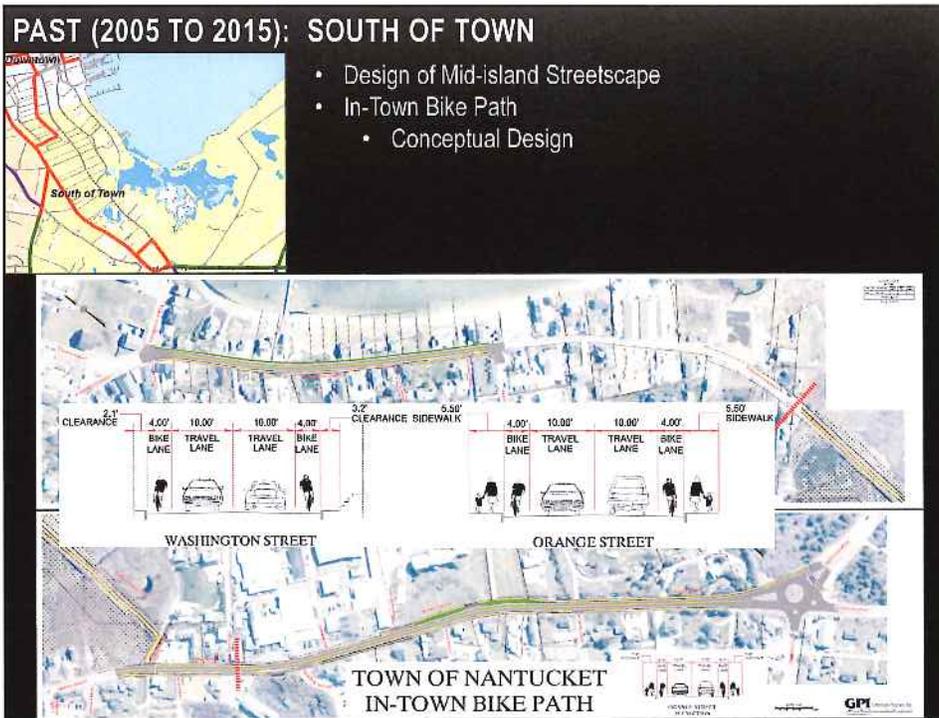


PAST (2005 TO 2015): SOUTH OF TOWN



- Design of Mid-island Streetscape





PAST, PRESENT, AND FUTURE: PRESENT

II. Present (on-going projects and FY 2017 Capital Requests)

A. Downtown

- 1) Development of smart phone wayfinding app (ReMain Nantucket)
- 2) Stencil the existing bike route
- 3) Pending approval for phase 1 of sidewalk improvements
- 4) Complete installation of bike bollards

B. North of Town (Cliff Rd)

- 1) Sidewalk improvements in future year of Capital Improvement Plan

C. West of Town (Milk St / Pleasant St)

- 1) Extension of Hummock Pond bike path to be ready for summer 2016
- 2) Mill Hill Path to be built as part of Woodland Hills subdivision
- 3) Prospect St sidewalk in future year of Capital Improvement Plan
- 4) Proposed "Historic Bike Route" (reviewed, needs BOS approval)

D. South of Town (Washington St / Orange St)

- 1) Phase 1 of In-town bike path has been bid for construction
- 2) Future phases of In-town bike path are in the Capital Improvement Plan
- 3) Proposed stenciling of bike route along one-way section of Orange St
- 4) Sidewalk Improvements Identified in Transportation Plan

PRESENT (INCLUDING FY 2017 REQUESTS): DOWNTOWN



- Development of Smart Phone App (ReMain)



PRESENT (INCLUDING FY 2017 REQUESTS): DOWNTOWN



- Development of Smart Phone App (ReMain)
- Stencil the Existing Bike Route



PRESENT (INCLUDING FY 2017 REQUESTS): DOWNTOWN



- Development of Smart Phone App (ReMain)
- Stencil the Existing Bike Route
- Phase 1 Sidewalk Improvements (FY 17)



PRESENT (INCLUDING FY 2017 REQUESTS): DOWNTOWN



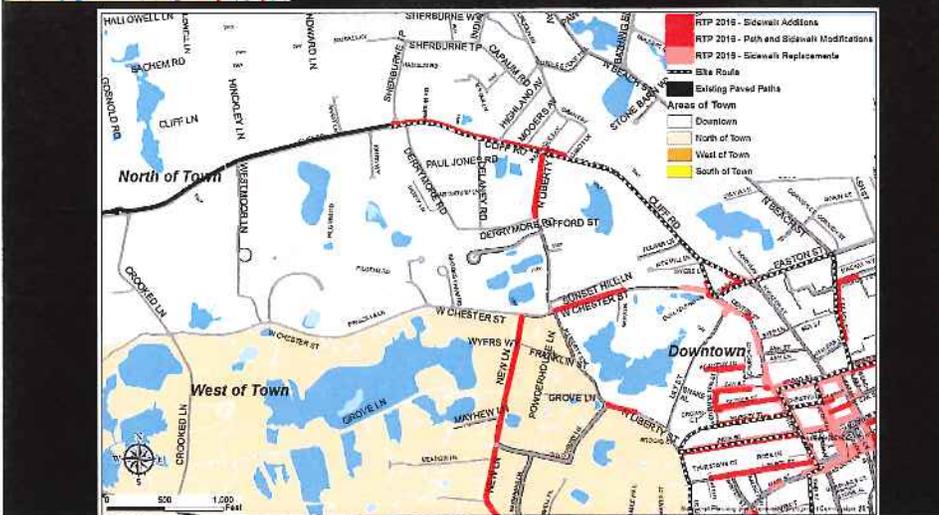
- Development of Smart Phone App (ReMain)
- Stencil the Existing Bike Route
- Phase 1 Sidewalk Improvements (FY 17)
- Completing Bike Bollard Installations (ReMain / DPW)



PRESENT (INCLUDING FY 2017 REQUESTS): NORTH OF TOWN



- Recommended Sidewalk Improvements:
 - Cliff Rd – Sherburne TP to Cabot Ln
 - N Liberty St – Cliff Rd to Derrymore Rd
 - W Chester St – N Liberty St to Sunset Hill Ln



PRESENT: WEST OF TOWN



- Extension of Hummock Pond bike path to be ready for summer 2016



PRESENT: WEST OF TOWN



- Extension of Hummock Pond bike path to be ready for summer 2016
- Mill Hill Path to be built as part of Woodland Hills subdivision



PRESENT: SOUTH OF TOWN

- Portions of Pleasant Street Streetscape Implemented



PRESENT: SOUTH OF TOWN

- Portions of Pleasant Street Streetscape Implemented
- Phase 1 of In-town bike path has been bid for construction
- Future phases of In-town bike path are in the Capital Improvement Plan
- Proposed stenciling of bike route along one-way section of Orange St



PRESENT: SOUTH OF TOWN



- Portions of Pleasant Street Streetscape Implemented
- Phase 1 of In-town bike path has been bid for construction
- Future phases of In-town bike path are in the Capital Improvement Plan
- Proposed stenciling of bike route along one-way section of Orange St
- Sidewalk Improvements Identified in Transportation Plan



PAST, PRESENT, AND FUTURE: FUTURE

III. Future (FY 2018 – FY 2040)

A. Downtown

- 1) Maintain system of stenciled bike route corridors
- 2) Implement phase 1 of downtown sidewalk improvements
- 3) Define priority phases for future year sidewalk improvements
- 4) Evaluate need for additional bike parking

B. North of Town (Cliff Rd)

- 1) Build sidewalk connections along Cliff Road
- 2) Evaluate on street parking conflicts with bike and pedestrian traffic

C. West of Town (Milk St / Pleasant St)

- 1) Implement Winn St improvement to connect Prospect Hill to Madaket
- 2) Implement Hummock Pond Path Extension to Vesper Ln

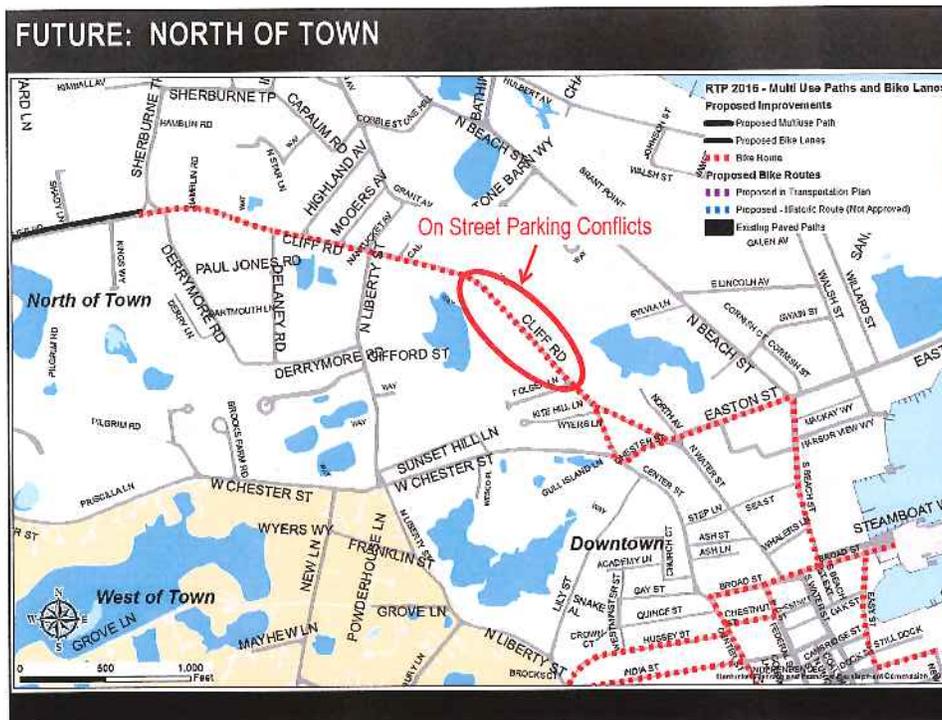
D. South of Town (Washington St / Orange St)

- 1) Implement future phases of In-town bike path
- 2) Implement Mid-Island sidewalk improvements

FUTURE: NORTH OF TOWN

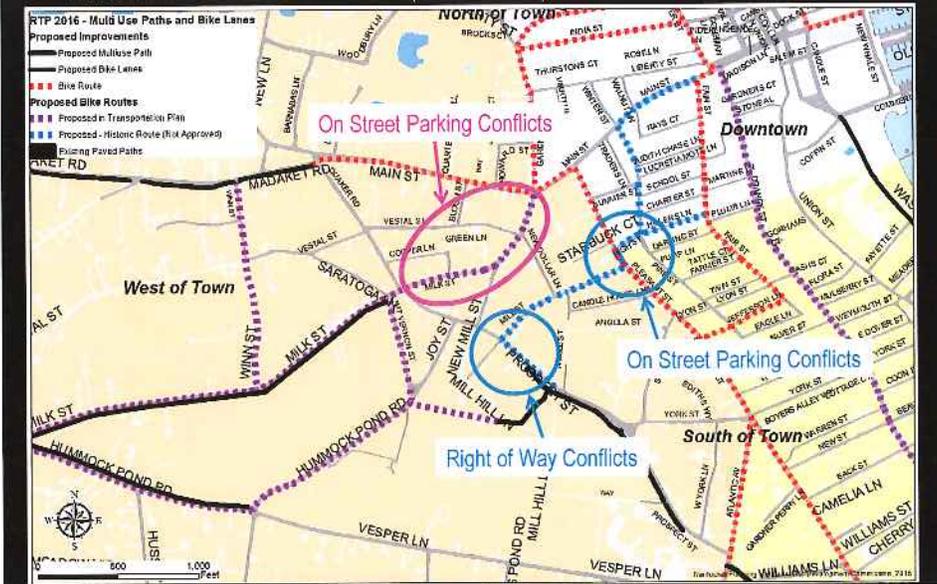


- Build sidewalk connections along Cliff Road
- On street parking conflicts along Cliff Road



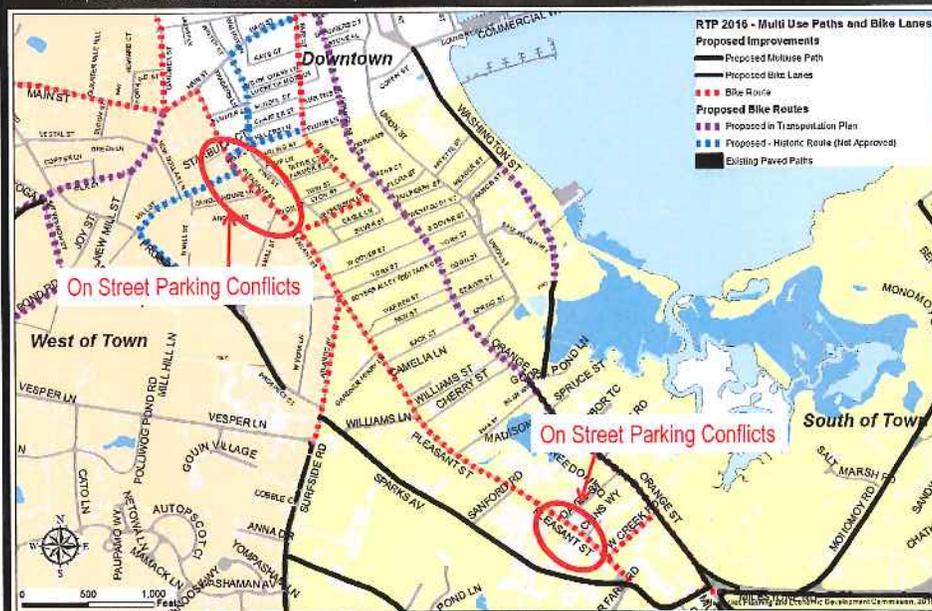
FUTURE: WEST OF TOWN

- Implement Winn St improvement to connect Prospect Hill to Madaket
- Implement Hummock Pond Path Extension to Vesper Ln
- Action needed for "Historic Bike Route" (BLUE ROUTE)



FUTURE: SOUTH OF TOWN

- Implement future phases of In-town bike path
- Implement Mid-island sidewalk improvements



FY 2016 UPWP Budget Reallocation - January 2016

Task	Number of Weeks	Time Reallocated	New Total	Percent of Time	Direct Salary	Salary Reallocated	New Total	Overhead	Direct Costs Budget	Total Budget
1.0 Management and Support	17.5			33.65%	\$41,024.04	\$585.12	\$41,609.16	\$37,668.27	\$3,000.00	\$82,277.43
1.1 3C Program Support	12			23.08%	\$28,130.77	\$0.00	\$28,130.77	\$25,829.67	\$0.00	\$53,960.44
1.2 Inter-Regional Transportation Planning Coordination	3			5.77%	\$7,032.69	\$0.00	\$7,032.69	\$6,457.42	\$3,000.00	\$16,490.11
1.3 Transportation Improvement Program	1			1.92%	\$2,344.23	\$0.00	\$2,344.23	\$2,152.47	\$0.00	\$4,496.70
1.4 Unified Work Program	1			1.92%	\$2,344.23	\$0.00	\$2,344.23	\$2,152.47	\$0.00	\$4,496.70
1.5 Public Participation	0.25			0.48%	\$586.06	\$0.00	\$586.06	\$538.12	\$0.00	\$1,124.18
1.6 Title VI and Environmental Justice	0.25	0.25	0.5	0.48%	\$586.06	\$585.12	\$1,171.18	\$538.12	\$0.00	\$1,709.30
2.0 Data Collection and Analysis	8			15.38%	\$18,753.85	\$0.00	\$18,753.85	\$17,219.78	\$2,842.42	\$38,816.05
2.1 Data Collection: Traffic, Congestion, Freight, and Pavement Management	5			9.62%	\$11,721.15	\$0.00	\$11,721.15	\$10,762.36	\$2,842.42	\$25,325.94
2.2 Geographic Information Systems (GIS)	2			3.85%	\$4,688.46	\$0.00	\$4,688.46	\$4,304.95	\$0.00	\$8,993.41
2.3 Performance Measures and Monitoring	1			1.92%	\$2,344.23	\$0.00	\$2,344.23	\$2,152.47	\$0.00	\$4,496.70
3.0 Short Range and Long Range Transportation Planning	13			25.00%	\$30,475.00	\$0.00	\$30,475.00	\$27,982.15	\$0.00	\$58,457.15
3.1 Livable / Sustainable / Complete Streets Planning	4			7.69%	\$9,376.92	\$0.00	\$9,376.92	\$8,609.89	\$0.00	\$17,986.81
3.2 Parking Management Strategies	4			7.69%	\$9,376.92	\$0.00	\$9,376.92	\$8,609.89	\$0.00	\$17,986.81
3.3 Bicycle and Pedestrian Planning	4			7.69%	\$9,376.92	\$0.00	\$9,376.92	\$8,609.89	\$0.00	\$17,986.81
3.4 Special Transportation Planning Studies	1			1.92%	\$2,344.23	\$0.00	\$2,344.23	\$2,152.47	\$0.00	\$4,496.70
4.0 Other Transportation Activities	13.5			25.96%	\$31,647.12	-\$585.12	\$31,062.00	\$29,058.38	\$0.00	\$60,120.38
4.1 Implement Approved Planning Recommendations	11			21.15%	\$25,786.54	\$0.00	\$25,786.54	\$23,677.20	\$0.00	\$49,463.74
4.2 Special Transportation Planning Assistance	2			3.85%	\$4,688.46	\$0.00	\$4,688.46	\$4,304.95	\$0.00	\$8,993.41
4.3 Intelligent Transportation Systems (ITS)	0.5	-0.25	0.25	0.96%	\$1,172.12	-\$585.12	\$587.00	\$1,076.24	\$0.00	\$1,663.23
Direct Salary Budget -					\$121,900.00	\$0.00	\$121,900.00			
Overhead Budget -								\$111,928.58		
Direct Cost Budget -									\$5,842.42	
Total Budget for FFY 2014 -	52			100.00%	\$121,900.00			\$111,928.58	\$5,842.42	\$239,671.00
Time = 52 weeks (46 weeks, plus 4 weeks vacation, 12 holidays, and 2 personal days - listed in Task 1.1)										



Town of Nantucket
Request for Out-of-State Travel

Department: Planning
Person(s) Traveling: Mike Burns
Date(s) of Travel: April 1-6, 2016
Purpose of proposed travel: APA National Conference - Phoenix, AZ

Registration forms and any other travel information must be attached.

Table with 4 columns: Actual or Approximate Cost of Travel, Unit Cost, Quantity, Total. Rows include Airfare, Steamship, Lodging, Seminar, Meals, Other, and Grand Total.

Is funding available in your department's current budget? Yes No

Submitted by: [Signature] Date: 12/29/2015
Department Head

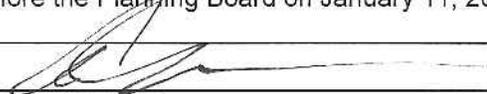
Approved: Yes No Comments:

Town Administrator Date

- Departments under the direct jurisdiction of the Board of Selectmen must submit this form, with the top section, complete, to the Town Administrator PRIOR to the proposed dates of travel.
Departments should make every effort to take advantage of airline and other travel discounts.
This form must be completed in full and a copy submitted to the accounts payable office in order to process pertinent invoices and/or employee reimbursements.
If approved, please keep this form for your files.

**DISCLOSURE BY NON-ELECTED MUNICIPAL EMPLOYEE OF FINANCIAL INTEREST
AND DETERMINATION BY APPOINTING AUTHORITY AS REQUIRED BY G. L. c. 268A, § 19**

MUNICIPAL EMPLOYEE INFORMATION	
Name:	Andrew V. Vorce
Title or Position:	Director of Planning
Municipal Agency:	NP&EDC
Agency Address:	2 Fairgrounds Road Nantucket, MA 02554
Office Phone:	508-325-7587
Office E-mail:	avorce@nantucket-ma.gov
	My duties require me to participate in a particular matter, and I may not participate because of a financial interest that I am disclosing here. I request a determination from my appointing authority about how I should proceed.
PARTICULAR MATTER	
Particular matter E.g., a judicial or other proceeding, application, submission, request for a ruling or other determination, contract, claim, controversy, charge, accusation, arrest, decision, determination, or finding.	Please describe the particular matter. My home at 40 Essex Road is part of a 44 lot subdivision that another owner, Audrey Sterk at 10 Essex Road, is seeking to modify conditions of. The modifications of the subdivision would have an effect on my property as well as others in the subdivision. I did answer in the affirmative to a neighborhood sponsored survey that I had received about allowing a tertiary dwelling unit.
Your required participation in the particular matter: E.g., approval, disapproval, decision, recommendation, rendering advice, investigation, other.	Please describe the task you are required to perform with respect to the particular matter. I provide advice to the public, review and draft warrant articles, and assist in making recommendations to the Planning Board, Town Meeting and other public boards and staff. Ms. Sterk was in the office at various times on 11/18/2015 and I discussed her application with her in general terms, discussed options and provided advice about her submission. She had been given incorrect advice about a request for a "tertiary dwelling" that she was seeking and it turned out she was ineligible to receive the permit because her property remains in a zoning district (RC-2) that does not allow them and there was no other staff available to address the issue. She asked for assistance in preparing a zoning article to address her situation which I prepared and provided to her although it was not submitted. I will likely be asked questions about this in the future.
FINANCIAL INTEREST IN THE PARTICULAR MATTER	
Write an X by all that apply.	<input checked="" type="checkbox"/> I have a financial interest in the matter. <input type="checkbox"/> My immediate family member has a financial interest in the matter. <input type="checkbox"/> My business partner has a financial interest in the matter. <input type="checkbox"/> I am an officer, director, trustee, partner or employee of a business organization, and the business organization has a financial interest in the matter.

	<input type="checkbox"/> I am negotiating or have made an arrangement concerning future employment with a person or organization, and the person or organization has a financial interest in the matter.
Financial interest in the matter	Please explain the financial interest and include a dollar amount if you know it. The subdivision modification could have a positive impact on the value of my property by allowing an additional "tertiary dwelling unit" under certain circumstances. Adjacent properties may also be affected if the subdivision is modified. The matter is scheduled to be before the Planning Board on January 11, 2016.
Employee signature:	
Date:	November 19, 2015

DETERMINATION BY APPOINTING OFFICIAL

	APPOINTING AUTHORITY INFORMATION
Name of Appointing Authority:	Nantucket Planning and Economic Development Commission (NP&EDC)
Title or Position:	c/o Nathaniel Lowell, Chairman
Agency/Department:	
Agency Address:	2 Fairgrounds Road Nantucket, MA 02554
Office Phone:	
Office E-mail	
	DETERMINATION
Determination by appointing authority:	As appointing official, as required by G.L. c. 268A, § 19, I have reviewed the particular matter and the financial interest identified above by a municipal employee. I have determined that the financial interest is not so substantial as to be deemed likely to affect the integrity of the services which the municipality may expect from the employee.
Appointing Authority signature:	
Date:	January 4, 2016
Comment:	Pursuant to authority granted by vote of the NP&EDC at the regularly scheduled meeting held on December 7, 2015.

Attach additional pages if necessary.

The appointing authority shall keep this Disclosure and Determination as a public record.

Received Oct 19 2015
12:46 PM, 11:16 PM

OCT 18 2015

ARTICLE _____
(Zoning Map Change: LUG-2 to LUG-1; 8 Masaquet Avenue)

To see if the Town will vote to amend the Zoning Map of the Town of Nantucket by placing 8 Masaquet Avenue (Assessor Map 80 Lot 193), currently located in the Limited Use General 2 (LUG-2) district, in the Limited Use General (LUG-1) district, as shown on a map entitled "2016 Annual Town Meeting Warrant Article _____ Zoning Map Change: LUG-2 to LUG-1; 8 Masaquet Avenue" dated August 6, 2015 and filed herewith at the Office of the Town Clerk.

Or to take any other action related thereto.

(Ronald Santos et al)

<u>Ronald Santos</u> Name (signature)	<u>RONALD SANTOS</u> Name (printed)	<u>8 Masaquet Ave</u> Address
<u>[Signature]</u> Name (signature)	<u>SHARI SANTOS</u> Name (printed)	<u>8 Masaquet Ave</u> Address
<u>Linda M. True</u> Name (signature)	<u>Linda M. True</u> Name (printed)	<u>56 Fairgrounds Rd. 02534</u> Address
<u>Amy Santos</u> Name (signature)	<u>Amy Santos</u> Name (printed)	<u>72 Surfside Rd</u> Address
<u>David Callahan</u> Name (signature)	<u>DAVID CALLAHAN</u> Name (printed)	<u>4 Morgan Sq.</u> Address
<u>Beatrice R. Santos</u> Name (signature)	<u>BEATRICE SANTOS</u> Name (printed)	<u>72 Surfside Rd</u> Address
<u>Roberta Hamblin</u> Name (signature)	<u>Roberta Hamblin</u> Name (printed)	<u>24 Naushon Way 02554</u> Address
<u>Gary S. Hamblin</u> Name (signature)	<u>Gary S. Hamblin</u> Name (printed)	<u>24 Naushon way 02554</u> Address
<u>Robert Holdgate</u> Name (signature)	<u>ROBERT HOLDGATE</u> Name (printed)	<u>62 LEWIS COURT</u> Address
<u>[Signature]</u> Name (signature)	<u>WILLIAM McBRATH, Jr</u> Name (printed)	<u>10 SHEEP COMMONS LN.</u> Address
<u>Kathryn McBrath</u> Name (signature)	<u>KATHRYN McBRATH</u> Name (printed)	<u>10 SHEEP COMMONS LN.</u> Address

21 (Twenty one Signatures)

Gary M. Coffey
Daniel Good
Cardy
...

DATE and TIME this paper received by Registrars 9:57 AM
10-26-2015 JH

ANNUAL TOWN MEETING - CITIZEN'S ARTICLE

To see if the Town will vote to: AMMEND THE ZONING OF THE PROPERTIES LOCATED IN THE CTC DISTRICT ON MARBLE WAY TO RESIDENTIAL ZONING (SEE ATTACHED)

SIGNERS' STATEMENT We are qualified voters of the Commonwealth of Massachusetts and of the Town of Nantucket.

INSTRUCTIONS TO SIGNERS:

Your signature should be written as substantially as registered. If you are prevented, by physical disability, from writing you may authorize some person to write your name and residence in your presence.

	I	II	W P a r e d c o l	III PRINTED NAME
	Signatures to be made in person with name substantially as registered (except in case of physical disability as stated above)	Now Living At (Street and Number)		
1	[Signature]	1 MARBLE WAY	0 1	SAMANTHA PARSONS
2	[Signature]	7 MILL ST.	0 1	AMANDA TOSCH
3	[Signature]	77 Skyline Dr.	0 1	Katherine P. Schulm
4	[Signature]	38 1/2 York St	0 1	STUART C. Reid
5	[Signature]	7 Mill Street	0 1	Edmund Little
6	[Signature]	5 Catherine Lane	0 1	AMY SANFORD
7	[Signature]	1 N. Beach / de Sleepy Hollow	0 1	Tracy Cullman
8	[Signature]	58 Old South Rd	0 1	Liza McKENNEY
9	[Signature]	3 Marble Way	0 1	David Sharpe
10	[Signature]	79 Fairgrounds Road	0 1	Barbara Ann Jones
11	[Signature]	52 Goldfinch Dr.	0 1	Laura Fletcher
12	[Signature]	9 Marble Way	0 1	TERESA SCHLOFFER
13	[Signature]	14 Sleepy Hollow Rd	0 1	Erin Myers
14	[Signature]	14 Sleepy Hollow Rd	0 1	John Myers
15	[Signature]	7 Marble Way	0 1	Wendy Lucosch
16	[Signature]	7 Marble Way	0 1	Ryan Lugobell
17	[Signature]	5 MARBLE WAY	0 1	HEIDI K DANIELS GURVAN
18	[Signature]	87 SOMERSET RD	0 1	Cameron Hamill
19	[Signature]	1 MARBLE WAY	0 1	ROB MORGENSTERN
20	[Signature]	55 TENNESSEE AVE	0 1	Deborah D Culbertson

Instructions to Registrars

You must time-stamp or write in date and time these papers are received.
Check them against the names of qualified voters to be certified.

N B no such registered voter at that address.
S B unable to identify signature or address as that of
W B wrong district or community.

ARTICLE _____

(Zoning Map Change: RC-2 and CTEC to R-10 or R-20 - Marble Way)

To see if the Town will vote to amend the Zoning Map of the Town of Nantucket by taking the following actions:

1. Placing the following properties currently located in the Residential Commercial 2 (RC-2) district, in the Residential 10 (R-10) or Residential 20 (R-20) district:

Map	Lot	Number	Street
66	101 (a portion of)	2	Marble Way
66	101.1 (a portion of)		Marble Way

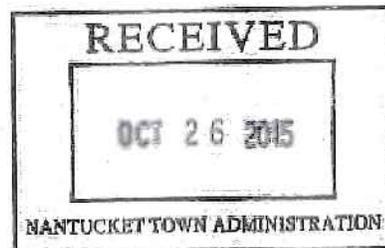
2. Placing the following properties currently located Commercial Trade Entrepreneurship and Craft (CTEC) district, in the Residential 10 (R-10) or Residential 20 (R-20) district:

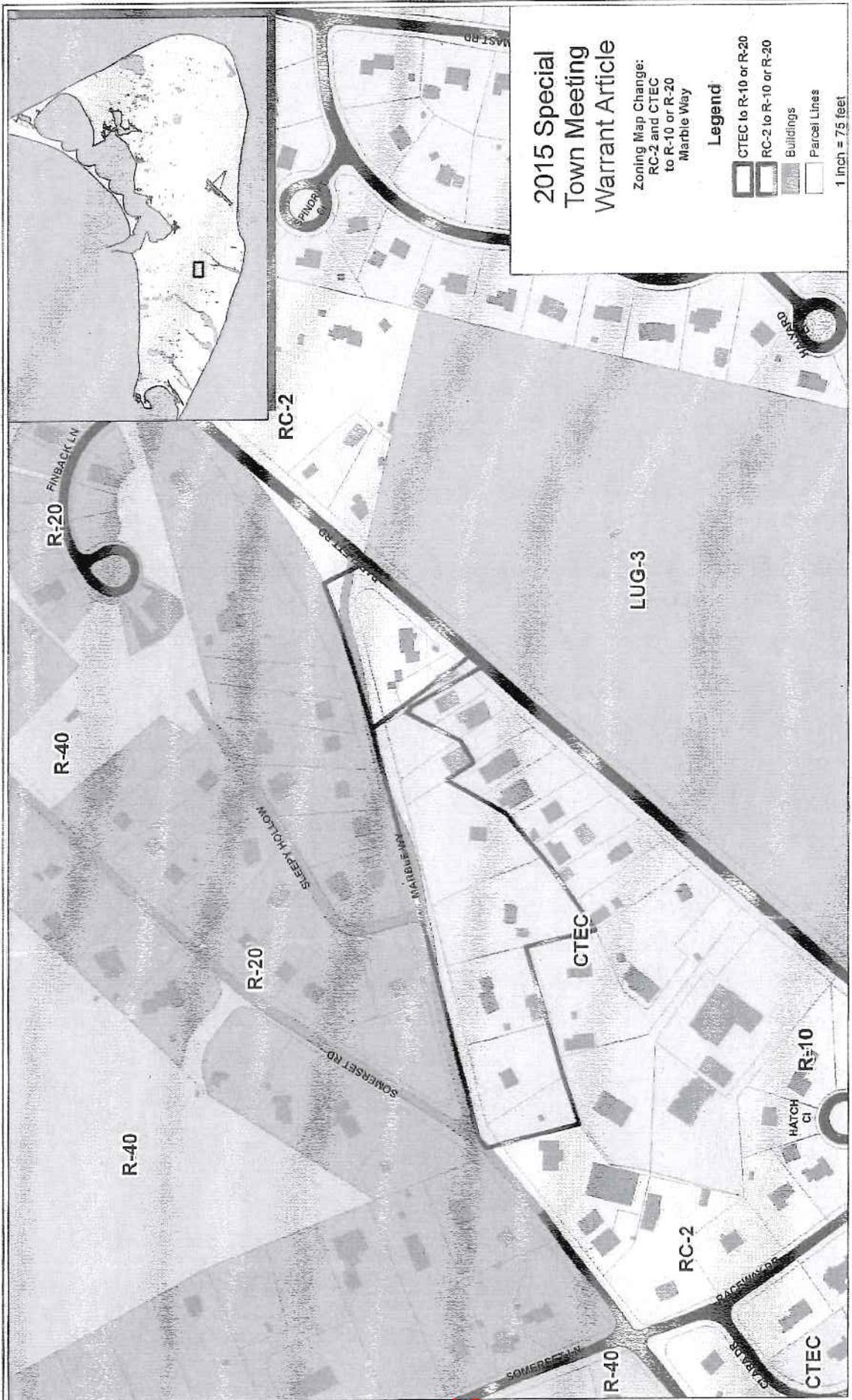
Map	Lot	Number	Street
66	101 (a portion of)	2	Marble Way
66	101.1 (a portion of)		Marble Way
66	102.1	4A	Marble Way
66	102	4B	Marble Way
		6	
66	103	(Lots 202 and 203 on Land Court Plan 28933-6)	Marble Way
66	104	10	Marble Way
66	105	12	Marble Way
66	106	14	Marble Way
66	106.1	16	Marble Way

All as shown on a map entitled "2016 Annual Town Meeting Warrant Article _____ Zoning Map Change: RC-2 and CTEC to R-10 or R-20 - Marble Way" dated October 23rd, 2015 and filed herewith at the Office of the Town Clerk.

Or to take any other action related thereto.

(Board of Selectmen for Planning Board)





2015 Special Town Meeting Warrant Article

Zoning Map Change:
 RC-2 and CTEC
 to R-10 or R-20
 Marble Way

Legend

-  CTEC to R-10 or R-20
-  RC-2 to R-10 or R-20
-  Buildings
-  Parcel Lines

1 inch = 75 feet

Project and information of any other
 information should be referred to the
 Planning Department, 200 State Street, 2nd
 Floor, Nantucket, MA 02554
 Town of Nantucket
 2 Flagship Road
 Nantucket, MA 02554



Town of Nantucket - GIS Mapsheet



The data on this map was prepared for the purpose of
 providing information to the public. It is not intended
 for use in any legal proceeding. The Town of Nantucket
 does not warrant the accuracy or completeness of the
 information provided on this map. The user assumes all
 responsibility for any use of the information provided
 on this map.

This map was prepared by the Planning Department
 on 10/13/2015. The data was last updated on 10/13/2015.
 The map was prepared by the Planning Department
 on 10/13/2015. The data was last updated on 10/13/2015.

ANNUAL TOWN MEETING - CITIZEN'S ARTICLE

To see if the Town will vote to:

DATE and TIME this paper received by Registrars
 11-6-2015
 11:57 AM JF

To see if the Town will vote to authorize the Board of Selectmen to acquire by purchase, gift or eminent domain the fee or lesser interests together with any public and private rights of passage for public ways and/or general municipal purposes in all or any portion of the unconstructed right of way in the Surfside Area on Woodbine Street consisting of approximately 10,000 square feet as shown on the plan attached hereto.

SIGNERS' STATEMENT We are qualified voters of the Commonwealth of Massachusetts and of the Town of Nantucket.

INSTRUCTIONS TO SIGNERS:

Your signature should be written as substantially as registered. If you are prevented, by physical disability, from writing you may authorize some person to write your name and residence in your presence.

	I	II	W P	III
	Signatures to be made in person with name substantially as registered (except in case of physical disability as stated above)	Now Living At (Street and Number)	are recorded	PRINTED NAME
1		31 Somerset Lane	0 1	Sila B. Brecher
2		8C Trinity Acres Ln.	0 1	Yolanda Fernandez-Corral
3		PO Box 545 9A Purgants Neck	0 1	Jessica Ryder
4		11 Deer Run Rd.	0 1	Brenda H. Dunham
5		5 Sesapara Rd	0 1	Anne M. Lanman
6		41 Somerset Lane	0 1	Kathryn L. Gladden
7		31 Somerset Ln	0 1	Jessie M. Brecher
8		25 PEARSON ROAD	0 1	PATRICIA A. HALSTED
9		25 East Daffodil	0 1	Jane LOVERING
10		67 Oak Ln	0 1	Danton Heath
11		3 Anna Drive	0 1	Richard P. Beauette
12		19 Friendship Lane	0 1	Bryan Swain
13		4 Healds View	0 1	Lauren Haythya
14		250 Pelham Rd.	0 1	Rhodell Wainwright
15		41 SOMERSET LANE	0 1	RICHARD J. QUINN
16			0 1	
17			0 1	
18			0 1	
19			0 1	
20			0 1	

Instructions to Registrars

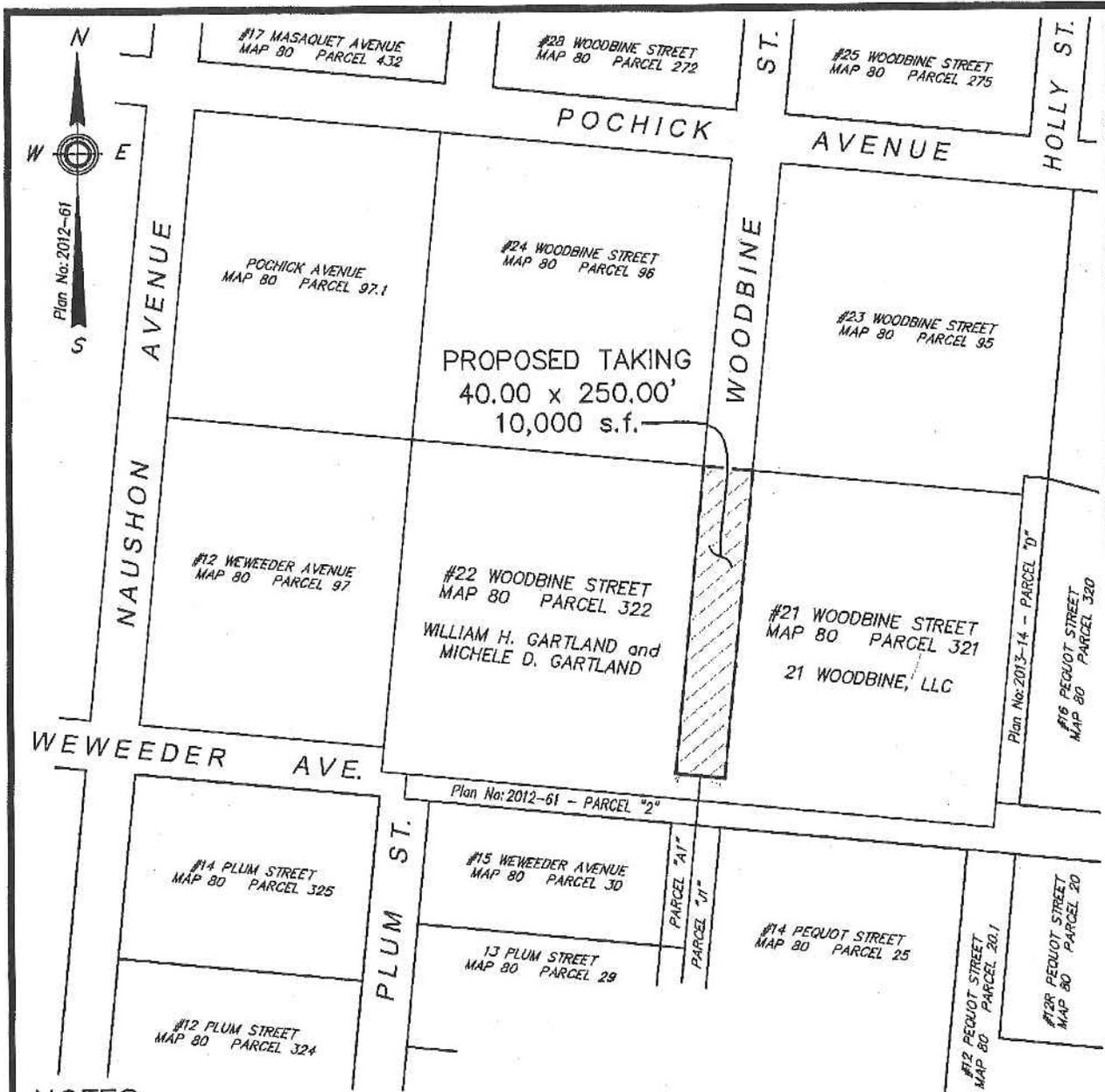
You must time-stamp or write in date and time these papers are received.
 Check this against the name of qualified voter to be certified.
 For names not certified, use the codes opposite.

N B no such registered voter at that address.
 S B unable to identify signature or address as that of
 W B wrong district or community.
 T B already signed this petition.

CERTIFICATION OF SIGNATURES
 We certify that 14 Danton Heath
 signatures checked this are names of voters of the
 Town of Nantucket and are qualified to sign this petition.

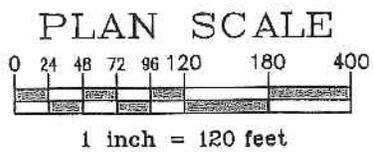
(at least three Registrars' names must be signed below)

 Registrars of Voters of the Town of Nantucket



NOTES:

1. LOCUS: WOODBINE STREET
2. PLAN: Plan No: 2012-61
Plan No: 2010-56
Plan File: 54-W



BRACKEN ENGINEERING, INC.

49 HERRING POND ROAD
BUZZARDS BAY, MA 02532
(tel) 508-833-0070
(fax) 508-833-2282

19 OLD SOUTH ROAD
NANTUCKET, MA 02554
(tel) 508-325-0044
www.brackeneng.com

YARD SALE EXHIBIT PLAN
IN NANTUCKET, MASSACHUSETTS

Prepared for: **TOWN OF NANTUCKET**

#21 WOODBINE ST. - MAP 80 PARCEL 321
~ and ~
#22 WOODBINE ST. - MAP 80 PARCEL 322

Date: **AUGUST 31, 2015**

Checked: **AMG**

Drawn By: **RMM/ERC/DLH**

S:\Autocad Drawings\Nantucket\Woodbine Street\32 Woodbine Street\22 Woodbine St - yard sale exhibit.dwg

ANNUAL TOWN MEETING - CITIZEN'S ARTICLE
 To see if the Town will vote to:

DATE and TIME this paper received by
 Registrars 11-6-2015
 11:57 AM

To see if the Town will vote to authorize the Board of Selectmen to convey, sell or otherwise dispose of the fee title or lesser interests in all or any portion of land known as Woodbine as shown on the plan attached hereto, subject to Chapter 30B of the Massachusetts General Laws and guidelines established under the "Nantucket Yard Sales" program on file at the Board of Selectmen's office, such disposition to be on such terms and conditions as the Board of Selectmen deem appropriate, which may include the reservation of easements and restrictions.

SIGNERS' STATEMENT We are qualified voters of the Commonwealth of Massachusetts and of the Town of Nantucket.

INSTRUCTIONS TO SIGNERS:

Your signature should be written as substantially as registered. If you are prevented, by physical disability, from writing you may authorize some person to write your name and residence in your presence.

	I	II	W P a r r e c d c o l	PRINTED NAME
	Signatures to be made in person with name substantially as registered (except in case of physical disability as stated above)	Now Living At (Street and Number)		
1		31 Somerset Lane	0 1	John B. Harscher
2		28 Thirty Acres Ln	0 1	Yokunda Fernandez Cost
3	Jessica Rydman	5A Fairground S	0 1	Jessica Rydman
4	Brenda H. Dunham	116 Deer Run Rd.	0 1	Brenda H. Dunham
5		5 Sesapana Rd.	0 1	Anne M. Laman
6		41 Concord Road	0 1	Kathleen L. G. Stetson
7		31 Somerset Ln	0 1	Jessie M. Brescher
8	Patricia A. Harsted	25 BLENSTED RD	0 1	PATRICIA A HARSTED
9	Dayton Thomas	67 OAK LANE	0 1	Dayton Thomas
10	Jane Lovelace	25 Daffodil	0 1	Jane LOVELACE
11		3 Anna Drive	0 1	Aidrone P. Bedwette
12		19 Friendship Lane	0 1	Byron Swan
13		48 Henderwood Dr	0 1	Loreen Martola
14		280 Palmetto	0 1	Rhoda G. Wearman
15		41 SOMERSET LN	0 1	NICHOLAS J. GILBORG
16			0 1	
17			0 1	
18			0 1	
19			0 1	
20			0 1	

Instructions to Registrars

You must time-stamp or write in date and time these papers are received

Check this against the name of qualified voter to be certified. For names not certified, use the codes opposite.

- N B no such registered voter at that address.
- S B unable to identify signature or address as that of
- W B wrong district or community.
- F B already signed this petition.

CERTIFICATION OF SIGNATURES

We certify that (13) THIRTEEN signatures checked this are names of voters of the Town of Nantucket and are qualified to sign this petition.

at least three Registrars' names must be signed or stamped below)

Registrars of Votes of the Town of Nantucket

ANNUAL TOWN MEETING - CITIZEN'S ARTICLE

To see if the Town will vote to:

(Full text of proposed Article attached.)

DATE and TIME this paper received by
 Registrars *B 12:00 PM 11/13/15*
1 *JH*

SIGNERS' STATEMENT We are qualified voters of the Commonwealth of Massachusetts and of the Town of Nantucket.

INSTRUCTIONS TO SIGNERS:

Your signature should be written as substantially as registered. If you are prevented, by physical disability, from writing you may authorize some person to write your name and residence in your presence.

	I	II	W P a r r e d c e 0 1	III PRINTED NAME
	Signatures to be made in person with name substantially as registered (except in case of physical disability as stated above)	Now Living At (Street and Number)		
1	<i>[Signature]</i>	5 Pinkham Circle	0 1	Joseph T. Grause, Jr.
2	<i>[Signature]</i>	5 Pinkham Circle	0 1	Maria M. Grause
3	<i>[Signature]</i>	5 NORTH PASTORE LANE	0 1	LOUIS R. GENNARO
4	<i>[Signature]</i>	33 RIDGE LANE	0 1	RICHARD J. HUSSEY
5	<i>[Signature]</i>	4 HENDERSON'S DR	0 1	BRUCE D. MILLER
6	<i>[Signature]</i>	4 Henderson Dr	0 1	Jessie Miller
7	<i>[Signature]</i>	33 Ridge Lane	0 1	Sharon W. Hussey
8	<i>[Signature]</i>	3 Anna Drive	0 1	Richard P. Beaudette
9	<i>[Signature]</i>	1 Falloch St.	0 1	GROSSE BRAUSVAUD
10	<i>[Signature]</i>	5 Marble Way	0 1	HEIDI K DANIELS GIKVNU
11	<i>[Signature]</i>	6 Old Guidet Mill Ln	0 1	Nancy Maylan
12	<i>[Signature]</i>	37 Orange St	0 1	MARGARET TRAMPOSCH
13	<i>[Signature]</i>	159 Hummock Pass Rd	0 1	LEWIS L. LOCKERS
14	<i>[Signature]</i>	11 North Point	0 1	S. A. Cochran (Stephen)
15	<i>[Signature]</i>	23 Pine Hill Road	0 1	Walter S. Bortolke
16	<i>[Signature]</i>	23 Flintlock Rd.	0 1	Eleanor Roethke
17	<i>[Signature]</i>	5 N. Pastore Ln	0 1	DOROTHY B GENNARO
18	<i>[Signature]</i>	31 Summit Ln	0 1	John B. Bricker
19	<i>[Signature]</i>	5 Sesapara Rd	0 1	Anne M. Larman
20	<i>[Signature]</i>	Jessie M. Bricker 31 Somerset Ln	0 1	JESSIE M BRICKER

Instructions to Registrars

You must time-stamp or write in date and time these papers are received.

Check this against the name of qualified voter to be certified. For names not certified, use the codes opposite.

N B no such registered voter at that address.

S B unable to identify signature or address as that of

W B wrong district or community.

T B already signed this petition.

CERTIFICATION OF SIGNATURES

We certify that 19 NINETEEN signatures checked this are names of voters of the Town of Nantucket and are qualified to sign this petition.

(at least three Registrars names must be signed or stamped below)

James M. Coffin
Doril Good

Registrars of Voters of the Town of Nantucket

RECEIVED
 NOV 13 2015
 NANTUCKET TOWN ADMINISTRATION

[Signature]

Annual Town Meeting 2016

Joseph T. Grause, Jr.

Citizens Article Proposed Language:

To see if the Town will vote pursuant to the provisions of G.L. c.43B, §10 to amend the Town Charter to change the position of Town Clerk from elected to appointed by revising the provisions of Article III, Section 3.4, Selectmen Powers as to Appointments, Article IV, Section 4.4, Town Administration Departments, Article IV, Section 4.7, Town Clerk, Article IV, Section 6.6, Time of Taking Effect, all as set forth below:

Article III, Board of Selectmen, Section 3.4(a)(2), Board of Selectmen Appointments – To appoint Town Counsel, ~~Town Clerk~~ and registrars of voters and other election officials (upon the recommendation of the Town Clerk), also other Town officers and employees to the extent so permitted to them by this Charter;

Article IV, Town Administration, Section 4.4(a), Town Administration Departments - The Town Administration shall include the Building, Finance, Fire, Health, Island Home, Marine and Coastal Resources, Police, Public Works, ~~Town Clerk~~, and Visitors Services departments; provided, however, that nothing in this Charter mandates the continued existence of any such Town Administration department or continuance of a department name or function.'

Article IV, Town Administration, Section 4.7, Town Clerk – Delete said section in its entirety and renumber the remaining sections in Article IV accordingly.

Article VI, General Provisions, Section 6.6, Time of Taking Effect – Delete the text thereof in its entirety and insert the following new text:

~~The Charter amendments approved at the 2016 Annual Town Meeting shall take effect upon approval of the voters at the 2017 Annual Town Election; provided, however, that the then-incumbent elected Town Clerk shall serve out the remainder of the elected term, subject to her sooner resignation, recall or retirement. Upon the expiration of said term or sooner vacating of office, the position of elected Town Clerk shall be abolished and the Town Clerk shall thereafter be appointed position in accordance with Section 3.4(a)(2) of this Charter.~~

Or to take any other action in related thereto.

(NOTE: new language is shown as highlighted text, language to be deleted is shown by strikethrough; these methods to denote changes are not meant to become part of the final text)

ANNUAL TOWN MEETING - CITIZEN'S ARTICLE

To see if the Town will vote to: *Exempt PWCs engaged in a Flyboard operation from §137-18*

DATE and TIME this paper received by Registrars
Nov 18, 2015
1:50 PM

SIGNERS' STATEMENT We are qualified voters of the Commonwealth of Massachusetts and of the Town of Nantucket.

INSTRUCTIONS TO SIGNERS:

Your signature should be written as substantially as registered. If you are prevented, by physical disability, from writing your name, you may authorize some person to write your name and residence in your presence.

RECEIVED
 PRINTED NAME
NOV 18 2015
 NANTUCKET TOWN ADMINISTRATION

	I	II	W	P	III
	Signatures to be made in person with name substantially as registered (except in case of physical disability as stated above)	New Living At (Street and Number)	D	R	PRINTED NAME
1	<i>[Signature]</i>	18 Golfview Dr	0	1	Max Perkins
2	<i>[Signature]</i>	18 Golfview Dr	0	1	Blair Perkins
3	<i>[Signature]</i>	18 Golfview Dr.	0	1	Rachael Z-Silin
4	<i>[Signature]</i>	18 Golfview Dr.	0	1	Alex Perkins
5	<i>[Signature]</i>	14 Roberts Lane	0	1	JULIE REINEMO
6	<i>[Signature]</i>	14 ROBERTS LN	0	1	Karsten Reinemo
7	<i>[Signature]</i>	6 ALLENS LN	0	1	ANDY ROBERTS
8	<i>[Signature]</i>	17 SEIKENNA PLACE	0	1	MARC GERTNER
9	<i>[Signature]</i>	44 W CHESTER ST	0	1	JONAS D BARRY
10	<i>[Signature]</i>	21 Allens Lane	0	1	William A Tommasi Jr.
11	<i>[Signature]</i>	14 Evergreen Way	0	1	Lisa T Holdgate
12	<i>[Signature]</i>	2 Doc Adams Dr	0	1	STEVE TORRETTA
13	<i>[Signature]</i>	61 SKYLENE DR	0	1	BZLL DAVENSON
14	<i>[Signature]</i>	16 Allens Lane	0	1	RONI ROBERTS
15	<i>[Signature]</i>	8 1/2 S. Pasture Ln	0	1	CAROL WALSH
16	<i>[Signature]</i>	4 Camelia Lane	0	1	<i>[Signature]</i>
17	<i>[Signature]</i>	17 Folger Ave	0	1	Michele Kelsey
18	<i>[Signature]</i>	18 bloncaster street	0	1	Juelle Bouchard
19			0	1	
20			0	1	

Instructions to Registrars

You must time-stamp or write in date and time these papers are received.

Check this against the name of qualified voter to be certified. For names not certified, use the codes opposite.

- N B no such registered voter at that address.
- S B unable to identify signature or address as that of
- W B wrong district or community.
- T B already signed this petition.

CERTIFICATION OF SIGNATURES

We certify that (17) Seventeen signatures checked this are names of voters of the Town of Nantucket and are qualified to sign this petition.

(at least three Registrars= names must be signed or stamped below)

[Signatures]
 Registrars of Voters of the Town of Nantucket



November 5, 2015

Flyboard Nantucket
PO Box 2095
Nantucket, MA
02584

Citizen's Warrant Article: Exempt PWCs engaged in a flyboard operation from §137-18.

Define new terms related to flyboarding and specify their exemption.

1. Definitions

In this instrument:

Flyboard means an aerial freestyle device that:

- a) is a positively buoyant board, with foot holds or strappings, designed to support a person; and
- b) is used in a flyboard operation.

Flyboard operation means an operation in which:

- a) a flyboard is powered by a PWC through a hose connected from the PWC's outlet venturi; and
- b) the PWC is controlled by an instructor and creates thrust to propel the flyboard through and out of the water; and
- c) the person on the flyboard can control flight direction, including the direction of the PWC.

d) PWC can only be controlled by person on flyboard. It does not function in a conventional manner.

Instructor means a person who controls a PWC.

Personal watercraft (or PWC) means a vessel that:

- a) uses an inboard motor powering a water jet pump or a propeller as its primary source of motive power; and
- b) is designed to be operated by a person sitting, standing or kneeling on the vessel rather than the conventional manner of sitting or standing inside a vessel; and
- c) is used in a flyboard operation.

Licensed flyboarding means an individual or corporation that:

- a) has proper instructor certifications; and
- b) has a minimum of USCG OUPV license; and
- c) complies with all manufacturer recommendations; and

- d) complies with all relevant regulations; and
- e) engages in flyboard operation.

2. Exemptions

Licensed flyboarding is exempt from Town of Nantucket Bylaw section §137-18 subsections B, C and D.

Max and Alex Perkins
Flyboard Nantucket
(508) 332-0822
flyboardnantucket@gmail.com
www.flyboardnantucket.com

ANNUAL TOWN MEETING - CITIZEN'S ARTICLE

To see if the Town will vote to:

DATE and TIME this paper received by Registrars

Nov 19, 2015
10:34 AM

(Home Rule Petition: Amendment of the Town of Nantucket Charter)

To see if the Town of Nantucket will vote to request its representatives in the General Court to introduce legislation amending the Town of Nantucket Charter, Chapter 289 of the Acts of 1996, as set forth below, and to authorize the General Court, with the approval of the Board of Selectmen of the Town, to make constructive changes in perfecting the language of this legislation in order to secure passage, it being the intent to authorize the Board of Selectmen and General Court to vary the specific text of the requested legislation within the scope of the general public objectives of this home rule petition, such legislation to read substantially as follows:

AN ACT AMENDING THE TOWN OF NANTUCKET CHARTER TO IMPOSE TERM LIMITS

Be it enacted by the Senate and House of Representatives in General Court assembled, and by the authority of the same, as follows:

SECTION 1. Article III of the Town of Nantucket Charter, Chapter 289 of the Acts of 1996, shall be amended by inserting after Section 3.5 the following:

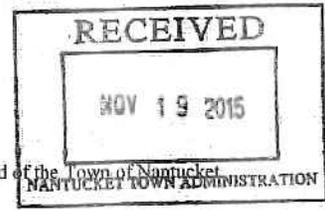
Section 3.6 – Term Limits

An elected or appointed member of any multiple member town board, whether created under the general laws, a special act, this charter or the bylaws of the Town, shall not serve on that town board for more than three consecutive terms. For the purposes of this section, service to complete the term of another member shall constitute service for one term if the balance of said term being completed is more than fifty percent of the original term. A person who has been prohibited from serving on a town board by this section may be reelected or reappointed to that board after one year has elapsed from the ending date of his or her previous service on that board.

SECTION 2. This act shall take effect upon its passage.

Or to take any other action related thereto.

SIGNERS' STATEMENT We are qualified voters of the Commonwealth of Massachusetts and of the Town of Nantucket.



INSTRUCTIONS TO SIGNERS:

Your signature should be written as substantially as registered. If you are prevented, by physical disability, from writing you may authorize some person to write your name and residence in your presence. If you HAVE moved since June 1, please complete column III.

	I	II	W P a r e d 0	P r e s e n t 1	III PRINTED NAME (And Previous Residence if different than column II)
1	<i>[Signature]</i>	22 Seagram Rd.	0	1	ROBERT R. DeCosta
2	<i>[Signature]</i>	40 White St	0	1	Nantucket 4 White St
3	<i>[Signature]</i>	7 PINE TREE ROAD	0	1	JOSEPH F. ARNONE
4	<i>[Signature]</i>	7 BARTLETT	0	1	JOE LOZOUZINI
5	<i>[Signature]</i>	2 Boynton Ln	0	1	Melissa Perry
6	<i>[Signature]</i>	52 Somerset Rd	0	1	PAMELA COLE-CAPAZZA
7	<i>[Signature]</i>	5 Bayberry Lane	0	1	MICHAEL S. BEAN
8	<i>[Signature]</i>	22 VESTAL ST	0	1	RICHARD EMEKY
9	<i>[Signature]</i>	72 Hummock Pond Rd	0	1	Thomas Daly
10	<i>[Signature]</i>	72 Hummock Pond Rd	0	1	Linda J. Daly
11	<i>[Signature]</i>	5 Hull Ln	0	1	Chris Roche
12	<i>[Signature]</i>	5 Hull Ln	0	1	Corey Roche
13	<i>[Signature]</i>	8 N. Beach St	0	1	Peter Kaizer
14	<i>[Signature]</i>	7 Otter Rd	0	1	Lindsay Knapp

15	Jane Kayler	8 North Beach	0	1	THAT KAIZER
16	Vivka Dimonney	175 Orange St	0	1	ENKE D. MOONEY
17	Kathy M	16 Woodland Drive	0	1	Katherine Cabral
18			0	1	
19			0	1	
20			0	1	

Instructions to Registrars

You must time-stamp or write in date and time these papers are received.

Check this against the name of qualified voter to be certified.
For names not certified, use the codes opposite.

N no such registered voter at that address.

S unable to identify signature or address as that of

W wrong district or community.

T already signed this petition.

CERTIFICATION OF SIGNATURES

We certify that (13) THIRTEEN
signatures checked this are names of voters of the
Town of Nantucket and are qualified to sign this petition.

(at least three Registrars' names must be signed or stamped below)

Christina Plenge Jover

James M. Coffey

David Good

Registrars of Voters of the Town of Nantucket

ANNUAL TOWN MEETING - CITIZEN'S ARTICLE

To see if the Town will vote to:

DATE and TIME this paper received by Registrars
 Nov 19 2015
 12:14 pm

RECEIVED
 NOV 19 2015
 NANTUCKET TOWN ADMINISTRATION

SIGNERS' STATEMENT We are qualified voters of the Commonwealth of Massachusetts and of the Town of Nantucket.

INSTRUCTIONS TO SIGNERS:

Your signature should be written as substantially as registered. If you are prevented, by physical disability, from writing you may authorize some person to write your name and residence in your presence. If you HAVE moved since June 1, please complete column III.

I	C Signatures to be made in person with name substantially as registered (except in case of physical disability as stated above)	II Now Living At (Street and Number)	W P		III PRINTED NAME (And Previous Residence if different than column II)
			a r	d c	
1	[Signature]	19 Abigail Farm Rd.	0	1	Dylan H. Wallace
2	[Signature]	8 Wynn St	0	1	RICHARD S. ARNOLD
3	[Signature]	11 Pond Rd	0	1	John Kusza
4	[Signature]	28 Kelley Rd	0	1	Patricia C Myers
5	[Signature]	53 Polpis Rd	0	1	Samuel H. Slesak
6	[Signature]	18 A MARY ANN DR	0	1	MICHELLE WHELAN
7	[Signature]	1 Mohball Way	0	1	John W. BARTLETT
8	[Signature]	2 HARTARD LANE	0	1	RANDY HUSON
9	[Signature]	5 Bartlett Farm Rd	0	1	Dean Long
10	[Signature]	58 Somersett Cl.	0	1	Martin E McBowen
11	[Signature]	73 ORANGE ST.	0	1	STEPHEN L. BEWDER
12	[Signature]	72 Creek Ln	0	1	Carl Keller III
13	[Signature]	4 Allens Lane Apt A	0	1	Miguel Hernandez
14	[Signature]	192 Abigail Farm Road	0	1	Claudia Antle
15	[Signature]	22 Pine Crest Drive	0	1	Justine Paradis
16	[Signature]	4 Strawberry Lane	0	1	Aucila Raymo
17	[Signature]	16 Allens Lane	0	1	RANDY ROBERTS
18	[Signature]	16 Allens Lane	0	1	ANDY ROBERTS
19	[Signature]	18 A EVERETT WAY	0	1	TYLER HERRICK
20	[Signature]	300 Polpis Rd	0	1	Caleb Cressman

Instructions to Registrars

You must time-stamp or write in date and time these papers are received.
 Check this against the name of qualified voter to be certified. For names not certified, use the codes opposite.

N no such registered voter at that address.
 S unable to identify signature or address as that of
 W wrong district or community.
 T already signed this petition.

CERTIFICATION OF SIGNATURES
 We certify that (18) Eighteen signatures checked this are names of voters of the Town of Nantucket and are qualified to sign this petition.

(at least three Registrars' names must be shown or stamped below)
 Gary M. Coffin
 [Signature]
 [Signature]
 Registrars of Voters of the Town of Nantucket
 David Good

TOWN OF NANTUCKET RIGHT TO FARM BY-LAW

Section 1 Legislative Purpose and Intent

The purpose and intent of this By-law is to state with emphasis the Right to Farm accorded to all citizens of the Commonwealth under Article 97, of the Constitution, and all state statutes and regulations thereunder including but not limited to Massachusetts General Laws Chapter 40A, Section 3, Paragraph 1; Chapter 90, Section 9, Chapter 111, Section 125A and Chapter 128 Section 1A.

We the citizens of Nantucket restate and republish these rights pursuant to the Town's authority conferred by Article 89 of the Articles of Amendment of the Massachusetts Constitution, ("Home Rule Amendment").

This General By-law encourages the pursuit of agriculture, promotes agriculture-based economic opportunities, and protects farmlands within the Town of Nantucket by allowing agricultural uses and related activities to function with minimal conflict with abutters and Town agencies.

This By-law shall apply to all jurisdictional areas within the Town of Nantucket.

Section 2 Definitions

The word "farm" shall include any parcel or contiguous parcels of land, or water bodies used for the primary purpose of commercial agriculture, or accessory thereto. The words "farming" or "agriculture" or their derivatives shall include, but not be limited to the following: • farming in all its branches and the cultivation and tillage of the soil; • dairying; • production, cultivation, growing, and harvesting of any agricultural, aquacultural, floricultural, viticultural, or horticultural commodities; • growing and harvesting of forest products upon forest land, and any other forestry or lumbering operations; • raising of livestock including horses; • keeping of horses as a commercial enterprise; and • keeping and raising of poultry, swine, cattle, ratites (such as emus, ostriches and rheas) and camelids (such as llamas and camels), and other domesticated animals for food and other agricultural purposes, including bees and fur-bearing animals.

"Farming" shall encompass activities including, but not limited to, the following: • operation and transportation of slow-moving farm equipment over roads within the Town; • control of pests, including, but not limited to, insects, weeds, predators and disease organism of plants and animals; • application of manure, fertilizers and pesticides; • conducting agriculture-related educational and farm-based recreational activities, including agri-tourism, provided that the activities are related to marketing the agricultural output or services of the farm; • processing and packaging of the agricultural output of the farm and the operation of a farmer's market or farm stand including signage thereto; • maintenance, repair, or storage of seasonal equipment, or apparatus owned or leased by the farm owner or manager used expressly for the purpose of

propagation, processing, management, or sale of the agricultural products; and • on-farm relocation of earth and the clearing of ground for farming operations.

Section 3 Right To Farm Declaration

The Right to Farm is hereby recognized to exist within the Town of Nantucket. The above-described agricultural activities may occur on holidays, weekdays, and weekends by night or day and shall include the attendant incidental noise, odors, dust, and fumes associated with normally accepted agricultural practices. It is hereby determined that whatever impact may be caused to others through the normal practice of agriculture is more than offset by the benefits of farming to the neighborhood, community, and society in general. The benefits and protections of this By-law are intended to apply exclusively to those commercial agricultural and farming operations and activities conducted in accordance with generally accepted agricultural practices. Moreover, nothing in this Right To Farm By-law shall be deemed as acquiring any interest in land, or as imposing any land use regulation, which is properly the subject of state statute, regulation, or local zoning law.

Section 4 Disclosure Notification

Not later than 21 days after the purchase and sale contract is entered into, or prior to the sale or exchange of real property if no purchase and sale agreement exists, for the purchase or exchange of real property, or prior to the acquisition of a leasehold interest or other possessory interest in real property, located in the Town of Nantucket, the landowner shall present the buyer or occupant with a disclosure notification which states the following: "It is the policy of this community to conserve, protect and encourage the maintenance and improvement of agricultural land for the production of food, and other agricultural products, and also for its natural and ecological value. This disclosure notification is to inform buyers or occupants that the property they are about to acquire or occupy lies within a town where farming activities occur. Such farming activities may include, but are not limited to, activities that cause noise, dust and odors. Buyers or occupants are also informed that the location of property within the Town may be impacted by commercial agricultural operations including the ability to access water services for such property under certain circumstances." A copy of the disclosure notification shall be given on a form prepared by the Town and shall be signed by the landowner prior to the sale, purchase, exchange or occupancy of such real property. A copy of the disclosure notification must be filed with the Board of Selectmen or its designee prior to the sale, purchase, exchange or occupancy of such real property. In addition to the above, a copy of this disclosure notification shall be provided by the Town to landowners each fiscal year by mail. A violation of Section 4 shall be subject to a fine of \$300 and shall be enforced by the Board of Selectmen or its designee. The Town is authorized to enforce Section 4 under the non-criminal disposition provision of G.L. c. 40, § 21D.

Section 5 Resolution of Disputes [Applicable only in communities that have Agricultural Commissions.]

Any person who seeks to complain about the operation of a farm may, notwithstanding pursuing any other available remedy, file a grievance with the Select Board, the Zoning Enforcement Officer, or the Board of Health, depending upon the nature of the grievance. The filing of the

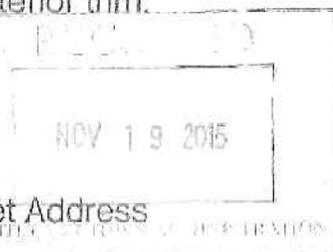
grievance does not suspend the time within which to pursue any other available remedies that the aggrieved may have. The Zoning Enforcement Officer or Select Board shall forward a copy of the grievance to the Agricultural Commission or its agent, which shall review and facilitate the resolution of the grievance, and report its recommendations to the referring Town authority within an agreed upon time frame. The Board of Health, except in cases of imminent danger or public health risk, shall forward a copy of the grievance to the Agricultural Commission or its agent, which shall review and facilitate the resolution of the grievance, and report its recommendations to the Board of Health within an agreed upon time frame.

Section 6 Severability Clause

If any part of this By-law is for any reason held to be unconstitutional or invalid, such decision shall not affect the remainder of this By-law. The Town of Nantucket hereby declares the provisions of this By-law to be severable.

Appropriate the sum of One Hundred Fifty Thousand Dollars (\$150,000.00) for repairs to the Siasconset Fire Station to include replacing the front entry doors, front steps and all rotten trim, and repainting all exterior trim.

12:29

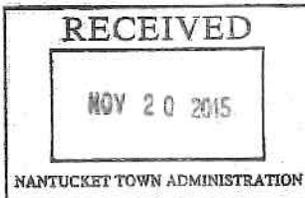


Signature	Print Name	Street Address
<i>Nelson K Eldridge</i>	Nelson K. Eldridge	2 Eldridge Ln
<i>Robert Benchley III</i>	ROBERT BENCHLEY III	65 SANKAM RD
<i>Jared Smith</i>	Jared Smith	64 Hooper Farm Rd.
<i>Charles E Eldridge</i>	CHARLES E. ELDRIDGE	7 CLIFTON ST
<i>George Vollans</i>	GEORGE VOLLANS	47 NEW ST
<i>Carol J. Moffatt</i>	CAROL J. MOFFATT	14 West Sankam Road
<i>Shane Perry</i>	SHANE PERRY	16 1/2 Bartlett Rd.
<i>Chris Holland</i>	Chris Holland	36 Finlode Rd.
<i>Sean Mitchell</i>	Sean Mitchell	15 Macys Ln.
<i>Stephen Murphy</i>	Stephen Murphy	2 Daffodil Ln
<i>Kenn Ramos</i>	Kenn Ramos	55 West St
<i>Matt Aguiar</i>	Matt Aguiar	12 Sertside Dr
<i>Jordan Seitz</i>	Jordan Seitz	13 Teasdale Circle
<i>Christopher M. Gould</i>	Christopher M. Gould	5 Alexandria Dr
<i>John Dugan</i>	John Dugan	14 North Rd

ANNUAL TOWN MEETING - CITIZEN'S ARTICLE

To see if the Town will vote to:

DATE and TIME this paper received by Registrars
November 20, 2015
12:06 p.m.



SIGNERS' STATEMENT We are qualified voters of the Commonwealth of Massachusetts and of the Town of Nantucket.

INSTRUCTIONS TO SIGNERS:

Your signature should be written as substantially as registered. If you are prevented, by physical disability, from writing you may authorize some person to write your name and residence in your presence.

	I	II	W P a r e r e c d e d	III P R I N T E D N A M E
	Signatures to be made in person with name substantially as registered (except in case of physical disability as stated above)	Now Living At (Street and Number)		
1	<i>[Signature]</i>	1 FARMER ST	0 1	KL BEAUBRAND
2	<i>[Signature]</i>	3 DOWNS B Rd	0 1	Mania Zoda
3	<i>[Signature]</i>	13 Nantucket	0 1	Brian Tava
4	<i>[Signature]</i>	10 TROTTERS LANE	0 1	Tim Sovereign
5	<i>[Signature]</i>	97 WISECROFT ST.	0 1	CRYSTINE GUZZI
6	<i>[Signature]</i>	14 Somerset Lane	0 1	Barry G. V. Rector
7	<i>[Signature]</i>	6 S. Proctor Lane	0 1	LINDA F. WILLIAMS
8	<i>[Signature]</i>	31 Hussey St.	0 1	IAN GOLDING
9	<i>[Signature]</i>	4 Vespa Lane	0 1	DAN E. HALLIDAY
10	<i>[Signature]</i>	57 Tom Nevers Road	0 1	Nyelle Richer
11	<i>[Signature]</i>	1 Norwood St	0 1	Gloria L. Whitkus-Sawlett
12	<i>[Signature]</i>	60 Skyline Dr	0 1	MARY D. MALAVASE
13	<i>[Signature]</i>	11 Mittenmast Rd.	0 1	John F. Trudeau III
14	<i>[Signature]</i>	7 Point Juds. Ln	0 1	Erikia Perkins
15	<i>[Signature]</i>	5 RACHEL DRIVE	0 1	GERARDINE MAUER
16			0 1	
17			0 1	
18			0 1	
19			0 1	
20			0 1	

Instructions to Registrars

You must time-stamp or write in date and time these papers are received.

Check this against the name of qualified voter to be certified. For names not certified, use the codes opposite.

- N B no such registered voter at that address.
- S B unable to identify signature or address as that of
- W B wrong district or community.
- T B already signed this petition.

CERTIFICATION OF SIGNATURES

We certify that (13) *thirteen* signatures checked this are names of voters of the Town of Nantucket and are qualified to sign this petition.

(at least three Registrars' names must be signed or stamped below)

James M. Coffey
Dail Good
 Registrars of Voters of the Town of Nantucket

[Signature]

Fiscal Year 2017 Budget Transfers; Community Preservation Committee

To see what sums the Town will vote to transfer into the Community Preservation Committee reserved and unreserved fund balances to turn back the unspent remainder of projects approved in prior fiscal years so that it is available for future appropriations.

FROM	TO	AMOUNT
Article 27 ATM 2006 Mitchell House	Fiscal year 2017 Community Preservation Committee Community Historic Preservation reserved fund balance	2,056.98
Article 27 ATM 2006 St Paul's Episcopal Church	Fiscal year 2017 Community Preservation Committee Community Historic Preservation reserved fund balance	\$157.13
Article 24 ATM 2010 Dreamland foundation	Fiscal Year 2017 Community Preservation Committee Community Historic Preservation reserved fund balance	\$20,522.11
Article 28 ATM 2012 Dreamland Foundation	Fiscal year 2017 Community Preservation Committee Community Historic Preservation reserved	\$27,264.60

	fund balance	
Article 26 ATM 2014	Fiscal year 2017	\$45.33
St. Paul's Episcopal Church	Community Preservation Committee	
	Community Historic Preservation reserved	
	fund balance	
Article 26 ATM 2014	Fiscal year 2017	\$4,880.89
Fireman's Association 1937		
Restoration	Community Preservation Committee	
	Community Historic Preservation reserved	
	fund balance	
Article 30 ATM 2015	Fiscal year 2017	\$.99
St Paul's Episcopal Church	Community Preservation Committee	
	Community Historic Preservation reserved	
	fund balance	
Article 30 ATM 2015	Fiscal year 2017	\$175.00
Star of the Sea Youth Hostel	Community Preservation Committee	
	Community Historic Preservation reserved	
	fund balance	
Total Transfers to Community Historic Preservation		
	Reserved fund balance	\$55 103.03

From	To	AMOUNT
Article 28 ATM 2012	Fiscal Year 2017	\$6,553.84

Town of Nantucket,

Affordable Housing Trust Fund

Community Preservation Committee

Community Housing reserved fund balance

Total transfers to Community Housing Reserved fund

balance \$6,553.84

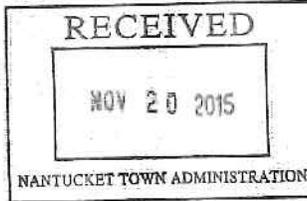
Total transfers back to Community Preservation Reserved Fund

Balances \$61,656.87

Kenneth Beaugrand, et al

ANNUAL TOWN MEETING - CITIZEN'S ARTICLE

To see if the Town will vote to:



DATE and TIME this paper received by Registrars
 Nov 20, 2015
 M. Holmes
 12:06 PM

SIGNERS' STATEMENT We are qualified voters of the Commonwealth of Massachusetts and of the Town of Nantucket.

INSTRUCTIONS TO SIGNERS:

Your signature should be written as substantially as registered. If you are prevented, by physical disability, from writing you may authorize some person to write your name and residence in your presence.

	I	II	W P	III
	Signatures to be made in person with name substantially as registered (except in case of physical disability as stated above)	Now Living At (Street and Number)	a r e c o d e	PRINTED NAME
1	<i>[Signature]</i>	1 FARMER ST	0 1	K. L. BEAUGRAND
2	<i>[Signature]</i>	3 DINGY B ROAD	0 1	Maria Zedde
3	<i>[Signature]</i>	13 W... ..	0 1	FRANCIS H... ..
4	<i>[Signature]</i>	6 Trestler Lane	0 1	Tom Severino
5	<i>[Signature]</i>	97 WEST CHESTER ST.	0 1	KATHINE GLAZER
6	<i>[Signature]</i>	14 Somerset Lane	0 1	Barry G. J. Rectori.
7	<i>[Signature]</i>	60 S. Proctor Lane	0 1	LINDA F. WILLIAMS
8	<i>[Signature]</i>	31 HURRAY ST	0 1	IAN GOLING
9	<i>[Signature]</i>	4 Vesper Lane	0 1	Dawn E. Hall WOODGATE
10	<i>[Signature]</i>	57 1st Newstead	0 1	Neuilla Riches
11	<i>[Signature]</i>	1 Newstead St.	0 1	Glen L. Gale-Smyth
12	<i>[Signature]</i>	6 Skyline Dr	0 1	MARY D. MALAVASE
13	<i>[Signature]</i>	11 Milzenmast Rd.	0 1	John F. Tunde III
14	<i>[Signature]</i>	7 Post Judd Ln	0 1	Erika Perkins
15	<i>[Signature]</i>	5 Rachel Drive	0 1	GERALDINE WALKER
16	 	 	0 1	
17	 	 	0 1	
18	 	 	0 1	
19	 	 	0 1	
20	 	 	0 1	

Instructions to Registrars

You must time-stamp or write in date and time these papers are received.

Check this against the name of qualified voter to be certified. For names not certified, use the codes opposite.

N B no such registered voter at that address.

S B unable to identify signature or address as that of

W B wrong district or community.

T B already signed this petition.

CERTIFICATION OF SIGNATURES

We certify that (14) *Fourteen* signatures checked this are names of voters of the Town of Nantucket and are qualified to sign this petition.

(at least three Registrars names must be signed or stamped below)

James M. Poffen
Daniel Good
[Signature]
 Registrars of Voters of the Town of Nantucket

Appropriation: Fiscal Year 2017 Community Preservation Committee

To see if the Town will vote to act on the report of the Community Preservation Committee on the Fiscal Year 2017 Community Preservation Budget and to appropriate or reserve for later appropriation monies from the Community Preservation Fund annual revenues or available funds for the administrative and operating expenses of the Community Preservation Committee, the undertaking of Community Preservation Projects and all other necessary and proper expenses for the year.

Purpose	Amount
<u>Historic Preservation</u>	
South Church Preservation Fund	
Restoration of the lighting of the Unitarian Meeting House	\$93,068
First Congregational Church of Nantucket	
Restoration of the front and the tower of the Summer Church	\$371,905
Nantucket Historical Association	
Restoration of Quaker Meeting house	\$40,000
Museum of African American History	
Fourth phase of restoration of foundations and out buildings contingent on access to the archeological data uncovered	\$307,246
Hospital Thrift Shop	
Second phase of restoration of structural frame, central chimney, and drainage systems	\$78,700
Preservation Institute Nantucket	
Envision Nantucket, 3D Laser scanning of heritage resources, Phase 3 contingent on public access through GIS	\$107,800
American Legion Post 82	
First phase of conservation and restoration of exterior brick walls contingent on review by Preservation expert and plan to complete total project before funding	\$64,300
Town of Nantucket Natural Resources Department	
Second phase of restoration of the Brant Point shellfish hatchery	\$200,000
 Sub-total	 \$1,263,019

All of the funds to be used in this category are from the Community Preservation surcharge, interest and the State matching funds.

Community Housing

Nantucket Interfaith Council

Housing and rental assistance program \$130,000

Habitat for Humanity Nantucket Inc.

Construct additional houses at Sachem's Path \$250,000

Housing Nantucket

Phase two of four community rental housing units at Surfside Road \$261,000

Housing Nantucket

House recycling project to create two units of affordable rental
Housing, funding for one half of proposed project \$157,500

Town of Nantucket

Funds to pay the interest and principal in the first year of the Bond
authorized at the 2015 Nantucket Town Meeting for the balance of
the infrastructure at the Sachem's Path affordable housing complex \$112,000

Sub-total \$910,500

\$150,000 of the funds utilized for this category is from the Reserve for Community Housing with the balance of the funds to be used in this category from the Community Preservation surcharge, interest and the State matching funds.

Open Space Conservation/Recreation

Town of Nantucket

Funds to pay the interest and principal of the Bond
authorized at the 2012 Nantucket Town Meeting for the creation of
an artificial turf playing field at Nobadeer Farm Road. \$125,000

The Nantucket Pond Coalition

Funds to eradicate phragmites on White Goose cove, Long Pond
subject to approval of the project by the Nantucket Conservation
Commission \$ 24,900

Designated Reserves for Open Space

Allocation to Open Space Reserves for future use \$106,100

Sub-total \$256,000

All of the funds to be used in this category are from the Community Preservation surcharge, interest and the State matching funds.

Community Preservation Committee Undesignated reserves	
Balance of funds available for FY 2017 for future use	\$10,481

All of the funds to be used in this category are from the Community Preservation surcharge, interest and the State matching funds.

Administrative

Community Preservation Committee	
Administrative and operating expenses	\$120,000

<u>Sub-total</u>	\$120,000
-------------------------	------------------

All of the funds to be used in this category from the Community Preservation surcharge and the State matching funds.

<u>TOTAL</u>	\$2,560,000
---------------------	--------------------

All amounts to be appropriated from the following sources:

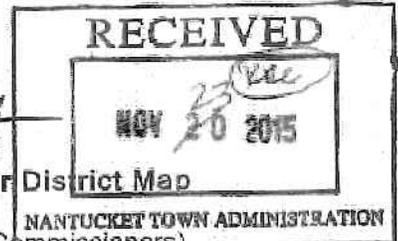
<u>SOURCES</u>	<u>AMOUNT</u>
Raised and appropriated from FY 2017 Community Preservation Surcharge	\$1,914,000
From State matching funds for FY 2016, to be received in 2017	\$ 486,000
From Interest	\$ 10,000
From Designated Reserves for Community Housing	\$ 150,000
<u>Total Revenues</u>	\$ 2,560,000

For fiscal year 2017 Community Preservation Purposes with each item considered a separate appropriation to be spent by the Community Preservation Committee.

Provided however, that the above expenditures may be conditional on the recording of appropriate historic preservation restrictions for historic resources, open space restrictions for open space resources, recreational restrictions for recreational resources and for affordable housing restrictions for community housing; running in favor of an entity authorized by the Commonwealth to hold such restrictions for such expenditures; meeting the requirements of Chapter 184 of the General Laws pursuant to Section 12 of the Community Preservation Act.

Kenneth Beaugrand, et al.

8:13 AM
11/23/15



ARTICLE Bill Budget
(Bylaw Amendment: Board of Sewer Commissioners/Sewer District Map Changes)

To see if the Town will vote to amend Chapter 41 (Board of Sewer Commissioners), section 41-3A (Town Sewer District) of the Code of the Town of Nantucket by adding property located at 17 Milestone Crossing (Assessor Map 68, Parcel 458) to the Town Sewer District.

Or to take any other action related thereto.

- [Signature] Name (signature) Mark Dawson Name (printed) 17 Milestone Crossing Address
- (Mark Dawson, et al)
- [Signature] Name (signature) Robert McGrady Name (printed) 123 Hummock Pond Rd Address
- [Signature] Name (signature) David M. Dickson Name (printed) 7 South Mill St. Address
- [Signature] Name (signature) Brian S. Jones Name (printed) 22 Ridge Ln Address
- [Signature] Name (signature) David Renner Name (printed) 3 Keel Lane Address
- [Signature] Name (signature) Mark Hoseney Name (printed) 7 Oak Hollow Address
- [Signature] Name (signature) PAUL CONNORS Name (printed) 23 ALLARTIC AVE Address
- [Signature] Name (signature) RICHARD SENGUIT Name (printed) 10 JONATHAN WAY Address
- [Signature] Name (signature) David A. Schatz Name (printed) 32 Lovers Lane Address
- [Signature] Name (signature) MADE CHITESTON Name (printed) 82 DOW SOUTH ROAD Address
- [Signature] Name (signature) Sarah Williams Name (printed) 14 Trotters Ln. Address
- [Signature] Name (signature) PETER BOYNTON Name (printed) 61 Vestal St Address
- [Signature] Name (signature) MATTHEW MULLIGAN Name (printed) 25 PROSPER ST Address
- [Signature] Name (signature) Almarie Jones Name (printed) 9 Macomber Ave Address

Name (signature) [Signature] Name (printed) STEPHAN KANIT Address 7 Deer Run Rd

Name (signature) [Signature] Name (printed) Heidi Holdgate Address 12 Bayberry Ln

Name (signature) [Signature] Name (printed) William Steelman Address 81 Cliff Rd

Name (signature) [Signature] Name (printed) Harold Ryker Address 72 Hooper Farm Rd.

Name (signature) [Signature] Name (printed) Susank Spring Address 339 Palis Road

Name (signature) [Signature] Name (printed) DENNIS MERRAIRE Address 3 SHEEP COMMONS

Name (signature) [Signature] Name (printed) FRED TONKIN Address 19 BERKELEY STREET

Name (signature) [Signature] Name (printed) Steve McCurdy Address 11A Orange St.

Name (signature) [Signature] Name (printed) Anna-Karin Dillard Address 86 Centre St

Name (signature) [Signature] Name (printed) Kim Allen Address 6 Anna Dr.

Name (signature) [Signature] Name (printed) Rich Brannigan II Address 5 Fishers Landing Rd

Name (signature) [Signature] Name (printed) Kyle D. SNELL Address 5 Pinecrest Drive

Name (signature) [Signature] Name (printed) Michael Dreyer Address 37 Exeter St.

Name (signature) _____ Name (printed) _____ Address _____

[Signature]

14 (FOURTEEN) SIGNATURES

Jane M. Coffey

72 [Signature]

Town clerk
by lunch Mon.

DATE and TIME this paper received by Registrars
Nov 23 2015
9:10 a.m.
M. J. [Signature]

ANNUAL TOWN MEETING - CITIZEN'S ARTICLE

To see if the Town will vote to:

AMEND THE TOWN SENIOR DISTRICT

RECEIVED
NOV 23 2015
NANTUCKET TOWN ADMINISTRATION

SIGNERS' STATEMENT We are qualified voters of the Commonwealth of Massachusetts and of the Town of Nantucket.

INSTRUCTIONS TO SIGNERS:

Your signature should be written as substantially as registered. If you are prevented, by physical disability, from writing you may authorize some person to write your name and residence in your presence. If you HAVE moved since June 1, please complete column III.

	I	II	W P	III
	Signatures to be made in person with name substantially as registered (except in case of physical disability as stated above)	Now Living At (Street and Number)	a r e d c 0 1	PRINTED NAME (And Previous Residence if different than column II)
1	<input checked="" type="checkbox"/> Donald E. Dimock	61 Bartlett Rd.	0 1	Donald Dimock CA
2	<input checked="" type="checkbox"/> [Signature]	3 Keel Lane	0 1	James Renner
3	<input checked="" type="checkbox"/> [Signature]	3 Keel Lane	0 1	Debra Renner
4	<input checked="" type="checkbox"/> [Signature]	3 KEEL LANE	0 1	JAMES RENNER
5	<input checked="" type="checkbox"/> Augusto C Ramos	20 90 SHORE ROAD	0 1	AUGUSTO C RAMOS
6	<input checked="" type="checkbox"/> Linda Sullivan	12 SUNISLAND RD	0 1	LINDA SULLIVAN
7	<input checked="" type="checkbox"/> [Signature]	25 Sand Pit	0 1	Robert A S Gillett
8	<input checked="" type="checkbox"/> [Signature]	11 Hussey Farm	0 1	Matt Lamb
9	<input checked="" type="checkbox"/> [Signature]	5 Deer Ryder dr	0 1	Janie Lamb
10	<input checked="" type="checkbox"/> Kevin Husker	15 Bartlett rd	0 1	Kevin Husker
11	<input checked="" type="checkbox"/> [Signature]	6 NOBBSKA WAY	0 1	MANUEL R. GILMA
12	<input checked="" type="checkbox"/> [Signature]	5 Deer Run Rd	0 1	Alexand Bell
13	<input checked="" type="checkbox"/> Joanne Skoloff	20 TIMS WAY	0 1	JOANNE SKOLOFF
14	<input checked="" type="checkbox"/> [Signature]	23A Hummock Rd.	0 1	Stephen M. Conanti Jr
15	<input checked="" type="checkbox"/> F. Peter Amst	3 Dovekie Ct	0 1	F. Peter Amst
16	<input checked="" type="checkbox"/> BRUCE L. WILLIAMS	52 SOMERS ST RD	0 1	BRUCE L. WILLIAMS
17	<input checked="" type="checkbox"/> JOAO C MOREIRA	1 ROSEMARY WAY	0 1	JOAO CARLOS MOREIRA
18	<input checked="" type="checkbox"/> DENNIS J. USKIS	3 HENDERSON	0 1	DENNIS J. USKIS
19	<input checked="" type="checkbox"/> Jonathan Lamb	8 GLOUCESTER ST.	0 1	JONATHAN LAMB
20	<input checked="" type="checkbox"/> [Signature]	10 Clara Dr	0 1	Scott Herrick

Instructions to Registrars

You must time-stamp or write in date and time these papers are received.

Check this against the name of qualified voter to be certified. For names not certified, use the codes opposite.

N B no such registered voter at that address.

S B unable to identify signature or address as that of

W B wrong district or community.

T B already signed this petition.

CERTIFICATION OF SIGNATURES

We certify that (15) Eighteen signatures checked this are names of voters of the Town of Nantucket and are qualified to sign this petition.

(at least three Registrars= names must be signed or stamped below)

[Signatures of Registrars]

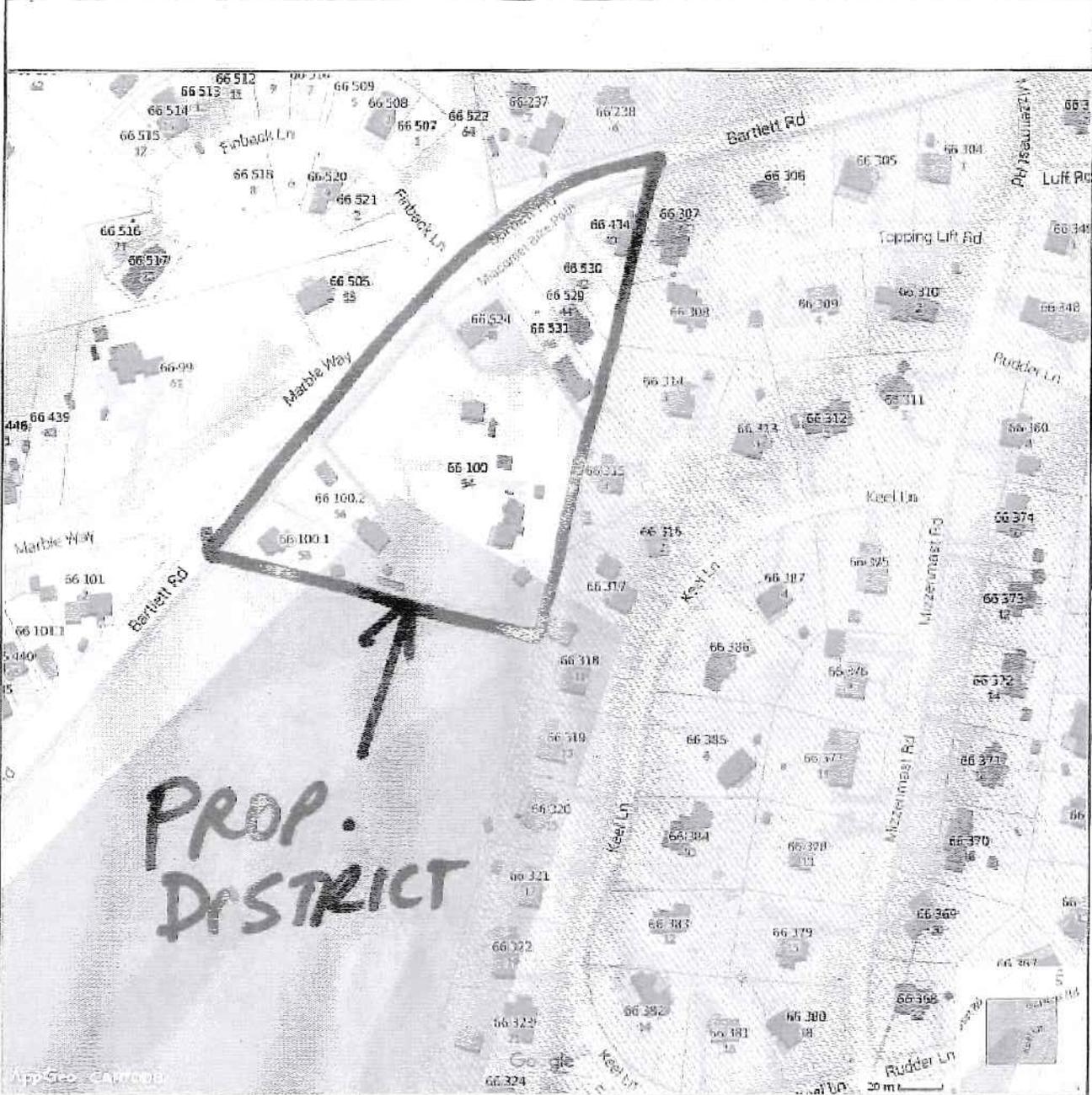
Registrars of Voters of the Town of Nantucket

PROPOSED WARRENT ARTICLE FOR 2016 ANNUAL TOWN MEETING

(Bylaw Amendment: Board of Sewer Commissioners/Town Sewer District Map Changes)

To see if the Town will vote to: amend the Town Sewer District, as established under the Nantucket Code, Chapter 41, Section 3.A, by adding to it the following parcels:

MAP	PARCEL	ADDRESS
66	100.1	58 Bartlett Road
66	100.2	56 Bartlett Road
66	100	54 Bartlett Road
66	524	48 Bartlett Road
66	531	46 Bartlett Road
66	529	44 Bartlett Road
66	530	42 Bartlett Road
66	434	40 Bartlett Road



Property Information	
Property ID	66 100
Location	54 BARTLETT RD
Owner	DIMOCK DONALD E


 MAP FOR REFERENCE ONLY
 NOT A LEGAL DOCUMENT
 Town and County of Nantucket, MA makes no
 claims and no warranties, expressed or implied,
 concerning the validity or accuracy of the GIS
 data presented on this map.

66	100.1	(58)
66	100.2	(56)
	100	(54)
	524	(48)
	531	(46)
	529	(44)
	530	(42)
	434	(40)

ANNUAL TOWN MEETING - CITIZEN'S ARTICLE

To see if the Town will vote to:

DATE and TIME this paper received by

Registrars

Nov 23, 2015
11:40 AM

RECEIVED

NOV 23 2015

NANTUCKET TOWN ADMINISTRATION

SIGNERS' STATEMENT We are qualified voters of the Commonwealth of Massachusetts and of the Town of Nantucket.

INSTRUCTIONS TO SIGNERS:

Your signature should be written as substantially as registered. If you are prevented, by physical disability, from writing you may authorize some person to write your name and residence in your presence.

	I	II	W	P	III
	Signatures to be made in person with name substantially as registered (except in case of physical disability as stated above)	Now Living At (Street and Number)	a	r	PRINTED NAME
			r	e	
			d	c	
			0	1	
1	<i>Clifford Williams</i>	18 Williams St	0	1	Clifford Williams
2	<i>Sally Jane Austin</i>	19 Surfside Rd	0	1	Sally Jane Austin
3	<i>David Glowacki</i>	35 Pine Crest Dr.	0	1	David Glowacki
4	<i>Ellen Glowacki</i>	35 Pine Crest Dr.	0	1	Ellen Glowacki
5	<i>Timothy W Brannigan</i>	1 Sesamin Way	0	1	Timothy W Brannigan
6	<i>Ted Muhl</i>	9 Swift Rock Road	0	1	Ted Muhl
7	<i>Linda Muhl</i>	9 Swift Rock Rd	0	1	Linda Muhl
8	<i>David M Barnett</i>	22 York St	0	1	David M Barnett
9	<i>Harold F Williams Jr</i>	61 Polgis Rd	0	1	Harold F Williams Jr
10	<i>Harold F Williams III</i>	14 Mary Ann Dr.	0	1	HAROLD F WILLIAMS III
11	<i>Margaret R Williams</i>	61 Polgis Rd.	0	1	MARGARET R WILLIAMS
12	<i>Maureen Mulcahy</i>	25 PROSPECT ST	0	1	MAUREEN MULCAHY
13	<i>Renee Barrett</i>	31 DUKES RD	0	1	Renee Barrett
14	<i>Colleen McLaughlin</i>	31 Dukes Rd	0	1	Colleen McLaughlin
15	<i>Joseph Severin</i>	119 Nantucket St	0	1	Joseph Severin
16	<i>Marina Austin</i>	19 Prudys Rd	0	1	Marina Austin
17	<i>Richard C Austin</i>	91 MARCOMET AVE	0	1	RICHARD C AUSTIN
18		91 MARCOMET AVE	0	1	
19			0	1	
20			0	1	

Instructions to Registrars

You must time-stamp or write in date and time these papers are received.

Check this against the name of qualified voter to be certified. For names not certified, use the codes opposite.

N B no such registered voter at that address.

S B unable to identify signature or address as that of

W B wrong district or community.

T B already signed this petition.

CERTIFICATION OF SIGNATURES

We certify that (18) Eighteen signatures checked this are names of voters of the Town of Nantucket and are qualified to sign this petition.

(at least three Registrars= names must be signed or stamped below)

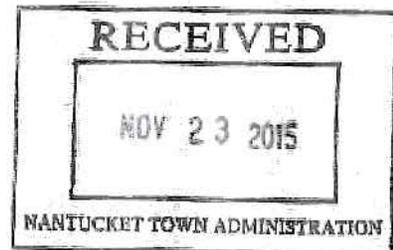
[Signature]

Registrars of Voters of the Town of Nantucket

[Signature]

Daryl Good

To see what sums the Town will vote to appropriate, and also to raise, borrow pursuant to any applicable statute or transfer from available funds, to be spent by the Town manager with the approval of the Board of Selectmen, to pay costs of \$ 150,000.00 for the removal, disposal and reimbursement of cost associated with the structure moved from 4 Monomoy Rd to 13 Somerset Rd in 2012.



Received 11-23-2015
12:27 pm
CAS

ARTICLE _____

(Zoning Bylaw Amendment: Secondary Lots - Qualified Family Member)

To see if the Town will vote to amend Chapter 139 (Zoning) of the Code of the Town of Nantucket, as follows (NOTE: new language is shown as highlighted text, language to be deleted is shown by ~~strikeout~~; these methods to denote changes are not meant to become part of the final text and, further, that non-substantive changes to the numbering of this bylaw be permitted in order that it be in compliance with the numbering format of the Code of the Town of Nantucket):

- 1. To amend Section 2, Definitions, as follows:

SECONDARY LOT

The smaller of the lots created by the division of the original lot pursuant to § 139-8D. The secondary lot shall be subject to an NHNC-Ownership Form, ~~or owner occupied by Qualified Family Member.~~

- 2. To amend Section 8B(2), Nantucket Housing Needs Program, by inserting a new definition in alphabetical order:

QUALIFIED FAMILY MEMBER

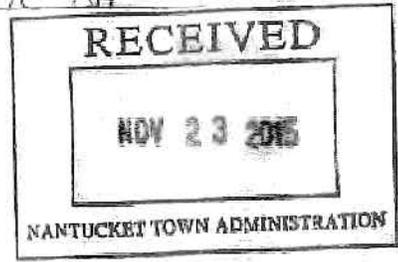
The legal father, mother, grandfather, grandmother, son, daughter, or sibling of the owner of the lot at the time the lot was subdivided into primary and secondary lots.

- 3. To amend Section 8C(2)b), Secondary Residential Lots, as follows:

(b) The secondary lot shall be subject to an NHNC-Ownership Form, which shall provide, without limitation, that the owner of the secondary lot, and any occupant of any dwelling erected thereon, shall earn at or below 150% of the Nantucket County median household income. Secondary lots sold to Qualified Family Members shall not be subject to an NHNC-Ownership Form. Upon resale, transfer, or gift of the secondary lot to a non-Qualified Family Member the lot shall be subject to an NHNC-Ownership Form and the requirements set forth therein.

Or, to take any other action related thereto.

	DAVID FREDERICKS	4 white st
Name (signature)	Name (printed)	Address
	Lara Fredericks	4 white st
Name (signature)	Name (printed)	Address
	Aileen Fredericks	4 white st
Name (signature)	Name (printed)	Address



<u>[Signature]</u> Name (signature)	<u>Kelany Perkins</u> Name (printed)	<u>4 White St, Nantucket, MA 02554</u> Address
<u>[Signature]</u> Name (signature)	<u>Diana Hull</u> Name (printed)	<u>16 Green Meadow Dr Nantucket MA 02554</u> Address
<u>[Signature]</u> Name (signature)	<u>Ali Son Mackay</u> Name (printed)	<u>25 Monahansett Rd Nantucket MA 02554</u> Address
<u>[Signature]</u> Name (signature)	<u>Bern Berry</u> Name (printed)	<u>14 ATLANTIC AVE. ACK 02554</u> Address
<u>[Signature]</u> Name (signature)	<u>Henry W. Wyzer</u> Name (printed)	<u>17 012 South Rd ACK 02556</u> Address
<u>[Signature]</u> Name (signature)	<u>Debbie McNulty</u> Name (printed)	<u>60 R Newtown Rd</u> Address
<u>[Signature]</u> Name (signature)	<u>Doris Howard</u> Name (printed)	<u>9 Surfside Dr.</u> Address
<u>[Signature]</u> Name (signature)	<u>Libby Maynes</u> Name (printed)	<u>20 Teasdale Circle</u> Address
<u>[Signature]</u> Name (signature)	<u>TIMOTHY LEPORE</u> Name (printed)	<u>46 PROSPECT ST</u> Address
<u>[Signature]</u> Name (signature)	<u>Laura Kohler-Fraves</u> Name (printed)	<u>23 Appleton Rd</u> Address
<u>[Signature]</u> Name (signature)	<u>Barbara Flanagan Jones</u> Name (printed)	<u>5 Liberty St.</u> Address

_____ Name (signature)	_____ Name (printed)	_____ Address
_____ Name (signature)	_____ Name (printed)	_____ Address
_____ Name (signature)	_____ Name (printed)	_____ Address
_____ Name (signature)	_____ Name (printed)	_____ Address
_____ Name (signature)	_____ Name (printed)	_____ Address
_____ Name (signature)	_____ Name (printed)	_____ Address

13 (THIRTEEN SIGNATURES)

[Signature]
Doris Good
[Signature]
Barbara Flanagan Jones
Jane M. Coffey

ANNUAL TOWN MEETING - CITIZEN'S ARTICLE

To see if the Town will vote to:

DATE and TIME this paper received by Registrars **H:52**

11-23-15 *Joel Holgate*

To see if the Town will vote to amend the Zoning Map of the Town of Nantucket by taking the following actions:

- 1. Placing the following properties currently located in the Seonset Residential-20 (SR-20) Zoning District in the Seonset Residential-5 (SR-5) Zoning District.

Please see attached list of parcels and map.

SIGNERS' STATEMENT We are qualified voters of the Commonwealth of Massachusetts and of the Town of Nantucket.

INSTRUCTIONS TO SIGNERS:

Your signature should be written as substantially as registered. If you are prevented, by physical disability, from writing you may authorize some person to write your name and residence in your presence.

	C h e c k	Signatures to be made in person with name substantially as registered (except in case of physical disability as stated above)	Now Living At (Street and Number)	W a r e d o	P r e s e n t	PRINTED NAME
1	<input checked="" type="checkbox"/>	<i>[Signature]</i>	85 Goldsmith Dr.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Birith Rustad
2	<input checked="" type="checkbox"/>	<i>[Signature]</i>	6 ROSCHER LANE	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Maria MAFION
3	<input checked="" type="checkbox"/>	<i>[Signature]</i>	3 Dawekim Lane	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Kaitly Farrell
4	<input checked="" type="checkbox"/>	<i>[Signature]</i>	10 Deer Run	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Laura Ruine
5	<input checked="" type="checkbox"/>	<i>[Signature]</i>	515 [unclear]	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Barbara Constance
6	<input checked="" type="checkbox"/>	<i>[Signature]</i>	29 Lyons Lane	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Kirsten Congleton
7	<input checked="" type="checkbox"/>	<i>[Signature]</i>	17 Liberty St	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Payson Fetter
8	<input checked="" type="checkbox"/>	<i>[Signature]</i>	1 MASSasoit	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Julia Lindner
9	<input checked="" type="checkbox"/>	<i>[Signature]</i>	4A Folger Ave	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Caren Obergrames
10	<input checked="" type="checkbox"/>	<i>[Signature]</i>	10 Folger	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Mindy Levin
11	<input checked="" type="checkbox"/>	<i>[Signature]</i>	77 R Meadow St	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	
12	<input checked="" type="checkbox"/>	<i>[Signature]</i>	31 Samark Ln	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	John B Breake
13	<input checked="" type="checkbox"/>	<i>[Signature]</i>	41 Vineyard Ln	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Kathryn L. Gladden
14	<input checked="" type="checkbox"/>	<i>[Signature]</i>	36 Soversett Ln	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Jessie M. Brecher
15	<input checked="" type="checkbox"/>	<i>[Signature]</i>	15 Pine Tree Rd	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Kimberly Gueslin
16	<input type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>	
17	<input type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>	
18	<input type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>	
19	<input type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>	
20	<input type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>	

NOV 23 2015

Instructions to Registrars

You must time-stamp or write in date and time these papers are received.
 Check this against the name of qualified voter to be certified.
 For names not certified, use the codes opposite.

- N B no such registered voter at that address.
- S B unable to identify signature or address as that of
- W B wrong district or community.
- T B already signed this petition.

CERTIFICATION OF SIGNATURES
 We certify that 16 signatures checked thus are names of voters of the Town of Nantucket and are qualified to sign this petition.

(at least three Registrars' names must be signed or stamped below)
Joel Holgate
Jane M. Coffin
[Signature]
 Registrars of Voters of the Town of Nantucket

ANNUAL TOWN MEETING - CITIZEN'S ARTICLE

To see if the Town will vote to:

DATE and TIME this paper received by Registrars

To see if the Town will vote to amend the Zoning Map of the Town of Nantucket by taking the following actions:

1. Placing the following properties currently located in the Scousset Residential-20 (SR-20) Zoning District in the Scousset Residential-5 (SR-5) Zoning District.

Please see attached list of parcels and map.

SIGNERS' STATEMENT We are qualified voters of the Commonwealth of Massachusetts and of the Town of Nantucket.

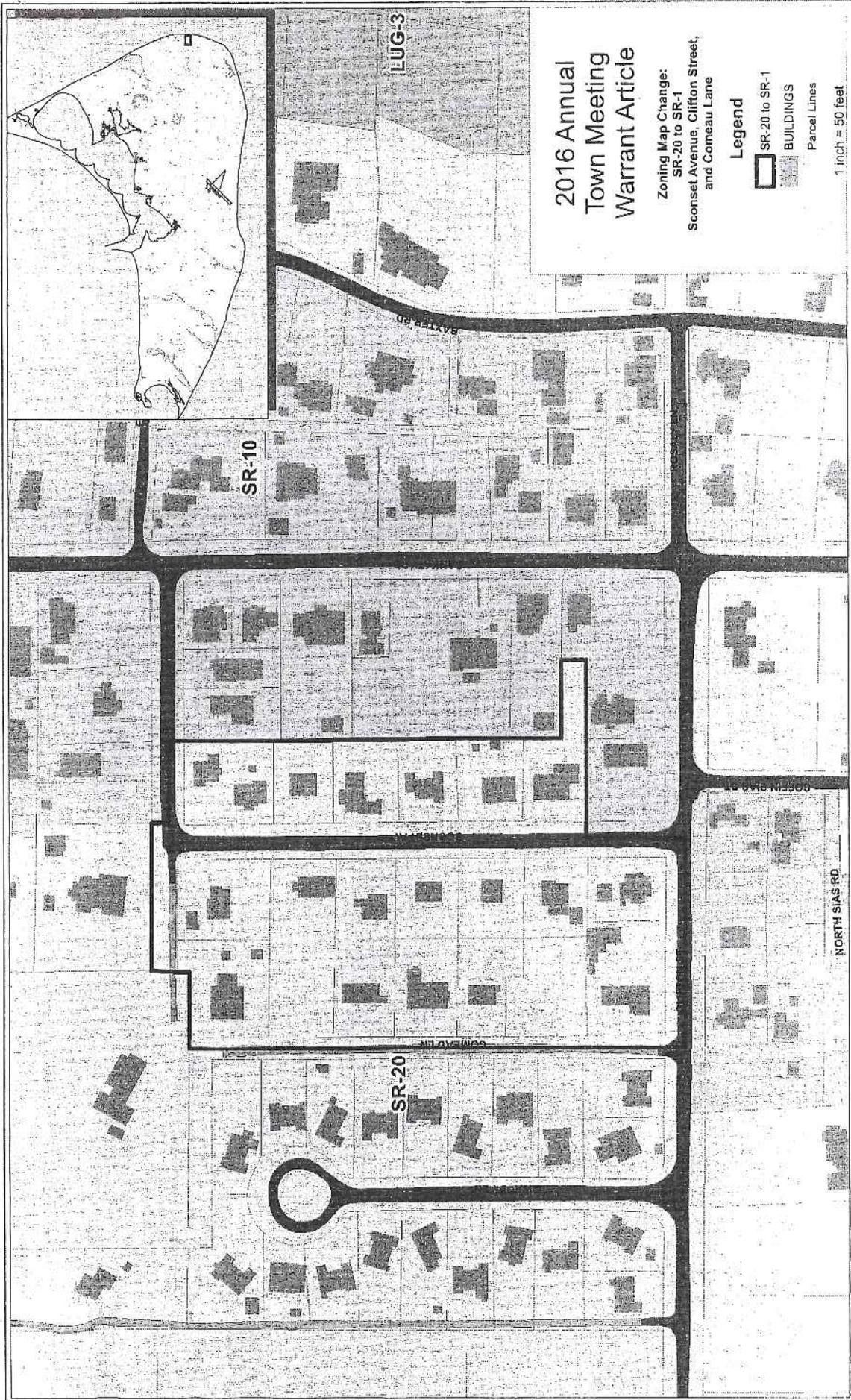
INSTRUCTIONS TO SIGNERS:

Your signature should be written as substantially as registered. If you are prevented, by physical disability, from writing you may authorize some person to write your name and residence in your presence.

	I	II	III
	Signatures to be made in person with name substantially as registered (except in case of physical disability as stated above)	Now Living At (Street and Number)	W P PRINTED NAME a r e r e d c 0 1
1	<i>Elizabeth Crowley</i>	<i>18 Daffodil Ln</i>	<i>0 1 Elizabeth Crowley</i>
2	<i>Stella</i>	<i>49 Mulhrocks</i>	<i>0 1 S. Keller</i>
3	<i>Sarah Travagione</i>	<i>66 Surfside</i>	<i>0 1 Sarah Travagione</i>
4			<i>0 1</i>
5			<i>0 1</i>
6			<i>0 1</i>
7			<i>0 1</i>
8			<i>0 1</i>
9			<i>0 1</i>
10			<i>0 1</i>
11			<i>0 1</i>
12			<i>0 1</i>
13			<i>0 1</i>
14			<i>0 1</i>
15			<i>0 1</i>
16			<i>0 1</i>
17			<i>0 1</i>
18			<i>0 1</i>
19			<i>0 1</i>
20			<i>0 1</i>

NOV 23 2016

73.4.1	4	11	Clifton
73.4.1	27	7	Clifton
73.4.1	5	3	Comeau Ln
73.4.1	28	2	Sconset Ave
73.4.1	6	4	Sconset Ave
49.3.2	13	7	Comeau Ln
49.3.2	12	6	Sconset Ave
49.3.2	29	9	Comeau Ln
49.3.2	28	8	Sconset Ave
49.3.2	27	10	Sconset Ave
49.3.2	25	12	Sconset Ave
49.3.2	32	16	Sconset Ave
49.3.2	24	14	Sconset Ave
73.4.1	7	3	Sconset Ave
49.3.2	11	5	Sconset Ave
49.3.2	10	7	Sconset Ave
49.3.2	9	9	Sconset Ave
49.3.2	8	11	Sconset Ave
49.3.2	7	13	Sconset Ave
49.3.2	6	15	Sconset Ave



**2016 Annual
Town Meeting
Warrant Article**

Zoning Map Change:
SR-20 to SR-1
Sconset Avenue, Clifton Street,
and Comeau Lane

Legend

-  SR-20 to SR-1
-  BUILDINGS
-  Parcel Lines

1 inch = 50 feet

Map prepared by:
G.S. Conway
Survey Associates
Nantucket, MA 02554



Town of Nantucket - GIS Mapsheet



Map of Nantucket, Massachusetts, showing the location of the map area within the town. The map is a GIS mapsheet showing the zoning map change for SR-20 to SR-1. The map is prepared by G.S. Conway, Survey Associates, Nantucket, MA 02554. The map is a GIS mapsheet showing the zoning map change for SR-20 to SR-1. The map is prepared by G.S. Conway, Survey Associates, Nantucket, MA 02554.

Map of Nantucket, Massachusetts, showing the location of the map area within the town. The map is a GIS mapsheet showing the zoning map change for SR-20 to SR-1. The map is prepared by G.S. Conway, Survey Associates, Nantucket, MA 02554. The map is a GIS mapsheet showing the zoning map change for SR-20 to SR-1. The map is prepared by G.S. Conway, Survey Associates, Nantucket, MA 02554.

SPECIAL TOWN MEETING - CITIZEN'S ARTICLE

(Real Estate Acquisition: 40 & 42R Sparks Avenue, 42 & 44 Sparks Avenue)

DATE and TIME this paper received by
Registrars 1:20 PM 11-23-15
Gail Holdgate

To see if the Town will vote to authorize the Board of Selectmen to acquire by purchase, gift or eminent domain the fee or lesser interests in all or any portion of the following unconstructed rights of way and two (2) parcels identified below, together with any public and private rights of passage, for non-profit funeral home purposes:

- Assessors Map 55 Parcel 602 known as 40 Sparks Avenue, and
- Assessors Map 55 Parcel 603 known as 42R Sparks Avenue;

As well as two (2) parcels identified below together with any public and private rights of passage, for municipal cemetery purposes:

- Assessors Map 55 Parcel 601 known as 42 Sparks Avenue;
- Assessors Map 55 Parcel 600 known as 44 Sparks Avenue;

And to see if the Town will vote to appropriate, borrow pursuant to applicable statute or transfer from available funds, a sum of money for such purposes.

Or to take any other action related thereto.

Catherine Flanagan Stover, et al

SIGNERS' STATEMENT We are qualified voters of the Commonwealth of Massachusetts and of the Town of Nantucket.

INSTRUCTIONS TO SIGNERS:

Your signature should be written as substantially as registered. If you are prevented, by physical disability, from writing you may authorize some person to write your name and residence in your presence.

RECEIVED
NOV 23 2015
NANTUCKET TOWN ADMINISTRATION
authorize some person to write your

	I	II	III	W	P	PRINTED NAME
C h e c k	Signatures to be made in person with name substantially as registered (except in case of physical disability as stated above)	Now Living At (Street and Number)	W a r r e d	P r e c e		
1		5 Liberty Street	0	1		Catherine Flanagan Stover
2		4 Eagles Wing Way	0	1		Allen Reinhard
3		19 Atlantic Ave	0	1		Daniel J. Flanagan
4		5 Liberty Street	0	1		Isaac Stover
5		5 Liberty Street	0	1		Dorothy Stover
6		137 Bristol St	0	1		Ruth A. Flanagan
7		5 Liberty Street	0	1		Deborah T. Waig
8		5 LIBERTY ST	0	1		NATHANIEL M. WILES
9		5 LIBERTY ST.	0	1		JOHN H. STOVER
10		5 Rose Lane	0	1		Elizabeth M. Flanagan
11		4 AVONCA WAY	0	1		BRIAN SULLIVAN
12		7 CORNWALL ST	0	1		MICHAELA WILSON
13		6A Solger Ave	0	1		Gail Holdgate
14		3 Eagles Wing Way	0	1		Nancy Holmes
15			0	1		
16			0	1		
17			0	1		
18			0	1		
19			0	1		
20			0	1		

Instructions to Registrars

You must time-stamp or write in date and time these papers are received.

Check this against the name of qualified voter to be certified. For names not certified, use the codes opposite.

- N no such registered voter at that address.
- S unable to identify signature or address as that of voter because of form of sign or address, or illegible.
- W wrong district or community.
- T already signed this petition.

CERTIFICATION OF SIGNATURES

We certify that 14 FOURTEEN signatures checked this are names of voters of the Town of Nantucket and are qualified to sign this petition.

(at least three Registrars= names must be signed or stamped below)

Registrars of Voters of the Town of Nantucket

ANNUAL TOWN MEETING - CITIZEN'S ARTICLE

DATE and TIME this paper received by Registrars 7:26 PM 11/23/15
Carol Holgate

To see if the Town will vote to accept the provisions of MGL Ch. 140, Section 139, so that no license fee shall be charged for a dog owned by a person aged 70 years or older who licenses their dog by April 30.

Or to take any other action related thereto.

Catherine Flanagan Stover, MMC, CMMC
 Town Clerk

RECEIVED
 NOV 23 2015
 NANTUCKET TOWN ADMINISTRATION

SIGNERS' STATEMENT We are qualified voters of the Commonwealth of Massachusetts and of the Town of Nantucket.

INSTRUCTIONS TO SIGNERS:

Your signature should be written as substantially as registered. If you are prevented, by physical disability, from writing you may authorize some person to write your name and residence in your presence.

	I	II	W a r r e d c e	P r e c e d e n t	III PRINTED NAME
1	<i>Catherine Flanagan Stover</i>	5 Liberty Street	0	1	Catherine Flanagan Stover
2	<i>Isabel Stover</i>	8 Liberty Street	0	1	Isabel Stover
3	<i>Donna Stover</i>	5 Liberty Street	0	1	Donna Stover
4	<i>Ruth A. Flanagan</i>	13 Union St.	0	1	Ruth A. Flanagan
5	<i>Adalath T. Waig</i>	5 Liberty Street	0	1	Adalath T. Waig
6	<i>MARE WAIG</i>	5 LIBERTY	0	1	MARE WAIG
7	<i>John H Stover</i>	5 LIBERTY ST.	0	1	JOHN STOVER
8	<i>Elizabeth M. Flanagan</i>	5 ROSE LANE	0	1	Elizabeth M. Flanagan
9	<i>Belle</i>	4 AURORA WAY	0	1	Belle
10	<i>MICHAEL WALSON</i>	7 CORNWALL ST	0	1	MICHAEL WALSON
11	<i>Carol Holgate</i>	6A Folger Ave	0	1	Carol Holgate
12	<i>Nancy Holmes</i>	3 Eagles Wing Way	0	1	Nancy Holmes
13			0	1	
14			0	1	
15			0	1	
16			0	1	
17			0	1	
18			0	1	
19			0	1	
20			0	1	

Instructions to Registrars

You must time-stamp or write in date and time these papers are received.
 Check this against the name of qualified voter to be certified. For names not certified, use the codes opposite.

N B no such registered voter at that address.
 S B unable to identify signature or address as that of
 W B wrong district or community.
 T B already signed this petition.

CERTIFICATION OF SIGNATURES
 We certify that (12) Twelve
 signatures checked thus are names of voters of the
 Town of Nantucket and are qualified to sign this petition.

(at least three Registrars' names must be signed or stamped below)
James M. Coffey
 Registrars of Voters of the Town of Nantucket

Carol Holgate

ANNUAL TOWN MEETING - CITIZEN'S ARTICLE

DATE and TIME this paper received by Registrars

11:21 PM 11-23-15
Gail Holdgate

To see if the Town will vote to amend Chapter 55 §5 of the Code of the Town of Nantucket, REGULATIONS, by adding the following section:

A (4) No license fee shall be charged for a dog owned by a person aged 70 years or older who licenses their dog by April 30.

Or to take any other action related thereto.

Catherine Flanagan Stover, MMC, CMMC
Town Clerk

RECEIVED
NOV 23 2015
NANTUCKET TOWN ADMINISTRATION

SIGNERS' STATEMENT We are qualified voters of the Commonwealth of Massachusetts and of the Town of Nantucket.

INSTRUCTIONS TO SIGNERS:

Your signature should be written as substantially as registered. If you are prevented, by physical disability, from writing you may authorize some person to write your name and residence in your presence.

	I	II	W P	III
	Signatures to be made in person with name e substantially as registered c (except in case of physical disability as stated above)	Now Living At (Street and Number)	a r e d e	PRINTED NAME
			0 1	
1	<i>Catherine Flanagan Stover</i>	5 Liberty Street	0 1	Catherine Flanagan Stover
2	<i>Isabel Stover</i>	5 Liberty Street	0 1	Isabel Stover
3	<i>Isabel Stover</i>	5 Liberty Street	0 1	Isabel Stover
4	<i>Ruth A. Flanagan</i>	13 Union St	0 1	Ruth A. Flanagan
5	<i>Abraham T. Waig</i>	5 Liberty Street	0 1	Abraham T. Waig
6	<i>John H. Stover</i>	5 LIBERTY ST.	0 1	JOHN STOVER
7	<i>Elizabeth M. Flanagan</i>	5 ROSE BANK	0 1	Elizabeth M. Flanagan
8	<i>Brian Sullivan</i>	4 AURORA WAY	0 1	BRIAN SULLIVAN
9	<i>Michael Wilson</i>	7 COMMUNIST ST	0 1	MICHAEL WILSON
10	<i>Gail Holdgate</i>	6A Gilger	0 1	Gail Holdgate
11	<i>Marcy Holmes</i>	3 Englewood Way	0 1	Marcy Holmes
12			0 1	
13			0 1	
14			0 1	
15			0 1	
16			0 1	
17			0 1	
18			0 1	
19			0 1	
20			0 1	

Instructions to Registrars

You must time-stamp or write in date and time these papers are received.

Check thus ✓ against the name of qualified voter to be certified. For names not certified, use the codes opposite.

- N B no such registered voter at that address.
- S B unable to identify signature or address as that of
- W B wrong district or community.
- T B already signed this petition.

CERTIFICATION OF SIGNATURES
We certify that (12) Twelve signatures checked thus ✓ are names of voters of the Town of Nantucket and are qualified to sign this petition.

(at least three Registrars' names must be signed or stamped below)

James M. Coffey
Dail Good

Registrars of Voters of the Town of Nantucket

11-23-15

ANNUAL TOWN MEETING - CITIZEN'S ARTICLE

DATE and TIME this paper received by

Registrars

1:27 PM
11-23-15
GAIL HOBGATE

To see if the Town will vote to amend Chapter 67 - 1, Management of Coastal Properties Owned by the Town

To strike Chapter 67 in its entirety, and adding:

67 - 1

Coastal land, leasing or licensing. Leasing or licensing any Town-owned coastal land for private erosion-control protection purposes shall be subject to approval by vote at an Annual or Special Town Meeting.

Or to take any other action relative thereto.

Catherine Flanagan Stover, et al

SIGNERS' STATEMENT We are qualified voters of the Commonwealth of Massachusetts and of the Town of Nantucket.

INSTRUCTIONS TO SIGNERS:

Your signature should be written as substantially as registered. If you are prevented, by physical disability, from writing you may authorize some person to write your name and residence in your presence.

	I	II	W P a r r e d c e	III
	Signatures to be made in person with name substantially as registered (except in case of physical disability as stated above)	Now Living At (Street and Number)		PRINTED NAME
1	<i>Catherine Flanagan Stover</i>	5 Liberty Street	0 1	Catherine Flanagan Stover
2	<i>Thomas Stover</i>	5 Liberty Street	0 1	Thomas Stover
3	<i>Dorothy Stover</i>	5 Liberty Street	0 1	Dorothy Stover
4	<i>Ruth A. Flanagan</i>	13 Union St.	0 1	Ruth A. Flanagan
5	<i>Adakath T. Waig</i>	5 Liberty Street	0 1	Adakath T. Waig
6	<i>NATHAN WAGG</i>	5 LIBERTY ST	0 1	NATHAN WAGG
7	<i>John H. Stover</i>	5 LIBERTY ST.	0 1	JOHN H. STOVER
8	<i>Elizabeth M. Flanagan</i>	5 ROSE LAVE	0 1	Elizabeth M. Flanagan
9	<i>BRIAN SULLIVAN</i>	4 AURORA WAY	0 1	BRIAN SULLIVAN
10	<i>MICHAEL WILSON</i>	7 FLORENCE ST 7 FLORENCE FARM RA	0 1	MICHAEL WILSON
11	<i>Gail Hobgate</i>	6A Folger Ave	0 1	Gail Hobgate
12	<i>Nancy Holmes</i>	3 Egges Wing Way	0 1	Nancy Holmes
13			0 1	
14			0 1	
15			0 1	
16			0 1	
17			0 1	
18			0 1	
19			0 1	
20			0 1	

RECEIVED
NOV 23 2015
NANTUCKET TOWN ADMINISTRATION

Instructions to Registrars

You must time-stamp or write in date and time these papers are received.

Check this against the name of qualified voter to be certified. For names not certified, use the codes opposite.

N B no such registered voter at that address.

S B unable to identify signature or address as that of

W B wrong district or community.

T B already signed this petition.

CERTIFICATION OF SIGNATURES

We certify that (12) Twelve signatures checked this are names of voters of the Town of Nantucket and are qualified to sign this petition.

(at least three Registrars' names must be signed or stamped below)

James M. Coffey
Doris Good

Registrars of Voters of the Town of Nantucket *Catherine Flanagan Stover*

ANNUAL TOWN MEETING - CITIZEN'S ARTICLE

To see if the Town will vote to:

DATE and TIME this paper received by Registrars

REC-37
NOV 23 2005

SIGNERS' STATEMENT We are qualified voters of the Commonwealth of Massachusetts and of the Town of Nantucket.

INSTRUCTIONS TO SIGNERS:

Your signature should be written as substantially as registered. If you are prevented, by physical disability, from writing you may authorize some person to write your name and residence in your presence.

	I	II	W a r e d e	P r e c e	III PRINTED NAME
	Signatures to be made in person with name substantially as registered (except in case of physical disability as stated above)	Now Living At (Street and Number)			
	<i>[Signature]</i>	174 Orange St 2 Croglan Av 37	0	1	Suzanne Gale
1	<i>Artell Crowley</i>	62 New Lane	0	1	Artell Crowley
2	<i>[Signature]</i>	14 Street	0	1	Jennifer Trakos
3	<i>Danielle E. Vient</i>	13 Keel Lane	0	1	Danielle Vient
4	<i>[Signature]</i>	14 Millbrook Rd	0	1	Michelle Perkins
5	<i>[Signature]</i>	50 Appleton Rd.	0	1	Shannon M. Glynn
6	<i>Jennifer Schneider</i>	10 West Dover	0	1	Jennifer Schneider
7	<i>Patty Hainey</i>	10 Helens Dr	0	1	Patty Hainey
8	<i>Theresa Andersen</i>	35 Gildred Rd	0	1	Theresa Andersen
9	<i>[Signature]</i>	9 Ramos Ct	0	1	John Rockoff
10	<i>[Signature]</i>	2 Trap Dr	0	1	Jeannine E. Dias
11	<i>[Signature]</i>	8 Pine Grove	0	1	Jessica Norris
12	<i>[Signature]</i>	1B Park Circle	0	1	Cassandra Thompson
13	<i>[Signature]</i>	2 Delaney Rd	0	1	Brandon Whiting
14	<i>Tara B. Iverson</i>	1 Falcon Dr.	0	1	Tara B. Iverson
15	<i>Anne C. McAndrew</i>	14 Longwood Drive	0	1	Anne C. McAndrew
16	<i>Marie E. Davis</i>	53 S Shore Rd	0	1	Marie E. Davis
17	<i>Mehinda Bunnissutha</i>	2 Little Isle Ln	0	1	Mehinda Bunnissutha
18	<i>[Signature]</i>	21 Excelsior St	0	1	Charles G. Kynner
19	<i>[Signature]</i>	2 Croglan Ave #117	0	1	E.S. MacIntyre
20	<i>[Signature]</i>	174 Orange St.	0	1	Lucile W. HAYS

Instructions to Registrars

You must time-stamp or write in date and time these papers are

None of such registered voter at that address.

received.

Check this against the name of qualified voter to be certified.
For names not certified, use the codes opposite.

S B unable to identify signature or address as that of
W B wrong district or community.
T B already signed this petition.

CERTIFICATION OF SIGNATURES

We certify that (17) Seventeen
signatures checked thus are names of voters of the
Town of Nantucket and are qualified to sign this petition.

(at least three Registrars' names must be signed or stamped below)

James M. Coffin
Daryl Good

Registrars of Voters of the Town of Nantucket

Thomas George Stone

PROPOSED REVISION

Chapter 55 of the [redacted] Town Code?)

F Nuisances: No person shall keep within the limits of the Town of Nantucket any dog or pet by which barking, biting, howling, whining or in any manner disturbs the peace and quiet of any person. No person shall own or keep in the Town of Nantucket any bird or fowl, which by screeching or crowing or by any other manner disturbs the peace and quiet of any person(s).

No person shall own or keep any animal that is found to run at large beyond the confines of the property of the owner or keeper, or does commit any nuisance, disturbs the peace and quiet of any neighborhood, or endangers the safety of any person(s).

The owner of any dog or pet which endangers the safety of any person or other animal by biting or causing property damage shall be subject to immediate violations, penalties or quarantine. Subsequent offenses shall result in their removal from the Town of Nantucket, or shall be euthanized if deemed to be dangerous.

Any dog or pet found to run at large beyond the confines of the property of the owner, tenant, lessee or keeper after a third offense of chapter 55 subsection 4D shall also be subject to nuisance violation penalties thereafter.

AND

H Animal neglect: Any person owning, keeping or otherwise responsible for a companion animal, pet or farm animal or livestock who confines said animal in a parked vehicle or trailer where the vehicle confinement endangers the health or safety of the animal and or if medical aid is requested and owner does not seek medical aid for animal shall be subject to a fine of \$50.00, second offense fine of \$100.00.

I Dogs or Pets released from the Animal Shelter: Any person owning, keeping or otherwise responsible for animal that is brought into the Animal Shelter and that animal is released back the owner or keeper is responsible for making sure Animal Control gets a copy of Rabies Certificate. If Animal Control does not receive certificate from the dog or pet owner within 5 business days after dog or pet is released the owner or keeper may receive a fine of \$50.00 per week until Rabies Certificate is submitted to Animal Control.

J Town Permit of Animal: If Owner or Keeper of Farm Animals does not obtain a Town Permit could be subject to a fine of \$25.00per day until permit is purchased.

Received 11-23-2015

1:44 pm

CFS

NOV 23 2015

ANNUAL TOWN MEETING - CITIZEN'S ARTICLE

To see if the Town will vote to:

DATE and TIME this paper received by
 Registrars 199 11-23-01
 Gail Holgate

To see if the Town will vote to authorize the Board of Selectmen to acquire by purchase, gift or eminent domain the fee or lesser interests together with any public and private rights of passage for public ways and/or general municipal purposes in all or any portion of the unconstructed right of way in the Surfside Area on Poplar Street between the Southerly boundary of Weweeeder Avenue and the Northerly boundary of Nobadeer Avenue.

SIGNERS' STATEMENT We are qualified voters of the Commonwealth of Massachusetts and of the Town of Nantucket.

INSTRUCTIONS TO SIGNERS:

Your signature should be written as substantially as registered. If you are prevented, by physical disability, from writing you may authorize some person to write your name and residence in your presence.

	I	II	W P	III
	Signatures to be made in person with name substantially as registered (except in case of physical disability as stated above)	Now Living At (Street and Number)	P r e d e c	PRINTED NAME
1		31 Somerset Lane	0 1	John B. Beschta
2		31 Somerset	0 1	Jessie M. Beschta
3		82 Sankaty Rd.	0 1	Jessica Rydler
4		15 Pine Tree Rd	0 1	Kimberly Cochin
5		80 Thirty Acres Ln	0 1	Yolande Fernandez-Guent
6		5 Seapans Rd.	0 1	Anne M. Larman
7		41 SOMERSET LN	0 1	RICHARD J. GLOOM
8		41 Somerset Road	0 1	Kathryn L. Colidder
9		14 Plum Street	0 1	Kiley Fitch
10		67 PINE LANE	0 1	Dustin Theod.
11		25 Daffodil	0 1	Jane Lovering
12		13 Hummer Rd.	0 1	Maxine Joyce
13		175 Orange St	0 1	Erin Murray
14		4 Sea Fox Cir	0 1	Jennifer H. Feliceira
15		18 Nobadeer Farm Rd.	0 1	Bonnie A. Sylvia
16		18 Nobadeer Farm Rd.	0 1	DAVID A. SYLVIA
17			0 1	
18			0 1	
19			0 1	
20			0 1	

Instructions to Registrars

You must time-stamp or write in date and time these papers are received.

Check this against the name of qualified voter to be certified. For names not certified, use the codes opposite.

N B no such registered voter at that address.

S B unable to identify signature or address as that of

W B wrong district or community.

T B already signed this petition.

CERTIFICATION OF SIGNATURES

We certify that (15) FIFTEEN signatures checked this are names of voters of the Town of Nantucket and are qualified to sign this petition.

(at least three Registrars' names must be signed or stamped below)

Registrars of Voters of the Town of Nantucket

ANNUAL TOWN MEETING - CITIZEN'S ARTICLE

DATE and TIME this paper received by Registrars 1:51 - 1123-15
 GAIL HODGATE

To see if the Town will vote to:

To see if the Town will vote to authorize the Board of Selectmen to convey, sell or otherwise dispose of the fee title or lesser interests in all or any portion of land known as Poplar Street between the Southerly boundary of Weweeder Avenue and the Northerly boundary of Nobadeer Avenue, subject to Chapter 30B of the Massachusetts General Laws, and to take any other action as may be related or appropriate thereto.

SIGNERS' STATEMENT We are qualified voters of the Commonwealth of Massachusetts and of the Town of Nantucket.

INSTRUCTIONS TO SIGNERS:

Your signature should be written as substantially as registered. If you are prevented, by physical disability, from writing you may authorize some person to write your name and residence in your presence.

	I	II	W	P	III
	Signatures to be made in person with name substantially as registered (except in case of physical disability as stated above)	Now Living At (Street and Number)	a	r	PRINTED NAME
			r	e	
			d	c	
			0	1	
1		31 Somerset Lane	0	1	John B. Brecher
2		31 Somerset Ln	0	1	Jessie U. Brescher
3		82 Sankooty Rd.	0	1	Jessica Rider
4		15 Pine Tree Road	0	1	Kimberly Green
5		80 Twitty Acres Ln	0	1	Yolande Fernandez-Groat
6		5 Sasapara Rd.	0	1	Anne M. Lanman
7		41 SOMERSET LN	0	1	Richard F. Gibson
8		41 Somerset Lane	0	1	Kathryn L. Glidden
9		14 Plum Street	0	1	Kiley Fitch
10		67 Caron Lane	0	1	Dayton Theodor
11		25 Daffodil Ln	0	1	Jane Loverine
12		15 Whinnier Rd	0	1	Maxine Turner
13		175 orange st	0	1	Erika Mooney
14		4 Sea Fox Cir	0	1	Jennife. H. Ferreira
15		18 Nobadeer Farm Rd	0	1	Bonnie A. Sylvia
16		18 Nobadeer Farm Rd	0	1	DAVID A SYLVIA
17			0	1	
18			0	1	
19			0	1	
20			0	1	

Instructions to Registrars

You must time-stamp or write in date and time these papers are received.

Check this against the name of qualified voter to be certified. For names not certified, use the codes opposite.

- N B no such registered voter at that address.
- S B unable to identify signature or address as that of
- W B wrong district or community.
- T B already signed this petition.

CERTIFICATION OF SIGNATURES

We certify that (16) signatures checked this are names of voters of the Town of Nantucket and are qualified to sign this petition.

(at least three Registrars' names must be signed or stamped below)

Registrars of Voters of the Town of Nantucket

ANNUAL TOWN MEETING - CITIZEN'S ARTICLE

To see if the Town will vote to:

DATE and TIME this paper received by Registrars **2:31 11-23-15**
Cal H. Higate

CHANGE THE TOWN OF NANTUCKET ZONING BY LAW BY ADDING THE ATTACHED LANGUAGE IN RED

SIGNERS' STATEMENT We are qualified voters of the Commonwealth of Massachusetts and of the Town of Nantucket.

INSTRUCTIONS TO SIGNERS:

Your signature should be written as substantially as registered. If you are prevented, by physical disability, from writing you may authorize some person to write your name and residence in your presence. If you HAVE moved since June 1, please complete column III.

	I	II	W P a r r e d c o l	P r e s e n c e c o l	III PRINTED NAME (And Previous Residence if different than column II)
1	<i>[Signature]</i>	7 FAIRFIELD ST.	0	1	CORNAC COLLIER
2	<i>[Signature]</i>	2 TENNESSEE AVE	0	1	EMMA JOHNSON
3	<i>[Signature]</i>	139 1/2 HUMPHREYS POND RD	0	1	EMILY MACKINNON
4	<i>[Signature]</i>	6 Ash Lane	0	1	Elizabeth Kelly
5	<i>[Signature]</i>	5 Whinnies Dr	0	1	Maguire Turner
6	<i>[Signature]</i>	12 Henderson Dr	0	1	Sarah Conforti Hafford
7	<i>[Signature]</i>	6 SCHOOL ST	0	1	JULIE SYLVIA
8	<i>[Signature]</i>	6 BOSTON	0	1	Sera Congdon
9	<i>[Signature]</i>	5A Green Meadows Dr.	0	1	Holly Fernandes
10	<i>[Signature]</i>	12 BOSS WAY	0	1	ROBERT RULLEY
11	<i>[Signature]</i>	4 Marcus Way	0	1	Danielle O'Dell
12	<i>[Signature]</i>	9 Goldfinch Dr.	0	1	Jennifer Karberg
13	<i>[Signature]</i>	53 Rolpis	0	1	Rachael Freeman
14	<i>[Signature]</i>	21 High Brush Path	0	1	Harvey S. Young
15	<i>[Signature]</i>	100 Old South Rd	0	1	Janet Olney
16	<i>[Signature]</i>	21 High Brush Path	0	1	Ellen Kouletsis-Young
17	<i>[Signature]</i>	13 Back St	0	1	Mike Souza
18	<i>[Signature]</i>	7 Trotters Lane	0	1	TOM HOLT
19	<i>[Signature]</i>	67A MILES ROAD	0	1	PETER B. BEEBE
20			0	1	

Instructions to Registrars

You must time-stamp or write in date and time these papers are received.

Check this against the name of qualified voter to be certified. For names not certified, use the codes opposite.

- N B no such registered voter at that address.
- S B unable to identify signature or address as that of
- W B wrong district or community.
- T B already signed this petition.

CERTIFICATION OF SIGNATURES

We certify that (17) *Seventeen* signatures checked this are names of voters of the Town of Nantucket and are qualified to sign this petition.

(at least three Registrars' names must be signed or stamped below)

James M. Coffey
Daniel J. [Signature]
 Registrars of Voters of the Town of Nantucket

RECEIVED
 NOV 23 2015

NANTUCKET TOWN ADMINISTRATION

[Signature]

139-2 Definitions

SECONDARY LOT

The smaller of the lots created by the division of the original lot pursuant to § 139-8D. The secondary lot shall be subject to an NHNC-Ownership Form or owner occupied by a Qualified Family Member.

[Added 4-6-2009 ATM by Art. 27, AG approval 8-10-2009]

139-8B

B.

Nantucket Housing Needs Program.

(1) Purpose. To create, make available and maintain housing that is affordable to people who earn less than 150% of the Nantucket County median household income; to maintain Nantucket's diversity and unique sense of community; to encourage moderate-income families to continue to reside on Nantucket; and to generate a supply of housing that will remain affordable.

(2) Definitions. The following definitions only apply to this § 139-8C:

HOUSING AUTHORITY

The Nantucket Housing Authority (NHA) or its designee.

MAXIMUM RENTAL PRICE

Shall be no more than the fair market rent established for Nantucket County as published by the U.S. Department of Housing and Urban Development in Federal Register, Vol. 65 No. 185 (September 25, 2000) and as may hereafter be amended from time to time.

MAXIMUM RESALE PRICE

The greater of the maximum sales price or price the current Nantucket Housing Needs Covenant unit owner paid for the Nantucket Housing Needs Covenant unit.

MAXIMUM SALES PRICE

Shall be calculated by assuming a ten-percent down payment and an annual debt service (at prevailing thirty-year fixed interest rates) that is equal to 30% of the gross annual income of a household earning up to 125% of median income.

MEDIAN INCOME

Median family income for Nantucket County as published from time to time by the U.S. Department of Housing and Urban Development.

NANTUCKET HOUSING NEEDS COVENANT

A covenant placed on housing, which property owners choose to execute and which shall be enforceable by the NHA, to be recorded in the Registry of Deeds or the Land Court Registry District.

PRINCIPAL RESIDENCE

The locality where a person resides with the present intent to make it the person's fixed and permanent home. The person's physical presence alone will not establish a principal residence. In ascertaining one's intent, the Housing Authority shall consider, among other things, the person's employment status, voter registration, driver's license, motor vehicle registration, real property ownership,

income tax returns, or the filing with the Housing Authority of a written declaration to establish or maintain a principal residence.

QUALIFIED FAMILY MEMBER

The legal son or daughter of the owner of the lot at the time the lot was subdivided into primary and secondary lots.

QUALIFIED PURCHASER HOUSEHOLD

A household whose gross annual income is less than 150% of median income.

QUALIFIED RENTER HOUSEHOLD

A household whose gross annual income is not more than 100% of median income.

(3) General requirements.

(a) Housing subject to the Nantucket Housing Needs Covenant shall be:

[1] Occupied by a qualified renter or qualified purchaser household

[2] The principal residence of the qualified renter or qualified purchaser household

[3] Enforceable for the greater of 99 years or the maximum time period allowable by law.

[4] The price of the unit shall not exceed the maximum sales price, or, in the case of resale, the maximum resale price.

[5] The unit rent shall not exceed the maximum rental price.

[6] The owner of a unit being rented shall provide the Housing Authority with an annual certification of compliance with the terms of the covenant.

(4) Monitoring and administration.

(a) The Housing Authority shall monitor and administer the Nantucket Housing Needs Program and may promulgate rules and regulations to implement it. Prior to promulgating such rules and regulations and prior to completing a model Nantucket Housing Needs Covenant, the Housing Authority shall hold a public hearing or hearings to solicit advice from the public. The Housing Authority shall publish notice of these hearings prominently in a newspaper of general circulation on Nantucket for two successive weeks.

(b) All legal documentation shall be submitted to the Housing Authority for review and approval.

C.

Special permit to create secondary residential lots for year-round residents.

(1)

Purpose: to create, make available and maintain housing that is affordable to those who earn at or below 150% of the Nantucket County median household income; to help those people or households to continue to reside on Nantucket if they wish to do so; to generate and preserve affordable housing in the Town of Nantucket in perpetuity, all in order to maintain Nantucket's diversity and unique sense of community.

(2)

As authorized by MGL c. 40A, § 9, Paragraph 2, the Planning Board as special permit granting authority, in its discretion, pursuant to and subject to this § 139-8C, may issue a special permit, with conditions, authorizing the division of the original lot into a primary lot and a secondary lot, which special permit may include approval and endorsement of a

plan not requiring approval under the Subdivision Control Law as such plan is defined and described in MGL c. 41, § 81P, provided the following requirements and/or conditions shall apply to all applications for relief hereunder and all special permits granted hereunder, as the case may be:

[Amended 4-5-2014 ATM by Art. 63, AG approval 5-7-2014]

(a) The original lot shall not be subject to any covenants, restrictions or similar encumbrances, whether appearing in a deed, easement, land-use permit or any other instrument, pertaining to the placement, use or occupancy of second dwellings on said original lot.

(b) The secondary lot shall be subject to an NHNC-Ownership Form, which shall provide, without limitation, that the owner of the secondary lot, and any occupant of any dwelling erected thereon, shall earn at or below 150% of the Nantucket County median household income. Secondary lots sold to Qualified Family Members shall not be subject to an NHNC-Ownership Form. Upon resale, transfer, or gift of the secondary lot to a non-Qualified Family member the lot shall then be subject to an NHNC-Ownership form and the requirements set forth herein.

(c) No more than one dwelling shall be permitted on the primary lot.

(d) No more than one dwelling shall be permitted on the secondary lot.

(e) Except for pre-existing nonconforming lots, in which case the Planning Board may issue a special permit defining the lot areas, the minimum area for the original lot, the primary lot and the secondary lot shall be as follows:

Zoning District	Minimum Original Lot Size (§ 139-16A)	Minimum Secondary Lot Size	Minimum Primary Lot Size
LUG-1	40,000	15,000	25,000
LUG-2	80,000	25,000	55,000
LUG-3	120,000	35,000	85,000
R-40	40,000	15,000	25,000
R-10	10,000	4,000	6,000
R-20/SR-20	20,000	8,000	12,000
VR	20,000	8,000	12,000
ROH/SOH	5,000	2,000	3,000
R-5	5,000	2,000	3,000

(f) The primary lot and the secondary lot shall comply with the ground cover, front setback, side setback and rear setback requirements of the underlying zoning district, including any provisions of this chapter for pre-existing nonconforming lots, with the exception that the ground cover ratio solely for a secondary lot in the R-1 Zoning District shall be 36%. The Planning Board may waive the setback requirements only as they apply to the lot line(s) between the primary and secondary lot.

(g) The primary lot and the secondary lot each must have a minimum of 20 feet of frontage or an easement of sufficient width and grade to provide access.

(h) The primary lot and the secondary lot shall share a single driveway access. The Planning Board must be provided with an instrument, in recordable form, evidencing the common access rights to said access in accordance with this subsection. The Planning Board may grant a special permit to waive the requirement for shared driveway access.

based upon a finding that separate driveway access would not have a significant and adverse effect on the scenic or historic integrity of the neighborhood and is not contrary to sound traffic or safety considerations.

(3) This § 139-8C shall not apply to major commercial developments (§ 139-11); flex development and open space residential development options (§ 139-8A); and are not permitted in the following zoning districts: Commercial Downtown (CDT); Moorlands Management (MMD).

[Amended 4-5-2014 ATM by Art. 63, AG approval 5-7-2014]

(4) The Planning Board may grant a special permit for the division of a duplex into two attached single-family dwellings, provided that one of the dwellings is subject to a NHNC covenant. Subsection D(2)(e) and (f) above shall not apply and the Planning Board shall establish minimum lot size, ground cover ratio, and setbacks during the special permit review. Ground cover ratios for the primary and secondary lot combined shall not exceed the maximum allowed in the underlying zoning district.

(5) Section 139-16D, Regularity formula, shall not apply to this § 139-8C.

[Amended 4-5-2014 ATM by Art. 63, AG approval 5-7-2014]

TOWN OF NANTUCKET
WARRANT ARTICLE FOR 2016 ANNUAL TOWN MEETING

We submit the following Article for inclusion in the Warrant for the 2016 Annual Town Meeting:

To see if the Town will vote to authorize the Board of Selectmen to acquire by purchase, gift or eminent domain, for general municipal purposes and for the purpose of conveyance of the fee title or lesser interests, together with any public or private rights of passage, in the portion of Wanoma Way (Tom Nevers) lying between the extended sidelines of the land shown upon Assessor's Map 92.4 as Parcel 141, approximately 240 feet in length; or to take any other action related thereto.

Signature	Printed name	Street address
<i>Arthur I. Reedy, Jr.</i>	Arthur I. Reedy, Jr.	41 India Street
<i>Leigh M. Tynan</i>	Leigh M. Tynan	20 Hammock Pond Road
<i>Barbara A. Reis</i>	Barbara A. Reis	27 Equator Dr.
<i>Laura Lombard</i>	Laura Lombard	22 Field Ave
<i>Timalyne Frazier</i>	Timalyne Frazier	7A Hill Side Ave
<i>Augusto Ramos</i>	Augusto Ramos	205 SHORE ROAD
<i>Edward J. Ramos</i>	Edward J. Ramos	20 Hammock Pond Rd.
<i>Charles W. Hant</i>	Charles W. Hant	12 W. York Ln
<i>NARSHA KOTALAC</i>	NARSHA KOTALAC	910 MIACOMET AVE
<i>Marianne Harley</i>	Marianne Harley	515 Washington Ave
<i>Cornie Phillip</i>	Cornie Phillip	8 Cobble Rd.
<i>Maureen Green</i>	Maureen Green	19 Keel Ln.
<i>Arthur Hillman</i>	Arthur Hillman	18 Bluebird Ln
<i>Kathryn L. Glidder</i>	Kathryn L. Glidder	41 Somerset Trl
<i>Anne M. Lanna</i>	Anne M. Lanna	5 Sesapana Rd
<i>Yolanda Forcander-Gent</i>	Yolanda Forcander-Gent	80 Thirty Acres Ln.

RECEIVED
 NOV 20 2015
 NANTUCKET TOWN ADMINISTRATION

James M. Coffey
Daniel Good
Elizabeth Stone

16 (SIXTEEN SIGNATURES)

TOWN OF NANTUCKET
WARRANT ARTICLE FOR 2016 ANNUAL TOWN MEETING

We submit the following Article for inclusion in the Warrant for the 2016 Annual Town Meeting:

To see if the Town will vote to authorize the Board of Selectmen to acquire by purchase, gift or eminent domain, for general municipal purposes and for the purpose of conveyance of the fee title or lesser interests, together with any public or private rights of passage, in the portion of Saccacha Avenue (Cisco) lying adjacent to the land shown upon Assessor's Map 82 as Parcel 108, 9 feet in width and 160 feet in length; or to take any other action related thereto.

Signature	Printed name	Street address
<i>Arthur I. Reedy, Jr.</i>	Arthur I. Reedy, Jr.	41 Indiz Street
<i>Leigh M. Topham</i>	Leigh M. Topham	20 Hammond Pond Rd
<i>Laura Lombardi</i>	Laura Lombardi	22 Field Ave
<i>Barbara A. Reis</i>	Barbara A. Reis	27 Equator Dr.
<i>Timalyne Frozier</i>	Timalyne Frozier	7A Hill Side Ave
<i>Augusto C Ramos</i>	Augusto C Ramos	20 So. Star Road
<i>Edmund J. Ramos</i>	Edmund J. Ramos	20 Hammond Pond Rd.
<i>Charles W. Hart</i>	Charles W. Hart	12 W. York Ln
<i>Marsha Kotale</i>	MARSHA KOTALA	90 MIACOMIST AVE
<i>Mollanne Fanley</i>	Mollanne Fanley	513 Washington Ave
<i>Kenneth G. Gilliam</i>	Kenneth G. Gilliam	18 Park View Drive
<i>Cornie Phillip</i>	Cornie Phillip	8 Coffin Rd.
<i>Whitney LaFavel</i>	Whitney LaFavel	19 Keel Ln.
<i>APRIL HULLIVAN</i>	APRIL HULLIVAN	19 BIRCHBARK LN
<i>Kathryn L. Glodda</i>	Kathryn L. Glodda	44 Summit Tr
<i>Anne M. Leaman</i>	Anne M. Leaman	5 Swagare Rd
<i>Holbach Fenwick-Curt</i>	Holbach Fenwick-Curt	8C Thirty Acres Ln.

RECEIVED

NOV 23 2015

James M. Coffin

Daryl Good

TOWN ADMINISTRATION

Glenn J. Stone

17 (Seventeen)

TOWN OF NANTUCKET
WARRANT ARTICLE FOR 2016 ANNUAL TOWN MEETING

We submit the following Article for inclusion in the Warrant for the 2016 Annual Town Meeting:

To see if the Town will vote to authorize the Board of Selectmen to sell, convey or otherwise dispose of the fee or lesser interests of all or any portion of the subject land pursuant to M.G.L., c. 30B, and guidelines established under the "Nantucket Yard Sales" program on file at the Board of Selectmen's office, any such disposition to be on such terms and conditions as the Board of Selectmen deem appropriate, which may include the reservation of easements and restrictions, in the portion of Saccacha Avenue (Cisco) lying adjacent to the land shown upon Assessor's Map 82 as Parcel 108, 9 feet in width and 160 feet in length; or to take any other action related thereto.

Signature	Printed name	Street address
<i>Arthur I. Aude, Jr.</i>	Arthur I. Aude, Jr.	41 Indis Street
<i>Leigh M. Tiplan</i>	Leigh M. Tiplan	20 Hummock Pond Rd
<i>Barbara A. Reis</i>	Barbara A. Reis	27 Equator Dr.
<i>Laura Lombardi</i>	Laura Lombardi	22 Field Ave
<i>Timalyve Frazier</i>	Timalyve Frazier	7A Hill Side Ave
<i>Edmund J. Raus</i>	Edmund J. Raus	20 Hummock Pond Rd.
<i>August C. Rames</i>	AUGUST C. RAMES	2056 STATE ROAD
<i>Charles W. Hart</i>	Charles W. Hart	12 W. YORK LN
<i>MAESHA KOTLAC</i>	MAESHA KOTLAC	96 NANTUCKET AVE
<i>Marianne Harley</i>	Marianne Harley	51B Washington Ave
<i>Kenneth G. Hines</i>	Kenneth G. Hines	18 B. Vio. Drive
<i>Carrie Phillips</i>	Carrie Phillips	3 Coffin Rd.
<i>Whitney G. Howell</i>	Whitney G. Howell	19 Keel Ln.
<i>APRIL GILBERTSON</i>	APRIL GILBERTSON	15 BLUEBIRD LN.
<i>Kathryn L. Chiddister</i>	Kathryn L. Chiddister	411 Somerset Tr
<i>Anne M. Latham</i>	Anne M. Latham	5 Seaplane Rd
<i>Yolanda Fernandez-Cast</i>	Yolanda Fernandez-Cast	80 Trinity Acres Ln.

Daryl Good
Jane M. Coffin

RECEIVED
 NOV 23 2015
 NANTUCKET TOWN ADMINISTRATION

17 (Seventeen)

Elizabeth J. Jones

ARTICLE 55

(Zoning Map Change: LUG-2 to LUG-1 Surfside South - Boulevarde, Okorwaw Avenue, and Lover's Lane)

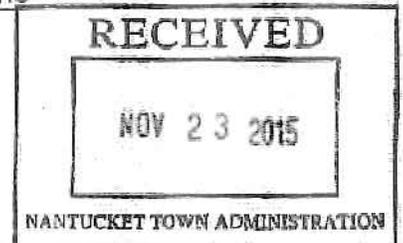
To see if the Town will vote to amend the Zoning Map of the Town of Nantucket by placing the following properties identified in the Surfside Area Plan as a portion of "Surfside South", currently located in the Limited Use General 2 (LUG-2) district, in the Limited Use General (LUG-1) district:

Map	Lot	Number	Street
79	3	40	Lover's Lane
79	28	1	Okorwaw Avenue
79	31	44	Lover's Lane
79	80	54	Lover's Lane
79	81	52	Lover's Lane
79	82	50	Lover's Lane
79	83	48	Lover's Lane
79	84	46	Lover's Lane
79	131 (a portion of)	4	Okorwaw Avenue
80	214	44	Boulevarde
80	215	61	Lover's Lane

Or to take any other action related thereto.

Or, to take any other action related thereto.

(Dave Fredericks, et al)



Name (signature)	Name (printed)	Address
<i>N Miriam</i>	Varian	4 Okorwaw Ave
<i>Pam Sosebee</i>	PAM SOSEBEE	1 SARATOGA LN, NANTUCKET
<i>Patricia Joyner</i>	Patricia Joyner	42 Macomet Ave, Nantucket
<i>Betsy Holden</i>	BETSY HOLDEN	10 Bayberry Ln Nantucket
<i>Patricia Collier</i>		

11-23-2015
CFS

✓ Cynthia Lenhart Cynthia Lenhart 25 Dukes Rd.
Name (signature) Name (printed) Address Nantucket, MA

✓ Howard D. Nain Howard D. Nain 35 OKORWAW
Name (signature) Name (printed) Address

✓ CHARLES LENHART CHARLES LENHART 25 DUKES RD
Name (signature) Name (printed) Address

✓ ALOE VARIAN ALOE VARIAN 54 Union St
Name (signature) Name (printed) Address

✓ Karen Bopp KAREN Bopp 61 Lovers Lane Nantucket, MA
Name (signature) Name (printed) Address

✓ David Bopp DAVID Bopp 61 Lovers Lane Nantucket, MA
Name (signature) Name (printed) Address

✓ Aisha Hodge Aisha Hodge 7 B Okorwaw Ave
Name (signature) Name (printed) Address

✓ SUSAN DRACOP SUSAN DRACOP 32 FRIENDSHIP
Name (signature) Name (printed) Address

✓ DONDY M. STODAK DONDY M. STODAK 21 BARTLETT RD. NANTUCKET MA
Name (signature) Name (printed) Address

✓ LESLEY KENNIE LESLEY KENNIE 5A Mary Ann Dr Nantucket MA
Name (signature) Name (printed) Address

✓ THOMAS WEINSTOCK THOMAS WEINSTOCK 12 Killdeer Lane
Name (signature) Name (printed) Address

✓ DAMM MAYER DAMM MAYER PO Box 831
Name (signature) Name (printed) Address

Name (signature) Name (printed) Address

Name (signature) Name (printed) Address

Sponsor of article

(13) Thirteen signatures

ARTICLE ____
(Zoning Map Change: LUG-2 to LUG-1 - Evergreen Way, Daffodil Lane, and Airport Road)

To see if the Town will vote to amend the Zoning Map of the Town of Nantucket by placing the following properties currently located in the Limited Use General 2 (LUG-2) district, in the Residential 40 (R-40) district:

Map	Lot	Number	Street
68	726	3	Evergreen Way
68	727	1	Evergreen Way
68	54	21	Airport Road
68	55	23	Airport Road
68	723	5	Daffodil Lane
68	717.1	15A	Evergreen Way
68	717.2	15B	Evergreen Way
68	716	17	Evergreen Way
68	715	19	Evergreen Way
68	709	20	Evergreen Way
68	710	22	Evergreen Way

REC'D
 NOV 23 2015
 TOWN CLERK'S OFFICE

All as shown on a map entitled "2016 Annual Town Meeting Warrant Article ____ Zoning Map Change: LUG-2 to R-40 - Evergreen Way, Daffodil Lane, and Airport Road" dated _____, 2015 and filed herewith at the Office of the Town Clerk.

Or to take any other action related thereto.

James Lydon, et al)

[Signature] Name (signature) JAMES LYDON Name (printed) 20 EVERGREEN WAY Address

[Signature] Name (signature) Chris Keogan Name (printed) 5 Daffodil Lane Address

[Signature] Name (signature) JIM BARRROS Name (printed) 104A SOMERSET RD. Address

[Signature] Name (signature) ALI TERURKAEV Name (printed) 72 SOMERSET RD. Address

[Signature] Name (signature) William Conliffe Name (printed) 29 Lyons Ln Address

✓ Pat Roggeveen Patricia Roggeveen 16 Hizenmast Rd.
Name (signature) Name (printed) Address

✓ Richard Valera Richard A. Valera 1 Goose Pond RD
Name (signature) Name (printed) Address

✓ Gale Valera Gale Valera 1 Goose Pond Lane
Name (signature) Name (printed) Address

✓ Nick Valera Nick Valera 1 Goose Pond Lane
Name (signature) Name (printed) Address
by Grace St

✓ Shane R. Valera Shane R. Valera 1 Goose Pond Lane
Name (signature) Name (printed) Address

✓ Elizabeth Feeley Elizabeth Feeley 3 Evergreen Way
Name (signature) Name (printed) Address

✓ Mary Longacre Mary Longacre 18 Bollinger Pond Rd
Name (signature) Name (printed) Address

✓ James D. Feeley James D. Feeley 3 Evergreen Way
Name (signature) Name (printed) Address

✓ Isaiah Stover Isaiah Stover 5 Liberty Street
Name (signature) Name (printed) Address

✓ Nancy Holmes Nancy Holmes 3 Eagles Wing Way
Name (signature) Name (printed) Address

✓ Catherine F. Stover Catherine F. Stover 5 Liberty Street
Name (signature) Name (printed) Address

Name (signature) Name (printed) Address

James M. Coffin

16 (SIXTEEN)

W. B. ...
31 Page
Dail Good

ANNUAL TOWN MEETING - CITIZEN'S ARTICLE

DATE and TIME this paper received by Registrars
 Nov. 23, 2005
 3:32 p.m.

To see if the Town will vote to:

(Zoning Bylaw Amendment) "Tiny House Unit District" in order to relieve some of the pressure for affordable, available housing for year-round residents and seasonal workers, a new Zoning District shall be established.

1. To amend section 2, definitions, as follows:
TINY HOUSE UNIT OWNER OCCUPIED
 The primary residence of a person(s) or the individual beneficiary of a legal estate that holds title, common title or land lease to the property, where such persons are year-round residents, listed in the Town Clerk's Street List, physically present and living within dwelling units on said property or any direct relative of that individual. Properties owned by corporations and the lot, time sharing interval dwelling units, or where all units are made available for rent do not qualify as tiny house owner occupied.

TINY HOUSE UNIT
 A detached structure of less than 500 square feet containing a single tiny house unit owner occupied dwelling unit, constructed on a movable trailer, or a slab foundation. A tiny house may be necessary to an existing dwelling(s) on a lot at a density of one unit for each lot area. No commercial or other non-residential uses shall be permitted on a lot containing a tiny house. The Planning Board shall be the special permit granting authority.

2. To amend section 7A, use chart, by inserting in the "Use" column between "accessory apartment" and "garage apartment" a new use "Tiny House" to be allowed by Special Permit (SP) or as an Accessory Use (U) in all zoning districts.

3. To amend section 7B, prohibited uses in all districts, as follows:
 (2) Use of a trailer or a building (the container for residential purposes or as a protidip or accessory building or structure except such structures designated as "Tiny House Units" or as necessary for storage of chemicals and/or equipment by the Nantucket Fire Department.

4. To amend section 18B, table of parking requirements" by inserting a new column "Tiny House" with a parking requirement of 1 space in all districts.

Or to take any other action related thereto.
 (John J. Stover, et al)

SIGNERS' STATEMENT We are qualified voters of the Commonwealth of Massachusetts and of the Town of Nantucket.

INSTRUCTIONS TO SIGNERS:

Your signature should be written as substantially as registered. If you are prevented, by physical disability, from writing you may authorize some person to write your name and residence in your presence

	I	II	III
	Signatures to be made in person with name substantially as registered (except in case of physical disability as stated above)	Printed Name	Now Living At (Street and Number)
1	<i>[Signature]</i>	Teriah Stover	5 Liberty Street
2	<i>[Signature]</i>	Christina Hoffman	9 Nohadeer
3	<i>[Signature]</i>	FRANK DADLY	7 Rockway
4	<i>[Signature]</i>	ELIZABETH M. FLANNERY	5 ROSE LANE
5	<i>[Signature]</i>	PATRICIA GILES	6 HALL LANE
6	<i>[Signature]</i>	Maurice Dillero	6 Goldster Drive
7	<i>[Signature]</i>	Allen Stuber	15 Deer Run Rd
8	<i>[Signature]</i>	Anne Anderson	13 Deer Run Rd
9	<i>[Signature]</i>	Wade Cerachowski	50 Appleton
10	<i>[Signature]</i>	Dorothy Stouck	5 Liberty Street
11	<i>[Signature]</i>	CAROL MUEHLING	21 OKORWAY
12	<i>[Signature]</i>	SETH RAYNOR	4 BAYBERRY LANE
13	<i>[Signature]</i>	Kathryn Glidden	4 Somerset Lane
14	<i>[Signature]</i>	Kimberly Gustin	15 Pine Tree Road
15	<i>[Signature]</i>	RICHARD E. GLENN	41 SOMERSET LN
16	<i>[Signature]</i>	Hobuda Fernandez-Cruz	8C Thirty Acres Ln.
17	<i>[Signature]</i>	Cecilia Flanagan Howe	5 Liberty Street
18	<i>[Signature]</i>	PAUL HOBGATE	6A Folger Ave
19	<i>[Signature]</i>	PAUL HOBGATE	2 FRANKS HIGHWAY
20	<i>[Signature]</i>	Simon Foley	3 Evergreen Way

Instructions to Registrars

You must time-stamp or write in date and time these papers are received.

Check this against the name of qualified voter to be certified. For names not certified, use the codes opposite.

N = no such registered voter at that address.
 S = unable to identify signature or address as that of
 W = wrong district or community.
 T = already signed this petition.

CERTIFICATION OF SIGNATURES

We certify that (19) NINETEEN signatures checked this are names of voters of the Town of Nantucket and are qualified to sign this petition.

(at least three Registrars' names must be signed or stamped below)

[Signature]
 Registrars of Voters of the Town of Nantucket

[Signature]

ANNUAL TOWN MEETING - CITIZEN'S ARTICLE

To see if the Town will vote to:

(Zoning Bylaw Amendment: 'Tiny House Village' District)

DATE and TIME this paper received by
 Registrar: *[Signature]*
 10/23/2013
 3:32 p.m.

In order to relieve some of the pressure for affordable, available housing for year-round residents and seasonal workers, a new Zoning District shall be established.

1. To amend section 2, definitions, as follows:
TINY HOUSE UNIT OWNER OCCUPIED
 The primary residence of a person(s) or the individual beneficiaries of a legal-lease that holds title, common title or land lease to the property, where such persons are year-round residents, listed in the Town Clerk's Street List, physically present and living within dwelling units on said property or any direct relative of that individual. Properties owned by corporations and the like, five sharing interest dwelling units, or when all units are ready available for rent do not qualify as tiny house owner occupied.

TINY HOUSE VILLAGE
 A detached structure of less than 500 square feet containing a single tiny house and owner occupied dwelling unit, constructed on a foundation trailer, or a slab foundation. A tiny house may be accessory to an existing dwelling(s) on a lot, or constructed on a lot with multiple tiny house dwellings at a density of one unit for each 2,500 square feet of lot area. No commercial or other non-residential uses shall be permitted on a lot containing a tiny house. The Planning Board shall be the special permit-granting authority.

2. To amend section 7A, use chart, by inserting in the "Use" column between "accessory apartment" and "garage apartment" a new use "Tiny House" to be allowed by Special Permit (SP) or as an Accessory Use (AU) in all zoning districts.

3. To amend section 7B, prohibited uses in all districts, as follows:
 (2) Use of a trailer or a building-like container for residential purposes or as a principal or accessory building or structure except such structures designated as "Tiny House Units" or as necessary for storage of chemicals and/or equipment by the Nantucket Fire Department.

4. To amend section 18B, table of parking requirements" by inserting a new column "Tiny House" with a parking requirement of 1 space in all districts.
 Or to add any other action related thereto.
 (Initial, Stamp, et al)

SIGNERS' STATEMENT We are qualified voters of the Commonwealth of Massachusetts and of the Town of Nantucket.

INSTRUCTIONS TO SIGNERS:
 Your signature should be written as substantially as registered. If you are prevented, by physical disability, from writing you may authorize some person to write your name and residence in your presence

	I	II	III
	Signatures to be made in person with name substantially as registered (except in case of physical disability as stated above)	Printed Name	Now Living At (Street and Number)
1	<i>[Signature]</i>	Isaiah Stover	570 Liberty Street
2	<i>[Signature]</i>	Christina Hoffman	5 Liberty Street
3	<i>[Signature]</i>	FRANK DOLY	9 Nobadeer
4	<i>[Signature]</i>	Elizabeth M. Flanagan	7 Raceway Drive
5	<i>[Signature]</i>	Patricia Giles	5 Rose Lane
6	<i>[Signature]</i>	Maureen Dilluca	6 Hull Lane
7	<i>[Signature]</i>	Elian Trifiro	6 Goldstar Drive
8	<i>[Signature]</i>	Anne Anderson	15 Deer Run Rd
9	<i>[Signature]</i>	Wade Cernakowski	13 Deer Run Rd
10	<i>[Signature]</i>	Dorothy Stovick	50 Appleton
11	<i>[Signature]</i>	Carol Muehling	51 North Street
12	<i>[Signature]</i>	SETH RAYNOR	26 Olden Ave
13	<i>[Signature]</i>	Kathleen Glendon	4 Bayberry Lane
14	<i>[Signature]</i>	Kimberly Green	41 Somerset Road
15	<i>[Signature]</i>	RICHARD J. GLIDROW	15 Pine Tree Road
16	<i>[Signature]</i>	Yolande Fernandez-Crist	41 Somerset Ln
17	<i>[Signature]</i>	Catherine Flanagan Stover	8C Thirty Acres Ln.
18	<i>[Signature]</i>	Gail Hargate	5 Liberty Street
19	<i>[Signature]</i>	Barry Holmes	6A Falge Ave
20	<i>[Signature]</i>	3 European Way	3 Eagles Vlna Way

Instructions to Registrars
 You must time-stamp or write in date and time these papers are received.
 Check this against the name of qualified voter to be certified. For names not certified, use the codes opposite.
 N = no such registered voter at that address.
 S = unable to identify signature or address as that of
 W = wrong district or community.
 T = already signed this petition.

CERTIFICATION OF SIGNATURES
 We certify that (19) Nineteen signatures checked thus are names of voters of the Town of Nantucket and are qualified to sign this petition.
 at least three Registrar names must be signed or stamped below
[Signature]
 Registrar of Voters of the Town of Nantucket

[Signature]
 David Good



Town of Nantucket

Request for Vacation Carryover

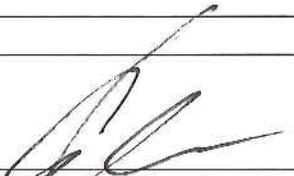
To: Nat Lowell, Chairman NP&EDC
(Department Head/Supervisor)

From: Andrew Vorce, Director of Planning
(Employee)

My anniversary date is February 1, 2016.

I request that I be able to carry over 92 vacation hours for a two year period. I understand that any vacation carry-over hours that are unused in the two year period will be forfeited.

Comments:


Employee Signature

12/31/2015
Date

Approved Disapproved

Signature: _____ Date: _____
(Department Head/Supervisor)

Comments:

cc: Payroll
Human Resources

Form revised by HR, 5/1/07

Nantucket Accessibility Survey

LilyAnne Lewis, Connor McGuirk, Paige Tencati



Liason: Mike Burns

Problem

Nantucket's sidewalks and bus stops are not accessible

Federal and State Laws

- Americans with Disabilities Act (ADA)
- Massachusetts Architectural Access Board

Accessibility vs. Historical Character



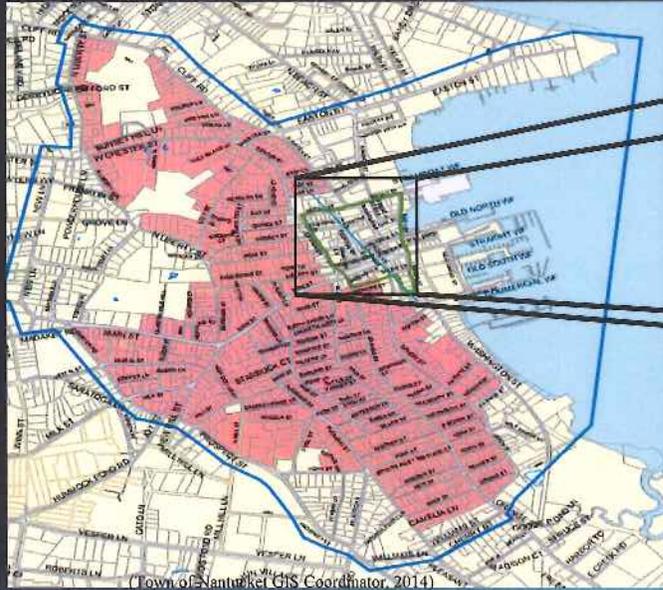
Goal

Provide recommendations to the Nantucket Planning Office for the improvement of accessibility while preserving historic and aesthetic character.

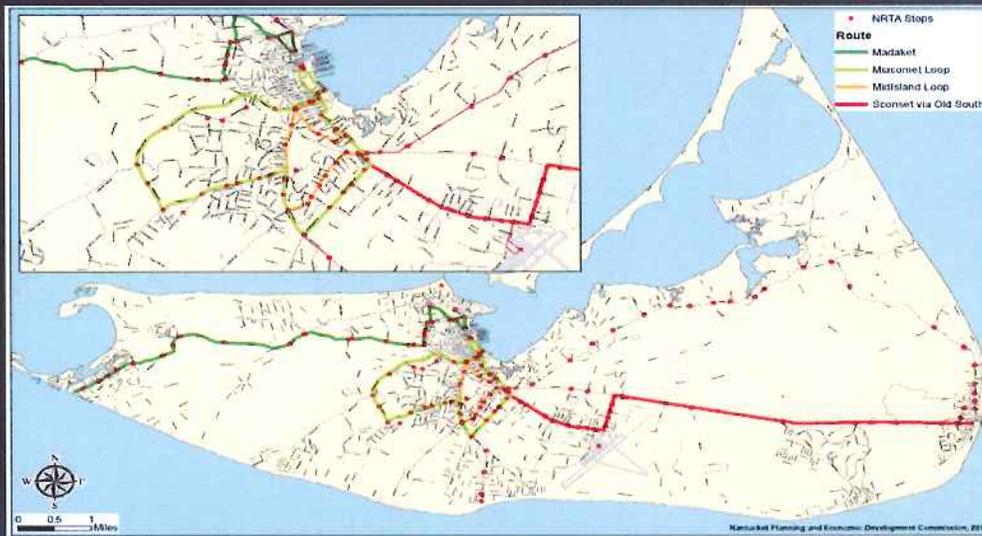
Main Objectives

- Review the current standards and best practices
- Conduct an inventory and assessment of sidewalk and crosswalks
- Conduct an inventory and assessment of the bus stops
- Gauge the opinions of key stakeholders and decision makers
- Evaluate design options and make recommendations for improvements

Sidewalk Study Area



Bus Stop Study Area



Sidewalk Findings

101 Sidewalk Sections

ADA

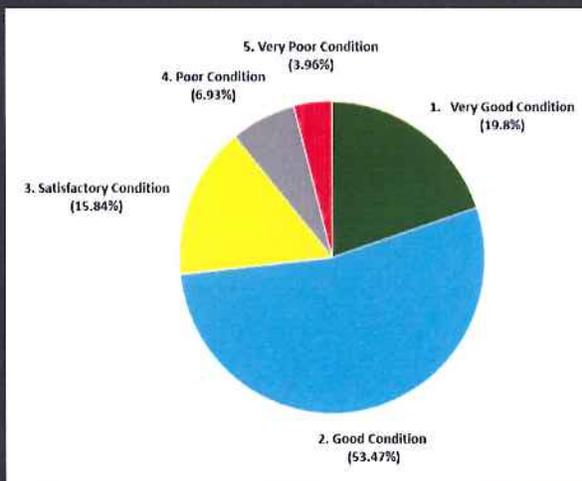
- Minimum Width of 36"
 - 91%
- Maximum cross slope of 2%
 - 21%
- Maximum running slope of 5%
 - 71%
- Passing Zone of 5' X 5' every 200'
 - 72%
- Minimum of 32" of passing room around every obstruction
 - 88%



(City of North Miami Beach, FL, 2015)

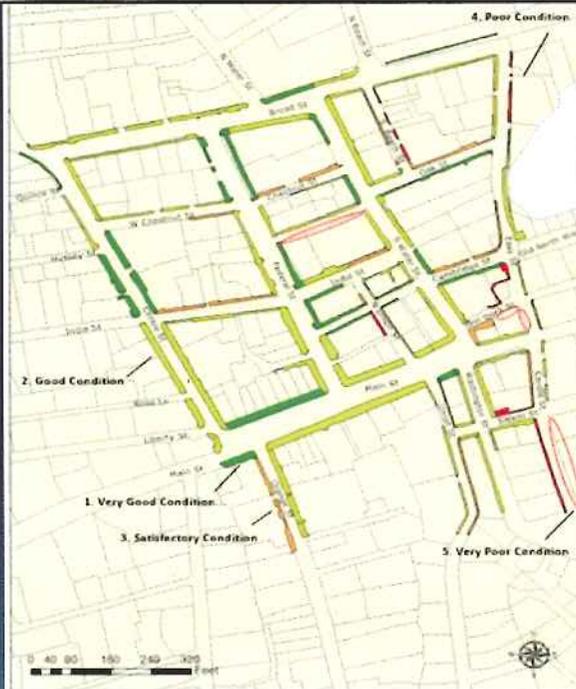


Sidewalk Ratings



Average Rating
2.21

Sidewalk Rating Map



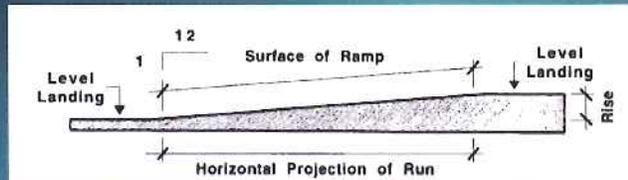
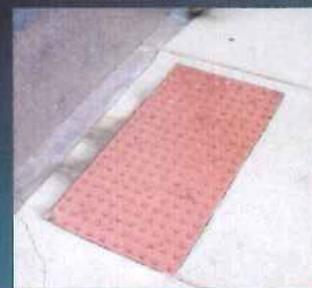
Crosswalk and Curb Ramp Findings

37 Intersections:
 Required: 125 Crosswalks and 250 Curb Ramps
 Found: 67 Crosswalks and 167 Curb Ramps

ADA

- Curb ramp maximum slope of 8.33%
 - 56%
- Curb ramp minimum width of 36"
 - 99%
- Crosswalk minimum width of 72"
 - 48%

Detectable Warning Panels?



(Architectural Access Board: 521CMR, 2006)

Detectable Warning Panel Survey



Wheelchair Experiment

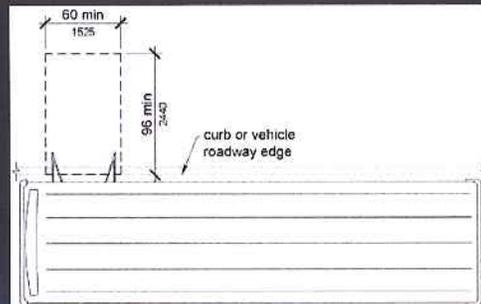


Bus Stop Findings

144 Bus Stops

ADA

- Boarding area minimum size of 60" X 96"
 - 57%
- Slope of boarding area must be equal to that of the adjacent road
 - 65%
- Must be connected by accessible routes
 - 58%
- Each stop must be marked
 - 97%

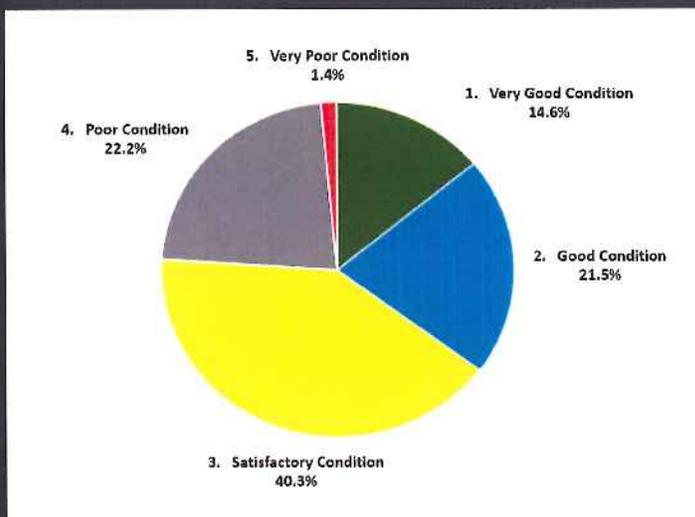


United States Department of Justice, 2015



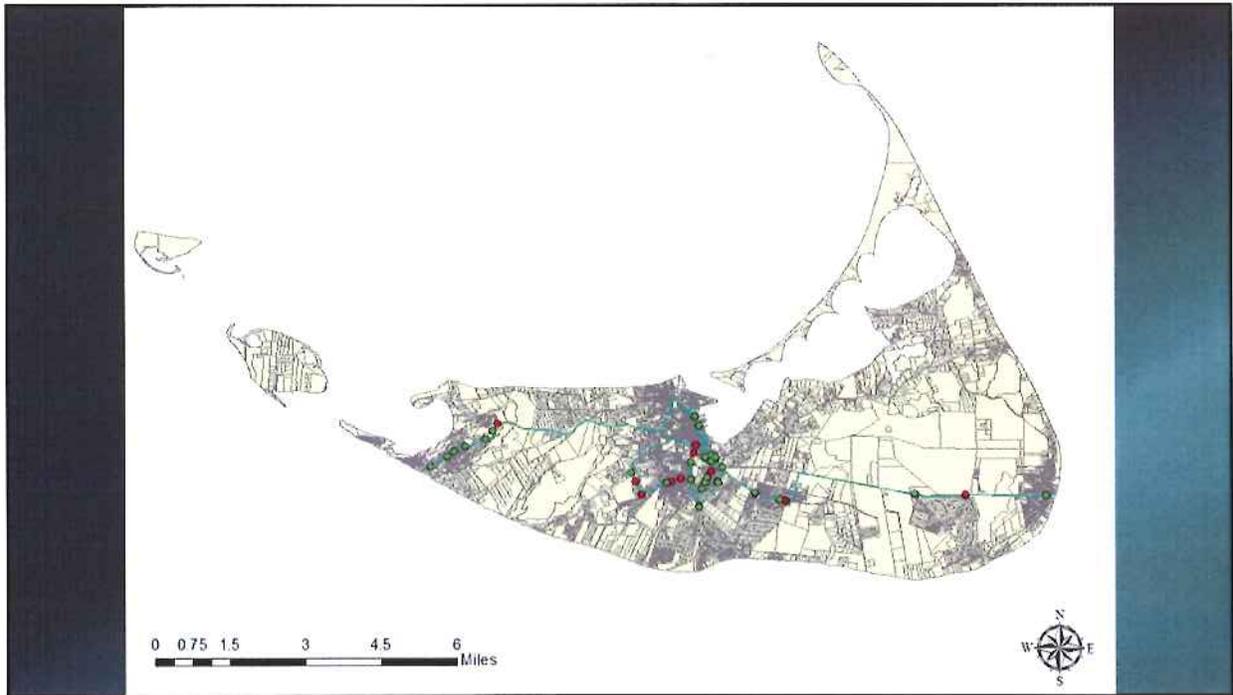
(NRTA, 2015)

Bus Stop Ratings



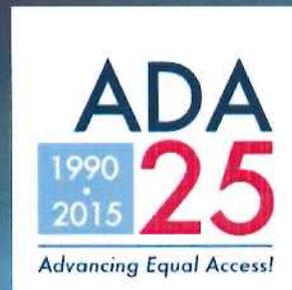
Average Rating
2.67





Conclusion

- Majority of sidewalks and bus stops are in reasonable condition
- Many still do not meet ADA compliance



(United States Department of Justice, 2015)

Short Term

- NPO and NRTA develop guides regarding current accessible buildings and routes
- Update the Nantucket Island Guide

Long Term

- Develop design, construction, and maintenance guidelines.
- Create a strategic plan to lay out priorities, a budget, and milestones for adding/upgrading sidewalks and bus stops.

Summary

- Many sidewalks and bus stops of Nantucket fail to meet state and federal accessibility guidelines.
- Provide recommendations to the Nantucket Planning Office to improve the accessibility of the sidewalks and bus stops while still preserving its aesthetic character.
- No set guidelines for the design and construction of sidewalks.