

1. No Meeting Agenda

There is no agenda available for this meeting. Please view the minutes.

1.1. Viewpack

Documents: 5 MEADOW LANE.PDF, 6 MARBLE WAY.PDF, 7 JUDITH CHASE LANE, ADDITION.PDF, 7 JUDITH CHASE LANE, COTTAGE.PDF, 7 JUDITH CHASE LANE, DEMO.PDF, 7 JUDITH CHASE LANE, GARAGE.PDF, 11 KIMBALL AVE. DEMOLITION.PDF, 11 KIMBALL AVENUE, NEW DWELLING.PDF, 15 SHERBURNE TURNPIKE.PDF, 27 BROAD ST..PDF, 41 CHUCK HOLLOW RD..PDF, 49 W. CHESTER.PDF, 51 CROOKED LANE.PDF, 63 W. CHESTER ST., CABANA.PDF, 63 W. CHESTER ST., POOL.PDF, 94 TOM NEVERS ROAD.PDF, 134C MAIN ST..PDF

CERTIFICATE NO: \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

### CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

#### PROPERTY DESCRIPTION

TAX MAP N°: 41 PARCEL N°: 444  
 Street & Number of Proposed Work: 5 Meadow Lane  
 Owner of record: Robert + Deborah Giese  
 Mailing Address: 3811 Garfield Street  
Washington, DC 20007  
 Contact Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

#### AGENT INFORMATION (if applicable)

Name: Botticelli + Pohl  
 Mailing Address: 11 Old South Road  
Nantucket, MA 02554  
 Contact Phone #: 508-228-5455 E-mail: \_\_\_\_\_

FOR OFFICE USE ONLY

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
 Must be acted on by: \_\_\_\_\_  
 Extended to: \_\_\_\_\_  
 Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
 Chairman: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Notes - Comments - Restrictions - Conditions  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

#### DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed  
 Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_  
 Pool (Zoning District \_\_\_\_\_)  Roof  Other \_\_\_\_\_  
 Size of Structure or Addition: Length: 32'-8" Sq. Footage 1st floor: 742 Decks/Patio: Size: 5x10 1/2  1st floor  2nd floor  
 Width: 24'-0" Sq. Footage 2nd floor: 550 Size: 5x10 1/2  1st floor  2nd floor  
 Sq. Footage 3rd floor: \_\_\_\_\_  
 Difference between existing grade and proposed finish grade: North 0 South 0 East 0 West 0  
 Height of ridge above final finish grade: North 24'-4" South 24'-4" East 24'-4" West 24'-4"

#### Additional Remarks

Historic Name: \_\_\_\_\_  
 Original Date: \_\_\_\_\_  
 Original Builder: \_\_\_\_\_  
 Is there an HDC survey form for this building attached?  Yes  N/A

- REVISIONS\***
1. East Elevation
  2. South Elevation
  3. West Elevation
  4. North Elevation

\*Cloud on drawings and submit photographs of existing elevations.

#### DETAIL OF WORK TO BE PERFORMED

**Foundation:** Height Exposed 8"  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
~~**Masonry Chimney:**  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_~~  
**Roof Pitch:** Main Mass 9/12 Secondary Mass 9/12 Dormer 4/12 Other \_\_\_\_\_  
**Roofing material:**  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_  
~~**Skylights (flat only):** Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
 Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_~~  
**Gutters:**  Wood  Aluminum  Copper  Leaders (material) PAINTED GALV.  
**Leaders (material and size):** PAINTED GALV.  
**Sidewall:**  White cedar shingles  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_  
**Trim:** A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
 B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_  
 C. Dimensions: Fascia 1x8 Rake 1x8 Soffit (Overhang) \_\_\_\_\_ Corner boards 1x6 Frieze \_\_\_\_\_  
 Window Casing 1x4 Door Frame 1x4 Columns/Posts: Round \_\_\_\_\_ Square   
**Windows\*:**  Double Hung  Casement  All Wood  Other AWNING  
 True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer ANDERSEN  
**Doors\* (type and material):**  TDL  SDL Front 9 LIGHT Rear 9 LIGHT Side \_\_\_\_\_  
 Garage Door(s): Type OVERHEAD Material PAINTED CEDAR (WHITE)  
**Hardscape materials:** Driveways NONE Walkways NONE Walls NONE

\* Note: Complete door and window schedules are required.

#### COLORS

Sidewall Natural Clapboard (if applicable) \_\_\_\_\_ Roof gray to match house  
 Trim White Sash White Doors blue to match house  
 Deck Natural Foundation Natural Fence \_\_\_\_\_ Shutters \_\_\_\_\_

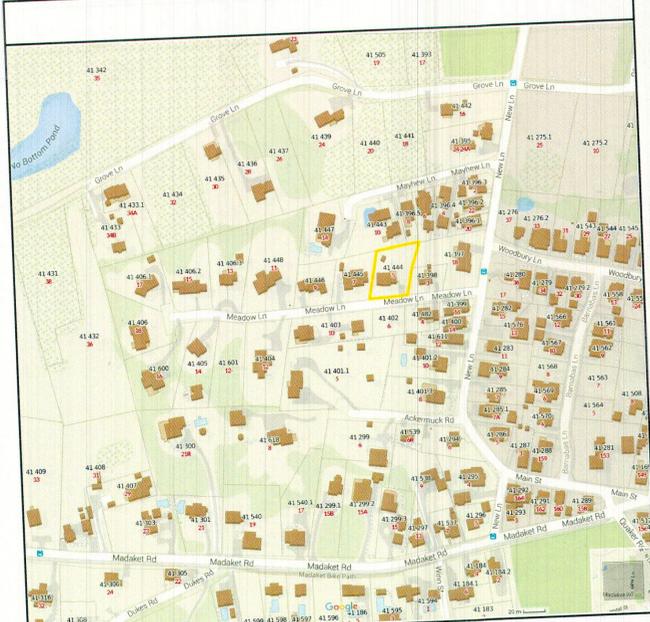
\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 17 Dec 2015

Signature of owner of record \_\_\_\_\_

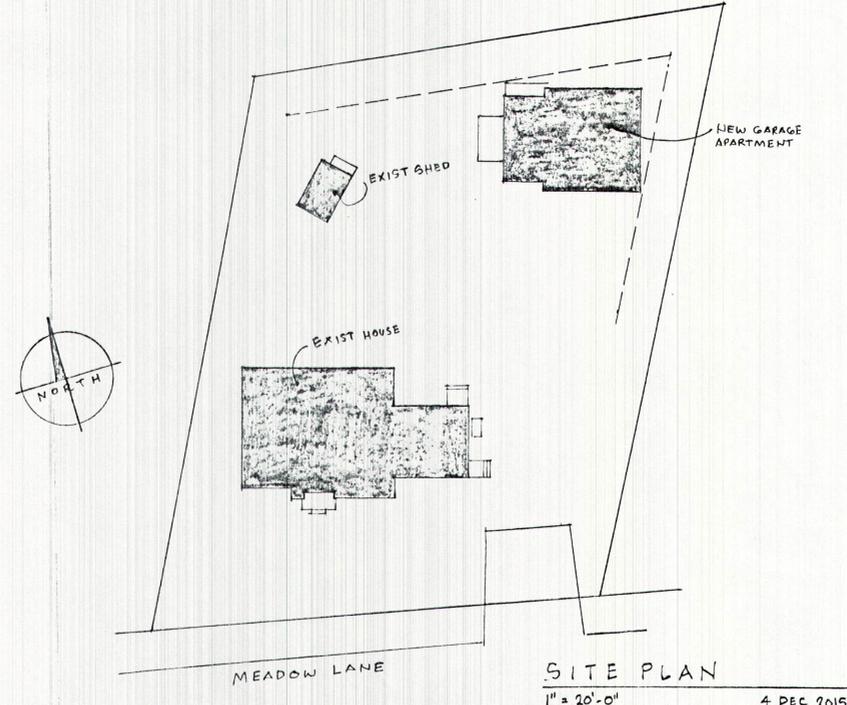
Signed under penalties of perjury



Property Information  
 Property ID: 41420444  
 Location: 5 MEADOW LN  
 Owner: GESE ROBERT & DEBORAH M



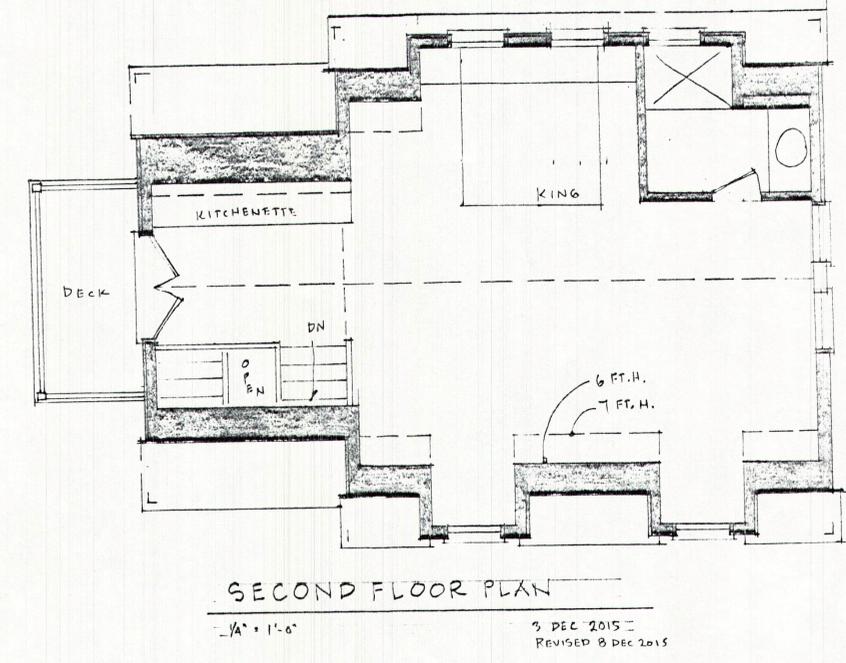
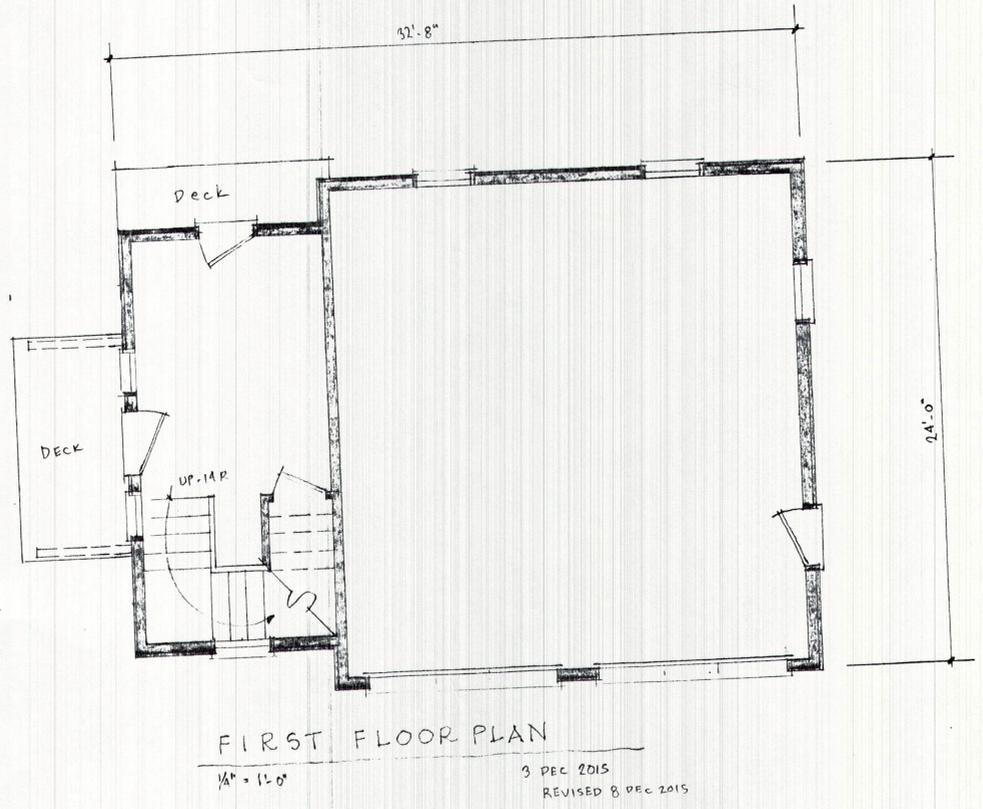
MAP FOR REFERENCE ONLY  
 NOT A LEGAL DOCUMENT  
 Town and County of Nantucket, MA makes no  
 claims and no warranties, expressed or implied,  
 concerning the validity or accuracy of the GIS data  
 presented on this map.



**Garage at 5 Meadow Lane, Nantucket MA**  
 Window and Exterior Door Schedule

HDC REVISION 12.29.2015							
REVISION:							
WINDOWS							
NO.	QTY	Type	Manu.	Model No.	Frame Size	Rough Opening	
A	8	Double Hung	Anderson	400 Series	21 5/8" x 5-0 1/8"	3-0 1/8" x 5-0 1/8"	
B	2	Double Hung	Anderson	400 Series	21 5/8" x 3-8 1/8"	2-2 1/8" x 3-8 1/8"	
C	3	Awning	Anderson	400 Series	2-1 1/2" x 2-5"	2-8" x 2-4 3/8"	
DOORS							
NO.	QTY	Type	Manu.	Unit Size	Rough Opening	Lights	
1	2	Nine Light	Simpson	F-7944	2-8" x 7'-0"	2-10 1/2" x 7'-2"	9
2	1	Pr. Firtzen Light	Simpson	F-9015	(2) 2'-6" x 6'-8"	5-2 1/2" x 6'-10 1/2"	9
3	1	Nine Light	Simpson	F-7944	3'-0" x 7'-0"	3-2 1/2" x 6'-10 1/2"	9
4	2	Overhead Garage	Overhead Garage Door Co.		9'-0" x 8'-0"	9-2 1/2" x 8'-2 1/2"	(2) 8

**Notes:**  
 1. All windows will be Anderson 400 series insulated glass multi configuration as shown on exterior elevation to meet or exceed U-Value 32  
 2. Contractor to provide plywood panels for all fenestration to meet impact codes as necessary design pressure to meet or exceed DP-30  
 3. No finger joints on casings or sill. Back primed.  
 4. Contractor shall provide tempered glass in all locations required by code & in all window locations adjacent to showers, tubs and stairs.  
 5. Mill shop will provide shop drawings for all window and door units to architect for approval.  
 6. Provide all doors with LOW E STORM (Storm doors as required to meet 2012 Mass Energy Code (see ResCheck certificate))  
 7. Provide all doors with LOW E STORM (Storm doors as required to meet 2012 Mass Energy Code (see ResCheck certificate))  
 8. Mount storm screen units on blind stop.  
 9. Provide all window and doors with red cedar casings to match existing.  
 10. Contractor will verify all rough opening sizes and quantities on site during rough framing before placing window order.

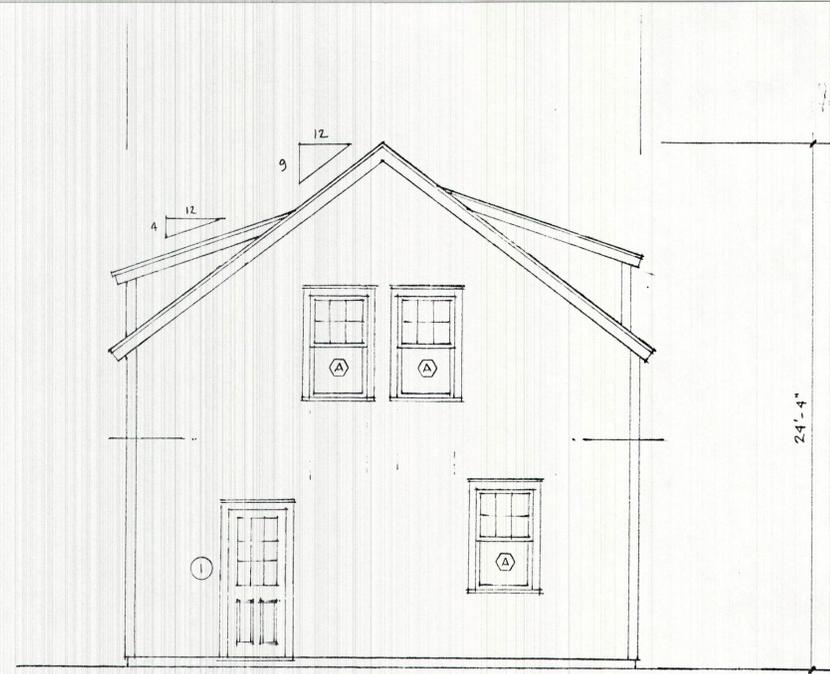




NORTH ELEVATION

1/8" = 1'-0"

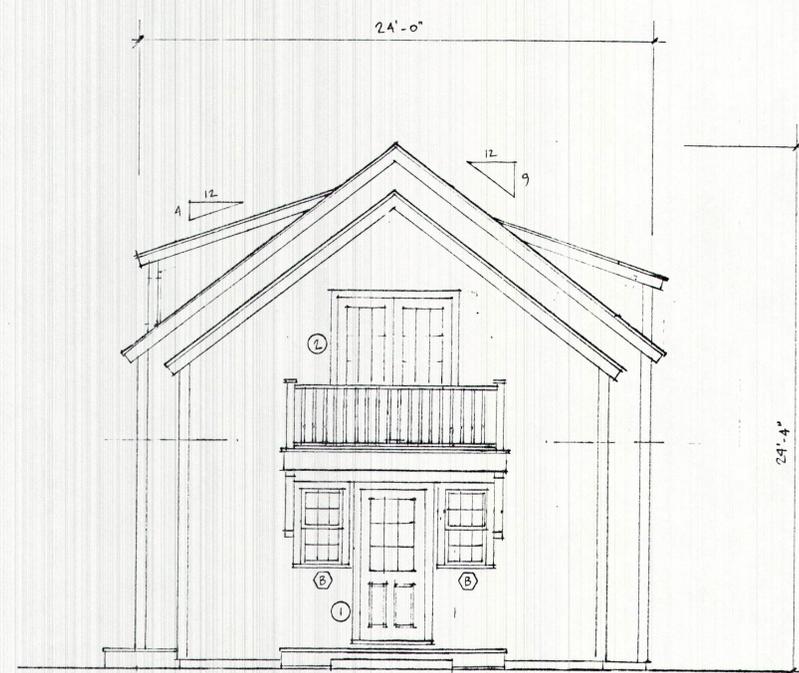
3 DEC 2015  
REVISED 8 DEC 2015



EAST ELEVATION

1/8" = 1'-0"

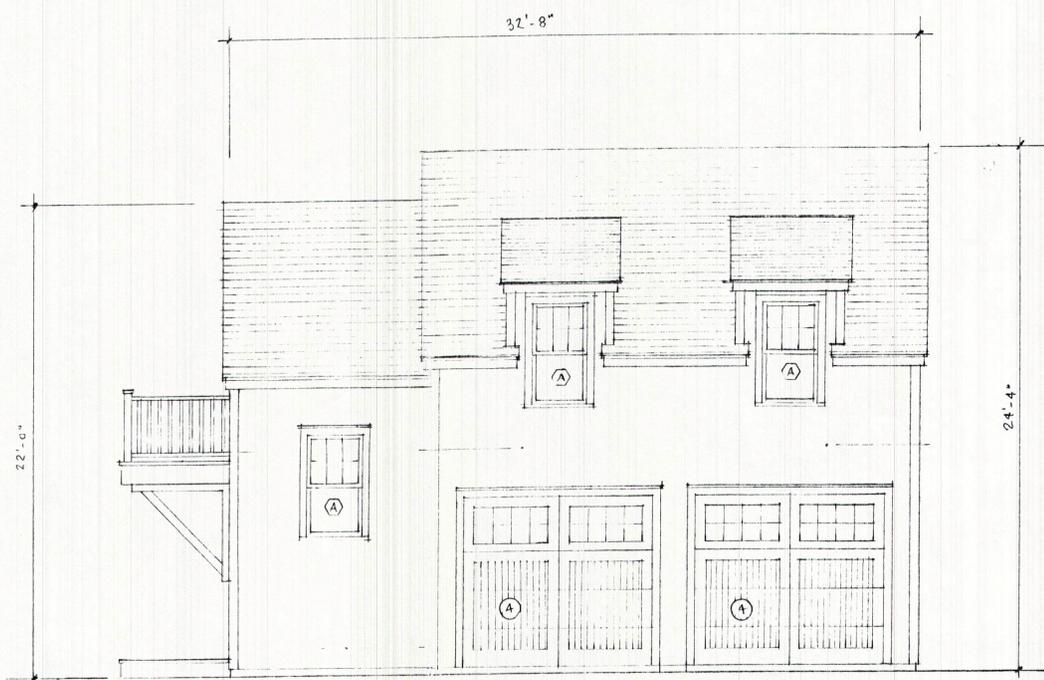
3 DEC 2015 REVISED 8 DEC 2015



WEST ELEVATION

1/8" = 1'-0"

3 DEC 2015  
REVISED 8 DEC 2015



SOUTH ELEVATION

1/8" = 1'-0"

3 DEC 2015  
REVISED 8 DEC 2015

Garage at 5 Meadow Lane, Nantucket MA  
Window and Exterior Door Schedule

HDC SUB-16504-028309  
REVISIONS

WINDOWS							
NO.	QTY	Type	Manu.	Model No.	Frame Size	Rough Opening	Lights
A	8	Double Hung	Anderson	400 Series	21 5/8" x 5'-0 1/8"	3'-0 1/8" x 5'-0 1/8"	6 over 1
B	2	Double Hung	Anderson	400 Series	2'-5 7/8" x 3'-8 1/8"	2'-2 1/8" x 3'-8 1/8"	6 over 1
C	3	Awing	Anderson	400 Series	2'-1 1/2" x 2'-5"	2'-8" x 2'-4 3/8"	6

DOORS							
NO.	QTY	Type	Manu.	Unit Size	Rough Opening	Lights	
1	2	Nine Light	Simpson	F-7944	2'-8" x 7'-0"	2'-0 1/2" x 7'-2"	9
2	1	Pr. Fifteen Light	Simpson	F-9015	2'-6" x 6'-8"	5'-2 1/2" x 6'-10 1/2"	15
3	1	Nine Light	Simpson	F-7944	3'-0" x 7'-0"	3'-2 1/2" x 6'-10 1/2"	9
4	2	Overhead Garage	Overhead Garage Door Co.		9'-0" x 8'-0"	9'-2 1/2" x 8'-2 1/2"	2/B

Notes:

- All windows will be Anderson 400 series, insulated glass, multi-configuration as shown on exterior elevations to meet or exceed U-Value .32
- Contractor to provide plywood panels for all fenestration to meet impact codes as necessary design pressure to meet or exceed DP-30
- No finger joints on casings or sill. Back primed.
- Contractor shall provide tempered glass in all locations required by code in all window locations adjacent to showers/tubs and stairs.
- Mill shop will provide shop drawings for all window and door units to architect for approval.
- Provide all doors with LOW E STORM/Screen doors as required to meet 2012 Mass Energy Code (see ResCheck certificate).
- Mount storm screen units on brick stops.
- Provide all window and doors with red cedar casings to match existing.
- Contractor will verify all rough opening sizes and quantities on site during rough framing before placing window order.

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

### CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference. The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

#### PROPERTY DESCRIPTION

TAX MAP N°: 66 PARCEL N°: 103  
Street & Number of Proposed Work: 6 Marble Way  
Owner of record: Brian Sullivan  
Mailing Address: 14 Aurora Way  
Nantucket, Ma 02554  
Contact Phone #: 508-414-1378 E-mail: Sully@newypeople.com

#### AGENT INFORMATION (if applicable)

Name: Topham Design  
Mailing Address: 18 Hummock Pond Road  
Nantucket, Ma 02554  
Contact Phone #: 508-325-5890 E-mail: Joseph@TophamDesignAck.com

FOR OFFICE USE ONLY	
Date application received: _____	Fee Paid: \$ _____
Must be acted on by: _____	
Extended to: _____	
Approved: _____	Disapproved: _____
Chairman: _____	
Member: _____	
Member: _____	
Member: _____	
Member: _____	
Notes - Comments - Restrictions - Conditions	

#### DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling     Addition     Garage     Driveway/Apron     Commercial     Historical Renovation     Deck/Patio     Steps     Shed  
 Color Change     Fence     Gate     Hardscaping     Move Building     Demolition     Revisions to previous Cert. No. \_\_\_\_\_  
 Pool (Zoning District \_\_\_\_\_)     Roof     Other \_\_\_\_\_  
Size of Structure or Addition: Length: 98.0' Sq. Footage 1st floor: 3920 Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
Width: 40.0' Sq. Footage 2nd floor: \_\_\_\_\_ Size: \_\_\_\_\_  1st floor  2nd floor  
Sq. Footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North -12" South +12" East +12" West +12"  
Height of ridge above final finish grade: North 27.0'± South 27.0'± East 27.0'± West 28.0'±

#### Additional Remarks

Historic Name: \_\_\_\_\_  
Original Date: \_\_\_\_\_  
Original Builder: \_\_\_\_\_  
Is there an HDC survey form for this building attached?  Yes  N/A

- REVISIONS:
1. East Elevation
  2. South Elevation
  3. West Elevation
  4. North Elevation

\*Cloud on drawings and submit photographs of existing elevations.

#### DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 8"  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
~~Masonry Chimney~~  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
Roof Pitch: Main Mass 6/12 Secondary Mass \_\_\_\_\_/12 Dormer \_\_\_\_\_/12 Other \_\_\_\_\_  
Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_  
Fence: Height: \_\_\_\_\_  
Type: \_\_\_\_\_  
Length: \_\_\_\_\_  
~~Skylights (flat only):~~ Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_  
Leaders (material and size): ALUM. 2x3  
Sidewall:  White cedar shingles  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_  
Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_  
C. Dimensions: Fascia 1x10 Rake 1x8 Soffit (Overhang) 2" Corner boards 5/4x4 Frieze \_\_\_\_\_  
Window Casing 5/4x4 Door Frame 5/4x4 Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_  
Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights(muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_  
Doors\* (type and material):  TDL  SDL Front WOOD/GLASS Rear WOOD/GLASS Side WOOD/GLASS  
Garage Door(s): Type OVERHEAD Material WOOD  
Hardscape materials: Driveways GRAVEL Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

#### COLORS

Sidewall TO WEATHER Clapboard (if applicable) \_\_\_\_\_ Roof BLACK  
Trim TO WEATHER Sash GREY Doors GREY  
Deck \_\_\_\_\_ Foundation GREY Fence \_\_\_\_\_ Shutters \_\_\_\_\_

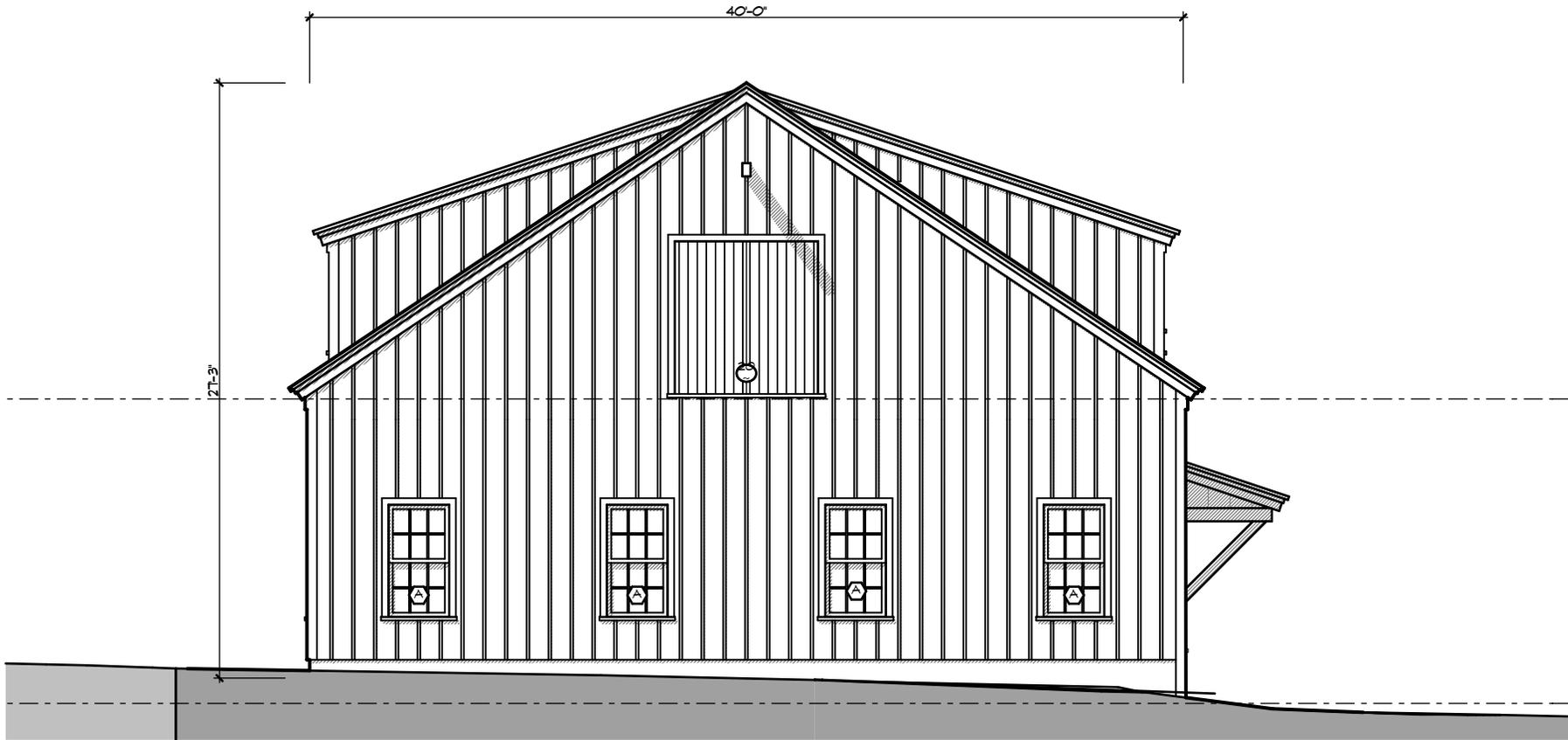
\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specific parts of the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date November 4, 2015 Signature of owner of record \_\_\_\_\_ Signed under penalties of perjury







2

# PROPOSED NORTH ELEVATION

SCALE: 1:91.62



**TOPHAM DESIGN**

18 Hummock Pond Road Nantucket MA 02554  
 Tel: 508-325-5890 email: joseph@tophamdesign.com

MARK	DATE	DESCRIPTION

**PROPOSED NORTH ELEVATION**

Building Permit No.:

HDC Submission 3 December 2014  
 HDC Submission 24 November 2015 Certificate No.:

**SULLIVAN  
 CAR  
 STORAGE**

8 Marble Way  
 Nantucket, MA 02554

HDC SUBMISSION

12/21/15

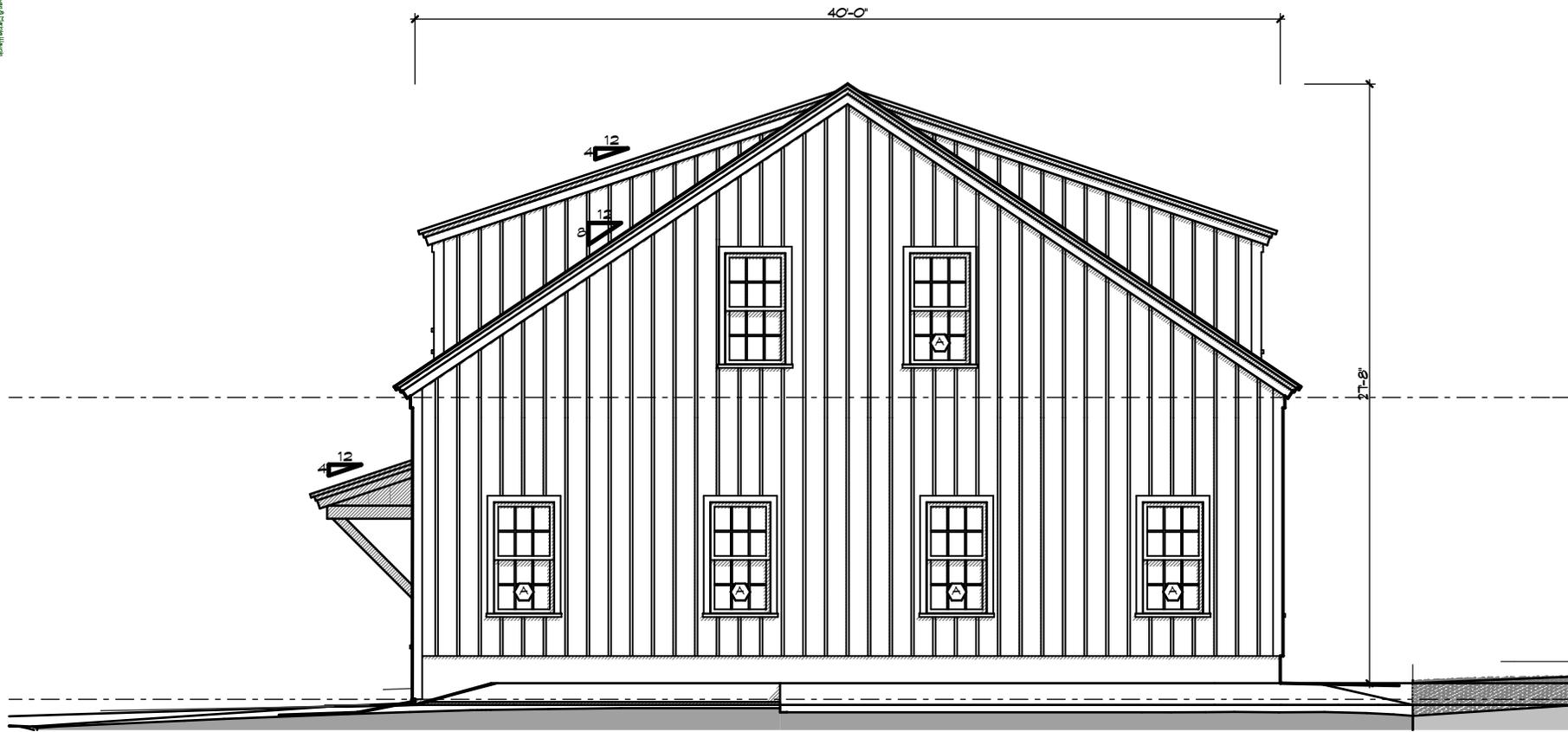
PROJECT NO.	2015-14
Map No.	66 Parcel No. 103

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**HDC 2.1**



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1

# PROPOSED SOUTH ELEVATION

SCALE: 1:91.62



## TOPHAM DESIGN

18 Hummock Pond Road Nantucket MA 02554  
Tel: 508-325-5890 email: joseph@tophamdesign.com

MARK	DATE	DESCRIPTION
1/1		

PROPOSED SOUTH ELEVATION

HDC Submission 3 December 2014 Certificate No.  
HDC Submission 24 November 2015 Building Permit No.

### SULLIVAN CAR STORAGE

8 Marble Way  
Nantucket, MA 02554  
HDC SUBMISSION  
12/21/15

PROJECT NO.	2015-14
Map No.	66 Parcel No.: 103

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# HDC 2.3



CERTIFICATE NO: \_\_\_\_\_

DATE ISSUED: 8/12/11

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

**CERTIFICATE OF APPROPRIATENESS**

for structural work.

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The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

**PROPERTY DESCRIPTION**

TAX MAP N<sup>o</sup>: 42.3.3 PARCEL N<sup>o</sup>: 62  
Street & Number of Proposed Work: 7 JUDITH CHASE LN  
Owner of record: AT LAST LLC  
Mailing Address: 7 JUDITH CHASE LN  
NANTUCKET, MA  
Contact Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

**AGENT INFORMATION (if applicable)**

Name: NANTUCKET ARCHITECTURE CORP LTD  
Mailing Address: PO BOX 1814  
NANTUCKET MA  
Contact Phone #: 781-521-1122 E-mail: \_\_\_\_\_  
Steve C NANTUCKETARCHITECTURE.COM

**FOR OFFICE USE ONLY**

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
Must be acted on by: \_\_\_\_\_  
Extended to: \_\_\_\_\_  
Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
Chairman: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Notes - Comments - Restrictions - Conditions

**DESCRIPTION OF WORK TO BE PERFORMED**

See reverse for required documentation.

New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed  
 Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_  
 Pool (Zoning District \_\_\_\_\_)  Roof  Other: RENOVATION - 1ST FLOOR 1614  
Size of Structure or Addition: Length: \_\_\_\_\_ Sq. Footage 1st floor: 459 ROOMS Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
Width: \_\_\_\_\_ Sq. Footage 2nd floor: 1035 Size: \_\_\_\_\_  1st floor  2nd floor  
Sq. Footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North 0 South 0 East 0 West 0  
Height of ridge above final finish grade: North 21-7 South EXISTING East 21-6 West EXIST

**Additional Remarks**

Historic Name: CAPT. JOSEPH CHASE REVISIONS: 1. East Elevation  
Original Date: 1745 (describe) 2. South Elevation  
Original Builder: 3. West Elevation  
Is there an HDC survey form for this building attached?  Yes  N/A 4. North Elevation

\*Cloud on drawings and submit photographs of existing elevations.

**DETAIL OF WORK TO BE PERFORMED**

Foundation: Height Exposed \_\_\_\_\_  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
Roof Pitch: Main Mass 8/12 Secondary Mass 1/12 Dormer 1/12 Other \_\_\_\_\_  
Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.)

Fence: Height: \_\_\_\_\_  
Type: \_\_\_\_\_  
Length: \_\_\_\_\_

Skylights (flat only): Manufacturer: NA Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Manufacturer: \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_

Leaders (material and size): \_\_\_\_\_

Sidewall:  White cedar shingles \_\_\_\_\_  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_

Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_

C. Dimensions: Fascia 1x8 Rake 1x8 Soffit (Overhang) \_\_\_\_\_ Corner boards 1x6 Frieze \_\_\_\_\_  
Window Casing 5/4x4 Door Frame 5/4x4 Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_

Windows:  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_

Doors\* (type and material):  TDL  SDL Front \_\_\_\_\_ Rear SEE PLANS Side \_\_\_\_\_  
Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_

Hardscape materials: Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

**COLORS**

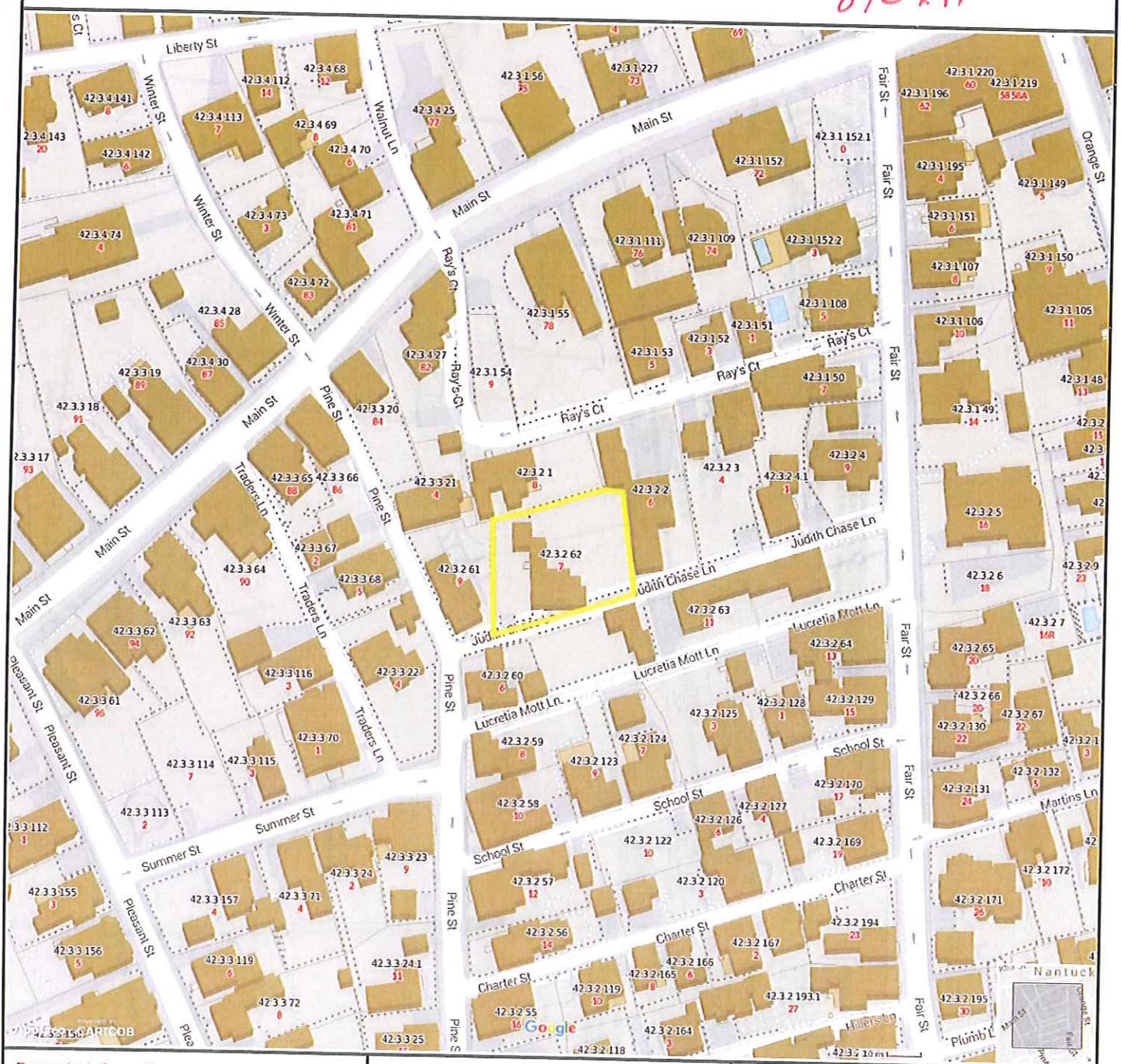
Sidewall PAINT TO WEATHER Clapboard (if applicable) \_\_\_\_\_ Roof PAINT TO WEATHER  
Trim WHITE Sash WHITE Doors WHITE  
Deck \_\_\_\_\_ Foundation \_\_\_\_\_ Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 12/28/15 Signature of owner of record [Signature] Signed under penalties of perjury

8 1/2 x 11



**Property Information**

Property ID 42.3.2.2062  
 Location 7 JUDITH CHASE LN  
 Owner MORRISON JOHN TRST ETAL

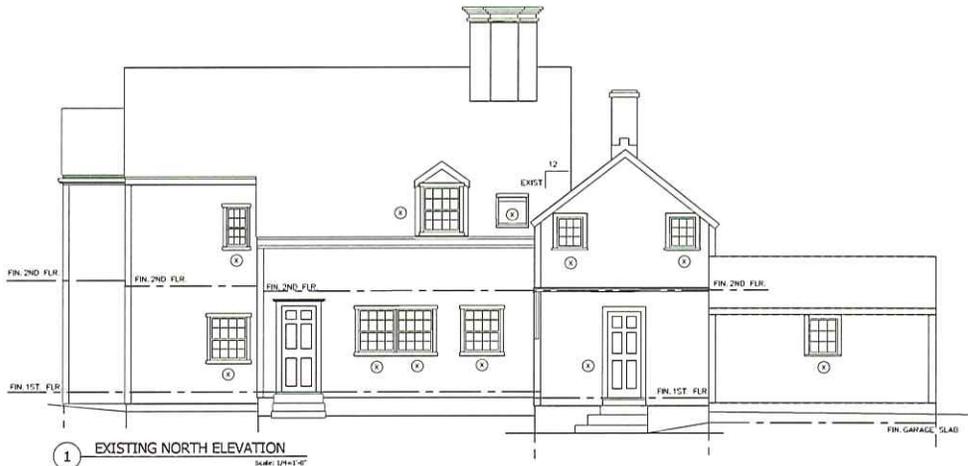


**MAP FOR REFERENCE ONLY  
NOT A LEGAL DOCUMENT**

Town and County of Nantucket, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Parcels updated December, 2014  
Properties updated January, 2015





NANTUCKET ARCHITECTURE GROUP LTD.  
 POST OFFICE BOX 1814  
 NANTUCKET, MASSACHUSETTS, 02554  
 TELEPHONE 508.228.9631  
 WWW.NANTUCKETARCHITECTURE.COM

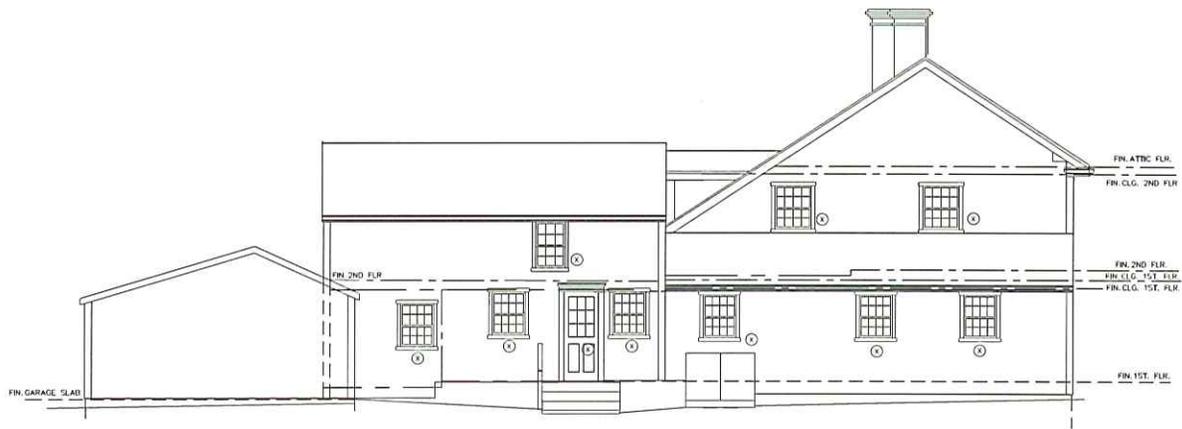
ADDITIONS AND ALTERATIONS FOR:  
 7 JUDITH CHASE LANE  
 MAP: 42.3.2 PARCEL: 62

ELEVATIONS

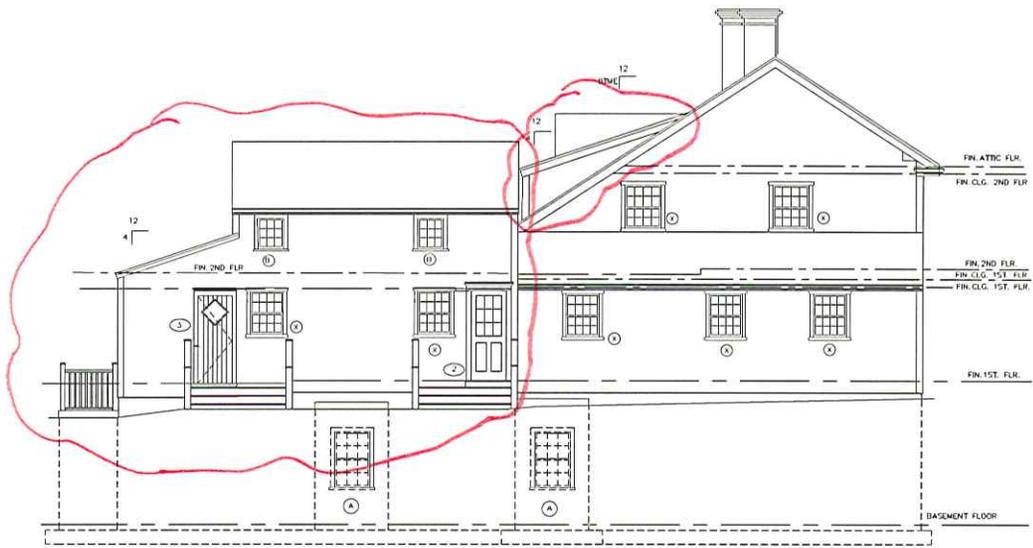
HDC: XX/XX/XX
BIDDING:
BLDG. DEPT:
REVISIONS:
REVISIONS:
REVISIONS:
DATE: 1st copyright Aug 2011

1508.25  
 HDC-7





L EXISTING WEST ELEVATION  
Scale: 1/4"=1'-0"



K PROPOSED WEST ELEVATION  
Scale: 1/4"=1'-0"

NANTUCKET ARCHITECTURE GROUP LTD.  
POST OFFICE BOX 1814  
NANTUCKET, MASSACHUSETTS, 02554  
TELEPHONE 508.228.5631  
WWW.NANTUCKETARCHITECTURE.COM

ADDITIONS AND ALTERATIONS FOR:  
7 JUDITH CHASE LANE  
MAP: 42.3.2 PARCEL: 62

ELEVATIONS

HDC: XX/XX/XX
BIDDING:
BLDG. DEPT:
REVISIONS:
REVISIONS:
REVISIONS:
REVISIONS:
DVI - set Copyright Reg 2011

HDC-6



NANTUCKET ARCHITECTURE GROUP LTD.  
 POST OFFICE BOX 1814  
 NANTUCKET, MASSACHUSETTS, 02554  
 TELEPHONE 508.228.5631  
 WWW.NANTUCKETARCHITECTURE.COM

ADDITIONS AND ALTERATIONS FOR:  
 7 JUDITH CHASE LANE  
 MAP: 42.3.2 PARCEL: 62

ELEVATIONS

HDC: XXXXXXX
BIDDING:
BLDG. DEPT:
REVISIONS:
DATE: Not copyright reg 2015
1/16/25

HDC-5

CERTIFICATE NO: \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

### CERTIFICATE OF APPROPRIATENESS

for structural work.

8/12 x 11

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

#### PROPERTY DESCRIPTION

TAX MAP N<sup>o</sup>: 42.3.3 PARCEL N<sup>o</sup>: 62  
 Street & Number of Proposed Work: 7 JUDITH CHASE W.  
 Owner of record: AT LAST LLC  
 Mailing Address: 7 JUDITH CHASE W.  
NANTUCKET, MA.  
 Contact Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

#### AGENT INFORMATION (if applicable)

Name: NANTUCKET ARCHITECTURE Group LTD  
 Mailing Address: PO BOX 1514 NANTUCKET.  
 Contact Phone #: 728-5031 x2 E-mail: \_\_\_\_\_  
Steve@NANTUCKETARCHITECTURE.COM

FOR OFFICE USE ONLY

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_

Must be acted on by: \_\_\_\_\_

Extended to: \_\_\_\_\_

Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_

Chairman: \_\_\_\_\_

Member: \_\_\_\_\_

Member: \_\_\_\_\_

Member: \_\_\_\_\_

Member: \_\_\_\_\_

Notes - Comments - Restrictions - Conditions

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

#### DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling     Addition     Garage     Driveway/Apron     Commercial     Historical Renovation     Deck/Patio     Steps     Shed
- Color Change     Fence     Gate     Hardscaping     Move Building     Demolition     Revisions to previous Cert. No. \_\_\_\_\_
- Pool (Zoning District \_\_\_\_\_)     Roof     Other \_\_\_\_\_

Size of Structure or Addition: Length: 30'-0" Sq. Footage 1st floor: 606 Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
 Width: 15'-0" Sq. Footage 2nd floor: 568 Size: \_\_\_\_\_  1st floor  2nd floor  
 Sq. Footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North 0 South 0 East 0 West 0  
 Height of ridge above final finish grade: North 2'-8" South 2'-8" East 2'-8" West 2'-8"

#### Additional Remarks

Historic Name: \_\_\_\_\_ REVISIONS\*: 1. East Elevation  
 Original Date: \_\_\_\_\_ (describe) 2. South Elevation  
 Original Builder: \_\_\_\_\_ 3. West Elevation  
 Is there an HDC survey form for this building attached?  Yes  N/A 4. North Elevation

\*Cloud on drawings and submit photographs of existing elevations.

#### DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 6"  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers \_\_\_\_\_

Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_

Roof Pitch: Main Mass 8/12 Secondary Mass 4/12 Dormer \_\_\_\_\_/12 Other \_\_\_\_\_

Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.)

Fence: Height: \_\_\_\_\_  
 Type: \_\_\_\_\_  
 Length: \_\_\_\_\_

Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
 Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_

Leaders (material and size): \_\_\_\_\_

Sidewall:  White cedar shingles \_\_\_\_\_  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_

Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
 B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_

C. Dimensions: Fascia 1x8 Rake 1x8 Soffit (Overhang) 4" Corner boards 1x6 Frieze \_\_\_\_\_  
 Window Casing 5/4x4 Door Frame 5/4x4 Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_

Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_

Doors\* (type and material):  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_  
 Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_

Hardscape materials: Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

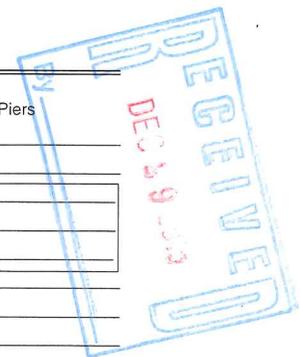
#### COLORS

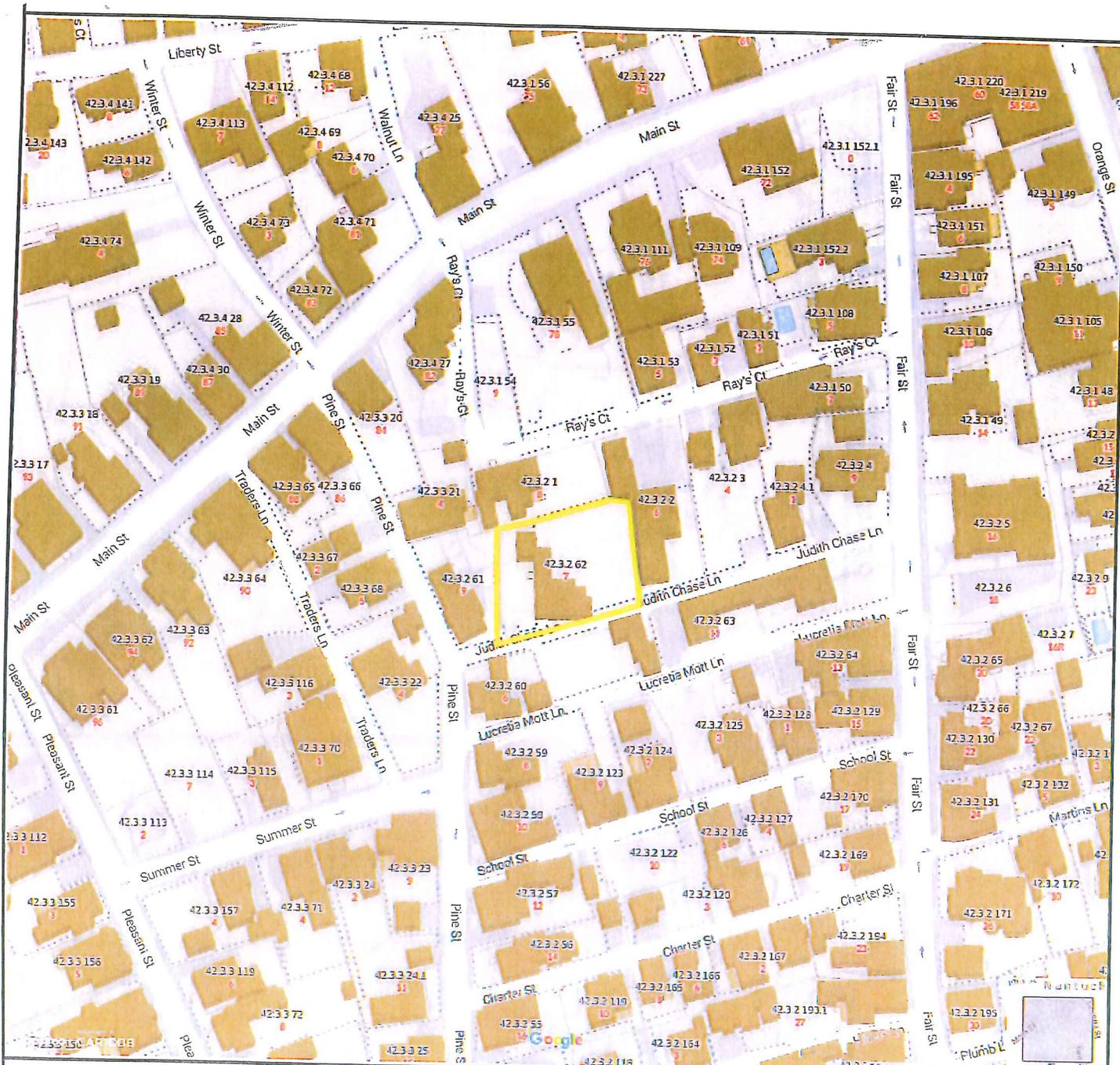
Sidewall NAT. TO WEATHER Clapboard (if applicable) \_\_\_\_\_ Roof NAT. TO WEATHER  
 Trim NAT TO WEATHER Sash NAT TO WEATHER Doors NAT TO WEATHER  
 Deck \_\_\_\_\_ Foundation \_\_\_\_\_ Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 12/24/15 Signature of owner of record [Signature] Signed under penalties of perjury





**Property Information**

Property ID	42.3.2%2062
Location	7 JUDITH CHASE LN
Owner	MORRISON JOHN TRST ETAL

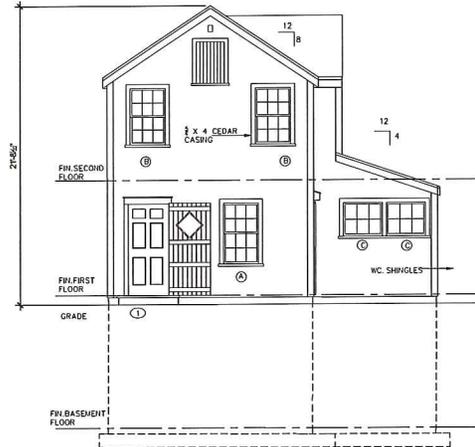


**MAP FOR REFERENCE ONLY  
NOT A LEGAL DOCUMENT**

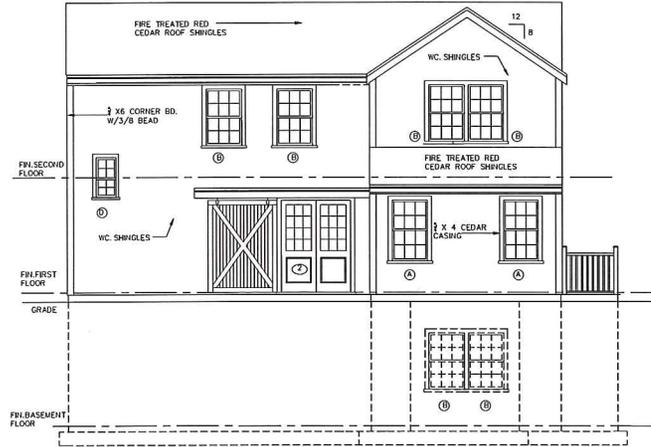
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Parcels updated December, 2014  
Properties updated January, 2015

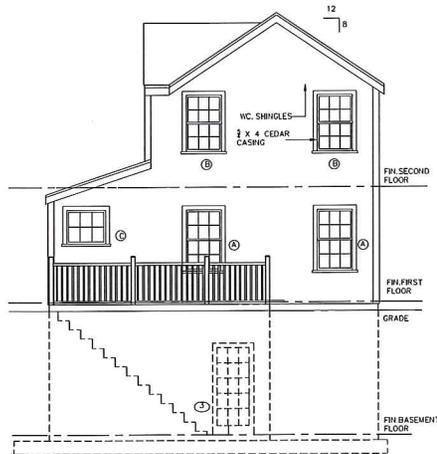




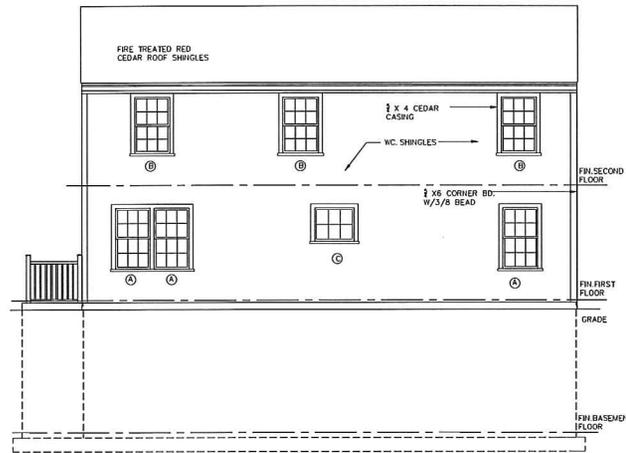
D SOUTH ELEVATION COTTAGE  
Scale: 1/4"=1'-0"



E EAST ELEVATION COTTAGE  
Scale: 1/4"=1'-0"



F NORTH ELEVATION COTTAGE  
Scale: 1/4"=1'-0"



G WEST ELEVATION COTTAGE  
Scale: 1/4"=1'-0"

RECEIVED  
DEC 29 2015  
By \_\_\_\_\_

NANTUCKET ARCHITECTURE GROUP LTD.  
POST OFFICE BOX 1814  
NANTUCKET, MASSACHUSETTS, 02554  
TELEPHONE 508.228.5631  
WWW.NANTUCKETARCHITECTURE.COM

ADDITIONS AND ALTERATIONS FOR:  
7 JUDITH CHASE LANE  
MAP: 42.3.2 PARCEL: 62

ELEVATIONS

HDC: XX/XX/XX  
BIDDING:  
BLDG. DEPT:  
REVISIONS:  
REVISIONS:  
REVISIONS:  
REVISIONS:  
REVISIONS:  
C/D: Not copyright nag 2015

1508.25

A-2

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

**CERTIFICATE OF APPROPRIATENESS**

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.  
**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

**PROPERTY DESCRIPTION**

TAX MAP N<sup>o</sup>: 42.3.3 PARCEL N<sup>o</sup>: U2  
Street & Number of Proposed Work: 7 JUDITH CHASE LN  
Owner of record: AT LAST LLC  
Mailing Address: 7 JUDITH CHASE LN  
NANTUCKET MA - 02534  
Contact Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

**AGENT INFORMATION (if applicable)**

Name: NANTUCKET ARCHITECTURE GROUP LTD  
Mailing Address: PO BOX 1814  
NANTUCKET MA 02534  
Contact Phone #: 728-5651 x 2 E-mail: \_\_\_\_\_  
Steve@NANTUCKETARCHITECTURE.COM

FOR OFFICE USE ONLY  
Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
Must be acted on by: \_\_\_\_\_  
Extended to: \_\_\_\_\_  
Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
Chairman: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Notes - Comments - Restrictions - Conditions  
\_\_\_\_\_  
\_\_\_\_\_

**DESCRIPTION OF WORK TO BE PERFORMED**

See reverse for required documentation.

- New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed
- Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_
- Pool (Zoning District \_\_\_\_\_)  Roof  Other \_\_\_\_\_

Size of Structure or Addition: Length: \_\_\_\_\_ Sq. Footage 1st floor: \_\_\_\_\_ Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
Width: \_\_\_\_\_ Sq. Footage 2nd floor: \_\_\_\_\_ Size: \_\_\_\_\_  1st floor  2nd floor  
Sq. Footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_  
Height of ridge above final finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

**Additional Remarks**

Historic Name: BUILT FOR CAPT. JOSEPH CHASE  
Original Date: 1745  
Original Builder: NOVE FOR GARAGE  
Is there an HDC survey form for this building attached?  Yes  N/A

**REVISIONS:**

- 1. East Elevation
- 2. South Elevation
- 3. West Elevation
- 4. North Elevation

DEMOLISH 320 SF EXIST GARAGE  
GARAGE CONSTRUCTED AFTER 1960'S  
FRAMING NOT HISTORIC MODERN  
LUMBER.

\*Cloud on drawings and submit photographs of existing elevations.

**DETAIL OF WORK TO BE PERFORMED**

Foundation: Height Exposed \_\_\_\_\_  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
Roof Pitch: Main Mass \_\_\_\_\_/12 Secondary Mass \_\_\_\_\_/12 Dormer \_\_\_\_\_/12 Other \_\_\_\_\_  
Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_  
Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_  
Leaders (material and size): \_\_\_\_\_  
Sidewall:  White cedar shingles  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_  
Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_  
C. Dimensions: Fascia \_\_\_\_\_ Rake \_\_\_\_\_ Soffit (Overhang) \_\_\_\_\_ Corner boards \_\_\_\_\_ Frieze \_\_\_\_\_  
Window Casing \_\_\_\_\_ Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_  
Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_  
Doors\* (type and material):  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_  
Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_  
Hardscape materials: Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

Fence: Height: \_\_\_\_\_  
Type: \_\_\_\_\_  
Length: \_\_\_\_\_

\* Note: Complete door and window schedules are required.

**COLORS**

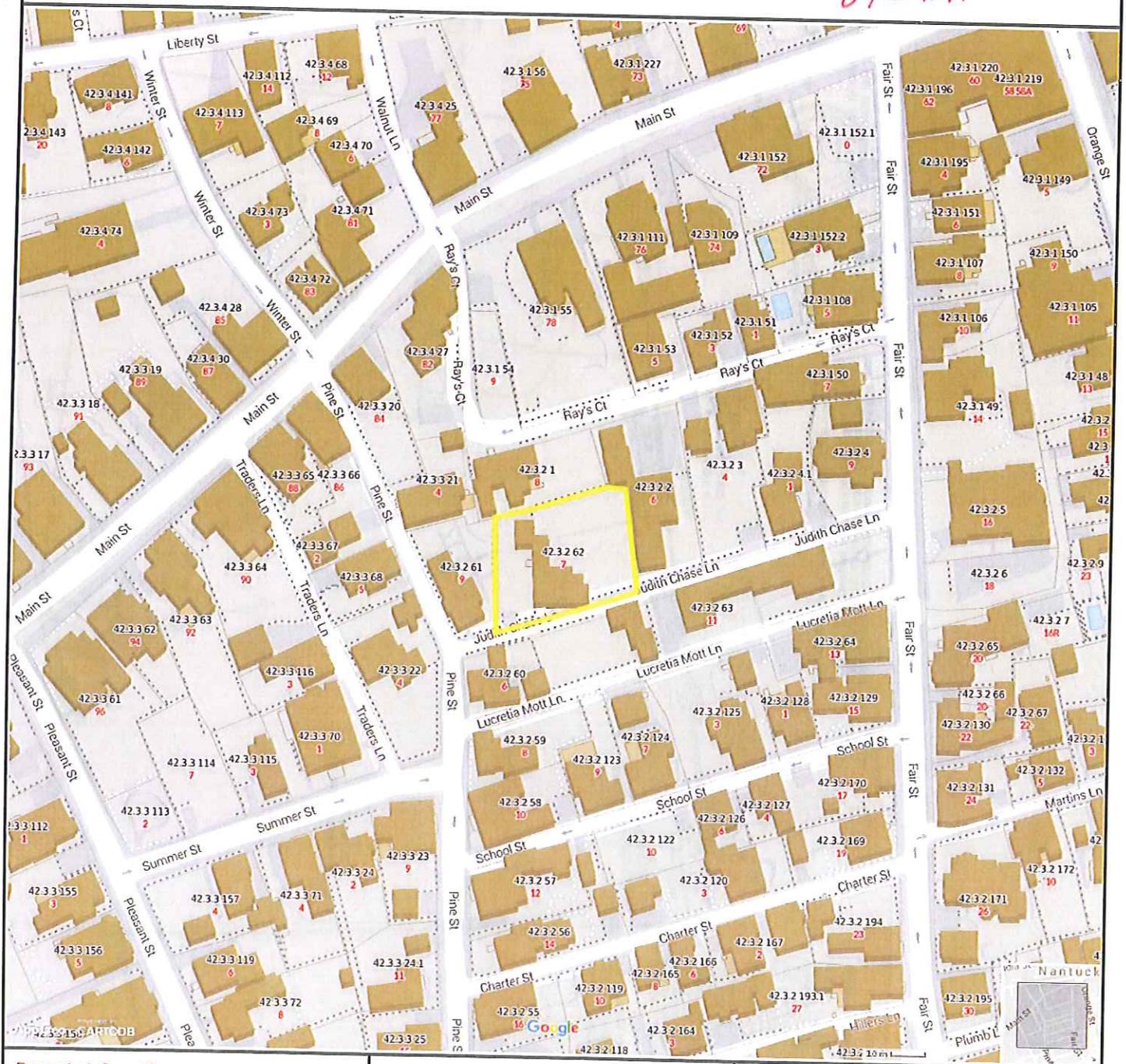
Sidewall \_\_\_\_\_ Clapboard (if applicable) \_\_\_\_\_ Roof \_\_\_\_\_  
Trim \_\_\_\_\_ Sash \_\_\_\_\_ Doors \_\_\_\_\_  
Deck \_\_\_\_\_ Foundation \_\_\_\_\_ Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

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Date 12/08/11 Signature of owner of record \_\_\_\_\_ Signed under penalties of perjury \_\_\_\_\_

8 1/2 x 11



**Property Information**

Property ID 42.3.2.2062  
 Location 7 JUDITH CHASE LN  
 Owner MORRISON JOHN TRST ETAL



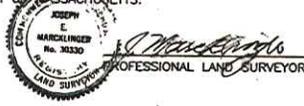
**MAP FOR REFERENCE ONLY  
NOT A LEGAL DOCUMENT**

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Parcels updated December, 2014  
Properties updated January, 2015

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

7/16/12  
DATE



SITE DESIGN ENGINEERING L.L.C.  
DAN MULLOY P.E.  
11 CUSHMAN STREET  
MIDDLEBORO, MA. 02346  
(508) 468-0679

JOSEPH MARCKLINGER P.L.S.  
J. MARCKLINGER & ASSOC.  
PROFESSIONAL LAND SURVEYORS  
P.O. BOX 896  
NANTUCKET, MA. 02554  
(310) 945-7054

LOTS 1 AND 2 DO NOT CONTAIN AREAS SUBJECT TO PROTECTION UNDER THE MASSACHUSETTS WETLANDS PROTECTION ACT WHICH ARE REQUIRED TO BE EXCLUDED FROM AREA UNDER THE NANTUCKET ZONING BY-LAW.

PLANNING BOARD ENDORSEMENT DOES NOT CONSTITUTE DETERMINATION OF CONFORMANCE TO ZONING.

N/F HARRIS  
DEED BOOK 336, PAGE 314  
MAP 42.3.2, PARCEL 1

N/F MONTEIRO  
DEED BOOK 663, PAGE 248  
MAP 42.3.2, PARCEL 61

LOT 1  
AREA = 7,378 SQ.FT.  
R.F. = 0.991

LOT 2  
AREA = 5,098 SQ.FT.  
R.F. = 0.85

#7  
1-2 STORY WOOD BUILDING  
1,904 SQ.FT.

BRICK STOOP  
CONCRETE BASE

BRICK STOOP  
CONCRETE BASE

UNDEFINED GRASS DRIVE  
AND PARKING

MINIMUM BUILDING LINE  
ADJUSTMENT

WOOD FENCE (TYPICAL)

EASEMENT SEE  
DEED BOOK 565 PAGES 254 & 255

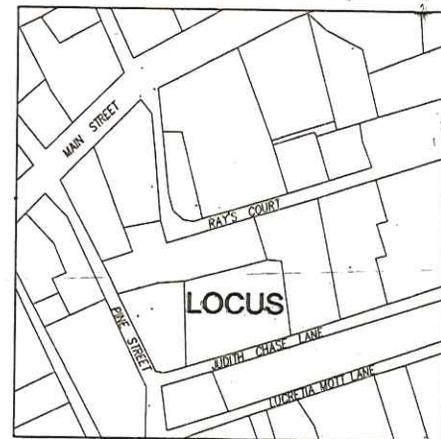
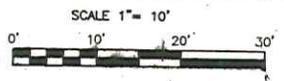
EASEMENT SEE  
DEED BOOK 565 PAGES 254 & 255

ZONING CLASSIFICATION: R-OH  
MINIMUM LOT SIZE = 5,000 SQ. FT.  
MINIMUM FRONTAGE = 50 FT.  
FRONT YARD SETBACK = 0 FT.  
REAR YARD SETBACK = 5 FT.  
SIDE YARD SETBACK = 5 FT.  
GROUND COVER RATIO = 50%

REFERENCES:

DEED BOOK 333, PAGE 140  
DEED BOOK 123, PAGE 294  
PLAN NO. 13, PAGE 43  
SANBORN MAP, SHEET 6, 1923  
SANBORN MAP, SHEET 9, 1909  
MORTGAGE PLOT PLAN DATED: 9.5.1997 (EMACK)  
MORTGAGE PLOT PLAN DATED: 4.2.1996 (BLACKWELL)  
PLOT PLAN DATED: 9.5.1986 (SHUGRUE)

N/F RICHARD GLIDDEN TRUSTEE  
DEED BOOK 673, PAGE 332  
MAP 42.3.2, PARCEL 2



LOCUS PLAN "NOT TO SCALE"

NANTUCKET PLANNING BOARD

APPROVAL UNDER THE SUBDIVISION CONTROL LAW NOT REQUIRED.

*[Handwritten signatures]*

JUDITH CHASE LANE

PLAN OF LAND

CERTIFICATE NO: \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

### CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

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#### PROPERTY DESCRIPTION

TAX MAP N<sup>o</sup>: 42.3.3 PARCEL N<sup>o</sup>: 62  
 Street & Number of Proposed Work: 7 JUDITH CHASE LN  
 Owner of record: AT LAST LLC  
 Mailing Address: 7 JUDITH CHASE LN  
NANTUCKET MA.  
 Contact Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

#### AGENT INFORMATION (if applicable)

Name: NANTUCKET ARCHITECTURE GROUP LTD  
 Mailing Address: PO BOX 1814  
NANTUCKET MA  
 Contact Phone #: 728-5031 x 2 E-mail: \_\_\_\_\_  
Steve C. NANTUCKET ARCHITECTURE.COM

#### FOR OFFICE USE ONLY

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
 Must be acted on by: \_\_\_\_\_  
 Extended to: \_\_\_\_\_  
 Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
 Chairman: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Notes - Comments - Restrictions - Conditions  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

#### DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed  
 Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_  
 Pool (Zoning District \_\_\_\_\_)  Roof  Other \_\_\_\_\_

Size of Structure or Addition: Length: 24-0 Sq. Footage 1st floor: 336 Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
 Width: 14-0 Sq. Footage 2nd floor: 300 Size: \_\_\_\_\_  1st floor  2nd floor  
 Sq. Footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North 0 South 0 East 0 West 0  
 Height of ridge above final finish grade: North 21-7 South 21-7 East 21-7 West 21-7

#### Additional Remarks

Historic Name: \_\_\_\_\_  
 Original Date: \_\_\_\_\_ (describe)  
 Original Builder: \_\_\_\_\_  
 Is there an HDC survey form for this building attached?  Yes  N/A

- REVISIONS:**  
 1. East Elevation  
 2. South Elevation  
 3. West Elevation  
 4. North Elevation

\*Cloud on drawings and submit photographs of existing elevations.

#### DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 6  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers

Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_

Roof Pitch: Main Mass 8 /12 Secondary Mass \_\_\_\_\_ /12 Dormer \_\_\_\_\_ /12 Other \_\_\_\_\_

Roofing material:  Asphalt:  3-Tab  Architectural

Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_

Fence: Height: \_\_\_\_\_  
 Type: \_\_\_\_\_  
 Length: \_\_\_\_\_

Skylights (flat only): Manufacturer N/A Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
 Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_

Leaders (material and size): \_\_\_\_\_

Sidewall:  White cedar shingles  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_

Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_

B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_

C. Dimensions: Fascia 1x8 Rake 1x8 Soffit (Overhang) 4 Corner boards 1x6 Frieze \_\_\_\_\_

Window Casing 5/4x4 Door Frame 5/4x4 Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_

Windows:  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_

Doors\* (type and material):  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_

Garage Door(s): Type OH DOOR Material \_\_\_\_\_

Hardscape materials: Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

#### COLORS

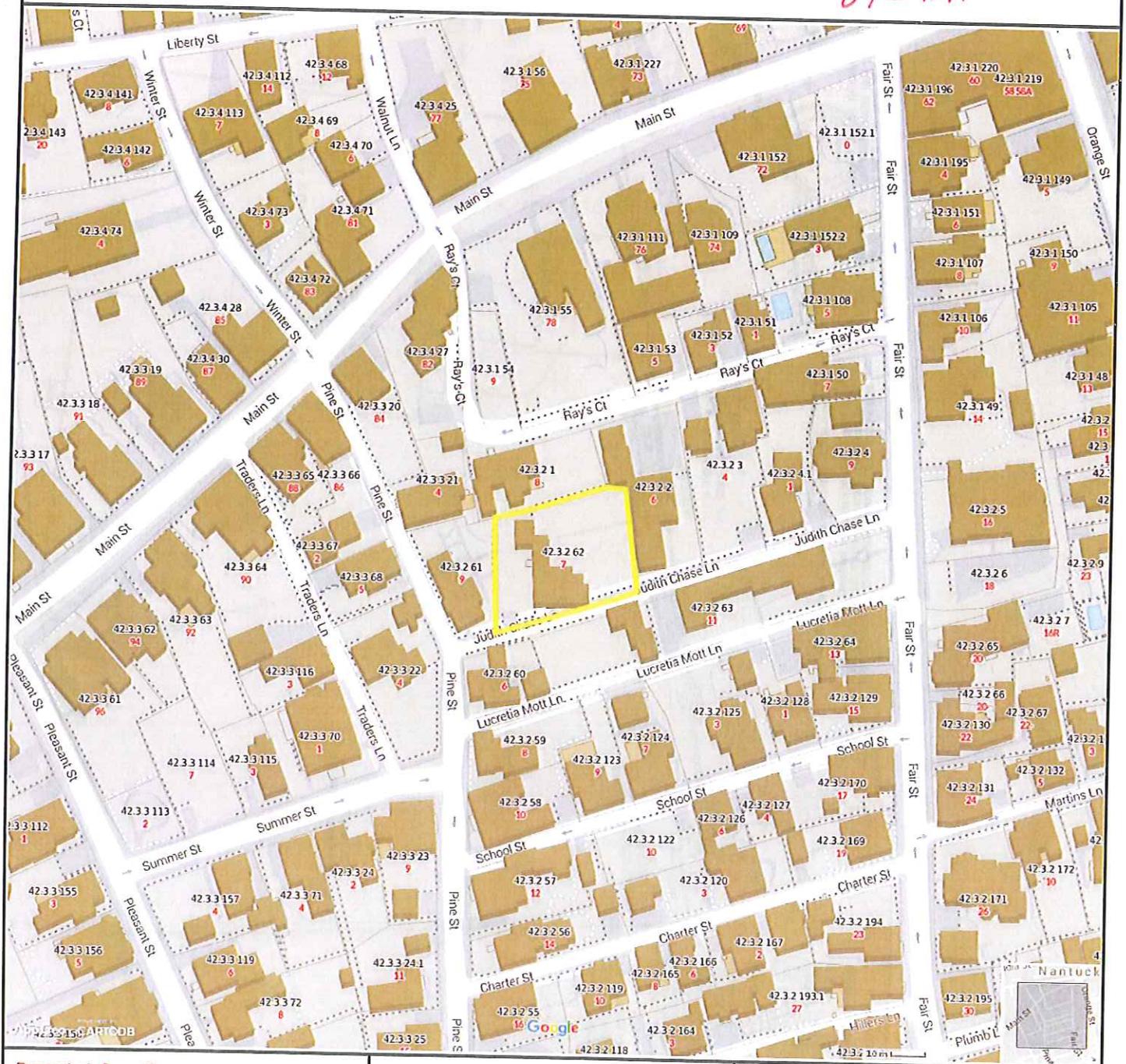
Sidewall NAT. TO WEATHER Clapboard (if applicable) \_\_\_\_\_ Roof WOOD NAT. TO WEATHER  
 Trim NAT. TO WEATHER Sash NAT. TO WEATHER Doors NAT. TO WEATHER  
 Deck \_\_\_\_\_ Foundation \_\_\_\_\_ Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 10/28/15 Signature of owner of record \_\_\_\_\_ Signed under penalties of perjury \_\_\_\_\_

8 1/2 x 11



**Property Information**

Property ID 42.3.2.2062  
 Location 7 JUDITH CHASE LN  
 Owner MORRISON JOHN TRST ETAL

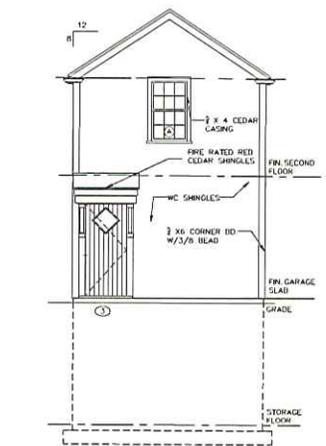
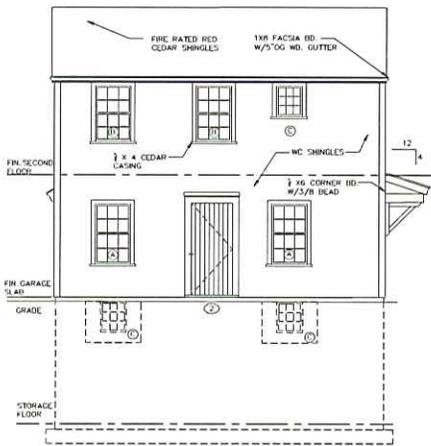
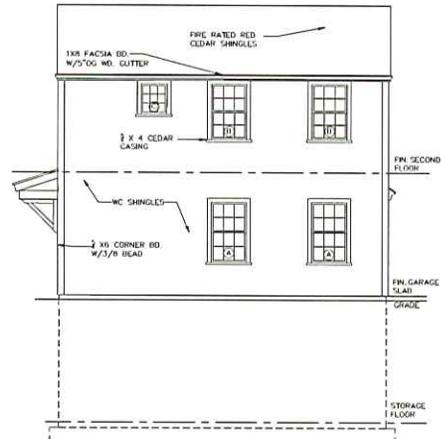
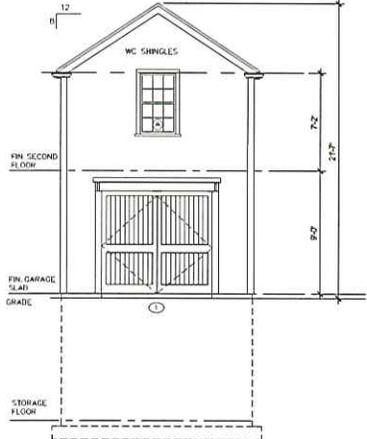
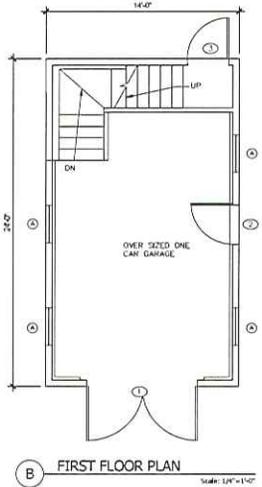
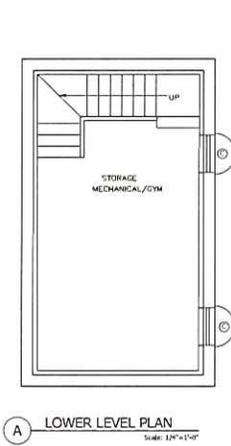
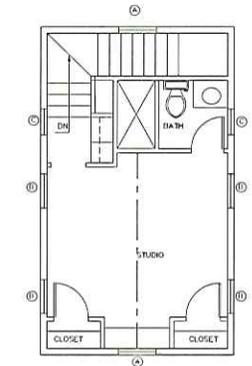
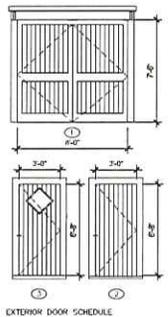
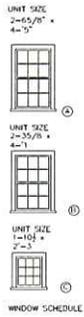


**MAP FOR REFERENCE ONLY  
NOT A LEGAL DOCUMENT**

Town and County of Nantucket, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Parcels updated December, 2014  
Properties updated January, 2015





NANTUCKET ARCHITECTURE GROUP LTD.  
POST OFFICE BOX 1814  
NANTUCKET, MASSACHUSETTS, 02554  
TELEPHONE 508.228.5631  
WWW.NANTUCKETARCHITECTURE.COM

ADDITIONS AND ALTERATIONS FOR:  
PETER GEORGANTIS  
7 JUDITH CHASE LANE  
MAP: 42.3.2 PARCEL: 62

GARAGE PLANS

HDC:	12.10.15
BIDDING:	
BLDG. DEPT:	
REVISIONS:	
REVISIONS:	
REVISIONS:	
DATE:	11/08/25

HDC-1

CERTIFICATE NO: \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

### CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

#### PROPERTY DESCRIPTION

TAX MAP N°: 30 PARCEL N°: 31.1  
 Street & Number of Proposed Work: 11 Kimball Avenue  
 Owner of record: Kimball Avenue LLC  
 Mailing Address: 56 Chestnut Street  
Boston, MA 02108  
 Contact Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

#### AGENT INFORMATION (if applicable)

Name: Botticelli & Pohl  
 Mailing Address: 11 Old South Road  
Nantucket, MA 02534  
 Contact Phone #: 508-288-5455 E-mail: \_\_\_\_\_

FOR OFFICE USE ONLY

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
 Must be acted on by: \_\_\_\_\_  
 Extended to: \_\_\_\_\_  
 Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
 Chairman: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Notes - Comments - Restrictions - Conditions  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

#### DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed  
 Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_  
 Pool (Zoning District \_\_\_\_\_)  Roof  Other \_\_\_\_\_  
 Size of Structure or Addition: Length: \_\_\_\_\_ Sq. Footage 1st floor: 2275± Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
 Width: \_\_\_\_\_ Sq. footage 2nd floor: 1543± Size: \_\_\_\_\_  1st floor  2nd floor  
 Sq. footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_  
 Height of ridge above final finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

#### Additional Remarks

Historic Name: \_\_\_\_\_ REVISIONS\* 1. East Elevation  
 Original Date: \_\_\_\_\_ (describe) 2. South Elevation  
 Original Builder: \_\_\_\_\_ 3. West Elevation  
 Is there an HDC survey form for this building attached?  Yes  N/A 4. North Elevation

\*Cloud on drawings and submit photographs of existing elevations.

#### DETAIL OF WORK TO BE PERFORMED

**Foundation:** Height Exposed \_\_\_\_\_  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
**Masonry Chimney:**  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
**Roof Pitch:** Main Mass \_\_\_\_\_/12 Secondary Mass \_\_\_\_\_/12 Dormer \_\_\_\_\_/12 Other \_\_\_\_\_  
**Roofing material:**  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.)  
**Skylights (flat only):** Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
 Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
**Gutters:**  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_  
**Leaders (material and size):** \_\_\_\_\_  
**Sidewall:**  White cedar shingles  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_  
**Trim:** A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
 B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_  
 C. Dimensions: Fascia \_\_\_\_\_ Rake \_\_\_\_\_ Soffit (Overhang) \_\_\_\_\_ Corner boards \_\_\_\_\_ Frieze \_\_\_\_\_  
 Window Casing \_\_\_\_\_ Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_  
**Windows\*:**  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_  
**Doors\* (type and material):**  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_  
 Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_  
**Hardscape materials:** Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

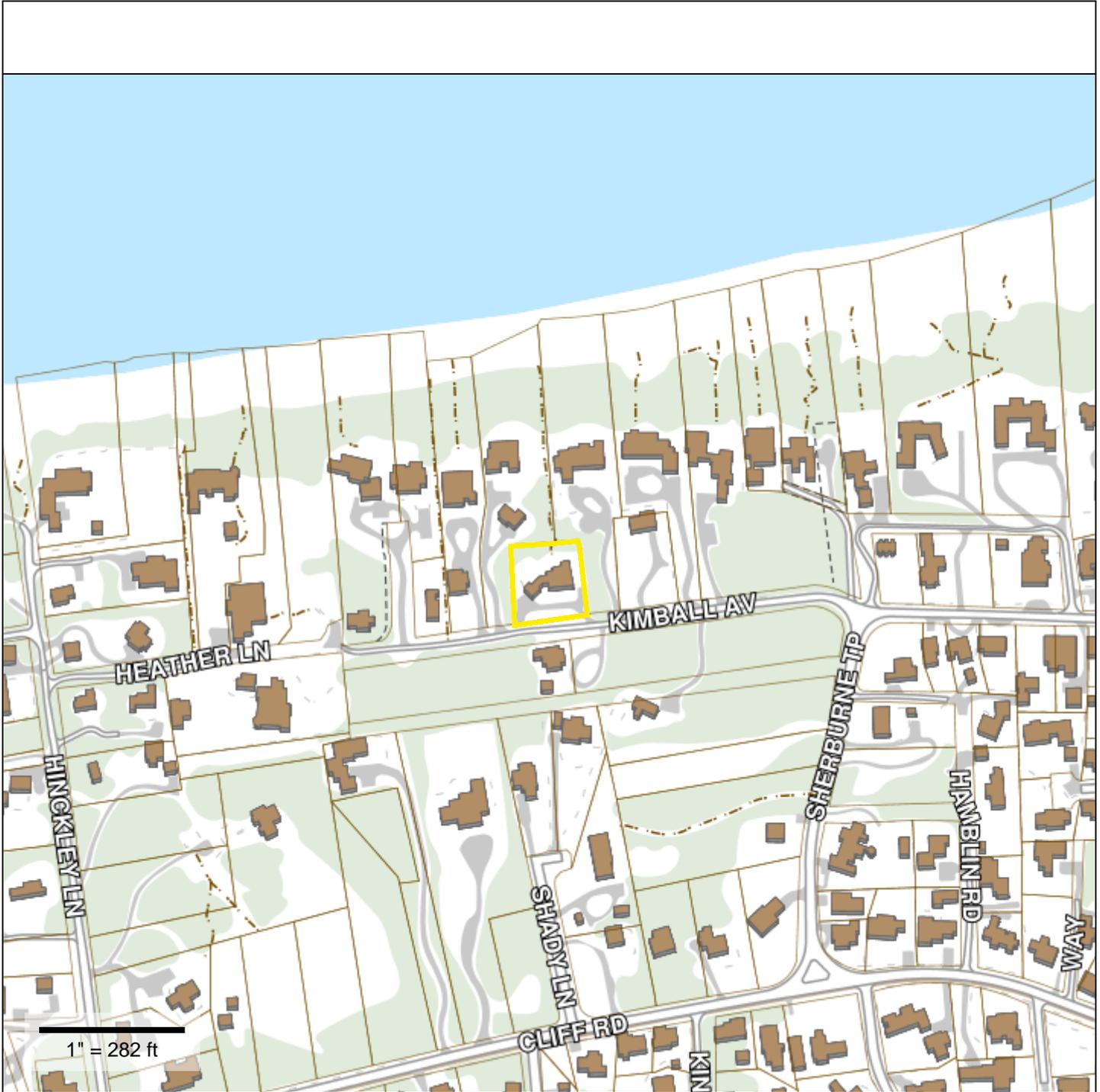
#### COLORS

Sidewall Natural Clapboard (if applicable) \_\_\_\_\_ Roof Natural  
 Trim White Sash White Doors White  
 Deck Natural Foundation Natural Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

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Date 12/9/15 Signature of owner of record [Signature] Signed under penalties of perjury



**Property Information**

**Property ID** 30 31.1  
**Location** 11 KIMBALL AV  
**Owner** KIMBALL AVENUE LLC  
C/O ALISA SACERDOTE

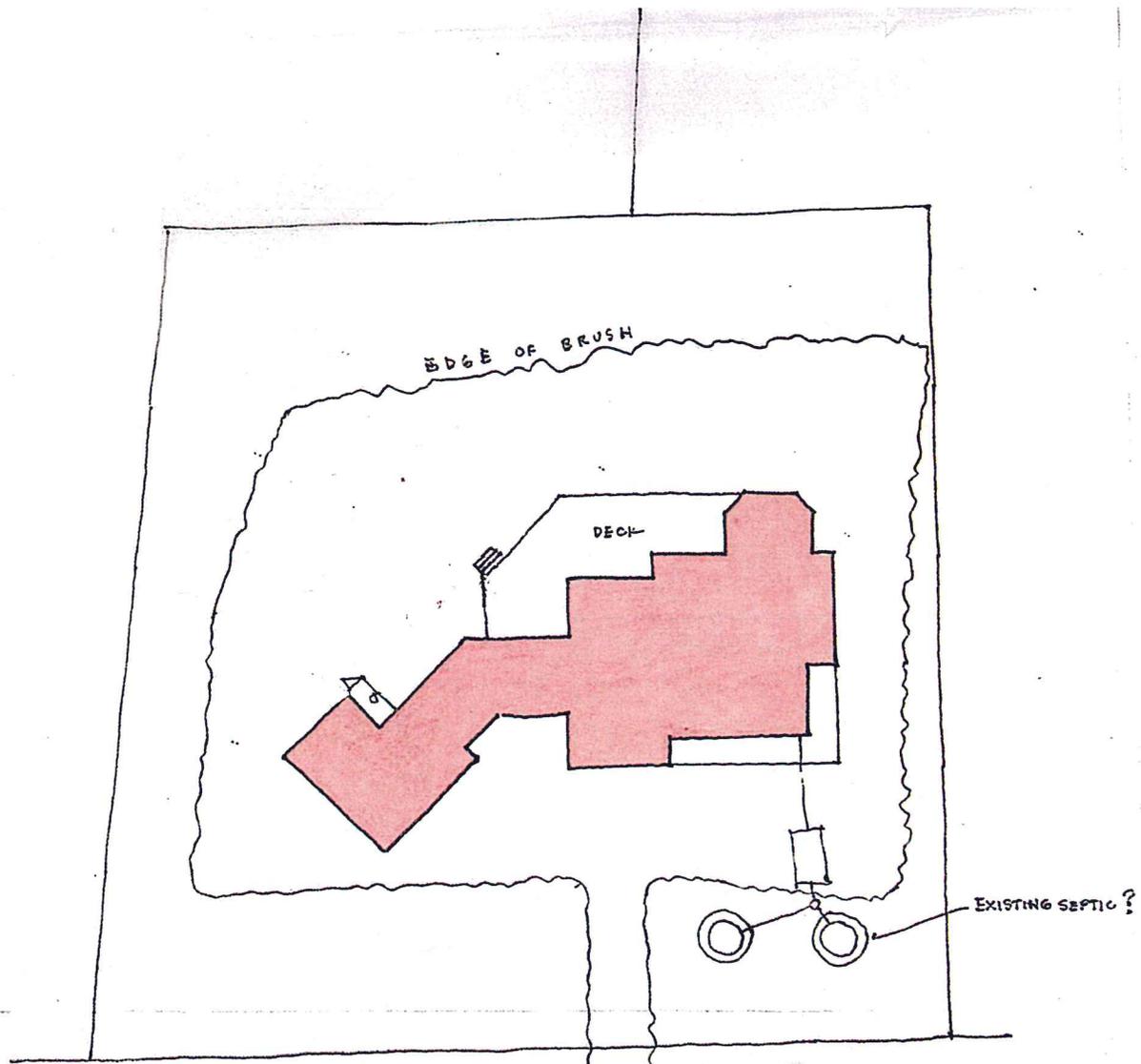


**MAP FOR REFERENCE ONLY  
NOT A LEGAL DOCUMENT**

The Town makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Parcels updated December, 2013





KIMBALL AVENUE

11 KIMBALL SITE PLAN

1" = 40' - 0"

4 SEPT 2014

CERTIFICATE NO: \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

### CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

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#### PROPERTY DESCRIPTION

TAX MAP N°: 30 PARCEL N°: 31.1  
 Street & Number of Proposed Work: 11 Kimball Avenue  
 Owner of record: Kimball Avenue LLC  
 Mailing Address: 56 Chestnut Street  
Boston, MA 02108  
 Contact Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

#### AGENT INFORMATION (if applicable)

Name: Bothicelli & Pohl  
 Mailing Address: 11 Old South Road  
Nantucket, MA 02554  
 Contact Phone #: 508 228-5455 E-mail: \_\_\_\_\_

FOR OFFICE USE ONLY	
Date application received: _____	Fee Paid: \$ _____
Must be acted on by: _____	
Extended to: _____	
Approved: _____	Disapproved: _____
Chairman: _____	
Member: _____	
Member: _____	
Member: _____	
Member: _____	
Notes - Comments - Restrictions - Conditions	

#### DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling     Addition     Garage     Driveway/Apron     Commercial     Historical Renovation     Deck/Patio     Steps     Shed  
 Color Change     Fence     Gate     Hardscaping     Move Building     Demolition     Revisions to previous Cert. No. \_\_\_\_\_  
 Pool (Zoning District \_\_\_\_\_)     Roof     Other \_\_\_\_\_

Size of Structure or Addition: Length: 90'-0" Sq. Footage 1st floor: 2448 Decks/Patio: Size: 7'-0" x 40'-0"  1st floor  2nd floor  
 Width: 48'-6" Sq. Footage 2nd floor: 2157 Size: 666sf  1st floor  2nd floor 666sf  
 Sq. Footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North N/C South N/C East N/C West N/C  
 Height of ridge above final finish grade: North 27'-10 1/2" South 27'-10 1/2" East 28'-5 1/2" West 27'-10 1/2"

#### Additional Remarks

Historic Name: \_\_\_\_\_ REVISIONS\* 1. East Elevation  
 Original Date: \_\_\_\_\_ (describe) 2. South Elevation  
 Original Builder: \_\_\_\_\_ 3. West Elevation  
 Is there an HDC survey form for this building attached?  Yes  N/A 4. North Elevation

\*Cloud on drawings and submit photographs of existing elevations.

#### DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 8"  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
 Masonry Chimney:  Block Parged  Brick (type) Waterstruck  Other \_\_\_\_\_  
 Roof Pitch: Main Mass 12/5 & 7/12 Secondary Mass \_\_\_\_\_/12 Dormer 7/12 Other Porch 4/12  
 Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.)

Fence: Height: _____
Type: _____
Length: _____

Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
 Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_

Leaders (material and size): 3" φ w/ 4 1/2" Boxes

Sidewall:  White cedar shingles  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_

Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_

B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_

C. Dimensions: Fascia 1x8 Rake 1x8 Soffit (Overhang) 12" Corner boards 5/4 x 6 Frieze \_\_\_\_\_  
 Window Casing 5/4 x 4 Door Frame 5/4 x 4 Columns/Posts: Round \_\_\_\_\_ Square 7/4"

Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer Marvin

Doors\* (type and material):  TDL  SDL Front 6 Panel Rear French 12 Light Side 9 Light over panel

Garage Door(s): Type Overhead Material Wood, 10 Lights over panels

Hardscape materials: Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

#### COLORS

Sidewall To Weather Clapboard (if applicable) \_\_\_\_\_ Roof To Weather  
 Trim White Sash White Doors White / Front Door Essex Green  
 Deck To Weather Foundation Natural Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 12/9/15 Signature of owner of record [Signature] Signed under penalties of perjury





1 MH SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

New Residence  
11 Kimball Avenue  
Nantucket, MA  
Window & Exterior Door Schedule

H.D.C. Submission: 2015-12-09  
Rev.

No.	Qn	Type	Manuf.	Frame Size	Rough Opening	Lights	Comments
A	26	Double Hung	Marvin	2-11 3/8" x 5-9"		6 over 6	WUDH 3030
A2	3	Double Hung	Marvin	2-11 3/8" x 5-9"		6 over 6	WUDH 3030
A3	1	Double Hung	Marvin	2-11 3/8" x 5-9"		6 over 6	WUDH 3030
B	4	Double Hung	Marvin	2-9 3/8" x 4-9"		6 over 6	WUDH 2824
B3	1	Double Hung	Marvin	2-9 3/8" x 4-9"		6 over 6	WUDH 2824
C	3	Double Hung	Marvin	2-11 3/8" x 5-9"		6 over 6	WUDH 3028
C2	2	Double Hung	Marvin	2-11 3/8" x 5-9"		6 over 6	WUDH 3028
D	1	Double Hung	Marvin	2-7 3/8" x 4-7"		6 over 6	WUDH 2620

No.	Qn	Type	Manuf.	Door Size	Rough Opening	Lights	Comments
1	1	Entry Door w/ Sidelights	Upstate	3'-4" x 7'-6"	1'-2" x 7'-6"	0	6 panel
2	1	Single French Door	Upstate	2'-10" x 7'-0"		12	over panel
3	1	Double French Door	Upstate	5'-8" x 7'-6"		12	over panel
4	3	Single French Door	Upstate	2'-10" x 7'-6"		12	over panel
5	1	4 Leaf Slider	Upstate	10'-6" x 7'-6"		12	over panel
6	1	O.H. Garage Door	Custom	9'-0" x 8'-0"		10	over v-groove panel, simulated hinged pair

Notes:  
 1. All windows will be Marvin windows as per above schedule, double glazed, SDL with muntin configuration as shown on drawings. Min. dp 30 rating required, I23 impact rated with Low E 2712 Argon glass. U-value of .30.  
 All glazing to come with compliance sticker as required by local building codes.  
 2. All doors will be Upstate doors as per above schedule, double glazed, SDL with muntin configuration as shown on drawings. Min. dp 30 rating required, I23 impact rated with Low E Argon glass. U-value = .23 w/ storm door, .45 w/o storm door.  
 All glazing to come with compliance sticker as required by local building codes.  
 3. Mill shop will provide shop drawings for all window and door units to architect for approval prior to commencing construction.  
 4. Provide all windows, including sidelights, transoms, and fixed windows, with matching half screens with Phifer Better-View screen or similar where applicable.  
 5. Provide tempered glass in all locations required by code.



2 MHEAST ELEVATION  
SCALE: 1/4" = 1'-0"

BOTTICELLI & POHL ARCHITECTS

11 Old South Road Nantucket MA 02554 P 508 228 5455 F 508 228 3718  
9 East Street Boston MA 02111 P 617 482 4543 F 617 482 4562

www.botticelliandpohl.com

South & East Elevations

New Residence at  
11 Kimball Avenue  
Nantucket, MA  
02554

Map No.: 30  
Parcel No.: 311  
Zoning Info: R2  
Project No.: 53  
Scale: As Noted  
Revised:  
Drawing No.:

**A-2.1**

All drawings and designs contained are the sole property of Botticelli & Pohl, P.C. No publication or use of these documents is permitted without prior approval from Botticelli & Pohl, P.C.



1 MH NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



2 MH WEST ELEVATION  
SCALE: 1/4" = 1'-0"



North & West Elevations

New Residence at  
11 Kimball Avenue  
Nantucket, MA  
02554

Map No.: 30  
Parcel No.: 311  
Zoning Info: R2  
Project No.: 53  
Scale: As Noted  
Revised:  
Drawing No.:

**A-2.2**

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are the sole property of  
Botticelli & Pohl, P.C.. No publication  
or use of these documents is permitted  
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Botticelli & Pohl, P.C..

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

### CERTIFICATE OF APPROPRIATENESS

for structural work.

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#### PROPERTY DESCRIPTION

TAX MAP N<sup>o</sup>: 30 PARCEL N<sup>o</sup>: 34  
Street & Number of Proposed Work: 15 JHERBUANE TURNPIKE  
Owner of record: MARGUERITE HOFFMAN  
Mailing Address: 9963 ROLLWOOD DR  
DALLAS, TEXAS  
Contact Phone #: 214 904 0035 E-mail: \_\_\_\_\_

#### AGENT INFORMATION (if applicable)

Name: PERMITS PLUS, INC.  
Mailing Address: BOX 3363  
NANTUCKET, MA 01584  
Contact Phone #: 508 225 6913 E-mail: PERMITS@COMCAST.NET

FOR OFFICE USE ONLY	
Date application received: _____	Fee Paid: \$ _____
Must be acted on by: _____	
Extended to: _____	
Approved: _____	Disapproved: _____
Chairman: _____	
Member: _____	
Member: _____	
Member: _____	
Member: _____	
Notes - Comments - Restrictions - Conditions	

#### DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling     Addition     Garage     Driveway/Apron     Commercial     Historical Renovation     Deck/Patio     Steps     Shed  
 Color Change     Fence     Gate     Hardscaping     Move Building     Demolition     Revisions to previous Cert. No. \_\_\_\_\_  
 Pool (Zoning District \_\_\_\_\_)     Roof     Other BRADWALK  
 Size of Structure or Addition: Length: \_\_\_\_\_ Sq. Footage 1st floor: \_\_\_\_\_ Decks/Patio: Size: 8'x34'  1st floor  2nd floor  
 Width: \_\_\_\_\_ Sq. Footage 2nd floor: \_\_\_\_\_ BRADWALK Size: 3'x25'-6"  1st floor  2nd floor  
 Sq. Footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North -0- South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_  
Height of ridge above final finish grade: North N/A South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

#### Additional Remarks

Historic Name: \_\_\_\_\_ REVISIONS\* 1. East Elevation  
 Original Date: \_\_\_\_\_ (describe) 2. South Elevation  
 Original Builder: \_\_\_\_\_ 3. West Elevation  
 Is there an HDC survey form for this building attached?  Yes  N/A 4. North Elevation  
 \*Cloud on drawings and submit photographs of existing elevations.

#### DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed ± 0"  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
 Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
 Roof Pitch: Main Mass \_\_\_\_\_/12 Secondary Mass \_\_\_\_\_/12 Dormer \_\_\_\_\_/12 Other \_\_\_\_\_  
 Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_  
 Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
 Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
 Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_  
 Leaders (material and size): \_\_\_\_\_  
 Sidewall:  White cedar shingles \_\_\_\_\_  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_  
 Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
 B. Treatment  Paint  Natural to weather  Other PAINT MATCH EXISTING  
 C. Dimensions: Fascia \_\_\_\_\_ Rake \_\_\_\_\_ Soffit (Overhang) \_\_\_\_\_ Corner boards \_\_\_\_\_ Frieze \_\_\_\_\_  
 Window Casing \_\_\_\_\_ Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_  
 Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights(muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_  
 Doors\* (type and material):  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_  
 Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_  
 Hardscape materials: Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

#### COLORS

Sidewall - Clapboard (if applicable) - Roof -  
 Trim WHITE - MATCH EXIST Sash - Doors -  
 Deck NATURAL TO WEATHER Foundation NATURAL Fence - Shutters -

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 12-24-2015

Signature of owner of record [Signature]

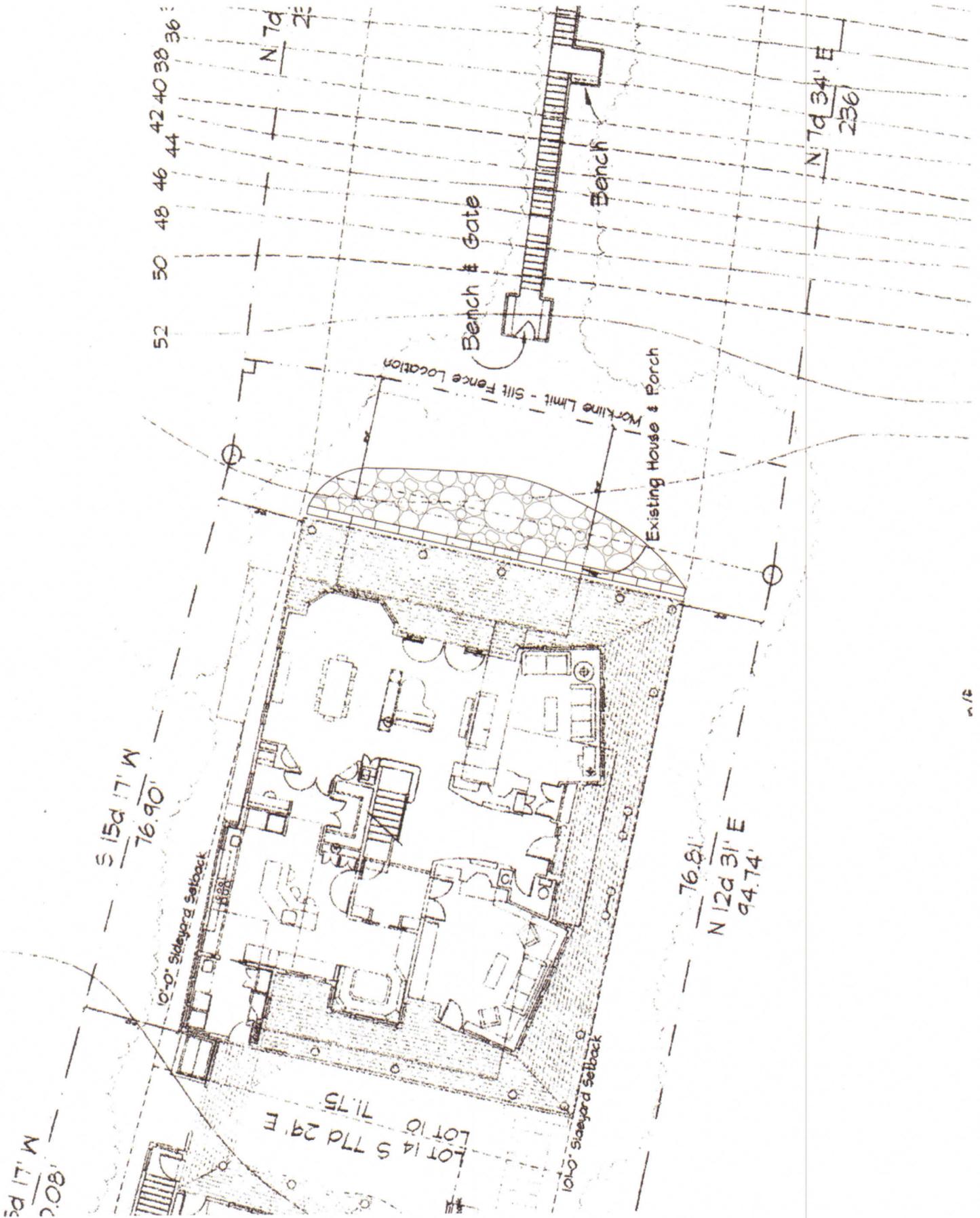
Signed under penalties of perjury



# Locus Map

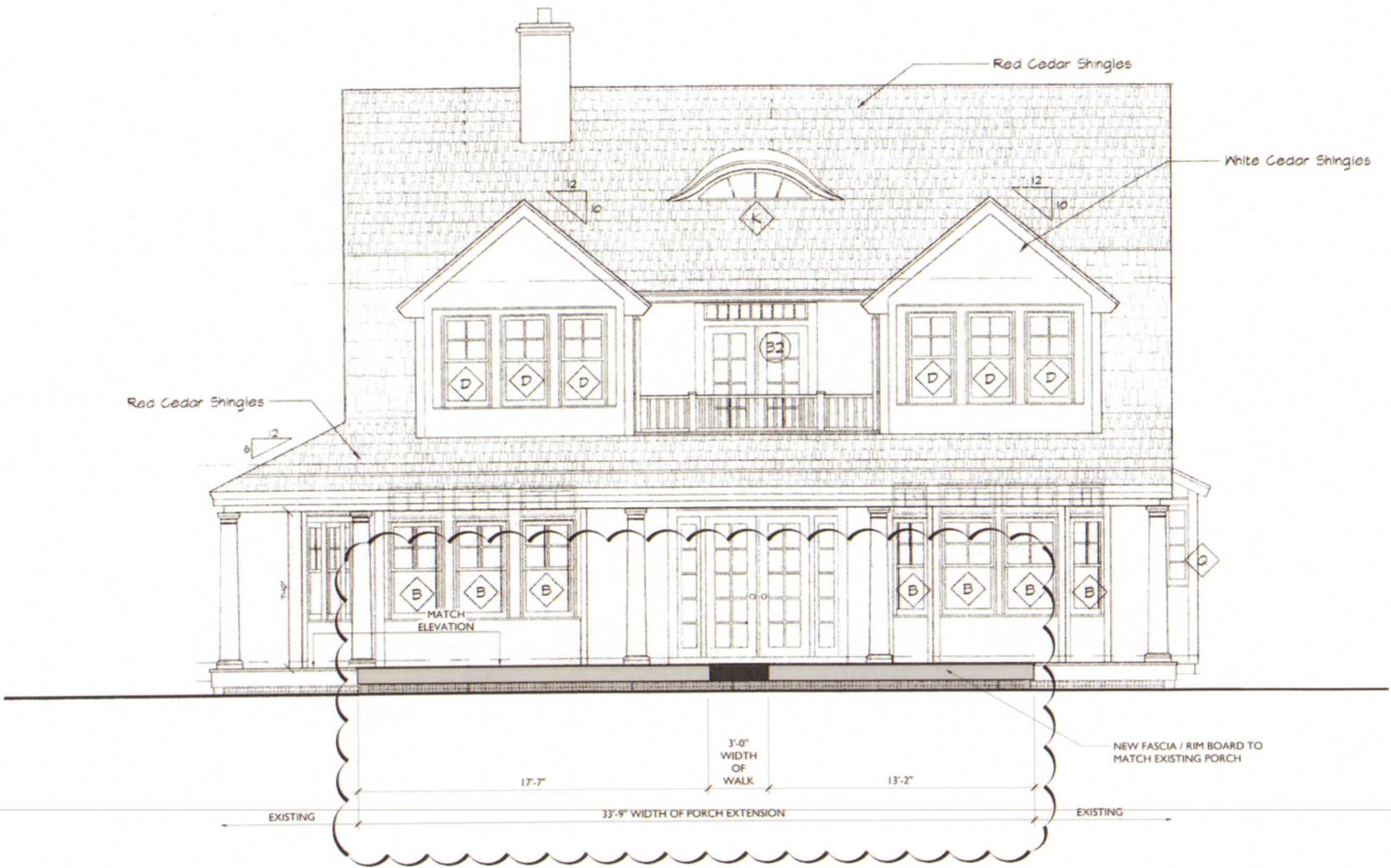
Hoffman Residence 15 Sherburne Turpike



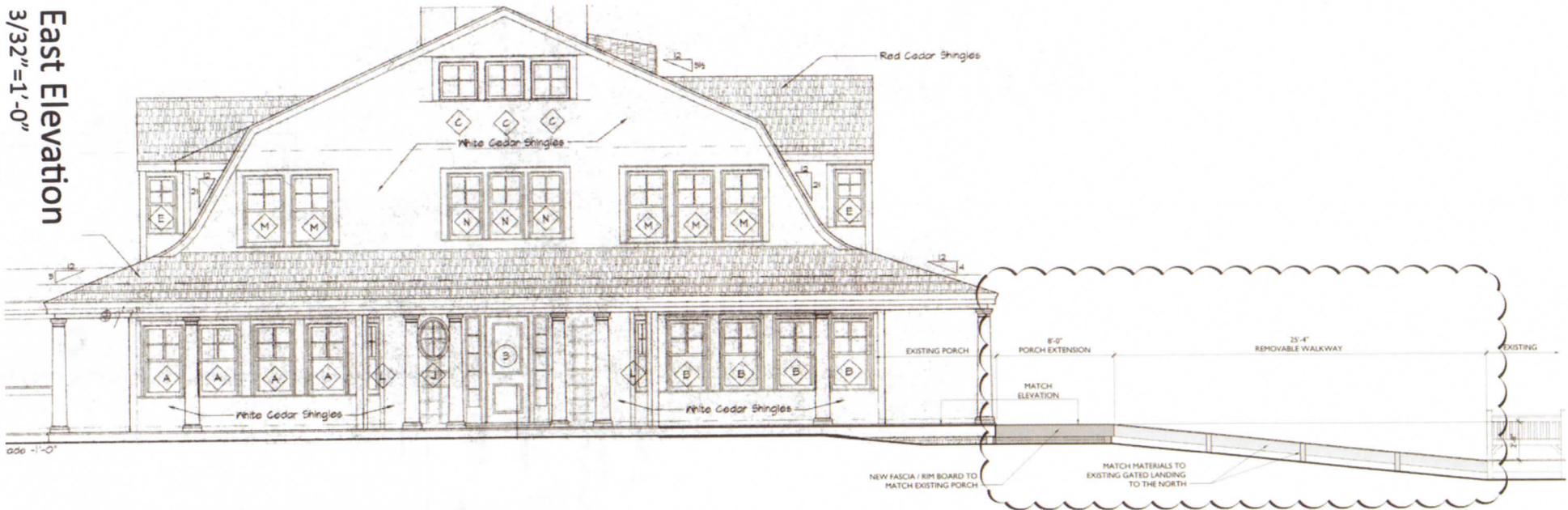


Site Plan - Existing Conditions (Partial)

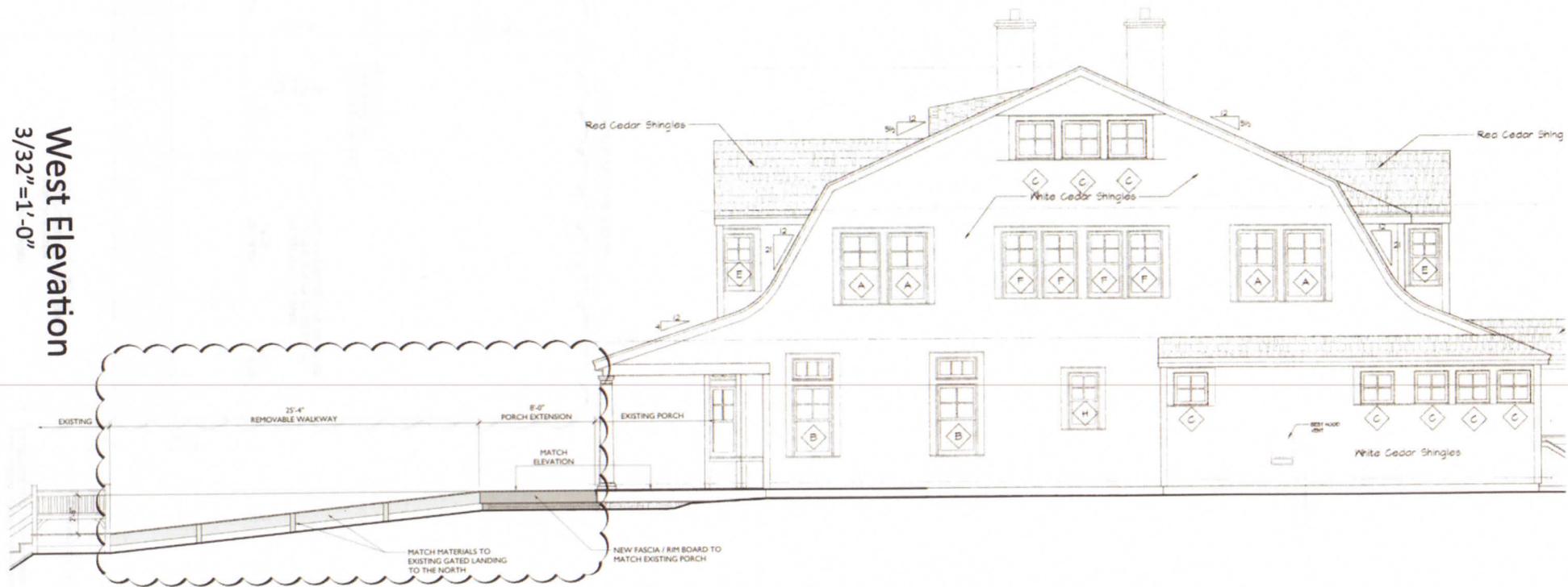
North Elevation  
1/8"=1'-0"  
Hoffman Residence 15 Sherburne Turpike



East Elevation  
3/32"=1'-0"



West Elevation  
3/32"=1'-0"





Existing Photo - North Elevation

Hoffman Residence 15 Sherburne Turpike

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

### CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

#### PROPERTY DESCRIPTION

TAX MAP N°: 42.4.2 PARCEL N°: 78  
 Street & Number of Proposed Work: 29 Broad Street  
 Owner of record: Nantucket Island Resorts LLC  
 Mailing Address: 75 Park Plaza Boston MA 02166  
 Contact Phone #: 508-560-3368 E-mail: Benchamp1@gmail.com

#### AGENT INFORMATION (if applicable)

Name: Ben Champoux  
 Mailing Address: PO Box 3195 Nantucket 02584  
 Contact Phone #: 560-3368 E-mail: Benchamp1@gmail.com

#### FOR OFFICE USE ONLY

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
 Must be acted on by: \_\_\_\_\_  
 Extended to: \_\_\_\_\_  
 Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
 Chairman: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Notes - Comments - Restrictions - Conditions

#### DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed  
 Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_  
 Pool (Zoning District \_\_\_\_\_)  Roof  Other \_\_\_\_\_  
 Size of Structure or Addition: Length: 75 FT Sq. Footage 1st floor: \_\_\_\_\_ Decks/Patio: Size: 1245  1st floor  2nd floor  
 Width: \_\_\_\_\_ Sq. Footage 2nd floor: \_\_\_\_\_ Size: \_\_\_\_\_  1st floor  2nd floor  
 Sq. Footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_  
 Height of ridge above final finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

#### Additional Remarks

Historic Name: \_\_\_\_\_  
 Original Date: \_\_\_\_\_  
 Original Builder: \_\_\_\_\_

- REVISIONS\***
1. East Elevation
  2. South Elevation
  3. West Elevation
  4. North Elevation

Is there an HDC survey form for this building attached?  Yes  N/A

\*Cloud on drawings and submit photographs of existing elevations.

#### DETAIL OF WORK TO BE PERFORMED

**Foundation:** Height Exposed \_\_\_\_\_  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
**Masonry Chimney:**  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
**Roof Pitch:** Main Mass \_\_\_\_\_/12 Secondary Mass \_\_\_\_\_/12 Dormer \_\_\_\_\_/12 Other \_\_\_\_\_  
**Roofing material:**  Asphalt  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_  
**Skylights (flat only):** Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
 Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
**Gutters:**  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_  
**Leaders (material and size):** \_\_\_\_\_  
**Sidewall:**  White cedar shingles \_\_\_\_\_  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_  
**Trim:** A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
 B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_  
 C. Dimensions: Fascia \_\_\_\_\_ Rake \_\_\_\_\_ Soffit (Overhang) \_\_\_\_\_ Corner boards \_\_\_\_\_ Frieze \_\_\_\_\_  
 Window Casing \_\_\_\_\_ Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_  
**Windows\*:**  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights(muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_  
**Doors\* (type and material):**  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_  
 Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_  
**Hardscape materials:** Driveways \_\_\_\_\_ Walkways Brick w/ Bluestone Walls Brick Pier Existing  
Patio Second + Repair Existing

Fence: Height: 42"  
 Type: II White  
 Length: 75 Feet

\* Note: Complete door and window schedules are required.

#### COLORS

Sidewall \_\_\_\_\_ Clapboard (if applicable) \_\_\_\_\_ Roof \_\_\_\_\_  
 Trim \_\_\_\_\_ Sash \_\_\_\_\_ Doors \_\_\_\_\_  
 Deck \_\_\_\_\_ Foundation \_\_\_\_\_ Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

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Date 12/22/2015 Signature of owner of record \_\_\_\_\_ Signed under penalties of perjury



Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

**CERTIFICATE OF APPROPRIATENESS**

for structural work.

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**PROPERTY DESCRIPTION**

TAX MAP N°: 75 PARCEL N°: 110  
Street & Number of Proposed Work: 41 Chuckhollow Rd  
Owner of record: Carlin Binder & Chandra Hill  
Mailing Address: PO BOX 233,  
Nantucket, MA, 02554  
Contact Phone #: 508 360 7777 E-mail: \_\_\_\_\_

**AGENT INFORMATION (if applicable)**

Name: Emelius Developments  
Mailing Address: 8 Williams Ln  
Nantucket, MA, 02554  
Contact Phone #: 508 325 4995 E-mail: matt@emelius-developments.com

**FOR OFFICE USE ONLY**

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
Must be acted on by: \_\_\_\_\_  
Extended to: \_\_\_\_\_  
Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
Chairman: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Notes - Comments - Restrictions - Conditions  
\_\_\_\_\_  
\_\_\_\_\_

**DESCRIPTION OF WORK TO BE PERFORMED**

See reverse for required documentation.

- New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed
- Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_
- Pool (Zoning District \_\_\_\_\_)  Roof  Other \_\_\_\_\_

Size of Structure or Addition: Length: 80'0" Sq. Footage 1st floor: 1648 Decks/Patio: Size: 903 SF  1st floor  2nd floor  
Width: 35'0" Sq. Footage 2nd floor: 1193 Size: 114 SF  1st floor  2nd floor  
Sq. Footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North ±6" South ±6" East ±6" West ±6"  
Height of ridge above final finish grade: North ±29'4" South ±29'4" East ±29'4" West ±29'4"

**Additional Remarks**

- REVISIONS\***
- 1. East Elevation
  - 2. South Elevation
  - 3. West Elevation
  - 4. North Elevation

Historic Name: \_\_\_\_\_  
Original Date: (describe) \_\_\_\_\_  
Original Builder: \_\_\_\_\_  
Is there an HDC survey form for this building attached?  Yes  N/A

\*Cloud on drawings and submit photographs of existing elevations.

**DETAIL OF WORK TO BE PERFORMED**

Foundation: Height Exposed 8"  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
Roof Pitch: Main Mass 9/12 Secondary Mass 4/12 Dormer 6/4/12 Other \_\_\_\_\_  
Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) white Cedar

Fence: Height: \_\_\_\_\_  
Type: \_\_\_\_\_  
Length: \_\_\_\_\_

Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_  
Leaders (material and size): \_\_\_\_\_  
Sidewall:  White cedar shingles \_\_\_\_\_  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side

Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
B. Treatment:  Paint  Natural to weather  Other \_\_\_\_\_  
C. Dimensions: Fascia 1x10 Rake 1x10 Soffit (Overhang) 0" Corner boards N/A Frieze N/A  
Window Casing 3 1/2" Door Frame 7/4 & 3 1/2" Columns/Posts: Round \_\_\_\_\_ Square 9"

Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_

Doors\* (type and material):  TDL  SDL Front 6 Panel Solid Rear 6 Lite French Side 4 Lite 1 Panel  
Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_

Hardscape materials: Driveways GRAVEL Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

**COLORS**

Sidewall NATURAL Clapboard (if applicable) \_\_\_\_\_ Roof NATURAL  
Trim white Sash white Doors NATURAL TO WEATHER  
Deck NATURAL Foundation NATURAL Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

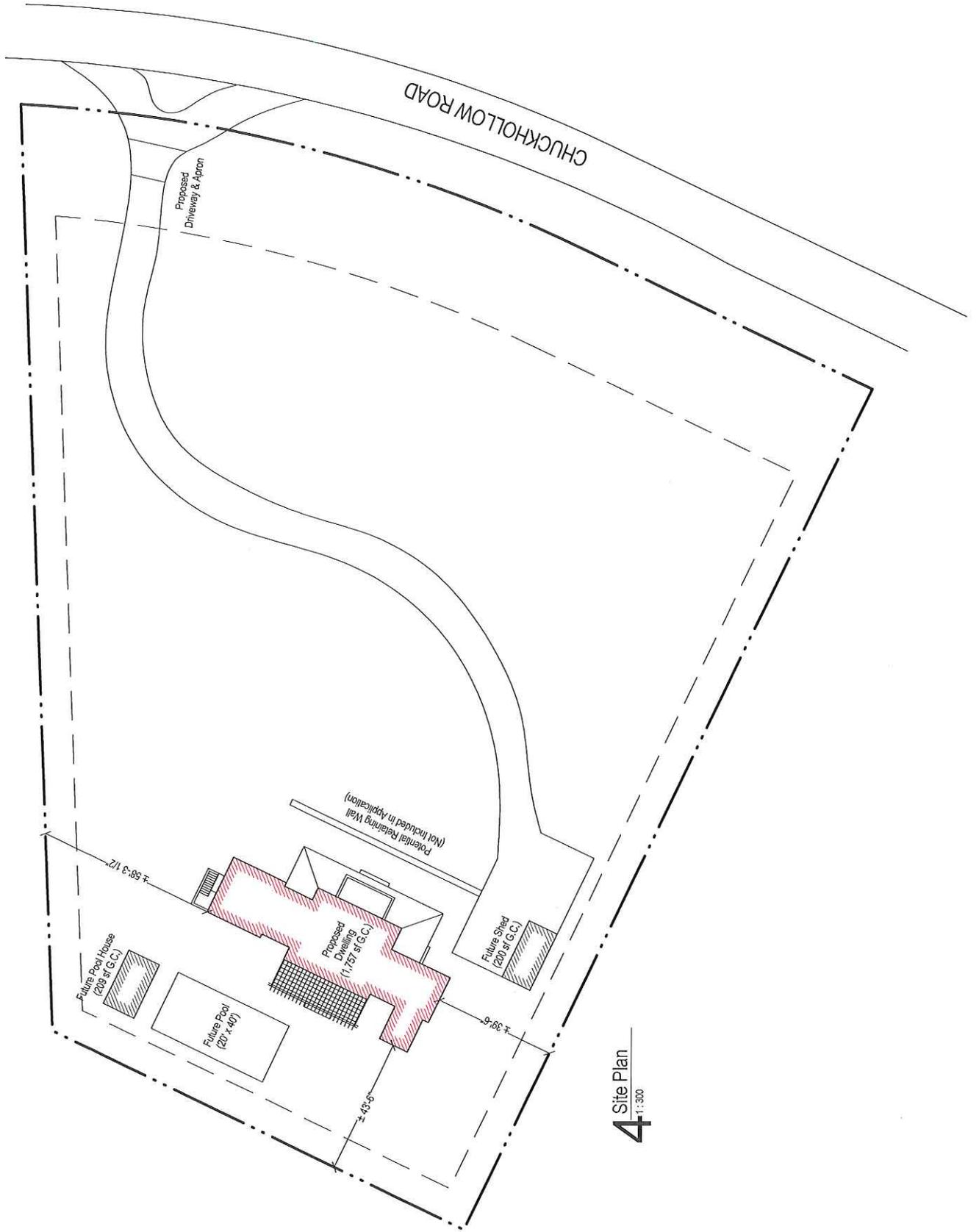
I hereby authorize the agent named above to act on my behalf to make changes in the specifications of the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 12/29/15 Signature of owner of record [Signature] Signed under penalties of perjury

# *Binder-Miller Residence*

41 Chuckhollow Rd.  
Nantucket, MA 02554





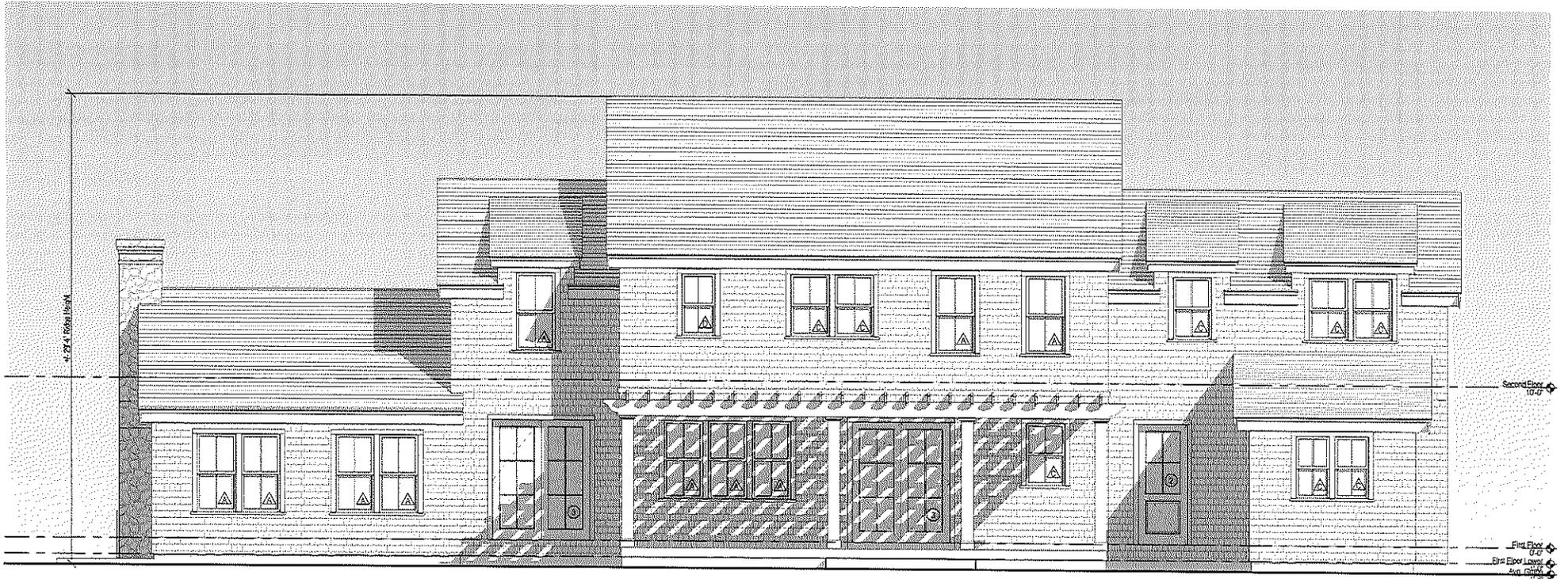
4 Site Plan  
1:300



1 East Elevation  
1/8" = 1'-0"



**2** North Elevation  
 1/4" = 1'-0"



1 West Elevation  
1/4" = 1'-0"



**2** South Elevation  
 1/4" = 1'-0"

CERTIFICATE NO: \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a  
**CERTIFICATE OF APPROPRIATENESS**  
for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

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**PROPERTY DESCRIPTION**

TAX MAP N°: 41 PARCEL N°: 229  
Street & Number of Proposed Work: 49 Westchester  
Owner of record: DONALD GAITER  
Mailing Address: 49 Westchester St  
NANTUCKET MA 02554  
Contact Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

**AGENT INFORMATION (if applicable)**

Name: TOM HANLON  
Mailing Address: 2 Grepping Ave, Suite 26  
NANTUCKET MA 02554  
Contact Phone #: 508 221-0742 E-mail: HANLONLANDSCAPING  
@GMAIL.COM

**FOR OFFICE USE ONLY**

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
Must be acted on by: \_\_\_\_\_  
Extended to: \_\_\_\_\_  
Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
Chairman: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Notes - Comments - Restrictions - Conditions  
\_\_\_\_\_  
\_\_\_\_\_

**DESCRIPTION OF WORK TO BE PERFORMED**

See reverse for required documentation.

New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed  
 Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_  
 Pool (Zoning District \_\_\_\_\_)  Roof  Other Arnon Belgian Block  
Size of Structure or Addition: Length: \_\_\_\_\_ Sq. Footage 1st floor: \_\_\_\_\_ Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
Width: \_\_\_\_\_ Sq. footage 2nd floor: \_\_\_\_\_ Size: \_\_\_\_\_  1st floor  2nd floor  
Sq. footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_  
Height of ridge above final finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

**Additional Remarks**

Historic Name: \_\_\_\_\_  
Original Date: \_\_\_\_\_  
Original Builder: \_\_\_\_\_  
Is there an HDC survey form for this building attached?  Yes  N/A  
**REVISIONS\***  
1. East Elevation icket Fence 20' Type 2 (White)  
2. South Elevation \_\_\_\_\_  
3. West Elevation 36" Gate + icket Fence 5' (Type 2 White)  
4. North Elevation 20 x 20 Driveway SAND 1 Fence N.T.W. (Replace EXISTING 100F)  
\*Cloud on drawings and submit photographs of existing elevations.

**DETAIL OF WORK TO BE PERFORMED**

**Foundation:** Height Exposed \_\_\_\_\_  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers \_\_\_\_\_  
**Masonry Chimney:**  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
**Roof Pitch:** Main Mass \_\_\_\_\_/12 Secondary Mass \_\_\_\_\_/12 Dormer \_\_\_\_\_/12 Other \_\_\_\_\_  
**Roofing material:**  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_  
**Skylights (flat only):** Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
**Gutters:**  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_  
**Leaders (material and size):** \_\_\_\_\_  
**Sidewall:**  White cedar shingles \_\_\_\_\_  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_  
**Trim:** A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_  
C. Dimensions: Fascia \_\_\_\_\_ Rake \_\_\_\_\_ Soffit (Overhang) \_\_\_\_\_ Corner boards \_\_\_\_\_ Frieze \_\_\_\_\_  
Window Casing \_\_\_\_\_ Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_  
**Windows\*:**  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights(muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_  
**Doors\* (type and material):**  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_  
Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_  
**Hardscape materials:** Driveways SHELL (Belgian Block) Walkways \_\_\_\_\_ Walls \_\_\_\_\_

Fence: Height: 36 1/4" Type 2 icket (25')  
Type: SAND 1 BOARD FENCE N.T.W. 100'  
Length: \_\_\_\_\_

\* Note: Complete door and window schedules are required.

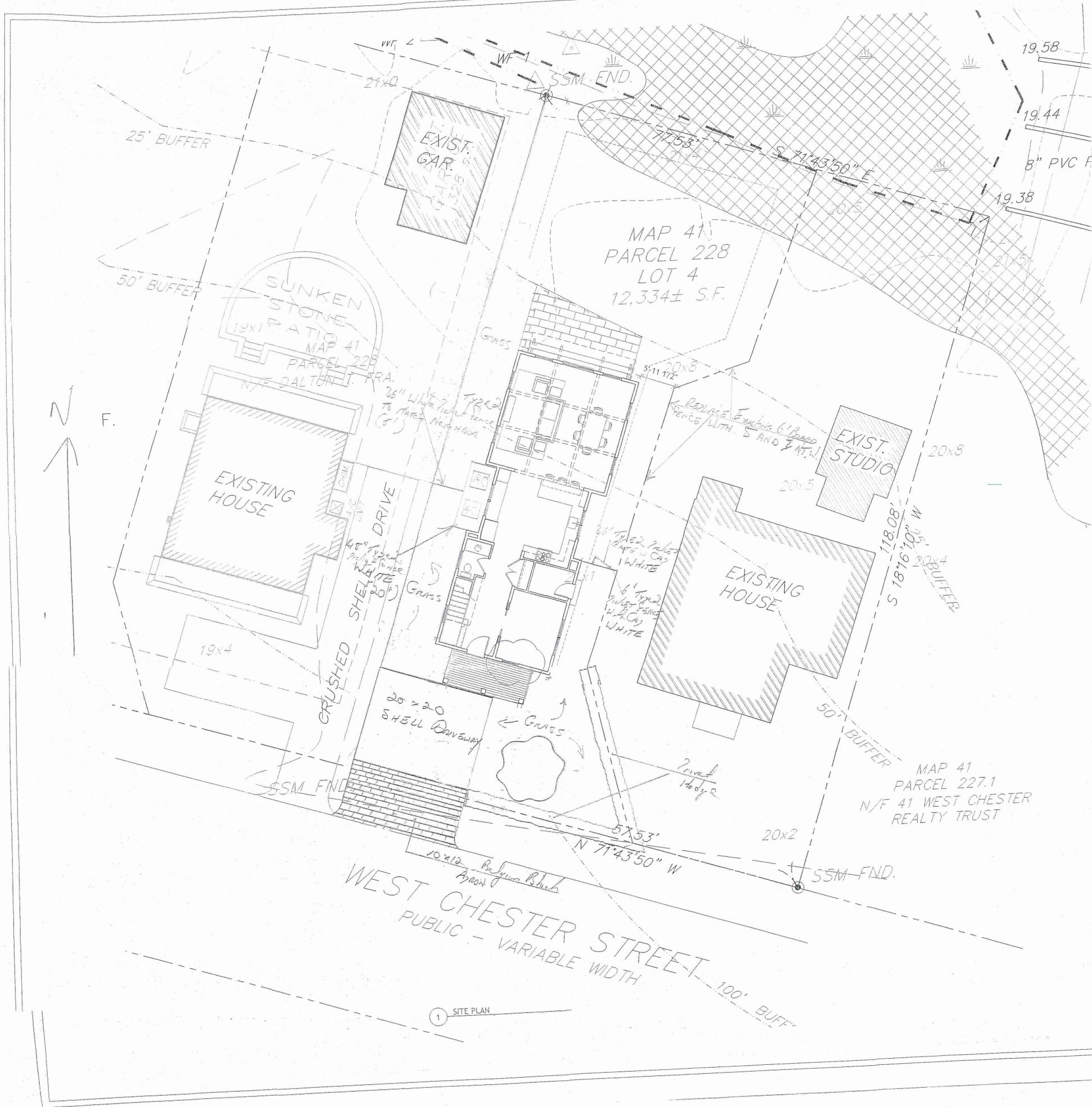
**COLORS**

Sidewall \_\_\_\_\_ Clapboard (if applicable) \_\_\_\_\_ Roof \_\_\_\_\_  
Trim \_\_\_\_\_ Sash \_\_\_\_\_ Doors \_\_\_\_\_  
Deck \_\_\_\_\_ Foundation \_\_\_\_\_ Fence icket SAND 1 Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

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Date \_\_\_\_\_ Signature of owner of record \_\_\_\_\_ Signed under penalties of perjury



WEST CHESTER STREET  
PUBLIC - VARIABLE WIDTH



1 SITE PLAN

25' BUFFER

50' BUFFER

EXIST. GAR.

SUNKEN STONE PATIO

EXISTING HOUSE

CRUSHED SHELL DRIVE

20x20 SHELL DRIVEWAY

EXISTING HOUSE

EXIST. STUDIO

MAP 41  
PARCEL 228  
LOT 4  
12,334± S.F.

MAP 41  
PARCEL 227.1  
N/F 41 WEST CHESTER  
REALTY TRUST

19.58

19.44

19.38

20x8

20x5

19x4

SSM FND.

50' BUFFER

SSM FND.

20x2

57.53'

N 71°43'50" W

118.08'

S 18°16'10" W

REPLACE EXISTING 6' BOARD FENCE WITH 5 AND 2 FT. W.

6' TYPED PALISADES WITH CAP WHITE

6' TYPED PALISADES WITH CAP WHITE

36" W/WHITE TYPED FENCE TO MATCH NEIGHBOR

Grass

Gr

CERTIFICATE NO: \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

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The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

#### PROPERTY DESCRIPTION

TAX MAP N<sup>o</sup>: 41 PARCEL N<sup>o</sup>: 531  
 Street & Number of Proposed Work: 51 CROOKED LANE  
 Owner of record: MSC 152, JENNIFER M  
 Mailing Address: 22 HIGH STREET  
TOPSFIELD, MA 01983  
 Contact Phone #: \_\_\_\_\_ E-mail: JENN.MSC152@YAL200.COM

#### AGENT INFORMATION (if applicable)

Name: PERMITS PLUS, LLC  
 Mailing Address: BOX 3363  
NANTUCKET, MA 02584  
 Contact Phone #: 508 728 6913 E-mail: PERMITS@PERMITSPLUS.COM

#### FOR OFFICE USE ONLY

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
 Must be acted on by: \_\_\_\_\_  
 Extended to: \_\_\_\_\_  
 Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
 Chairman: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Notes - Comments - Restrictions - Conditions

#### DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed  
 Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No.  
 Pool (Zoning District \_\_\_\_\_)  Roof  Other: REPAIRS EXIST. DECKS, ADD SPIRAL STAIR CASE (GALVANIZED STEEL)  
 Size of Structure or Addition: Length: \_\_\_\_\_ Sq. Footage 1st floor: \_\_\_\_\_ Decks/Patio: Size: 8' x 24'  1st floor  2nd floor  
 Width: \_\_\_\_\_ Sq. footage 2nd floor: \_\_\_\_\_ Size: 8' x 24'  1st floor  2nd floor  
 Sq. footage 3rd floor: \_\_\_\_\_  
 Difference between existing grade and proposed finish grade: North -0- South -0- East -0- West -0-  
 Height of ridge above final finish grade: North NA South - East - West -

#### Additional Remarks

Historic Name: \_\_\_\_\_ REVISIONS: 1. East Elevation  
 Original Date: \_\_\_\_\_ (describe) 2. South Elevation  
 Original Builder: \_\_\_\_\_ 3. West Elevation  
 Is there an HDC survey form for this building attached?  Yes  N/A 4. North Elevation  
 \*Cloud on drawings and submit photographs of existing elevations.

#### DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed \_\_\_\_\_  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
 Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
 Roof Pitch: Main Mass /12 Secondary Mass /12 Dormer /12 Other \_\_\_\_\_  
 Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_  
 Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
 Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
 Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_  
 Leaders (material and size): \_\_\_\_\_  
 Sidewall:  White cedar shingles \_\_\_\_\_  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_  
 Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
 B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_  
 C. Dimensions: Fascia \_\_\_\_\_ Rake \_\_\_\_\_ Soffit (Overhang) \_\_\_\_\_ Corner boards \_\_\_\_\_ Frieze \_\_\_\_\_  
 Window Casing \_\_\_\_\_ Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_  
 Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_  
 Doors\* (type and material):  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_  
 Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_  
 Hardscape materials: Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

#### COLORS

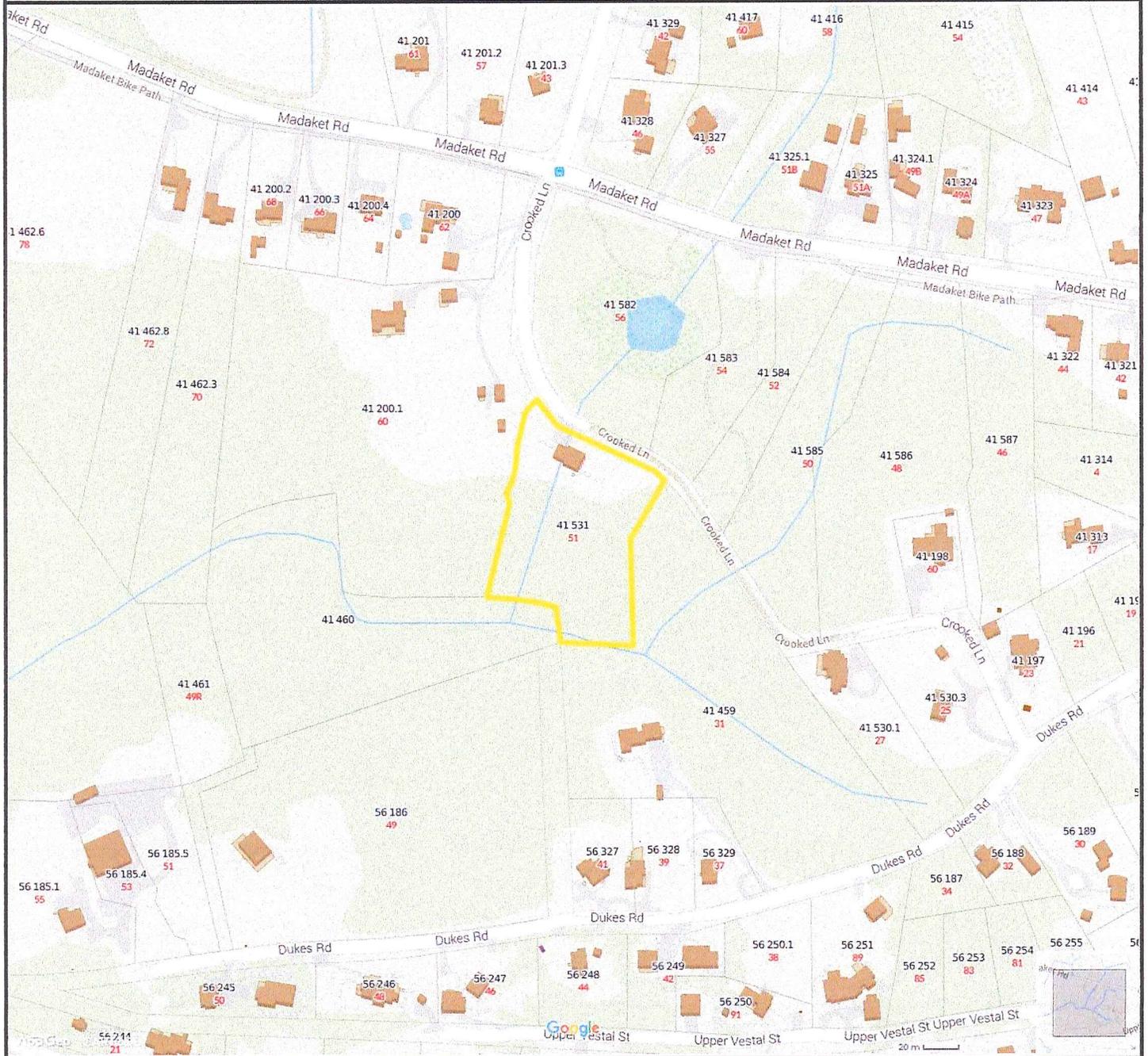
Sidewall - Clapboard (if applicable) - Roof -  
 Trim NATURAL TO WEATHER Sash - Doors -  
 Deck NATURAL TO WEATHER Foundation NATURAL Fence - Shutters -

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.  
 Date 12.22.19 Signature of owner of record Jennifer M. [Signature] Signed under penalties of perjury



# MSCISZ RESIDENCE 51 CROOKED LANE M



**Property Information**

**Property ID** 41%20531  
**Location** 51 CROOKED LN  
**Owner** MSCISZ JENIFER M



**MAP FOR REFERENCE ONLY  
 NOT A LEGAL DOCUMENT**

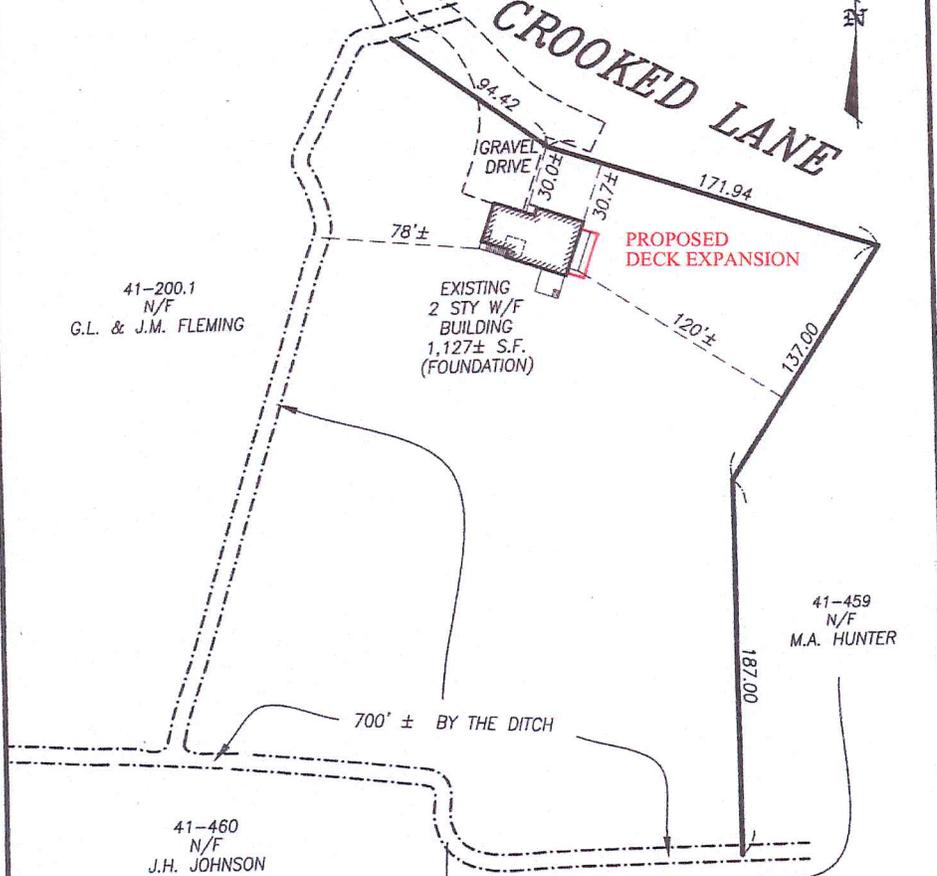
Town and County of Nantucket, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Parcels updated December, 2014  
 Properties updated January, 2015

CURRENT ZONING CLASSIFICATION:  
Residential 20 (R-20)

MINIMUM LOT SIZE: 20,000 S.F.  
MINIMUM FRONTAGE: 75 FT.  
FRONT YARD SETBACK: 30 FT.  
REAR/SIDE SETBACK: 10 FT.  
GROUND COVER % : 12.5%

EXISTING:  
AROUND 88,000± S.F.  
SEE PLAN.  
SEE PLAN.  
SEE PLAN.  
SEE PLAN.



I CERTIFY, AS OF : 8/4/2008  
THE BUILDING(S) IS/ARE LOCATED ON  
GROUND AS SHOWN HEREON.

*Edward F. King, Jr.*  
PROFESSIONAL LAND SURVEYOR



### BUILDING LOCATION PLAN OF LAND IN NANTUCKET, MASS.

SCALE: 1" = 60'      DATE: AUGUST 6, 2008

Owner: ..... KATE W. WELD .....  
Deed: ... 702-153 ... Plan: ... NONE .....  
Locus: ..... #51 CROOKED LANE .....

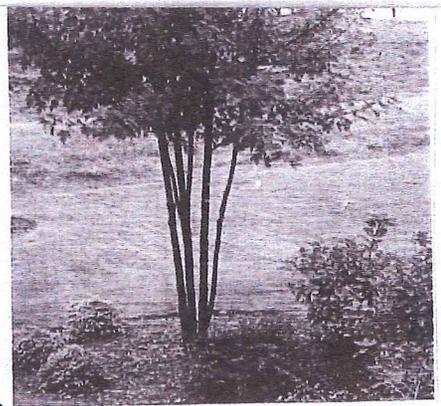
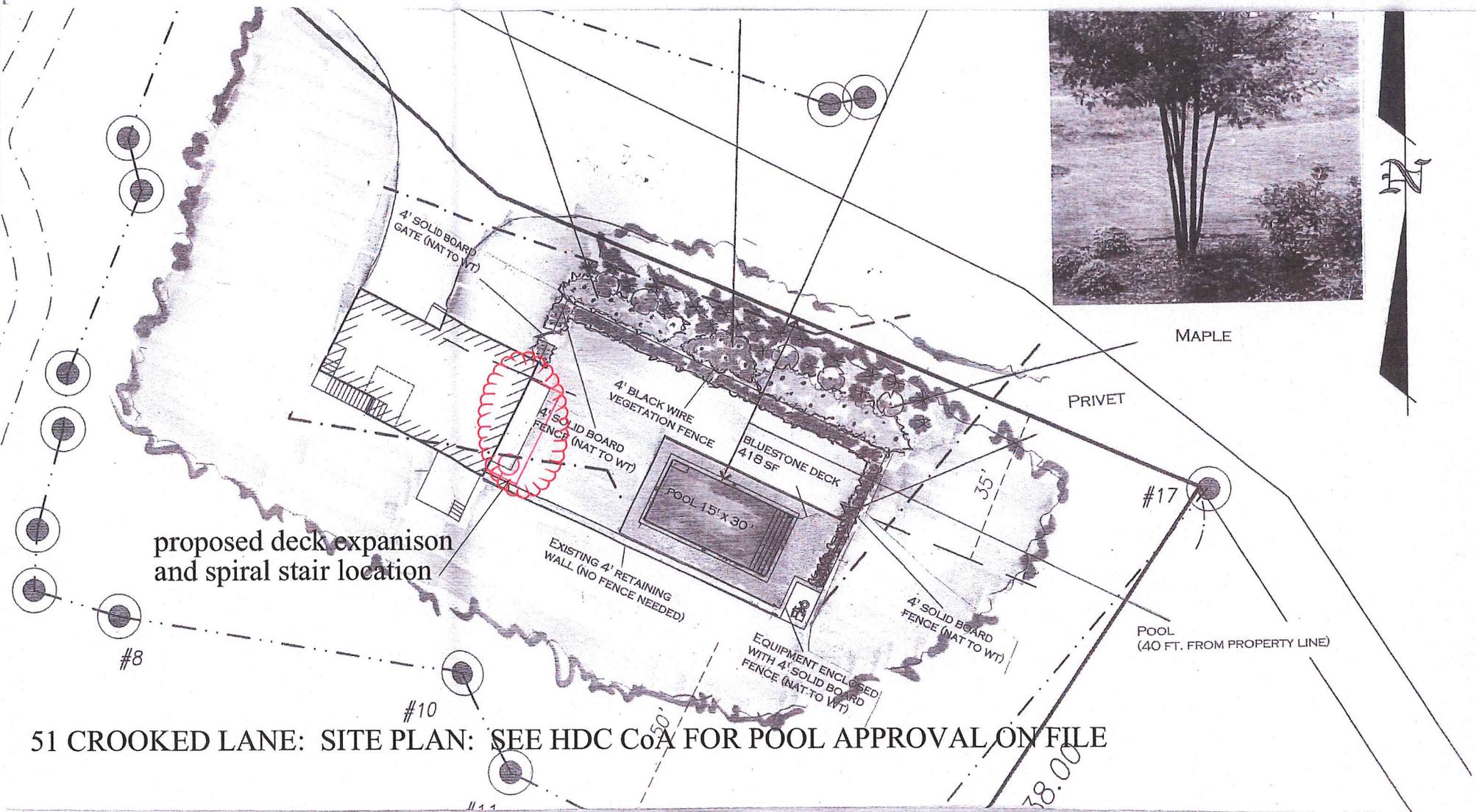
THIS PLOT PLAN WAS PREPARED FOR THE TOWN  
OF NANTUCKET BUILDING DEPARTMENT ONLY AND  
SHOULD NOT BE CONSIDERED A PROPERTY LINE  
SURVEY. THIS PLAN SHOULD NOT BE USED TO  
ESTABLISH PROPERTY LINES, FENCES, HEDGES OR  
ANY ANCILLARY STRUCTURES ON THE PREMISES.  
THE PROPERTY LINES SHOWN RELY ON CURRENT  
DEEDS AND PLANS OF RECORD.  
THIS PLOT PLAN IS NOT A CERTIFICATION AS TO  
TITLE OR OWNERSHIP OF THE PROPERTY SHOWN.  
OWNERS OF ADJOINING PROPERTIES ARE SHOWN  
ACCORDING TO CURRENT ASSESSOR RECORDS.

**ISLAND SURVEYORS CORP., LLC**  
Professional Land Surveyors  
90 OLD SOUTH ROAD  
NANTUCKET, MASS. 02554  
(508) 228-2720

ASSESSOR MAP: . . 41 . . , PARCEL: . 531 . .

K-46

MSCISZ RESIDENCE 51 CROOKED LANE 12-22-15  
Site Plan depicting proposed deck expansion, East elevation



MAPLE

PRIVET

#17

POOL (40 FT. FROM PROPERTY LINE)

proposed deck expansion and spiral stair location

51 CROOKED LANE: SITE PLAN: SEE HDC CoA FOR POOL APPROVAL ON FILE

#8

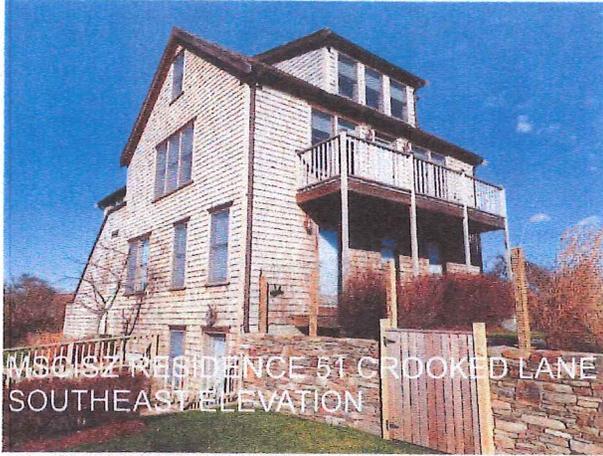
#10

38.00'

35'

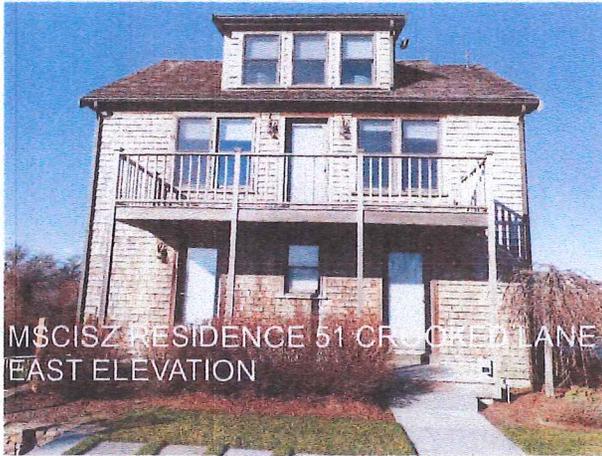
35.00'

#11

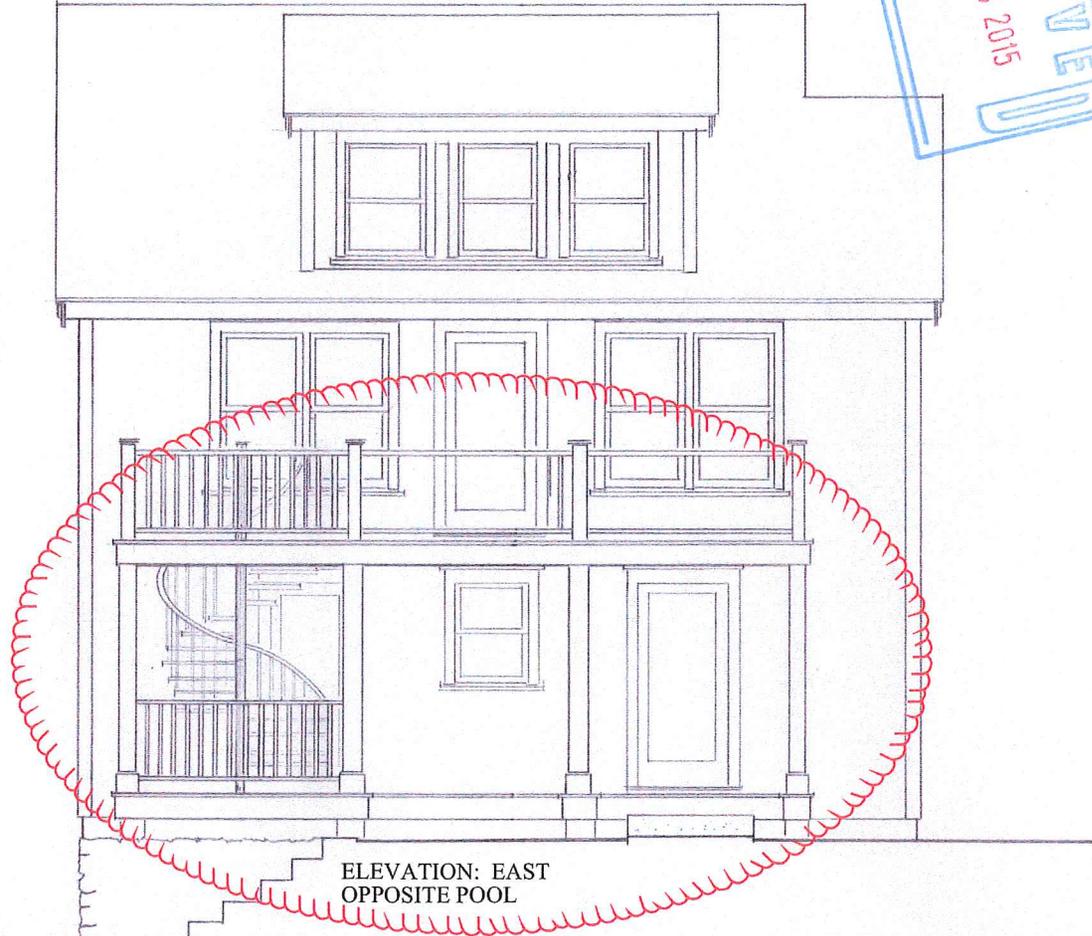


MSCISZ RESIDENCE 51 CROOKED LANE  
SOUTHEAST ELEVATION

REMOVE EXISTING DECKS  
REPLACE WITH NEW DECKS AND  
GALVANIZED SPIRAL STAIRCASE  
TRIM: CEDAR, NATURAL TO WEATHER  
DECK: MAHOGANY, NATURAL



MSCISZ RESIDENCE 51 CROOKED LANE  
EAST ELEVATION

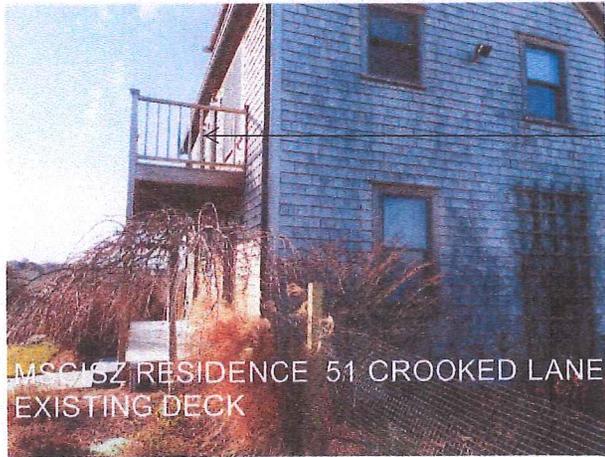


RECEIVED  
DEC 22 2015  
BY \_\_\_\_\_

MSCISZ RESIDENCE 51 CROOKED LANE  
PROPOSED DECK REPLACEMENT WITH SPIRAL STAIRCASE

Scale: 1/4" = 1'-0"

December 21, 2015

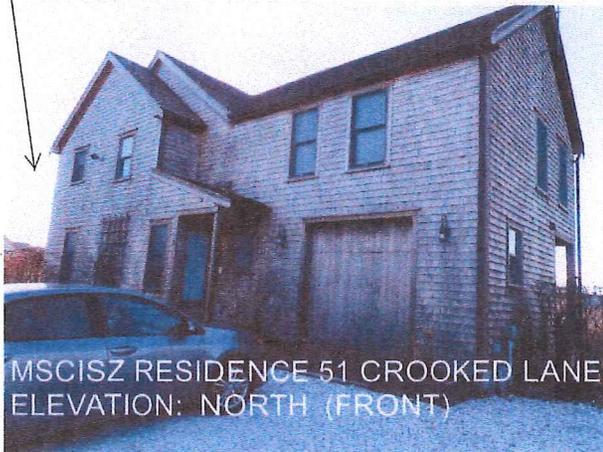


MSCISZ RESIDENCE 51 CROOKED LANE  
EXISTING DECK

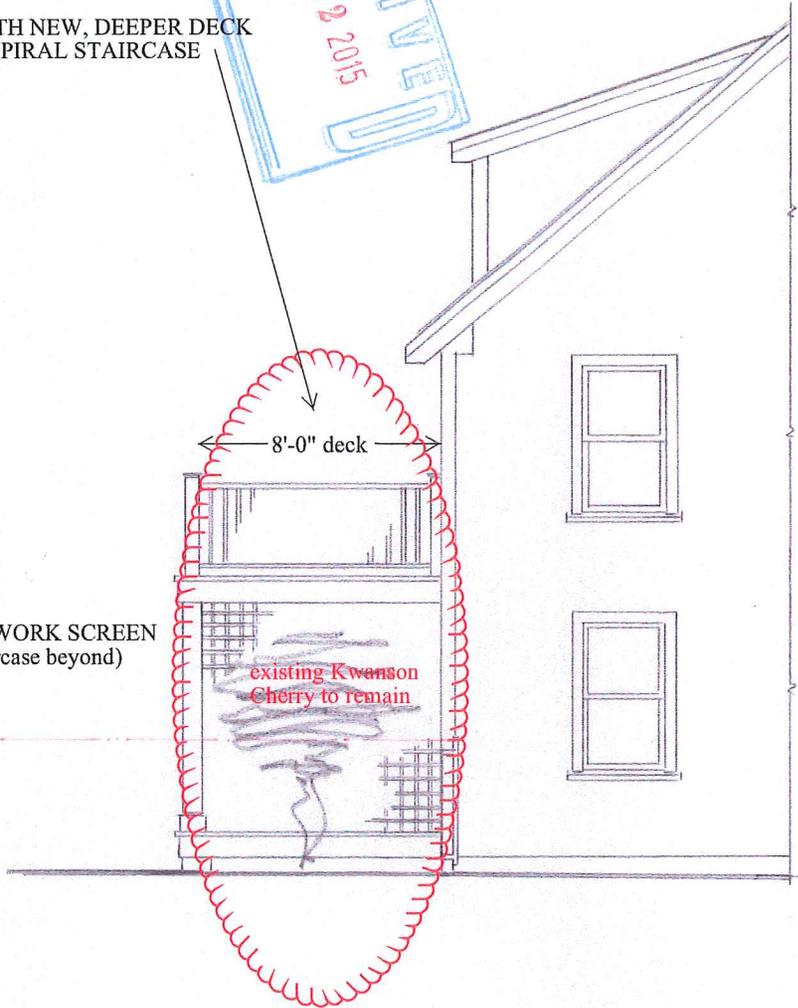
REPLACE EXISTING DECK WITH NEW, DEEPER DECK  
AND INSTALL GALVANIZED SPIRAL STAIRCASE

replace existing deck with deeper deck to install spiral stair

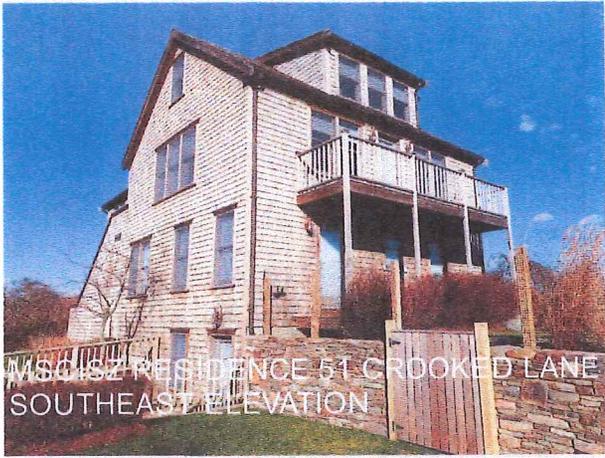
deck situated behind on East elevation



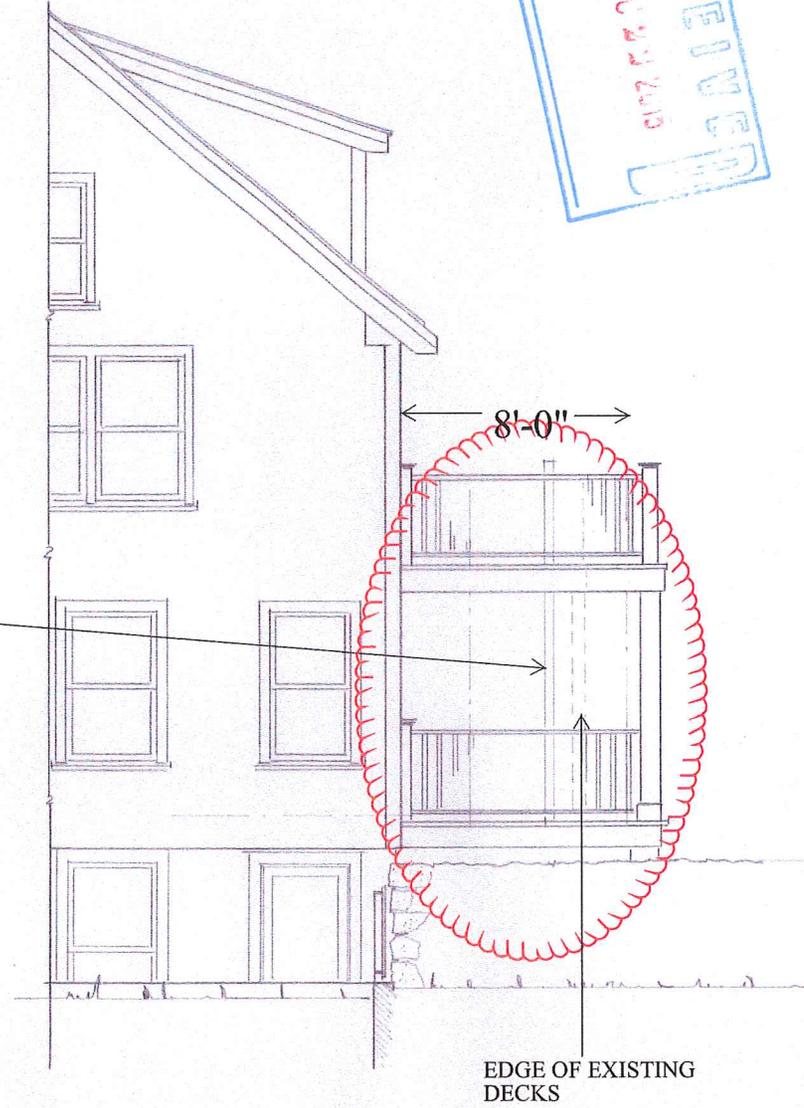
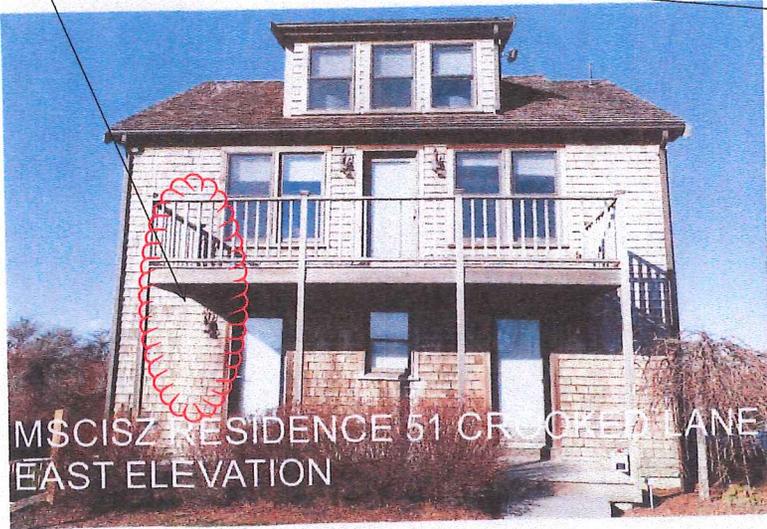
MSCISZ RESIDENCE 51 CROOKED LANE  
ELEVATION: NORTH (FRONT)



MSCISZ RESIDENCE 51 CROOKED LANE  
PARIAL ELEVATION: NORTH  
Scale: 1/4" = 1'-0"  
December 21, 2015



LOCATION OF PROPOSED  
SPIRAL STAIRCASE  
IN NEW, DEEPER DECK



RECEIVED  
BY  
DECEMBER 21, 2015

MSCISZ RESIDENCE 51 CROOKED LANE  
PARTIAL ELEVATION: SOUTH  
Scale: 1/4" = 1'-0"

December 21, 2015

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

**CERTIFICATE OF APPROPRIATENESS**

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

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**PROPERTY DESCRIPTION**

TAX MAP N<sup>o</sup>: \_\_\_\_\_ PARCEL N<sup>o</sup>: \_\_\_\_\_  
Street & Number of Proposed Work: 63 West Chester ST  
Owner of record: Don & Jen Torey  
Mailing Address: 8 MILTON Place  
Rowayton, CT 06853  
Contact Phone #: 203-984-0444 E-mail: DTorey@AOL.com

**AGENT INFORMATION (if applicable)**

Name: Robert Newman SCT  
Mailing Address: PO Box 79  
NANTUCKET MA 02584  
Contact Phone #: 508-226-8850 E-mail: R.C.NEWMAN@CONCRETE.NET

**FOR OFFICE USE ONLY**

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
Must be acted on by: \_\_\_\_\_  
Extended to: \_\_\_\_\_  
Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
Chairman: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Notes - Comments - Restrictions - Conditions

**DESCRIPTION OF WORK TO BE PERFORMED**  
See reverse for required documentation.

- New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed
- Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_
- Pool (Zoning District \_\_\_\_\_)  Roof  Other: STUPTO / CABANA

Size of Structure or Addition: Length: 24 Sq. Footage 1st floor: 541 Decks/Patio: Size: 8x20'  1st floor  2nd floor  
Width: 24 Sq. footage 2nd floor: 512 Size: \_\_\_\_\_  1st floor  2nd floor  
Sq. footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North NONE South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_  
Height of ridge above final finish grade: North 20'-6" South 20'-6" East 20'-6" West 20'-6"

**Additional Remarks**

Historic Name: \_\_\_\_\_  
Original Date: \_\_\_\_\_  
Original Builder: \_\_\_\_\_  
Is there an HDC survey form for this building attached?  Yes  N/A

- REVISIONS:**
1. East Elevation
  2. South Elevation
  3. West Elevation
  4. North Elevation

\*Cloud on drawings and submit photographs of existing elevations.

**DETAIL OF WORK TO BE PERFORMED**

Foundation: Height Exposed 8"  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_

Roof Pitch: Main Mass 10/12 Secondary Mass 1/12 Dormer 4/12 Other \_\_\_\_\_  
Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_

Fence: Height: \_\_\_\_\_  
Type: \_\_\_\_\_  
Length: \_\_\_\_\_

Skylights (flat only): Manufacturer NA Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_  
Leaders (material and size): Copper 2"

Sidewall:  White cedar shingles  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_

Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_

C. Dimensions: Fascia 10 Rake 10 Soffit (Overhang) 6 Corner boards 6 Frieze 4  
Window Casing 4 Door Frame 4 Columns/Posts: Round  Square 6

Windows:  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_

Doors\* (type and material):  TDL  SDL Front \_\_\_\_\_ Rear FRENCH, 15 LIGHT Side 9 LIGHT, 2 PANEL  
Garage Door(s): Type VERTICAL BEADED BOARD Material CEDAR

Hardscape materials: Driveways EXPTG / THERM Walkways BRICK / BLUESTONE Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required. ATTACHED

**COLORS**

Sidewall WHITE CEDAR / NATURAL Clapboard (if applicable) \_\_\_\_\_ Roof MATCH ROOFING  
Trim RED CEDAR / NATURAL Sash MATCH ROOFING Doors \_\_\_\_\_  
Deck BLUESTONE PATIO Foundation CONCRETE / NATURAL Fence \_\_\_\_\_ Shutters \_\_\_\_\_

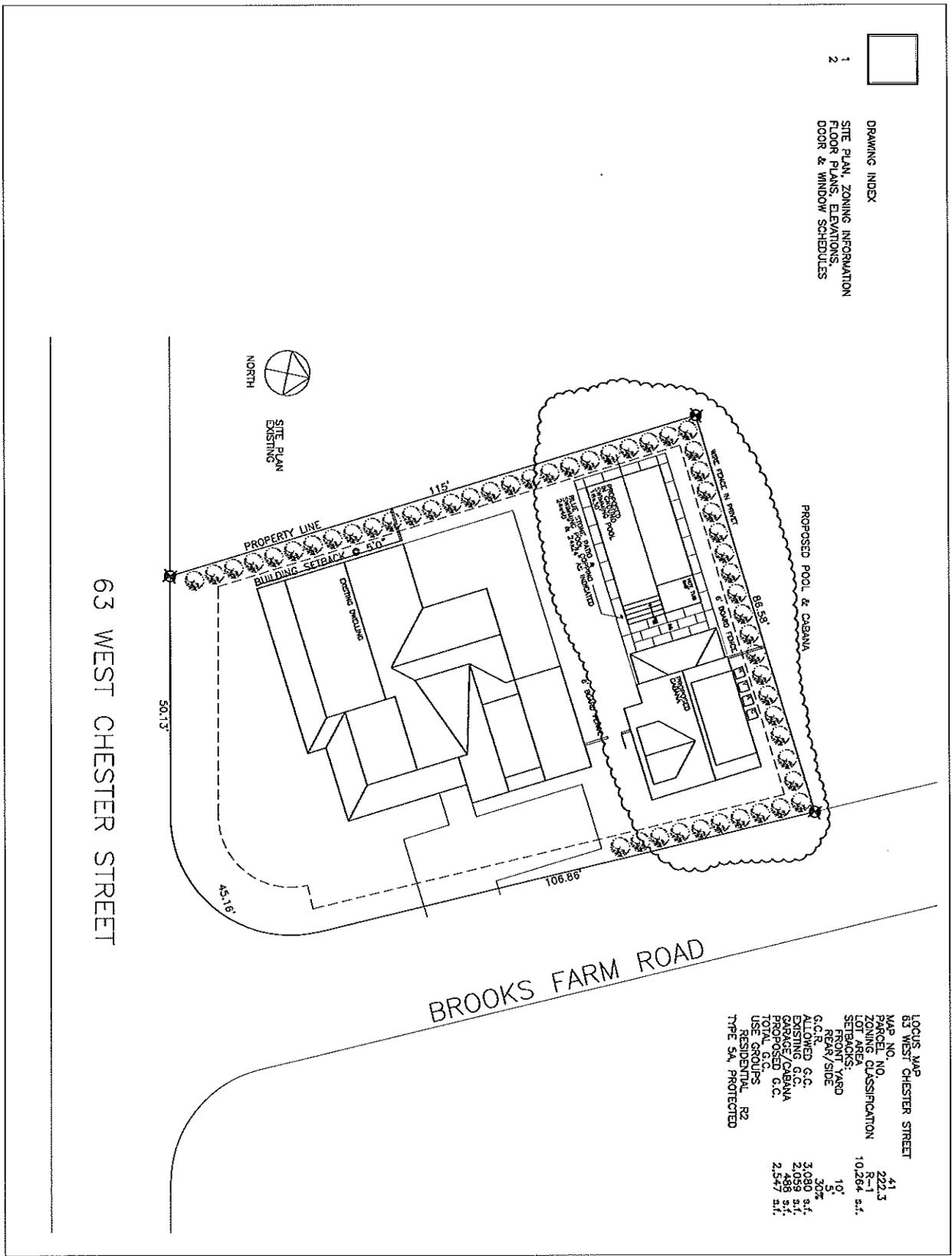
\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 11/9/15 Signature of owner of record [Signature] Signed under penalties of perjury

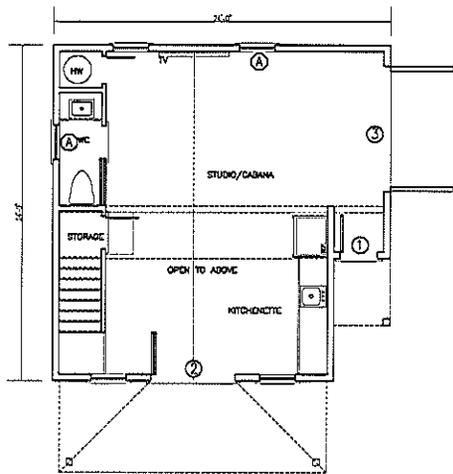


1  
DRAWING INDEX  
SITE PLAN, ZONING INFORMATION  
FLOOR PLANS, ELEVATIONS,  
DOOR & WINDOW SCHEDULES

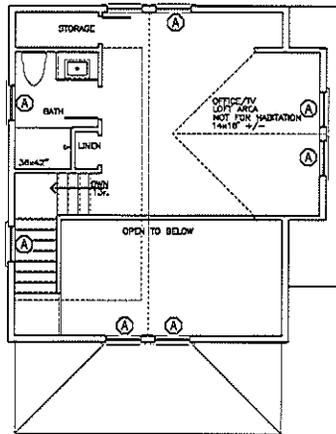


LOCUS MAP  
63 WEST CHESTER STREET  
MAP NO. 41  
PARCEL NO. 222.3  
ZONING CLASSIFICATION R-1  
LOT AREA 10,264 S.F.  
SETBACKS: YARD 10'  
REAR/SIDE 5'  
G.C.R. 30%  
ALLOWED G.C. 3,030 S.F.  
EXISTING G.C. 2,059 S.F.  
GARAGE/CABANA 498 S.F.  
PROPOSED G.C. 2,347 S.F.  
USE GROUPS  
RESIDENTIAL, R2  
TYPE 5A, PROTECTED

<p>TITLE DRAWING INDEX SITE PLAN ZONING INFO</p>		<p>DATE 12/21/13</p>		<p>SCALE 1/8"=1'-0"</p>		<p>PROJECT TOREY RESIDENCE 63 WEST CHESTER STREET NANTUCKET, MA</p>		<p>NOTES NO. 00000 DICT. NO.</p>		<p>STUDIO/CABANA JOB NO. IN-GROUND SWIMMING POOL</p>	
<p>1</p>						<p>SANDCASTLE CONSTRUCTION INC. ARCHITECTS &amp; BUILDERS</p>		<p>P.O. BOX 2113 NANTUCKET, MA 02534</p>		<p>508 228 8950</p>	



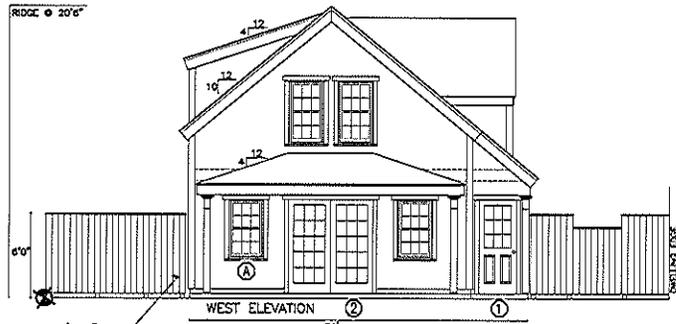
1st LEVEL FLOOR PLAN  
541 sf



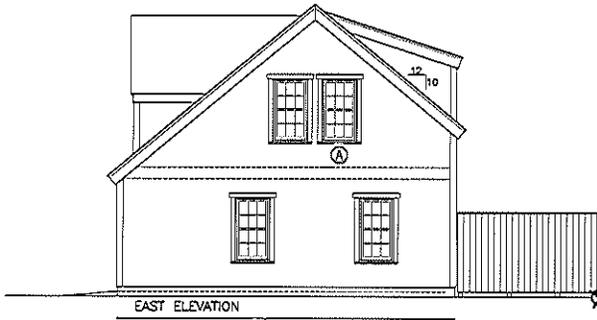
LOFT LEVEL FLOOR PLAN  
312 sf

DOOR SCHEDULE			
MANUFACT.	DESCRIPTION	MODEL	SIZE
① SIMPSON	2 PANEL, 9 LIGHT		2'8" x 6'8"
② SIMPSON	15 LIGHT, FRENCH		6'0" x 6'8"
③ CUSTOM	BEADED GARAGE		9'0" x 7'0"

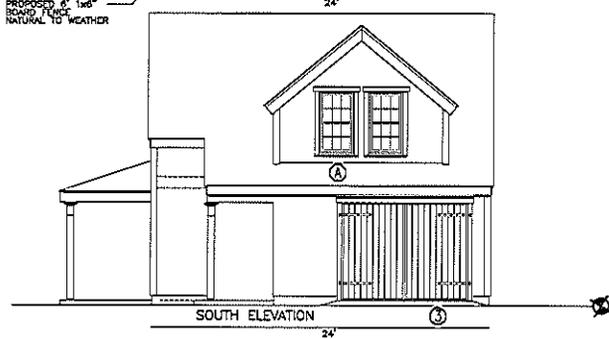
WINDOW SCHEDULE			
MANUFACT.	LIGHT DESCRIPTION	MODEL	GLASS
A ANDERSEN	6/6, TW, DH	TW2442	



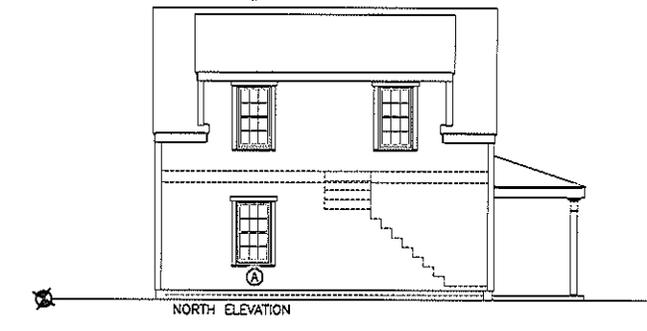
WEST ELEVATION



EAST ELEVATION



SOUTH ELEVATION



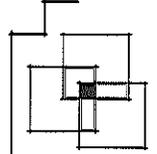
NORTH ELEVATION

PROPOSED 4" 1x6" BOARD FENCE NATURAL TO WEATHER

SANDCASTLE CONSTRUCTION INC.  
ARCHITECTS & BUILDERS

110 DIX 2113  
MASTUCKET, MA  
03581

508-228-8050



PROJECT  
TOREY RESIDENCE  
63 WEST CHILSTEN STREET  
MASTUCKET, MA

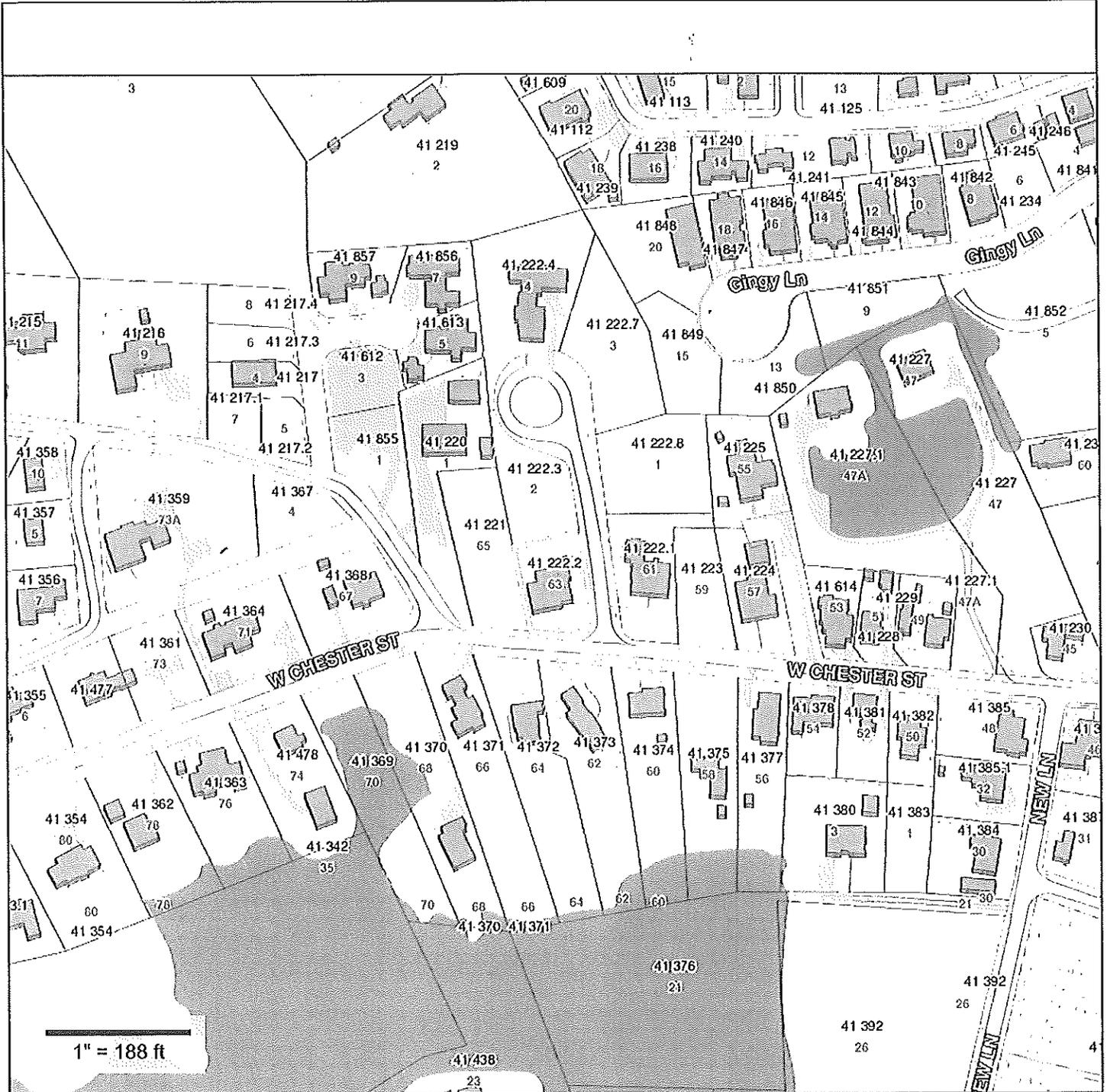
STUDIO/CABANA  
100 NO. IN-GROUND SWIMMING POOL

NOTES  
HDC  
CERT. NO. 000000

TITLE  
PLANS  
ELEVATIONS &  
FLOOR PLANS,  
D&W SCHEDULES

DATE  
12-21-15  
SCALE  
1/8"=1'-0"

2



Property Information

Property ID 41 222.2  
 Location 63 W CHESTER ST  
 Owner TOREY DONALD W & JENNIFER



**MAP FOR REFERENCE ONLY  
 NOT A LEGAL DOCUMENT**

The Town makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Parcels updated December, 2014



ZONING CLASSIFICATION: R-1. EXISTING:

MIN. AREA: 5,000 S.F.  
MIN. FRONTAGE: 30 FT.  
FRONT YARD S.B.: 10 FT.  
REAR & SIDE S.B.: 5 FT.  
GROUND COVER (%): 30.0%

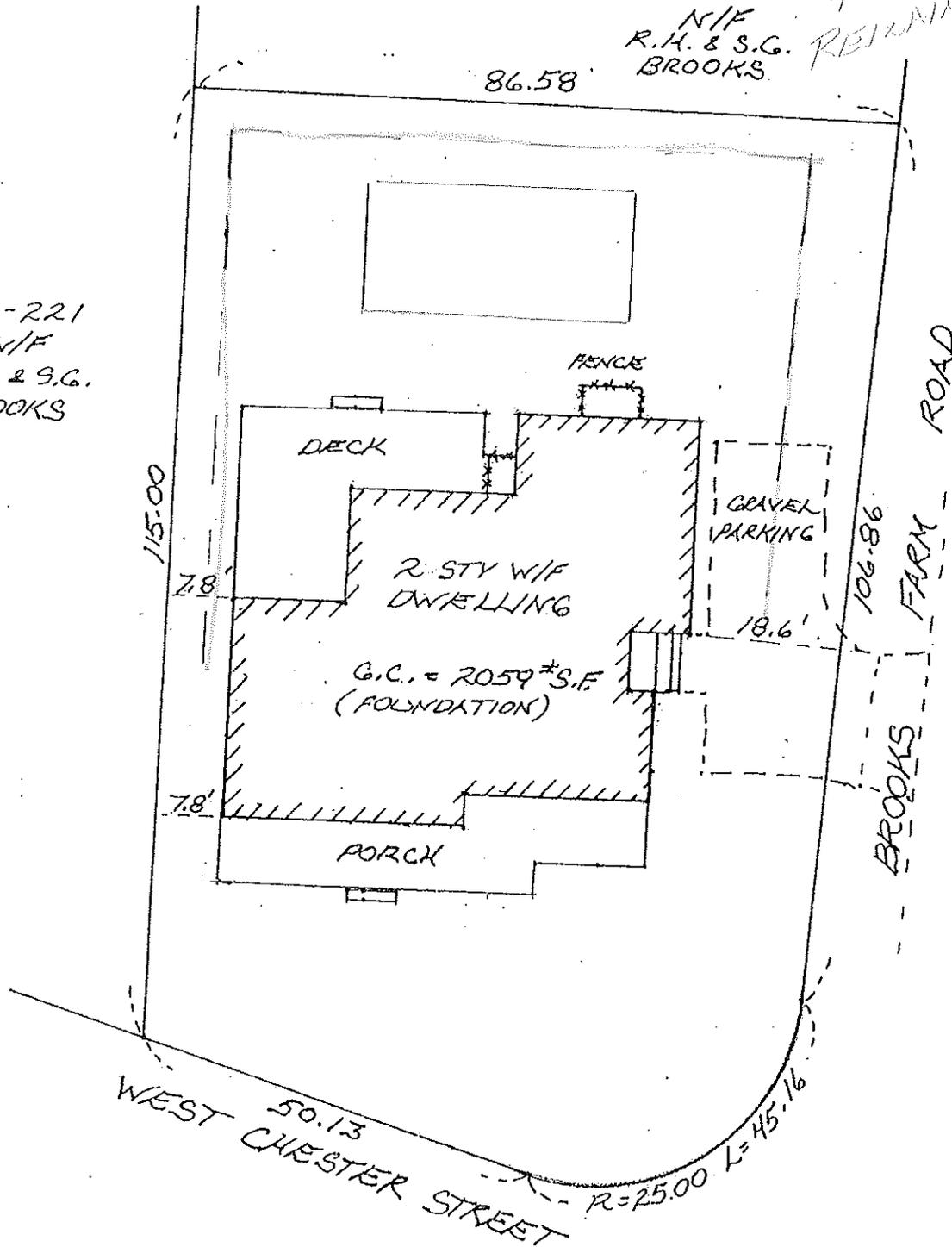
10,264 S.F.  
SEE PLAN

= 3,079 #

41-222.3  
N/F  
R.H. & S.G.  
BROOKS

1020 #  
REMAINING

41-221  
N/F  
R.H. & S.G.  
BROOKS



COMMONWEALTH OF MASSACHUSETTS  
 REGISTERED PROFESSIONAL ARCHITECT  
 CHARLES W. T. ...  
 I CERTIFY, AS OF : W. 7. 2008 ... THAT  
 THE BUILDING(S) IS/ARE LOCATED ON THE  
 GROUND AS SHOWN HEREON.

BUILDING LOCATION PLAN  
 OF LAND IN  
 MUNICIPALITY OF ...

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

**CERTIFICATE OF APPROPRIATENESS**

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

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The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

**PROPERTY DESCRIPTION**

TAX MAP N°: \_\_\_\_\_ PARCEL N°: \_\_\_\_\_

Street & Number of Proposed Work: 63 West Chester St.

Owner of record: Don & Jan Torey

Mailing Address: 8 Milton Place

Rowayton, CT 06853

Contact Phone #: 203-984-0444 E-mail: J.Torey@AOL.com

**AGENT INFORMATION (if applicable)**

Name: Robert Newman SCI

Mailing Address: PO Box 79

NANTUCKET, MA 02584

Contact Phone #: 540-228-8050 E-mail: R.C. Newman@CUMCAST.NET

**FOR OFFICE USE ONLY**

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_

Must be acted on by: \_\_\_\_\_

Extended to: \_\_\_\_\_

Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_

Chairman: \_\_\_\_\_

Member: \_\_\_\_\_

Member: \_\_\_\_\_

Member: \_\_\_\_\_

Member: \_\_\_\_\_

Notes - Comments - Restrictions - Conditions

**DESCRIPTION OF WORK TO BE PERFORMED**

See reverse for required documentation.

New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed

Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_

Pool (Zoning District 2L)  Roof  Other \_\_\_\_\_

Size of Structure or Addition: Length: 30' Sq. Footage 1st floor: 720 Decks/Patio: Size: 2 x 12'  1st floor  2nd floor

Width: 16' Sq. footage 2nd floor: \_\_\_\_\_ Size:  1st floor  2nd floor

Sq. footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North 0 South - East - West -

Height of ridge above final finish grade: North NA - 0 South - East - West -

**Additional Remarks**

**REVISIONS:**

- 1. East Elevation
- 2. South Elevation
- 3. West Elevation
- 4. North Elevation

Historic Name: \_\_\_\_\_

Original Date: \_\_\_\_\_ (describe)

Original Builder: \_\_\_\_\_

Is there an HDC survey form for this building attached?  Yes  N/A

\*Cloud on drawings and submit photographs of existing elevations.

**DETAIL OF WORK TO BE PERFORMED**

Foundation: Height Exposed \_\_\_\_\_  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers

Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_

Roof Pitch: Main Mass 1/12 Secondary Mass 1/12 Dormer 1/12 Other \_\_\_\_\_

Roofing material:  Asphalt:  3-Tab  Architectural

Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_

Fence: Height: 6'  
Type: VERTICAL BOARD/KLIRE in PANEL  
Length: VARIABLES 10'+, 5'+

Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_

Leaders (material and size): \_\_\_\_\_

Sidewall:  White cedar shingles \_\_\_\_\_  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side

Other \_\_\_\_\_

Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_

B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_

C. Dimensions: Fascia \_\_\_\_\_ Rake \_\_\_\_\_ Soffit (Overhang) \_\_\_\_\_ Corner boards \_\_\_\_\_ Frieze \_\_\_\_\_

Window Casing \_\_\_\_\_ Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_

Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_

True Divided Lights(muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_

Doors\* (type and material):  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_

Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_

Hardscape materials: Driveways \_\_\_\_\_ Walkways BLUE STONE Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required. NA

**COLORS**

Sidewall - Clapboard (if applicable) - Roof -

Trim - Sash - Doors -

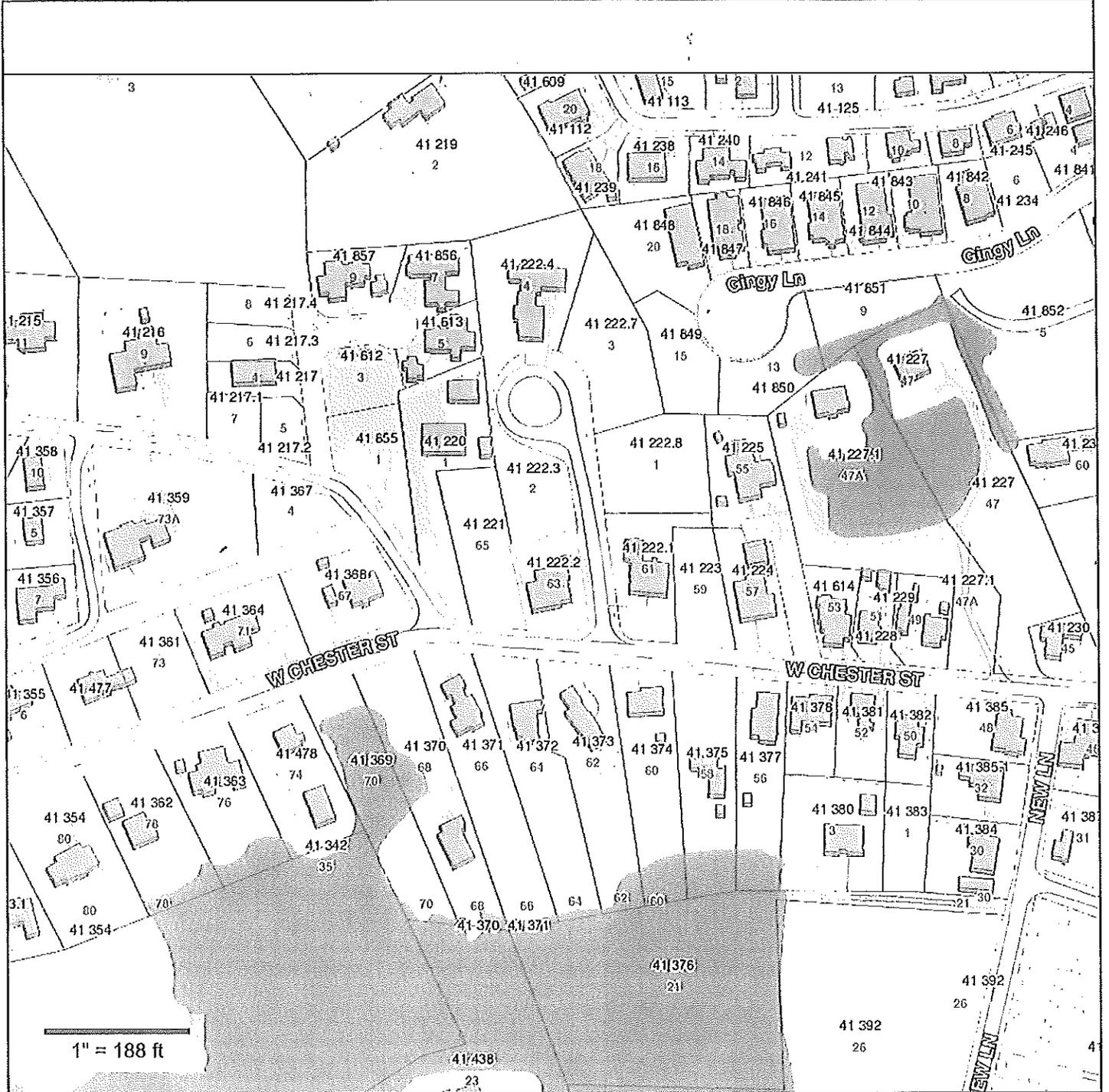
Deck BLUE STONE Foundation - Fence NATURAL Shutters -

\* Attach manufacturer's color samples if color is not from HDC approval list.

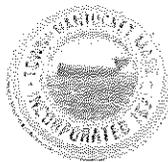
I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 11/9/15 Signature of owner of record [Signature] signed under penalties of perjury





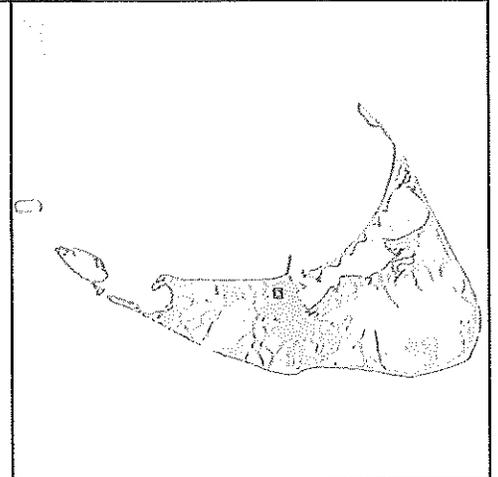
Property Information  
 Property ID 41 222.2  
 Location 63 W CHESTER ST  
 Owner TOREY DONALD W & JENNIFER



**MAP FOR REFERENCE ONLY  
 NOT A LEGAL DOCUMENT**

The Town makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Parcels updated December, 2014



ZONING CLASSIFICATION: R-1. EXISTING:

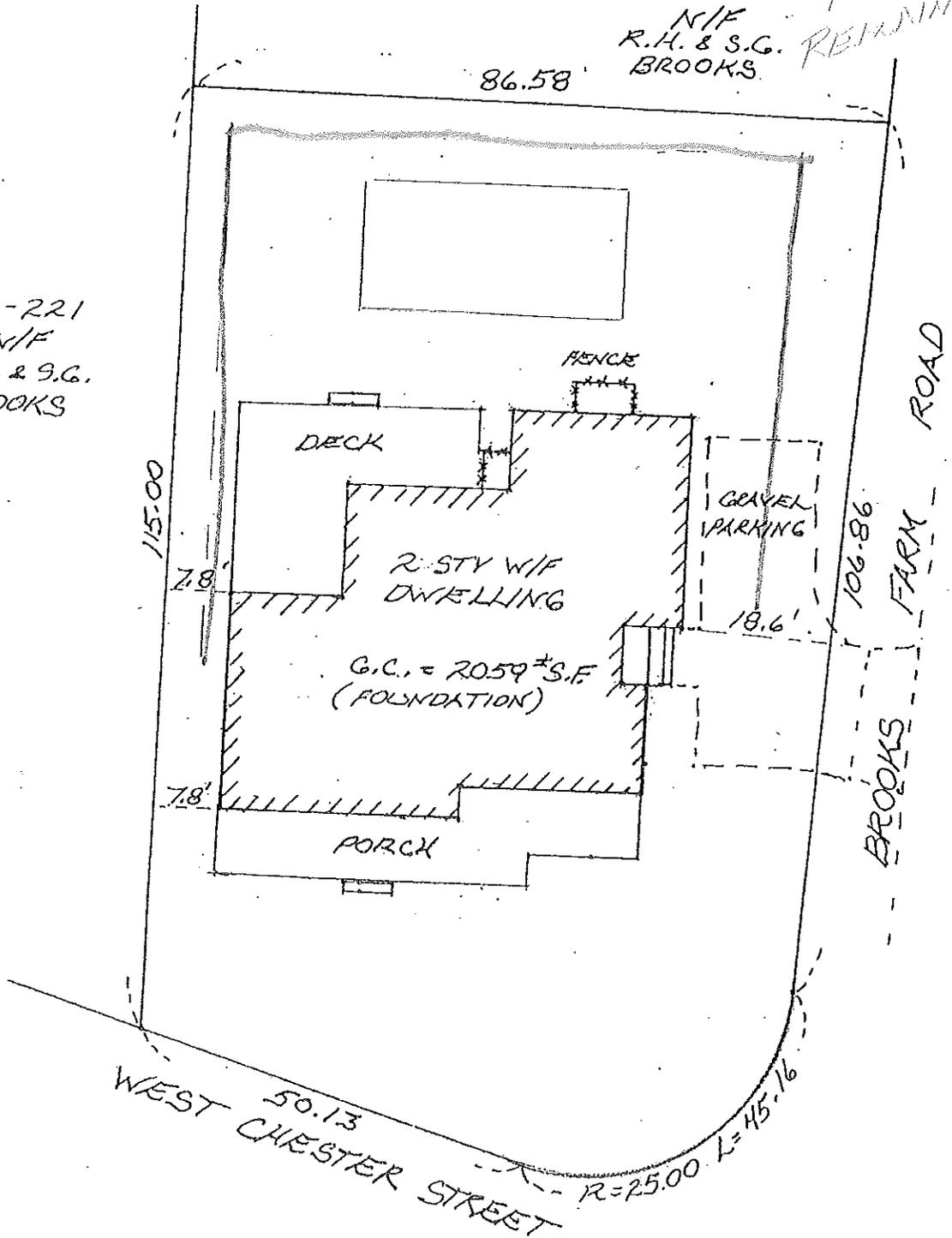
MIN. AREA: 5,000 S.F.  
MIN. FRONTAGE: 30 FT.  
FRONT YARD S.B.: 10 FT.  
REAR & SIDE S.B.: 5 FT.  
GROUND COVER (%): 30.0%

10,264 ± S.F.  
SEE PLAN

41-222.3  
N/F  
R.H. & S.G.  
BROOKS

1020  
REMAINING

41-221  
N/F  
R.H. & S.G.  
BROOKS



COMMONWEALTH OF MASSACHUSETTS  
 REGISTERED PROFESSIONAL ENGINEER  
 CHARLES W. 7-1108  
 I CERTIFY, AS OF: W. 7-1108, THAT  
 THE BUILDING(S) IS/ARE LOCATED ON THE  
 GROUND AS SHOWN HEREON.

BUILDING LOCATION PLAN  
 OF LAND IN  
 IN A MUNICIPALITY

CERTIFICATE NO: \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

**CERTIFICATE OF APPROPRIATENESS**

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.  
**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

**PROPERTY DESCRIPTION**

TAX MAP N<sup>o</sup>: 94 PARCEL N<sup>o</sup>: 41  
Street & Number of Proposed Work: 94 Trim Naves Rd  
Owner of record: John Uddelson  
Mailing Address: 19 Union Park Unit 3  
Boston MA 02118  
Contact Phone #: 202 360 7177 E-mail: SandyUddelson.com

**AGENT INFORMATION (if applicable)**

Name: Sophie Metz  
Mailing Address: 15A North Beach Street  
Nantucket, MA 02554  
Contact Phone #: 202 360 7177 E-mail: Sophmetz@gmail.com

FOR OFFICE USE ONLY

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_

Must be acted on by: \_\_\_\_\_

Extended to: \_\_\_\_\_

Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_

Chairman: \_\_\_\_\_

Member: \_\_\_\_\_

Member: \_\_\_\_\_

Member: \_\_\_\_\_

Member: \_\_\_\_\_

Notes - Comments - Restrictions - Conditions \_\_\_\_\_

By \_\_\_\_\_

**RECEIVED**  
DEC 29 2015

**DESCRIPTION OF WORK TO BE PERFORMED**

See reverse for required documentation.

- New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed
- Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_
- Pool (Zoning District \_\_\_\_\_)  Roof  Other \_\_\_\_\_

Size of Structure or Addition: Length: 107' Sq. Footage 1st floor: 3,025 sq' Decks/Patio: Size: 60' x 21' x 21' x 6'  1st floor  2nd floor  
 Width: 57' Sq. footage 2nd floor: 2,986 sq' Size: 30' x 55' x 9'  1st floor  2nd floor  
 Sq. footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North 1'-13" South 2'-13" East 1'-15" x 5' West 1'-18"  
 Height of ridge above final finish grade: North 28'-6" South 28'-6" East 28'-6" West 25'-1"

**Additional Remarks**

Historic Name: \_\_\_\_\_

Original Date: \_\_\_\_\_ (describe)

Original Builder: \_\_\_\_\_

Is there an HDC survey form for this building attached?  Yes  N/A

- REVISIONS:**
1. East Elevation
  2. South Elevation
  3. West Elevation
  4. North Elevation

\*Cloud on drawings and submit photographs of existing elevations.

**DETAIL OF WORK TO BE PERFORMED**

Foundation: Height Exposed 8"  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers

Masonry Chimney:  Block Parged  Brick (type) Common  Other \_\_\_\_\_

Roof Pitch: Main Mass 1/12 Secondary Mass 1/12 Dormer 1/12 Other \_\_\_\_\_

Roofing material:  Asphalt  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) Red Cedar

Fence: Height: \_\_\_\_\_  
 Type: \_\_\_\_\_  
 Length: \_\_\_\_\_

Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
 Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_

Leaders (material and size): \_\_\_\_\_

Sidewall:  White cedar shingles  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_

Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
 B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_  
 C. Dimensions: Fascia 6" Rake 2" Soffit (Overhang) 10" Corner boards N/A Frieze 6"  
 Window Casing \_\_\_\_\_ Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square

Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer Moran

Doors\* (type and material):  TDL  SDL Front 4 Panel w/ Shakes Rear 15 ft Side 15 ft  
 Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_

Hardscape materials: Driveways Shell Walkways stepping stones irregular Walls N/A

\* Note: Complete door and window schedules are required.

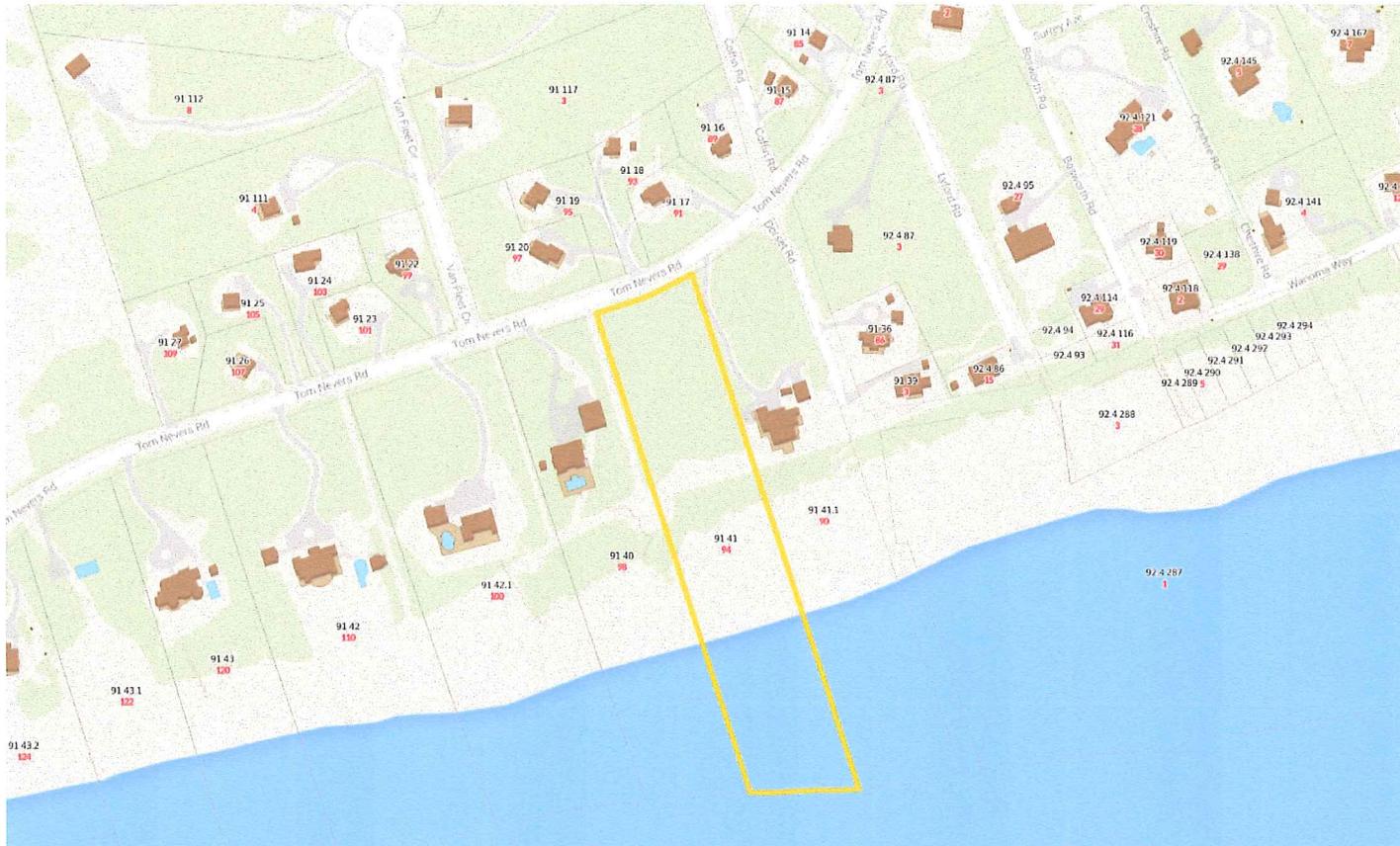
**COLORS**

Sidewall Natural Clapboard (if applicable) N/A Roof Natural  
 Trim White Sash White Doors White  
 Deck Natural Foundation Natural Fence \_\_\_\_\_ Shutters W/4

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 12/17/15 Signature of owner of record \_\_\_\_\_ Signed under penalties of perjury

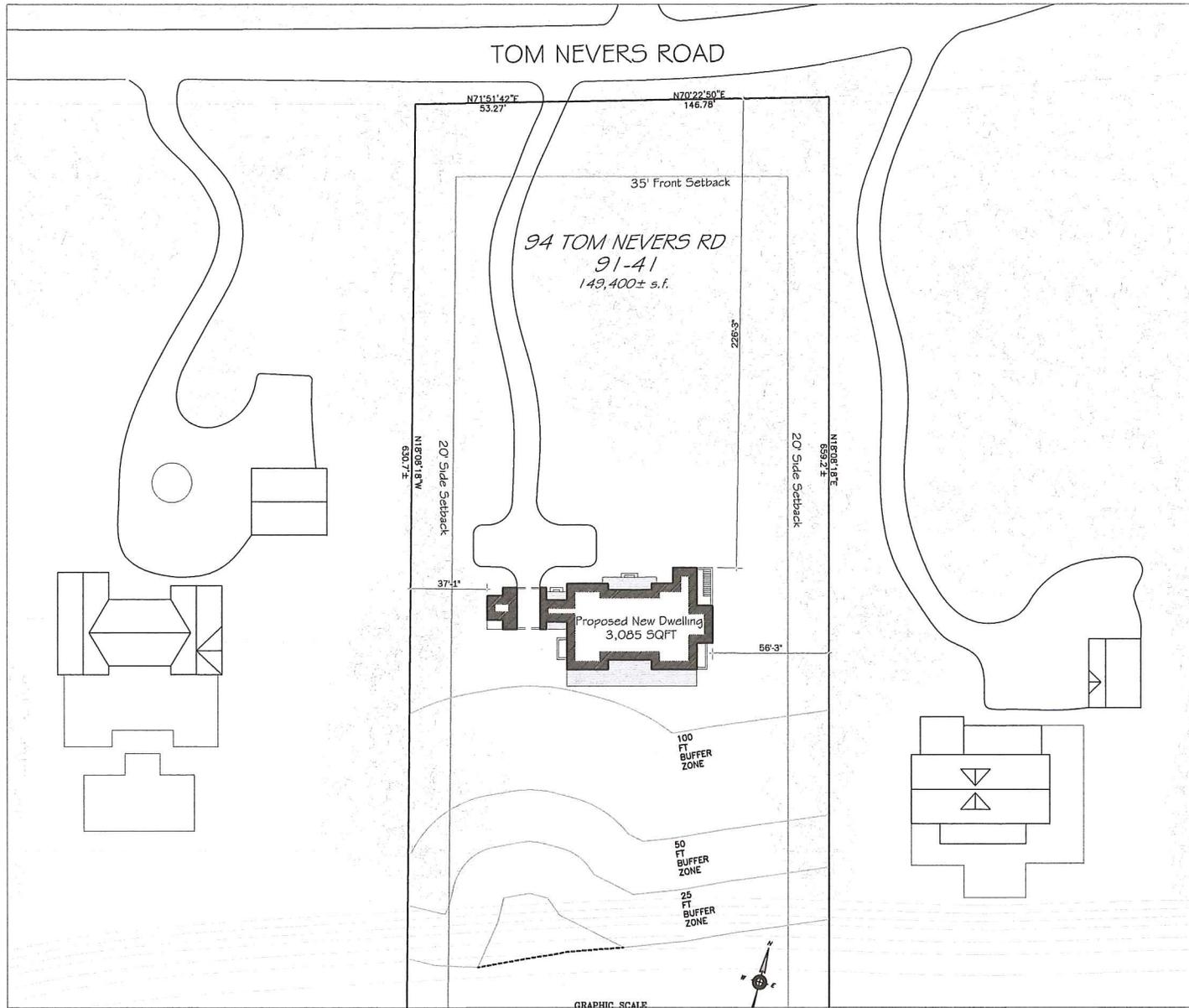


**Udelson Residence**

94 Tom Nevers Rd  
Nantucket, MA 02554

**Locus Map**

**HDC small set  
12-29-2015**



Udelson Residence

Site Plan

HDC small set  
12-29-2015

94 Tom Nevers Rd  
Nantucket, MA 02554



North



East



Udelson Residence

94 Tom Nevers Rd  
Nantucket, MA 02554

Elevations

HDC small set  
12-29-2015



South



West



Udelson Residence

94 Tom Nevers Rd  
Nantucket, MA 02554

Elevations

HDC small set  
12-29-2015

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

**CERTIFICATE OF APPROPRIATENESS**

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

**PROPERTY DESCRIPTION**

TAX MAP N°: 41 PARCEL N°: 37.2  
Street & Number of Proposed Work: 134 C Main Street  
Owner of record: Darrell Ferguson  
Mailing Address: 134 C Main Street,  
Nantucket, MA, 02554  
Contact Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

**AGENT INFORMATION (if applicable)**

Name: Emeritus Developments  
Mailing Address: 8 Williams Ln,  
Nantucket, MA, 02554  
Contact Phone #: 508 325 4995 E-mail: matt@emeritus-  
developments.com

**FOR OFFICE USE ONLY**

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
Must be acted on by: \_\_\_\_\_  
Extended to: \_\_\_\_\_  
Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
Chairman: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Notes - Comments - Restrictions - Conditions

**DESCRIPTION OF WORK TO BE PERFORMED**

See reverse for required documentation.

New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed  
 Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_  
 Pool (Zoning District \_\_\_\_\_)  Roof  Other NEW ADDITION w/ full basement; new window wells  
Size of Structure or Addition: Length: 16' 11" Sq. Footage 1st floor: 261 sq ft Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
Width: 15' 4" Sq. footage 2nd floor: \_\_\_\_\_ Size: \_\_\_\_\_  1st floor  2nd floor  
Sq. footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North +6" South +6" East +6" West +6"  
Height of ridge above final finish grade: North +16' 4" South +16' 4" East +16' 4" West +16' 4"

**Additional Remarks**

Historic Name: N/A  
Original Date: UNKNOWN  
Original Builder: UNKNOWN

Is there an HDC survey form for this building attached?  Yes  N/A

**REVISIONS\***

- 1. East Elevation ADD NEW ADDITION
- (describe) 2. South Elevation NEW ADDITION; REPLACE EXISTING WINDOWS w/ DOUBLE FRENCH DOORS
- 3. West Elevation NEW WINDOW WELLS; ADD FIXED DOORS, OMIT GUEST WINDOWS
- 4. North Elevation ADD NEW ADDITION

\*Cloud on drawings and submit photographs of existing elevations.

**DETAIL OF WORK TO BE PERFORMED**

Foundation: Height Exposed ±8"  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
Roof Pitch: Main Mass 8/12 Secondary Mass 8/12 Dormer 9/12 Other \_\_\_\_\_  
Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_

Fence: Height: \_\_\_\_\_  
Type: \_\_\_\_\_  
Length: \_\_\_\_\_

Skylights (flat only): Manufacturer N/A Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_

Leaders (material and size): \_\_\_\_\_

Sidewall:  White cedar shingles \_\_\_\_\_  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side  \_\_\_\_\_  
 Other \_\_\_\_\_

Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_

B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_

C. Dimensions: Fascia MATCH EXISTING Rake 4" Soffit (Overhang) 4" Corner boards 4" Frieze 4"

Window Casing MATCH Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_

Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_

Doors\* (type and material):  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_

Garage Door(s): Type N/A Material \_\_\_\_\_

Hardscape materials: Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

**COLORS**

Sidewall NATURAL Clapboard (if applicable) \_\_\_\_\_ Roof MATCH EXISTING  
Trim MATCH EXISTING Sash MATCH EXISTING Doors MATCH  
Deck MATCH EXISTING Foundation NATURAL Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

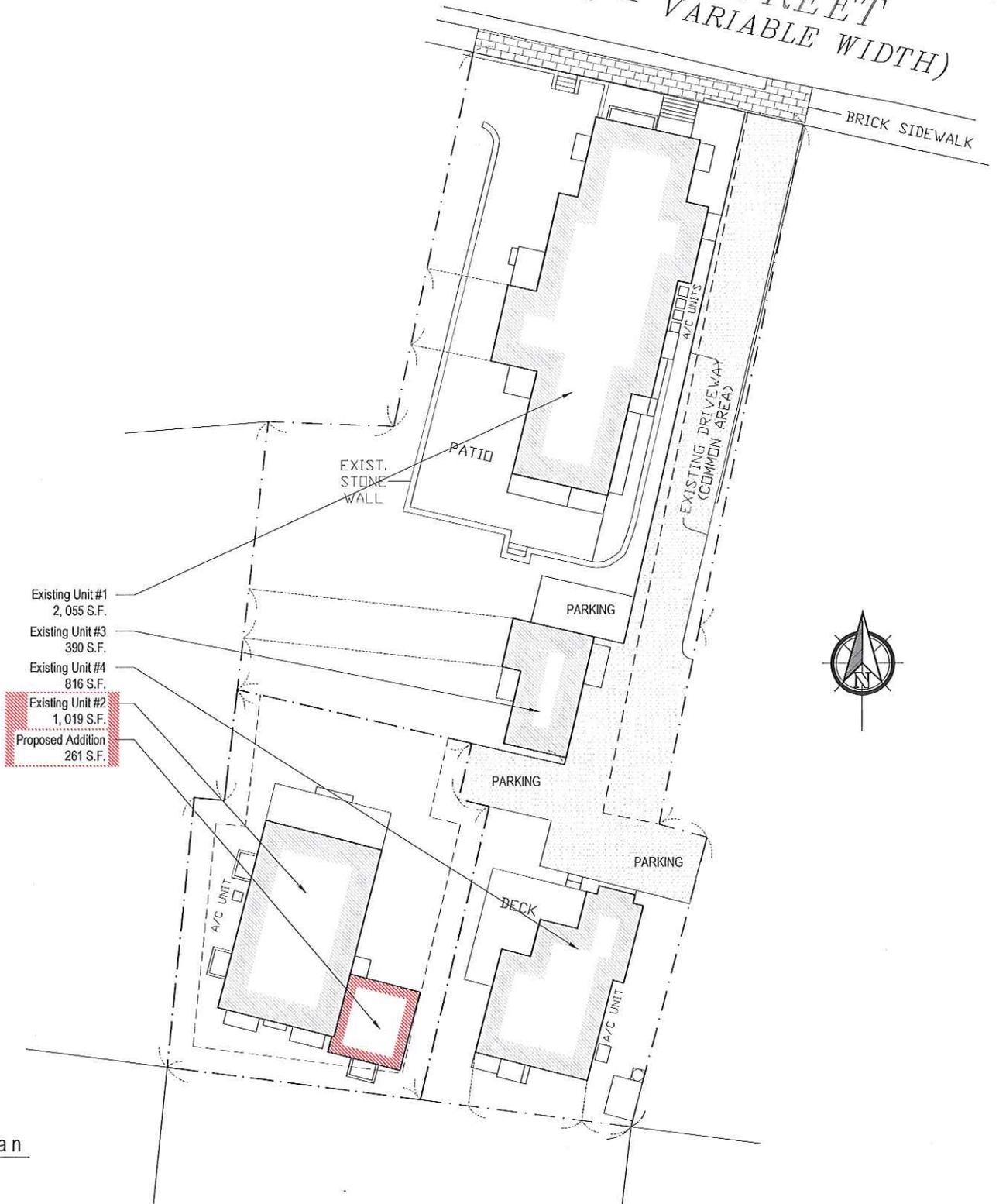
I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 12/29/15 Signature of owner of record [Signature] Signed under penalties of perjury



# MAIN STREET (PUBLIC - VARIABLE WIDTH)

BRICK SIDEWALK

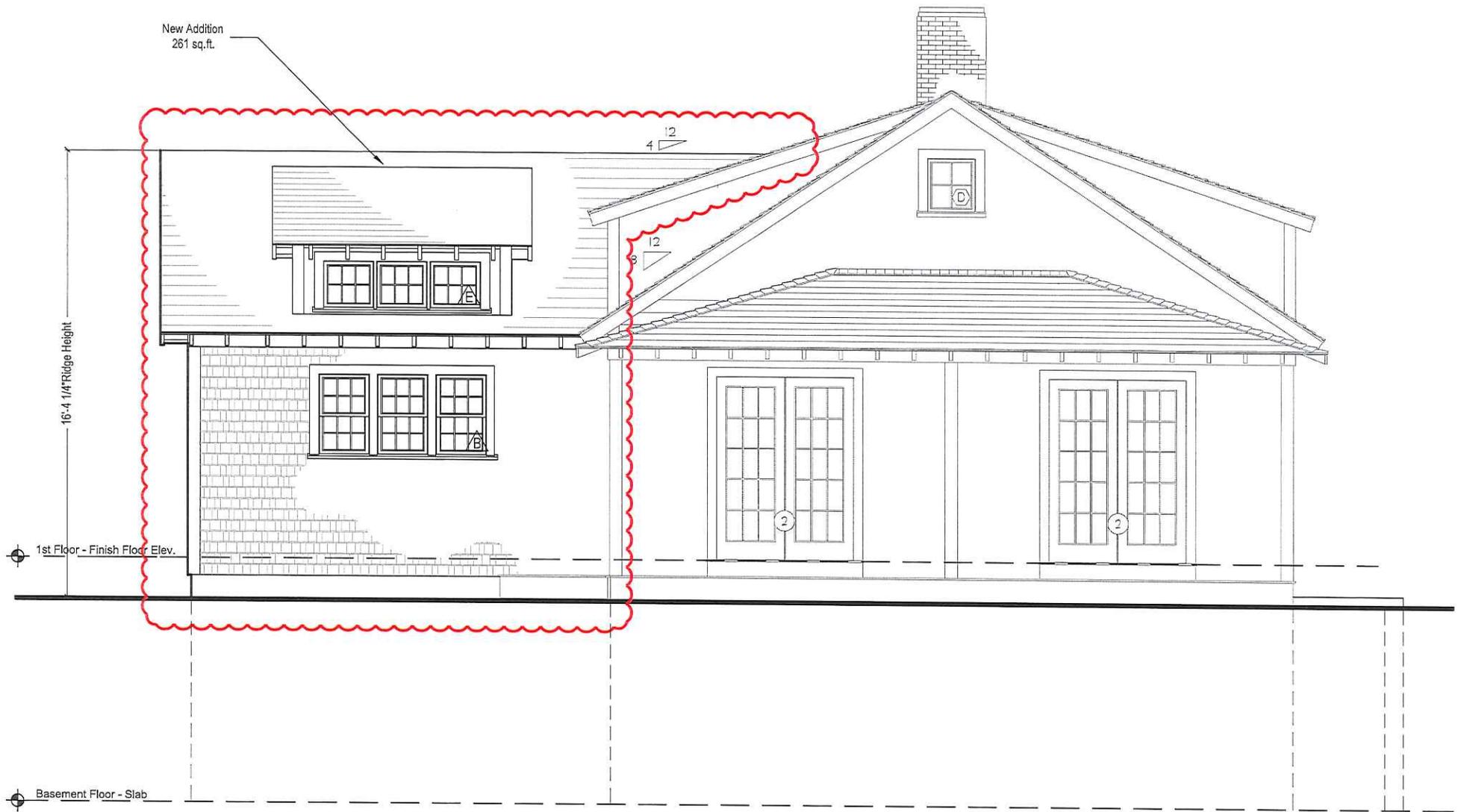


- Existing Unit #1  
2,055 S.F.
- Existing Unit #3  
390 S.F.
- Existing Unit #4  
816 S.F.
- Existing Unit #2  
1,019 S.F.
- Proposed Addition  
261 S.F.

**4** Site Plan  
1"=40'



**1** Proposed East Elevation  
1/4" = 1'-0"



**2** Proposed North Elevation  
 1/4" = 1'-0"



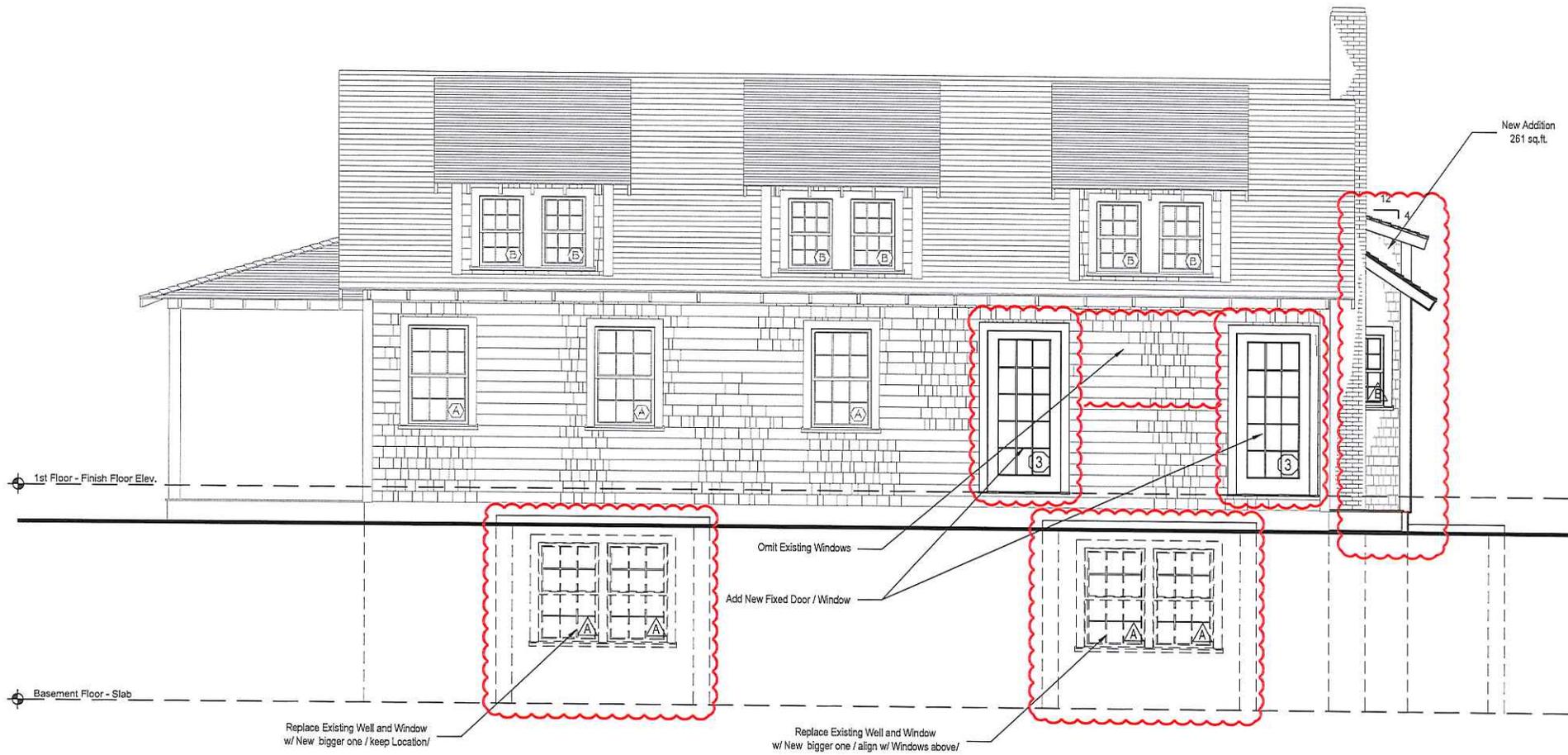
New Addition  
261 sq.ft.

Replace Existing Windows w  
/ Double French Doors

1st Floor - Finish Floor Elev.

Basement Floor - Slab

**1** Proposed South Elevation  
1/4" = 1'-0"



New Addition  
261 sq.ft.

1st Floor - Finish Floor Elev.

Basement Floor - Slab

Omit Existing Windows

Add New Fixed Door / Window

Replace Existing Well and Window  
w/ New bigger one / keep Location/

Replace Existing Well and Window  
w/ New bigger one / align w/ Windows above/

## 2 Proposed West Elevation

1/4" = 1'-0"