

**Town and County of Nantucket**  
**Board of Selectmen • County Commissioners**

Robert R. DeCosta, Chairman  
Rick Atherton  
Matt Fee  
Tobias Glidden  
Dawn E. Hill Holdgate



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C. Elizabeth Gibson  
Town & County Manager

**AGENDA FOR THE MEETING OF THE  
BOARD OF SELECTMEN  
JANUARY 6, 2016 - 6:00 PM  
PUBLIC SAFETY FACILITY COMMUNITY ROOM  
4 FAIRGROUNDS ROAD  
NANTUCKET, MASSACHUSETTS**

***I. CALL TO ORDER***

***II. BOARD ACCEPTANCE OF AGENDA***

***III. ANNOUNCEMENTS***

1. The Board of Selectmen Meeting is Being Video/Audio Recorded.
2. Town Offices Closed Monday, January 18, 2016 in Observation of Martin Luther King, Jr. Day.

***IV. PUBLIC COMMENT\****

***V. NEW BUSINESS\****

***VI. APPROVAL OF MINUTES, WARRANTS AND PENDING CONTRACTS***

1. Approval of Minutes of August 5, 2015 at 5:00 PM; December 2, 2015 at 6:00 PM.
2. Approval of Payroll Warrants for Weeks Ending December 20, 2015; December 27, 2015; January 3, 2016.
3. Approval of Treasury Warrants for December 23, 2015; December 30, 2015; January 6, 2016.
4. Approval of Pending Contracts for January 6, 2016 - as Set Forth on the Spreadsheet Identified as Exhibit 1, Which Exhibit is Incorporated Herein by Reference.

***VII. CONSENT ITEMS***

1. Gift Acceptances: Police Department; Our Island Home; Human Services (Saltmarsh Senior Center).
2. Planning Office: Request for Execution of Quitclaim Deed and Settlement Statement for Town-owned Yard Sale Parcels Known as Lot 50, on Land Court Plan No. 17745-M, Pursuant to Vote on Article 77 of 2010 Annual Town Meeting.

***VIII. CITIZEN/DEPARTMENTAL REQUESTS***

***IX. PUBLIC HEARINGS I***

1. FY 2017 Proposed General Fund Budget.

***X. TOWN MANAGER'S REPORT***

1. Review Proposed Scheduling for Town-sponsored 2016 Fourth of July Activities (Fireworks, Main Street) (Continued from December 2, 2015).
2. Nantucket Energy Office Quarterly Report.
3. Review of Plan for Enforcement of Fertilizer Regulations.

***XI. SELECTMEN'S REPORTS/COMMENT***

1. Continued Discussion/Review of 2016 Annual Town Meeting Warrant Articles.
2. Discussion Regarding Baxter Road "One Big Beach" Easements (Pursuant to November 4, 2015 Selectmen Vote).
3. Deliberation/Action on Appeal of Joseph Freeman and Juliana and Theodore P. Lyman of Historic District Commission (HDC) Approval of Certificate of Appropriateness (COA) No. 64611, with Regard to the Property Location of 13 C Street, Nantucket, Map 60.2.1, Parcel 76 (Continued from December 2, 2015).
4. Committee Reports.

***XII. PUBLIC HEARINGS II***

1. Public Hearing to Consider the Appeal of Samantha Parsons of Historic District Commission (HDC) Approval of Certificate of Appropriateness (COA) No. 64656, with Regard to the Property Location of 6 Marble Way, Nantucket, Map 66, Parcel 103.

***XIII. ADJOURNMENT***

***\* Identified on Agenda Protocol Sheet.***

**Board of Selectmen Agenda Protocol:**

- **Roberts Rules:** *The Board of Selectmen follows Roberts Rules of Order to govern its meetings as per the Town Code and Charter.*
- **Public Comment:** *For bringing matters of public interest to the attention of the Board. The Board welcomes concise statements on matters that are within the purview of the Board of Selectmen. At the Board's discretion, matters raised under Public Comment may be directed to Town Administration or may be placed on a future agenda, allowing all viewpoints to be represented before the Board takes action. Except in emergencies, the Board will not normally take any other action on Public Comment. Any personal remarks or interrogation or any matter that appears on the regular agenda are not appropriate for Public Comment.*

*Public Comment is not to be used to present charges or complaints against any specifically named individual, public or private; instead, all such charges or complaints should be presented in writing to the Town Manager who can then give notice and an opportunity to be heard to the named individual as per MGL Ch. 39, s 23B.*

- **New Business:** *For topics not reasonably anticipated 48 hours in advance of the meeting.*
- **Public Participation:** *The Board welcomes valuable input from the public at appropriate times during the meeting with recognition by the Chair. For appropriate agenda items, the Chair will introduce the item and take public input. Individual Selectmen may have questions on the clarity of information presented. The Board will hear any staff input and then deliberate on a course of action.*
- **Selectmen Report and Comment:** *Individual Selectmen may have matters to bring to the attention of the Board. If the matter contemplates action by the Board, Selectmen will consult with the Chair and/or Town Manager in advance and provide any needed information by the Thursday before the meeting. Otherwise, except in emergencies, the Board will not normally take action on Selectmen Comment.*

**EXHIBIT 1**  
**AGREEMENTS TO BE EXECUTED BY TOWN MANAGER**  
**UNLESS RESOLUTION OF DISAPPROVAL BY BOARD OF SELECTMEN**  
**January 6, 2016**

Type of Agreement/Description	Department	With	Amount	Other Information	Source of Funding
Service Agreement	DPW	The Wilkinson Companies	Not to exceed \$9,000 over three years	Annual cleaning and maintenance of Surfside and Sconset WWTF boilers	Sewer Enterprise Fund
Professional Services Agreement	DPW	Weston & Sampson	Not to exceed \$200,000	Owner's Project Manager services for the Surfside WWTF Upgrades Project	Art. 14/2015 ATM
Service Agreement	Police	Pro Phoenix Corp.	Not to exceed \$150,000 over three years	Annual software licensing, support and maintenance for Public Safety computer system	Public Safety budget
Supply Agreement	DPW	Mid-American Salt	Not to exceed \$100,000 for one year	Provide treated salt for snow removal	DPW Budget
Service Agreement	Our Island Home	Island Carpet	\$14,566.20	Area flooring replacement at Our Island Home	Art. 12/2013 ATM
Employment Agreement	Board of Selectmen	Charles Gibson	\$138,550 base salary	Deputy Police Chief contract renewal July 1, 2015 - June 30, 2018	Police Dept budget
Service Agreement	DPW	Ryder Electric	Not to exceed \$99,999 over three years	Electrical maintenance and repair services for Town buildings	Various department budgets
Professional Services Agreement	Human Resources	Benelogic, LLC	Not to exceed \$20,000 over one year	Assistance with federally mandated Affordable Care Act reporting requirements	Health Insurance Trust
Amendment to Service Agreement	Our Island Home	Donovan Roofing	Additional \$39,600 for total contract cost of \$215,600	Additional repairs to Our Island Home roof not originally included in square footage	Art. 10/2015 ATM and Art. 12/2014 ATM
Professional Services Agreement	Town Admin	The Vertex Companies, Inc.	Not to exceed \$100,000 over three years	On Call Owner's Project Manager services for various projects	Various capital budgets

Supply Agreement	DPW	Toscana Corp.	Not to exceed \$20,000 over one year	Supply of various drainage construction materials	Art. 10/2014 ATM
Service and Supply Agreement	Marine Department	Lewis Marine	Not to exceed \$34,999 over three years	Marine services for general maintenance and parts	Marine Waterways fund/Marine Operating Budget
Grant Agreement	Town Admin	Mass. Emergency Management Agency	(\$7,500)	Reimbursement thru MEMA for costs associated with Winter Storm Juno	n/a
Purchase Agreement	Marine Department	Christopher Ryder	\$34,900	Purchase of a used 23' Parker boat with trailer for Harbormaster	Waterways Revolver
Service Agreement	DPW	Terminix	Not to exceed \$34,999	Pest control services	Various dept budgets

# MEMO

Town of Nantucket

TO: R. DeCosta, Chair  
FROM: Assistant Town Manager  
CC: S. Tuzik, HR Director  
DATE: August 5, 2015  
RE: LiUNA Local 1249 Collective Bargaining Agreement

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Chairman DeCosta:

Attached is a copy of the current (expired) LiUNA contract as well as a red-lined version of proposed changes by Article for Board consideration at its August 5, 2015 Executive Session.

In summary, after four sessions the Town and LiUNA agreed to the following changes:

1. Eliminated the language linking the Deputy's pay to the Patrol Officer's pay, thus not guaranteeing automatic increases in the future and requiring the Deputy to negotiate a COLA;
2. Three year, 2.0%, 2.0%, 1.0% (all other unions are 2.0%, 2.0%, 2.0%);
3. Eliminated the Promotional Pay clause (ie if the Chief is out sick or retires the Deputy no longer automatically gets a promotion or the Chief's pay);
4. Eliminated vacation pay for any Local 1249 member with under 15 years of service (this is a step to dissolving this contract; when the current Deputy leaves then it goes away; and in case any other Officer for some reason gets into this unit they are denied vacation until 15 years);
5. Agrees to the health insurance reopener language (important for the IAC process);
6. Eliminated Tuition Reimbursement for anything under a Doctorate (this eliminates the other police unions' assertion that we are unfair because the Deputy has Tuition but they don't, but it keeps the Deputy's legal stipend at 25%, or roughly \$33,000 annually and not rolled into base salary per the recommendation of Counsel); and
7. Eliminates this Successor Clause (another step to eliminate the unit after Deputy retires or resigns).

Thank you.

*from the desk of . . .*

Gregg Tivnan  
Assistant Town Manager  
16 Broad Street  
Nantucket, MA 02554  
508-228-7254 • 508-228-7272 (fax)  
gtivnan@nantucket-ma.gov

**Memorandum of Agreement between Local 1249 Laborers  
International Union of North America and the Town of Nantucket  
May 20<sup>th</sup>, 2015.**

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WHEREAS the Town of Nantucket (“Town”) and LiUNA Local 1249 have agreed to a collective bargaining agreement covering the period from July 1, 2015 to June 30, 2018; and

NOW, THEREFORE, the parties agree to the following terms subject to ratification by the Board of Selectmen and the Union and funding at the Annual Town Meeting.

**Article 12: Seniority and Probation**

*Town proposes to eliminate section 12.5 and 12.6*

~~12.5 Promotional Vacancies~~

~~The Town shall determine whether a promotional vacancy exists and is to be filled. Promotional selections shall be subject to the grievance and arbitration procedure. All members of the Bargaining Unit shall be given the opportunity to bid on vacant positions. In all applications of seniority under this Agreement, the ability of the Employees shall mean the qualifications and ability of an Employee to perform the required work. Where qualifications and ability are equal, seniority shall be the determining factor.~~

~~12.6 Individuals who are promoted shall serve a thirty day probationary period in the new title. Any promoted individual removed from the promoted position within the thirty day probationary period shall be returned to his or her previous title.~~

**Article 14 – Wages**

*Town proposes elimination of wages presented as a percentage of the highest step of the Police Officer annual base wage. Town proposes COLA adjustments of 2% (FY16), 2% (FY17), and 1% (FY18).*

~~14.1 Wages paid to Employees in the classification covered by this Agreement shall be calculated using a fixed percentage multiplied by the top step Regular Full Time Police Officer annual base pay as determined by their collective bargaining Agreement as follows:~~

~~Deputy Chief of Police: 182%~~

14.1 Regular Full-Time: Deputy Police Chief

Base wages shall be paid as follows:

July 1, 2015	July 1, 2016	July 1, 2017
\$138,550	\$141,321	\$142,734

**Article 17 – Vacation Leave**

*Town proposes the removal of section 17.2, with the exception for wording related to vacation time earned after 15 years of service.*

~~17.2 Employees shall be entitled to vacation each year on the following basis:~~

<del>Length of Service</del>	<del>Vacation Allowance</del>
<del>After 1 year, but less than 5 years</del>	<del>14 work days annually at .992 hours per month</del>
<del>After 5 years, but less than 10 years</del>	<del>21 work days annually at 14.88 hours per</del>

	month
After 10 years, but less than 15 years	25 work days annually at 17.71 hours per month
After 15 years,	28 work days annually at 19.83 hours per month

**Article 25 – Insurance**

*The town proposes reopener language is added as follows:*

25.4 The parties further agree that by mutual agreement that at any time during the term of the contract to reopen Article 25 for the negotiation of health insurance benefits.

**Article 27 – Tuition Reimbursement**

*Town proposes the elimination of all content in 27.8 except for the last line.*

27.8 The Town shall provide educational incentive payments ~~for college degrees awarded in Criminal Justice, Public Administration, Law or related fields~~ by an accredited institution based upon annual wages earned by the employee as follows:

<del>For an Associate's Degree</del>	<del>10%</del>
<del>For a Bachelors Degree</del>	<del>15%</del>
<del>For a Masters Degree</del>	<del>20%</del>
For a Doctorate or Juris Doctorate	25%

**Article 29 - Successors**

*Town proposes removal of Article 29*

~~29.1 This Agreement shall be binding upon the successors and assigns of the parties hereto and no provisions, terms or obligation herein contained shall be affected, modified, altered, or changed in any respect whatsoever by the takeover assumption or contracting out of any plant, operation, function, or part thereof.~~

**Article 31 – Duration of Agreement**

*The Town proposes three (3) year duration of July 1 2015 through June 30 2018.*

**For the Town of Nantucket**

**For Union Local 1259**

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**Police Department - Deputy Chief Union Salary Cost**  
**2.0% - 2.0% - 1.0% Model**  
**Multi Year Base**

**TON Proposed Cost**

Annual Dollars		Prior Three- Year Actual Total	Actual FY15	Projected FY16	Projected FY17	Projected Three- Year Total
1	Salary, Permanent	\$362,592	\$125,935	\$128,453	\$129,738	\$384,126
2	License Pay	\$4,680	\$1,560	\$1,560	\$1,560	\$4,680
6	Vacation	\$25,126	\$6,658	\$6,792	\$6,860	\$20,310
7	Sick Pay	\$4,085	\$896	\$914	\$923	\$2,734
8	Personal Pay	\$911	\$192	\$196	\$198	\$586
9	Holiday Pay	\$22,605	\$1,557	\$1,588	\$1,604	\$4,749
10	Holiday Worked	\$3,841	\$8,482	\$8,652	\$8,738	\$25,871
11	Longevity	\$25,806	\$8,632	\$8,804	\$8,892	\$26,328
12	Education	\$93,544	\$34,358	\$36,000	\$37,000	\$107,358
13	Medicare P/R Tax	\$7,900	\$3,000	\$3,000	\$3,000	\$9,000
14	Medical Insurance - BX Individual	\$0	\$0	\$0	\$0	\$0
15	Medical Insurance - BX Family	\$0	\$0	\$0	\$0	\$0
16	Medical Insurance - PPO Individual	\$0	\$0	\$0	\$0	\$0
17	Medical Insurance - PPO Family	\$0	\$0	\$0	\$0	\$0
<b>TON Proposed Contract Cost (w/insurance)</b>		<b>\$551,092</b>	<b>\$191,270</b>	<b>\$195,959</b>	<b>\$198,513</b>	<b>\$585,743</b>
<b>Salary Increase (w/insurance)</b>		<b>\$551,092</b>	<b>\$191,270</b>	<b>\$195,959</b>	<b>\$198,513</b>	<b>\$585,743</b>
<b>% Increase Year over Year</b>						6.29%
<b>\$ Increase Year over Year</b>						<b>\$34,651</b>

\*Education Pay for FY2013 included retro payment.

**Notes:**

1. Assumes annual increases where applicable, are effective on July 1 of the fiscal year.
2. Assumes Vacation, Sick Pay, Personal Pay, Holiday Pay, Holiday Worked, Longevity and Education Pay will increase by 2% in FY2015 and FY2016 and 1% in FY2017.
3. Assumes License Pay stays the same for FY2015-FY2017.
4. Assumes Medicare P/R Tax is calculated at 1.45% of gross each year.
5. Assumes Medical Insurance will increase 12% in FY15, FY16, and FY17

Source: Financial Forecast Increase Assumptions Tab

**AGREEMENT**

**between**

**TOWN OF NANTUCKET, MASSACHUSETTS**

**and the**

**MASSACHUSETTS LABORERS DISTRICT COUNCIL**

**in behalf of**

**PUBLIC EMPLOYEES LOCAL UNION 1249**

**of the**

**LABORERS= INTERNATIONAL UNION OF NORTH AMERICA**

**Covering the Deputy Chief of Police**

**July 1, 2015 – June 30, 2018**

## TABLE OF CONTENTS

ARTICLE 1 - PREAMBLE .....	3
ARTICLE 2 - RECOGNITION .....	3
ARTICLE 3 - EMPLOYEE DEFINITIONS .....	3
ARTICLE 4 - MANAGEMENT RIGHTS .....	3
ARTICLE 5 - UNION SECURITY AND CHECKOFF .....	4
ARTICLE 6 - UNION BUSINESS.....	5
ARTICLE 7 - DISCRIMINATION .....	5
ARTICLE 8 -SEVERABILITY .....	6
ARTICLE 9 -NO STRIKE OR LOCKOUT .....	6
ARTICLE 10 -GRIEVANCE AND ARBITRATION PROCEDURES .....	6
ARTICLE 11 -STABILITY OF AGREEMENT .....	8
ARTICLE 12 -SENIORITY AND PROMOTION.....	8
ARTICLE 13 -LAYOFFS AND RECALL .....	9
ARTICLE 14 -WAGES .....	10
ARTICLE 15 -HOURS OF WORK AND OVERTIME .....	11
ARTICLE 16 - HOLIDAYS.....	11
ARTICLE 17 -VACATION LEAVE .....	12
ARTICLE 18 -SICK LEAVE .....	13
ARTICLE 19 -BEREAVEMENT LEAVE .....	14
ARTICLE 20 -MILITARY, JURY DUTY AND LEAVE OF ABSENCE.....	14
ARTICLE 21-FAMILY AND MEDICAL LEAVE ACT/MATERNITY OR PATERNITY LEAVE...	15
ARTICLE 22 -PERSONAL LEAVE.....	15
ARTICLE 23 -PERSONNEL FILES.....	15
ARTICLE 24 -UNIFORMS.....	16
ARTICLE 25-INSURANCE .....	16
ARTICLE 26 -DISCIPLINE.....	16
ARTICLE 27 -TUITION REIMBURSEMENT .....	17
ARTICLE 28 -TENURE.....	18
ARTICLE 29 -SPECIAL THIRD-PARTY DETAILS.....	18
ARTICLE 30 - DURATION OF AGREEMENT.....	19
ARTICLE 31 - EXECUTION .....	19

# **AGREEMENT**

AGREEMENT is entered into by and between the Town of Nantucket, Massachusetts, acting through its Board of Selectmen respectively (hereinafter referred to alternately as the "Employer" or "Town") and the Laborers' International Union of North America, AFL-CIO (hereinafter referred to as the "Union")

## **ARTICLE 1 - PREAMBLE**

The intent and purpose of this Agreement is to set forth wages, hours, and other terms and conditions of employment for Employees in the bargaining unit represented by the Union and to provide methods for fair and peaceful adjustment of all disputes which may arise between them, so as to secure uninterrupted services to the citizens of the Town of Nantucket.

## **ARTICLE 2 - RECOGNITION**

- 2.1 The Town recognizes the Union as the exclusive representative for the position of Deputy Chief of Police, excluding all temporary and casual employees and all other employees of the Town.

## **ARTICLE 3 - EMPLOYEE DEFINITIONS**

- 3.1 The duties and responsibilities associated with the position of Deputy Chief of Police are set forth in Exhibit A, attached hereto. The term "Employee", "Officer", "Police Officer" or any similar term through ordinary usage shall be construed to mean the Deputy Chief of Police.

## **ARTICLE 4 - MANAGEMENT RIGHTS**

- 4.1 By virtue of this working Agreement, the Town has not surrendered any of its managerial rights to determine and prescribe the methods and means by which its operation of the Town shall be conducted. It may establish departmental rules and procedures, schedule the work in a manner to achieve efficiency and consideration to the taxpayers' expense; and, subject to the restrictions of this Agreement, discharge and discipline for cause; determine work schedules; and establish methods and processes by which work is to be performed, providing such action is not in direct conflict with the provisions of this Agreement.

- 4.2 The foregoing enumeration of certain rights under this Article shall not limit the managerial rights of the Town or any rights not enumerated herein, providing such rights are not in direct conflict with the provisions of this Agreement.

## **ARTICLE 5 - UNION SECURITY AND CHECKOFF**

- 5.1 Payroll Deduction of Agency Service Fee: Pursuant to General Law Chapter 150E, Sec. 12 it shall be a condition of employment that on or after the thirtieth (30th) day of employment in the bargaining unit, or the effective date of this Agreement, whichever is later, each and every member of the bargaining unit shall pay to the Union an Agency Service Fee which shall be proportionally commensurate with the cost of collective bargaining and contract administration. The Agency Service Fee shall, as provided below, be deducted each pay period and shall be equal in amount to the sum set from time to time by the Union as their regular dues.
- 5.2 If an Employee submits to the Town Treasurer a uniform authorization for requesting that monthly dues be deducted from his/her first pay check each month, the Town Treasurer will on the next month begin to deduct Union dues from said Employee's payroll check. No authorization shall be allowed for payment of initiation fees, assessments, or fines.
- 5.3 All authorizations by an Employee must be in uniform form, supplied by the Union and signed by the Employee from whose wages such Union dues will be deducted. Such authorization shall remain in effect until revoked by the Employee, and shall be irrevocable for a period of one year from the date the authorization is signed, or until the termination of this collective bargaining Agreement, whichever occurs sooner. Revocation must be by written notice given by the Employee to the Town Treasurer, with a copy to the Union not more than twenty (20) days and not less than ten (10) days prior to the expiration of such time. If no such notice is given by the Employee, the Employee further agrees that the authorization and assignment first submitted shall be automatically renewed and be irrevocable for successive periods of one year thereafter, or until the termination of the Agreement, whichever occurs sooner.
- 5.4 The Union shall keep the Town Treasurer updated as to the name of its authorized representative and the address to which the Union dues collections shall be sent. Such notification must be in writing and duly signed by the authorized Union representative.
- 5.5 No dues shall be deducted from any Employee who is on authorized leave if said Employee is not on the payroll during the week in which the deduction is to be made, or when the dues exceed the pay check.
- 5.6 The Employer assumes no responsibility for the consequences of any employee's failure to authorize dues deductions; the only responsibility of the Town will be to see that the deduction is made in accordance with the authorized uniform check off request, duly signed by the Employee and the mailing of such deducted moneys to the designated Union representative. Neither the Town, nor any of its officers, agents or Employees shall

in any way be held liable or responsible for any loss resulting from acts of said Union or its officers or agents.

- 5.7 The Town shall not remove any Employee from employment because of failure to pay Union dues or agency service fees.
- 5.8 The Union agrees to and will indemnify, defend, hold and save the Town blameless against any and all claims, demands, suits, or other form of liability, including attorneys fees, instituted against the Town or its personnel on account of payroll deductions under this Article.

## **ARTICLE 6 - UNION BUSINESS**

- 6.1 The members of the bargaining unit in the employ of the Town may select from the Employees covered by this Agreement, one (1) Steward. The Union shall provide the Town with a written designation of the stewards. The activities of the stewards shall not interfere with their work for the Town and they shall obtain permission of the Chief of Police to leave on Union business. Joint Labor-Management meetings called at a time agreed by both parties will not result in a loss of pay on the part of the Employees requested to attend the meeting.
- 6.2 The Town shall provide a reasonable amount of space on its bulletin boards for the posting of Union bulletins, but use of such bulletin boards shall be restricted to the following purposes: (a) Notice of recreational and social activities; (b) Notice of elections and results; (c) Notice of appointments of Union representatives; and (d) Notice of meetings.
- 6.3 One (1) Union Delegates shall be allowed to attend LIUNA convention once every five (5) years without loss of pay, for a maximum of 5 days.

## **ARTICLE 7 - DISCRIMINATION**

- 7.1 In the administration of this Agreement, neither the Town nor the Union shall discriminate against any Employee because of Employee's race, color, sex, religion, national origin, sexual orientation, age, political or union membership, or against qualified individuals with a disability.
- 7.2 Interpretation This Article shall be interpreted in accordance with applicable federal and state law.
- 7.3 Reasonable Accommodation

In the administration of this Agreement, the Town and the Union will provide reasonable accommodations to qualified employees with a disability and to Employees based upon their religious tenets. The need for and extent of such accommodations shall be determined by the Town in accordance with its interpretations of the requirements of the Americans with Disabilities Act and Title VII of the Civil Rights Act of 1964, even if such accommodations may be in conflict with another provision of this Agreement.

- 7.4 Waiver of Contractual Rights If an Employee claiming a violation of this article elects to proceed to an administrative agency or to court during the pendency of the grievance, the grievance will be considered to have been withdrawn.

## **ARTICLE 8 -SEVERABILITY**

If any provision of this Agreement is held invalid, by a Court or administrative agency of competent jurisdiction, the remainder of this Agreement shall remain in force.

## **ARTICLE 9 -NO STRIKE OR LOCKOUT**

- 9.1 There shall be no strike or lockout during the term of this Agreement. The Union recognizes that it does not have the right to strike against the Town or to assist or participate in any such strike or impose a duty or obligation to conduct assist, or participate in any strike.
- 9.2 No Employee covered by this Agreement shall engage in, induce, or encourage any strike, work stoppage, slowdown, or withholding of service. The Union agrees that neither it nor any of its officers or agents will call, instigate, authorize, participate in, sanction or ratify any such strike, work stoppage, slowdown or withholding of services.
- 9.3 Should any Employee or group of Employees covered by this Agreement engage in any strike, work stoppage, slowdown or withholding of services, the Union shall forthwith disavow any such strike, work stoppage, slowdown or withholding of services and shall refuse to recognize any picket line established in connection therewith. Furthermore, at the request of the Town, the Union shall take all reasonable means to induce such Employee or group of Employees to terminate the strike, work stoppage, slowdown or withholding of services and to return to work forthwith.

## **ARTICLE 10 -GRIEVANCE AND ARBITRATION PROCEDURES**

- 10.1 Only matters involving the meaning of the written provisions of this Agreement shall be the subject of a grievance under this Article.

10.2 Grievances shall be processed as follows:

Step 1: The grievant shall file the grievance in writing with the Employee's Department Head within ten (10) working days after the action which serves as the basis for the grievance.

The Department Head will investigate the complaint to determine its validity and shall respond in writing within ten (10) working days. A failure to respond in writing within ten (10) working days shall be deemed an unsatisfactory answer.

Step 2: If the grievance remains unsettled, it should be submitted along with the Department Heads response and any pertinent documents to the Town and County Manager or his designee within ten (10) working days.

The Town and County Manager or his designee will issue a written decision determining the validity of the complaint within fourteen (14) working days after its receipt and may take such action as he/she thinks appropriate, including, if necessary, developing a plan to remedy the problems complained of.

Step 3: If the grievance remains unsettled, a response and all pertinent documents attached with a letter should be submitted to the Board of Selectman within ten (10) working days of the response of the Town and County Manager or his designee.

The Board of Selectman will issue a written decision determining the validity of the grievance within fourteen (14) days after its receipt and may take such action as it thinks appropriate, including if necessary, developing a plan to remedy the problem(s) grieved.

A failure to respond in writing shall be deemed to be an unsatisfactory answer, and the Union may proceed to arbitration in accordance with Arbitration pursuant to 10.5 of this Agreement.

10.3 The time limits herein provided shall be strictly adhered to, provided that the parties may in writing agree to an extension thereof at any Step. If a grievance is not taken to the next Step of the grievance procedure following an unsatisfactory answer in the previous Step, or if a grievance is not submitted within the time limits provided at each Step, it shall be deemed to have been resolved on the basis of the answer last given.

10.4 ARBITRATION

10.4.1 Should a grievance not be resolved in the grievance procedure, the Union may

submit the grievance for arbitration no later than 30 calendar days following the Town's response or failure to respond in the last Step of the grievance procedure. Only the Union and the Town may submit grievances to arbitration. In the case of a Town grievance, it shall be initiated at Step 3 of the grievance procedure. The Arbitrator shall have no jurisdiction to hear or decide any grievance not submitted within the time limits herein provided.

- 10.4.2 The submission to Arbitration by either party shall also include written notice to the other and shall have attached thereto the written grievance.
- 10.4.3 If the party's representatives cannot mutually agree on an Arbitrator within ten (10) working days after the notice to arbitrate, the grieving party may request a panel of arbitrators from the American Arbitration Association, from which the Arbitrator will be selected under the selection procedures then in force at the Association.
- 10.4.4 Each side shall bear its own expenses of arbitration except that the fees and expenses of the Arbitrator shall be borne equally.
- 10.4.5 The Arbitrator shall have no power to add to, or subtract from, or alter or amend any provision of this Agreement.
- 10.4.6 Issues subject to any other statutory right of appeal shall not be the subject of grievances or arbitration under this Agreement.

## **ARTICLE 11 -STABILITY OF AGREEMENT**

- 11.1 No Agreement, understanding, alteration or variation of the terms or provisions of the Agreement herein contained shall bind the parties hereto unless made and executed in writing by the parties hereto.
- 11.2 The failure of the Town or the Union to insist, in any one or more incidents, upon performance of any of the terms or conditions of the Agreement shall not be considered as a waiver or relinquishment of the right of the Town or of the Union to future performance of any such term or condition and the obligations of the Union and the Town to such future performance shall continue in full force and effect.

## **ARTICLE 12 -SENIORITY AND PROMOTION**

- 12.1 Definition

Except as otherwise provided, seniority shall be defined as length of continuous service

with the Town as a police officer of any rank.

#### 12.2 Accumulation

Seniority shall accumulate during absence because of illness, vacation or other authorized leave or layoff for a period of twelve (12) months.

#### 12.3 Break in Seniority

Seniority shall be broken when an Employee:

- (a) terminates voluntarily
- (b) is discharged
- (c) exceeds an authorized leave of absence
- (d) is laid off for a period in excess of twelve (12) months
- (e) is absent for a period exceeding twelve (12) consecutive months due to a physical and/or mental disability which creates an inability to perform all of the duties required for the position.

#### 12.4 Posting Seniority List

A Seniority List of all Employees covered by this Agreement, showing name, position and date of entering service, will be posted promptly on appropriate bulletin boards accessible to all Employees affected. The roster will be revised and posted in January of each year and will be open to protest and correction for a period of thirty (30) days, and upon proof of error presented by an Employee or his/her representative, such error will be corrected.

### **ARTICLE 13 -LAYOFFS AND RECALL**

13.1 The Town in its discretion shall determine whether layoffs are necessary. Although not limited to the following, layoffs shall ordinarily be for lack of work and/or lack of funds. If it is determined that layoffs are necessary in a particular classification, Employees will be laid off in the following order:

- a.) Temporary Employees
- b.) Part-time Employees
- c.) Probationary period Employees
- d.) In the event of further reductions in force, Employees will be laid off from the affected classifications of lesser rank in accordance with their ability to perform the remaining work available without further training. When two or more Employees have relatively equal experience, skill, ability and qualifications to do the work without further training, the Employee(s) with the least seniority will be laid off first.

- 13.2 Employees who are laid off shall be placed on a recall list for a period of two (2) years. If there is a recall, Employees who are still on the recall list shall be recalled, in the inverse order of their layoff, provided they are presently qualified to perform the work in the job classification to which they are recalled without further training.
- 13.3 Employees who are eligible for recall shall be given fourteen (14) calendar days notice of recall and notice of recall shall be sent to the Employee by certified or registered mail with a copy to the Union provided that the Employee must notify the Town of his/her intention to return within three (3) days after receiving notice of recall. The Town shall be deemed to have fulfilled its obligations by mailing the recall notice by registered mail, return receipt requested, to the mailing address provided by the Employee, it being the obligation and responsibility of the Employee to provide the Town with his/her latest mailing address.

**ARTICLE 14 -WAGES**

14.1 Regular Full-Time: Deputy Police Chief

Base wages shall be paid as follows:

July 1, 2015	July 1, 2016	July 1, 2017
\$138,550	\$141,321	\$142,734

14.2 Longevity Pay

Employees shall be paid, in addition to his/her compensation, longevity pay which shall be calculated using a fixed percentage multiplied by the annual base pay as follows:

LENGTH OF SERVICE	AMOUNT
Five (5) years of service but less than ten (10) years of service	2% of base wages
Ten (10) years of service but less than fifteen (15) years of service	3% of base wages
Fifteen (15) years of service but less than twenty(20) years of service	4% of base wages
Twenty (20) years of service	5% of base wages

14.2.1 Longevity will be paid in December of each year.

14.3 There will be no pro-rating of longevity compensation in the year in which an Employee first becomes eligible for such compensation, or in those years in which an Employee becomes eligible for additional compensation, and there will be no pro-rating longevity compensation upon retirement. In the event of an Employee's death, payment of longevity compensation due shall be made to his/her beneficiary designated in writing, on file with the Retirement Board or, in the absence thereof, to his/her estate. In the event of termination of employment by retirement or death the amount of longevity compensation due will be paid at the time of retirement or death.

14.4 Higher Classification Pay

An employee required by his/her supervisor to perform the duties of a higher classification shall be paid the higher rate. To qualify for said assignment the employee must assume and perform all duties of the higher classified position, after five (5) continuous days, not to include vacation.

14.5 Payroll:

The Town may institute a bi-weekly (aka: fortnightly) payroll.

## **ARTICLE 15 - HOURS OF WORK AND OVERTIME**

15.1 The normal workweek shall be Monday through Sunday. Employees covered under this Agreement shall work a five (5) day on and two (2) day off schedule and are subject to twenty-four (24) hour call-back for emergencies or other major incidents. Any such call back beyond the normal workday shall not entitle the employee to overtime or other compensation except as provided in Article 16, 16.4.

## **ARTICLE 16 - HOLIDAYS**

16.1 Employees shall receive one day at straight time pay for the following legal holidays:

New Year's Day  
President's Day  
Memorial Day  
Labor Day  
Veteran's Day  
Christmas Day

Martin Luther King Day  
Patriots' Day  
Independence Day  
Columbus Day  
Thanksgiving Day

Either day after Thanksgiving or day before/after Christmas subject to approval by Chief

- 16.2 These aforesaid holidays shall be guaranteed whether or not they fall on or are observed on a regularly scheduled workday. Days officially substituted or observed by the Commonwealth of Massachusetts in place of actual holidays, such as President's Day, Memorial Day, Columbus Day, and Veteran's Day, shall be likewise observed. Holidays falling on Sunday are celebrated the following Monday. Holidays falling on Saturday are celebrated the preceding Friday.
- 16.3 To be eligible for holiday pay, any Employee shall have worked on the workday proceeding the holiday and have worked on the following workday, unless on authorized leave.
- 16.4 Employees who work on a holiday shall receive pay calculated at time and one-half, in addition to holiday pay.
- 16.5 If a holiday occurs during vacation leave, an alternate day may be taken.
- 16.6 If the state approves any additional State holidays, which is then recognized by the Town for other Town Employees, said holiday(s) shall be incorporated into this Agreement as if written. If the State or Federal Government eliminates any holiday enumerated herein, no change in this Agreement shall be made unless agreed to by both the Union and the Town.

**ARTICLE 17 -VACATION LEAVE**

- 17.1 Vacation shall be as follows:

Vacation leave earned shall be computed from the date of employment with the Town. However, an Employee shall not be entitled to vacation leave until the completion of the first six months of service.

- 17.2 Employees shall be entitled to vacation each year on the following basis:

Length of Service	Vacation Allowance
After 15 years	28 work days at 19.83 hours per month

- 17.3 Vacations shall be granted by the Chief of Police at such time as in his/her opinion will cause the least interference with the performance of his/her regular work of the Department. Vacations shall be taken in the year earned, except that any employee may carry over from fiscal year to fiscal year, the total of any already accrued vacation days up to the maximum number of days that they are annually eligible to receive.

- 17.4 So far as practical, first choice of vacation dates shall be on the basis of length of employment with the Town.
- 17.5 When an Employee leaves the employ of the Town, he/she shall be paid for all unused vacation accrued to the last day worked. In the event of the death of an Employee, any accumulated vacation pay shall be paid to his/her estate.
- 17.6 In unusual situations, absences due to personal reasons, or illness in excess of the amount authorized by the sick leave plan, may be charged to vacation leave.

## **ARTICLE 18 -SICK LEAVE**

Sick leave pay shall be credited as follows:

- 18.1 Employees shall accumulate sick leave entitlement at the rate of one and one-quarter days for each month worked.
- 18.2 In the event the earned sick leave is not used in any particular year, the unused portion shall be allowed to accumulate up to a maximum of one hundred fifty (150) days. Only regular working days of the Employee shall be counted in computing sick leave.
- 18.3 Sick leave shall be paid on the basis of the Employee's regular straight time hourly rate of pay at the time sick leave is taken.
- 18.4 Employees entitled to sick leave who leave work due to illness after the start of their shift shall be compensated for time not worked on that shift out of their accrued sick leave, if any, and their sick leave entitlement shall be reduced accordingly.
- 18.5 If required by the Town, a physician's certificate of illness shall be submitted by the Employee after three (3) days of absence before leave will be granted under the provisions of this section. Further, it is mandatory that a physician's certificate of illness be provided by the Employee on the thirtieth (30th) day of a continuous sickness or disabling injury.
- 18.6 The Town will have the right to require a medical examination of an Employee who reports inability to report for duty because of illness or injury. This examination shall be at the expense of the Town by a physician appointed by the Town.
- 18.7 Sick leave shall be payable only in case of bona fide illness, illness in the immediate family, or non-work connected accident. Sick leave may be used for off island travel for Medical Reasons including doctors appointments, x-ray and lab work.
- 18.8 An Employee may receive an additional sick leave of up to sixty (60) days per fiscal year for catastrophic illness, subject to approval by the Town. The grant or denial of such

catastrophic illness leave shall be at the sole discretion of the Town and not subject to grievance or arbitration provisions of this Agreement. All sick leave must be depleted before catastrophic illness pay is granted. A minimum of one years' continuous service is required. The Town may take into account past absences and the length of an Employees service. An Employee may use any accrued vacation, sick leave and/or personal time to receive pay while on sick leave in excess of sick time accrued. Health and basic life insurance coverage will continue if Employee desires and arranges for payment of the 10% Employee portion of their premium.

#### 18.9 Sick Day Buyback

The Town will compensate the Employee for 50% of accrued sick leave upon resignation and/or retirement, provided the Employee has a minimum of ten years of service.

#### 18.10 Light Duty.

If an Employee is partially disabled but is capable of performing light duty in the police station, which shall consist of dispatching work, administrative projects, research, filing research, filing, record-keeping, and tasks of a similar nature, the Town shall the right to require him to perform such work at his applicable rate of pay. If the Town believes that a disabled employee is fit to perform light duty and the employee contends he is incapable of doing so, the employee's fitness shall be determined by a physician selected by the Town at no cost to the employee. If the Town's physician deems the officer fit and the employee's physician makes a contrary determination, the employee's fitness for such duty shall be determined by a third physician selected by the Town and the Union and paid by the Town.

### **ARTICLE 19 -BEREAVEMENT LEAVE**

#### 19.1 Bereavement Leave shall be as follows:

Employees shall be paid up to five (5) working days at his/her regular rate of pay, for scheduled time lost due to death of an Employee's father, mother, child, wife, husband, brother, sister, grandmother, grandfather, father-in-law, mother-in-law, brother-in-law, sister-in-law. Foster, Step and/or adopted relationships, relatives living in the household and designated partner shall be covered.

### **ARTICLE 20 -MILITARY, JURY DUTY AND LEAVE OF ABSENCE**

#### 20.1 Military Duty:

Employees who are members of the military reserves, will receive the difference between military pay and regular pay for the annual two week tour of duty in the military reserves.

20.2 Jury Duty:

If an Employee is called to jury duty on their regular work days he/she shall be paid their regular pay, provided that the proper documentation is submitted and the Employee reports to work when not required to sit on the jury during a full day or in the event that jury service is canceled for a certain day.

20.3 Leave of Absence:

Leave of Absence may be granted to any Employee by the Town. Any Employee wishing a leave of absence must notify the Chief of Police in writing twenty-one (21) calendar days prior to the start of requested leave. The Chief shall respond to the Employee in writing within seven (7) calendar days of the receipt of the request. It is understood by both parties that emergency conditions may preempt the normal process outlined herein.

**ARTICLE 21-FAMILY AND MEDICAL LEAVE ACT/MATERNITY OR PATERNITY LEAVE**

21.1 The Town of Nantucket agrees to abide by the Federal Family Medical Leave Act and the Commonwealth's Maternity or Paternity Leave Act.

21.2 When an employee uses all vacation, sick and personal time, the employee is responsible to pay their share of the health insurance premiums.

21.3 At the employee's request, available vacation, sick, compensatory and personal time can be paid out to the employee in incremental amounts to be spread out equally for the duration of the approved leave.

**ARTICLE 22 -PERSONAL LEAVE**

22.1 Employees covered by this Agreement shall be allowed two personal days per year.

22.2 An Employee must be employed at least twelve (12) months before earning personal leave.

**ARTICLE 23 -PERSONNEL FILES**

23.1 Each Employee will have the access to his own personnel record in the department files, upon request to the Chief of Police. All personnel files shall be maintained and kept by the Chief of Police. The Chief of Police shall forward a copy of all documents to Employee prior to adding to the file. Employees shall have the right to include in their

personnel files a written rebuttal to derogatory statements therein, and subject to MGL Ch. 149 Sec. 52C.

## **ARTICLE 24 -UNIFORMS**

### 24.1 Uniform/Clothing and Equipment Allowance

The Town shall provide all uniforms and necessary safety equipment as determined by the employer for those employees required to wear such uniforms or safety equipment as a condition of their employment. It shall be the responsibility of the employee to replace uniforms or safety equipment that is lost, stolen or damaged through negligence. Employees who are on call shall be provided a Department vehicle for twenty-four (24) hour use.

## **ARTICLE 25--INSURANCE**

### 25.1 Health Insurance

The employee shall be entitled to participate in the group health insurance program sponsored by the Town pursuant to G.L.c. 32B. The respective Town/employee contribution rates shall remain as they are at the time of this Agreement and may be changed only through collective bargaining or as may otherwise be provided by law.

### 25.2 Life Insurance

Life insurance will be offered by the Town on an optional basis.

### 25.3 Retirement

Bi-Weekly deductions will be made into the Barnstable Retirement Plan.

### 25.4 The parties further agree that by mutual agreement that at any time during the term of the contract to reopen Article 25 for the negotiation of health insurance benefits.

## **ARTICLE 26 -DISCIPLINE**

### 28.1 Cause:

The employer shall have the right to discipline Employees for cause only.

### 28.2 Progressive Discipline Process:

The steps in the progressive discipline process are as follows, each step to be signed off by the Employee.

#### 28.2.1 Verbal Warning:

The supervisor will meet with the Employee to provide a prompt recognition of a problem and suggestions for correction in an effort to eliminate the need for further discipline. If counseling does not correct the problem, the supervisor is expected to continue addressing the problem through verbal warning(s), written warning(s), and, if warranted, discharge. Verbal Warnings shall be memorialized on a form agreeable to both the Town and the Union to include the following:

- Names of attendees of counseling session,
- Short description of unsatisfactory performance or rule violated,
- Specific corrective action required.

#### 28.2.2 Written Warning:

A formal written warning is more serious than a reprimand and may involve a more extensive corrective action plan. A formal meeting occurs between the Employee and the supervisor and written documentation specifies the behavior in question, the corrective action and any follow-up, recommended. The grievance procedure should accompany the written materials that are placed within the personnel record and given to the Employee.

#### 28.2.3 Suspension:

Suspension may occur with pay or without pay depending on the circumstances of the Employee's behavior and attitude. If an investigation occurs to substantiate or disprove an allegation, the Employee is given the opportunity to present their side of the story and is entitled to review the results of the investigation. In serious cases, if the allegation is substantiated, termination may be warranted. All written material is placed within the Employee's file and a copy of the grievance procedure is given to the Employee.

#### 28.2.4 Termination:

Termination may occur at the end of other disciplinary proceedings or may occur if the actions of the Employee warrant immediate termination.

28.3 Written notices of warnings or disciplinary action shall remain in the active file of the Employer for 24 months. After 24 months any written notices of warnings or disciplinary action shall be removed to a non-active file and shall be not be used against the employee in any forum or considered for future disciplinary action.

### **ARTICLE 27 - TUITION REIMBURSEMENT**

27.1 At least one year of continuous employment is required for an Employee to be considered for tuition reimbursement; and, at least two years of continuous employment is expected upon completion of the course of study.

- 27.2 The maximum amount of reimbursement shall be twelve hundred (\$1,200.00) dollars per person, per fiscal year. The funding source for reimbursement shall be from the budget of the department where the Employee works.
- 27.3 In order to be reimbursed, an Employee must achieve a 3.0 GPA for Undergraduate studies; for graduate studies, a "Pass" in the event of a "Pass/Fail" grading system.
- 27.4 The institution where the Employee takes the course must be accredited and the course must be job-related, which is a determination to be made by the Department Head.
- 27.5 If any time is lost in taking the course, it must be made up by the Employee in the same or next pay period. If time is lost taking a course mandated as a condition of employment, the Employee will be paid his/her normal rate of pay for said period.
- 27.6 The Employee will be reimbursed for reasonable expenses (including fees, meals, lodging and transportation) while attending workshops, seminars, conferences or other professional improvement sessions with the advance approval of the Chief of Police.
- 27.7 Employees who receive job related National or State certifications or licenses relating to and enhancing the work performed shall receive the amount of Ten Dollars (\$10) per week for each certification or license, added to the individuals salary. To be eligible, certification or license must be continually maintained. The certification or license shall not be a minimum requirement contained in the job description.
- 27.8 The Town shall provide educational incentive payments by an accredited institution based upon annual wages earned by the employee as follows:

For a Doctorate or Juris Doctorate	25%
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**ARTICLE 28 -TENURE**

- 28.1 All Employees shall be granted tenure by the Town.

**ARTICLE 29 -SPECIAL THIRD-PARTY DETAILS**

- 30.1 Employees covered by this Agreement shall be deemed by the Town as "Regular Full-Time Police Officers" for the purpose of determining eligibility to fill extra paid details (also known as Special Third Party Details).
- 30.2 Priority for filling such details shall be given to the ranks of Police Officer and Sergeant.

Priority shall not apply on any detail where three (3) or more Police Officers are assigned to work.

30.3 Rates of pay and payment terms shall be the same as those for Regular Full-Time Police Officers.

**ARTICLE 30 - DURATION OF AGREEMENT**

31.1 The provisions of this Agreement will be effective July 1, 2015 and will continue in full force and effect through June 30, 2018 and shall be automatically renewed from year to year thereafter, unless, at least four (4) months prior to the expiration date, either party notifies the other in writing by certified mail, return receipt requested, of its desire to renegotiate the Agreement. During the course of the negotiations for amendment or renewal of this Agreement, the terms and conditions herein set forth shall continue in effect until a new Agreement is reached.

31.2 The terms and agreements reflected herein shall remain in effect as long as this Agreement is in effect and the current incumbent holds the positions of Deputy Chief of Police

**ARTICLE 31 - EXECUTION**

IN WITNESS WHEREOF, the parties hereto have executed this Agreement this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

For the Town

\_\_\_\_\_  
\_\_\_\_\_

For the Union

  
\_\_\_\_\_  
\_\_\_\_\_

## ***CONSENT AGENDA ITEMS FOR 01/06/16 SELECTMEN'S MEETING***

### **1. Gift Acceptances**

Recommend the acceptance of the following gifts to Town agencies:

-- Police Department: \$9,120 from The Andersen Company to offset costs associated with increased traffic and parking control duties attributable to the various construction projects located on Broad Street and North Water Streets

-- Our Island Home: Gifts totaling \$500 from various donors for Our Island Home Gift Fund (list attached)

-- Human Services: Gifts totaling \$550 from various donors for Saltmarsh Senior Center (list attached)

*Recommended Motion: To accept all gifts for their designated purposes, with thanks to the donors*

Town Administration will ensure that letters of thanks are sent.

### **2. Real Estate Sale**

Recommend the execution of quitclaim deed and settlement statement for Lot 50 on Land Court Plan No. 17745-M (f/k/a Parcel D, Laurel St). A Purchase and Sale Agreement was executed on February 25, 2015, the parcel was paid for at that time, and a license agreement was executed to allow for residential construction on the parcel while Lot 50 was waiting to be created as an approved lot by Land Court.

*Recommended Motion: To execute the quitclaim deed and settlement statement for Lot 50 on Land Court Plan No. 17745-M as presented*

**THE ANDERSEN COMPANY**  
PO BOX 867  
SIASCONSET, MA 02564

**Pacific National Bank**  
A Division of Bank of America  
ACH R/T 011000138 Nantucket, Massachusetts

**3058**  
53-13/110 MA  
26985

9/24/2015

PAY TO THE ORDER OF Town of Nantucket

\$ **\*\*9,120.00**

Nine Thousand One Hundred Twenty and 00/100\*\*\*\*\*

DOLLARS

Town of Nantucket  
37 Washington St  
Nantucket, MA 02554-3800

MEMO

  
AUTHORIZED SIGNATURE

⑈003058⑈ ⑆011000138⑆ 004632462245⑈

**THE ANDERSEN COMPANY**

**3058**

Town of Nantucket

Date	Type	Reference	Original Amt.	Balance Due	9/24/2015 Discount	Payment
9/21/2015	Bill	17broad/5NW	9,120.00	9,120.00	Check Amount	9,120.00

Scott

9,120.00



## OUR ISLAND HOME

9 East Creek Road  
Nantucket, Massachusetts 02554  
(508) 228-0462  
FAX (508) 228-6875

December 17, 2015

Nantucket Board of Selectmen  
Nantucket, MA. 02554

Dear Chairman DeCosta,

I am writing to request that the Board accept the following gifts for Our Island Home:

- A check in the amount of \$150.00 from Maureen Glowacki in memory of Albert Glowacki.
- A check in the amount of \$100.00 from Charleen Lagace in memory of Albert Glowacki.
- A check in the amount of \$250.00 from Richard C Mack (St. Marys Conference & St. Vincent De Paul Society). Donation will be used for Christmas activities.

All donations will go to the Our Island Home Gift Account and the funds will be used to assist in means to enrich the daily lives of our residents.

Thank you in advance for your acceptance.

Sincerely,

Erin Kopecki, Assistant Administrator  
Our Island Home



# MEMO

**Date:** December 31, 2015

**TO:** Rick Atherton

**FROM:** Laura Stewart, Saltmarsh Senior Center, Program Coordinator

**RE:** Request for acceptance of gift

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**I am writing to request acceptance of the following gift donation:**

From Robert Sylvia: \$100.00 to the Saltmarsh Senior Center

From Anne Sweidel: \$100.00 to the Saltmarsh Senior Center

From Daniel Ross: \$250.00 to the Saltmarsh Senior Center

From Robert & Lorraine Santos: \$100.00 to the Saltmarsh Senior Center

**Thank you,**

**Laura Stewart**

*from the desk of.....*

**Laura Stewart  
Program Coordinator,  
Senior Services  
81 Washington Street  
Nantucket, MA 02554  
508-228-4490**

**phone: 508-228-4490  
fax: 508-325-5366  
e-mail: [lstewart@nantucket-ma.gov](mailto:lstewart@nantucket-ma.gov)**

## QUITCLAIM DEED

### **Lot 50, off Nobadeer Avenue, Nantucket, Massachusetts**

The **TOWN OF NANTUCKET**, a Massachusetts municipal corporation having a principal place of business at 16 Broad Street, Nantucket, Nantucket County, Massachusetts acting by and through its Board of Selectmen (the “Grantor”), in consideration of Two Thousand Five Hundred and 00/100 Dollars (\$2,500.00), the receipt of which is hereby acknowledged, pursuant to the authority of Article 77 voted upon at the 2010 Annual Town Meeting, a certified copy of which is attached hereto, grants to **CLIFF DIVE, LLC**, a Massachusetts limited liability company having a mailing address of P.O. Box 1409, Nantucket, Massachusetts 02554 (the “Grantee”), with QUITCLAIM COVENANTS, a certain plot of land in Nantucket, Massachusetts shown as Lot 50, on Land Court Plan No. 17745-M filed with Nantucket Registry District of the Land Court. Lot 50 contains approximately 4,000 square feet (the “Parcel”).

The Grantor’s conveyance of this Parcel is based in part on the Grantee’s warranty and representation to the Grantor that such Parcel shall be used for residential purposes only and shall, for all intents and purposes, be combined with and considered as one parcel with the Grantee’s abutting lands at 4 and 8 Nobadeer Avenue, shown on Town Assessor’s Map 80 as Parcels 35 and 37, previously acquired by Grantee pursuant to Deed filed as Document No. 146228 and noted on Certificate of Title No. 25424 filed with said Registry District of the Land Court, and Deed recorded in Book 1473, Page 123 with Nantucket County Registry of Deeds (together, with the Parcel, the “Combined Premises”), and that no part of such Parcel or the Combined Premises shall hereafter be used for non-residential purposes nor divided, subdivided or conveyed as a separate parcel or parcels, unless prior written permission is granted by the Town of Nantucket Board of Selectmen and such permission is filed with said Registry District of the Land Court and recorded with said Registry of Deeds. Accordingly, the Parcel hereby granted to the Grantee is conveyed subject to permanent restrictions hereby reserved to and held by the Grantor, forever restricting the Parcel and Combined Premises to residential use as defined in Chapter 139 of the Town of Nantucket Code, prohibiting the division, subdivision, or conveyance of any portion of the Combined Premises and prohibiting the conveyance or use of any portion of the Combined Premises apart from another portion of the Combined Premises, and automatically effectuating a reversion of the Parcel to the Grantor, if within twenty-four months of the date of this Deed, the Parcel has not been merged with the Grantee’s existing property in accordance with the Town of Nantucket By-Laws and statutes. These restrictions shall run with the title to the Combined Premises, and no part of the Combined Premises shall be hereafter used, conveyed, divided or subdivided in a manner inconsistent with these restrictions unless prior written release is granted by the Town of Nantucket Board of Selectmen and filed with said Registry District of the Land Court and recorded with said Registry of Deeds.

By accepting and recording this Quitclaim Deed, the Grantee expressly agrees to the Grantor's reservation of, and otherwise grants to the Grantor, such restrictions on the use of the Combined Premises. These restrictions shall be enforceable for a term of 200 years from the date hereof, and all of the agreements, restrictions, rights and covenants contained herein shall be deemed to be "other restrictions held by any governmental body," pursuant to G.L. c. 184, §26, such that the restrictions contained herein shall be enforceable for the term of 200 years and not be limited in duration by any contrary rule or operation of law. Nevertheless, if recording of a notice is ever needed to extend the time period for enforceability of these restrictions, the Grantee hereby appoints the Grantor as its agent and attorney in fact to execute and record such notice and further agrees that the Grantee shall execute and record such notice upon request.

The undersigned certifies that there has been full compliance with the provisions of G. L. c. 44 §63A.

No deed stamp taxes are due on this conveyance pursuant to G.L. c. 64D, §1.

For Grantor's title, Order of Taking dated May 25, 2011 filed with said Registry District of the Land Court as Document No. 133789 and Certificate of Title No. 25902.

[Remainder of Page Intentionally Blank. Signatures Follow on Next Page.]

EXECUTED under seal this \_\_\_\_\_ day of \_\_\_\_\_, 2015.

TOWN OF NANTUCKET  
BY ITS BOARD OF SELECTMEN

\_\_\_\_\_  
Robert DeCosta

\_\_\_\_\_  
Matthew G. Fee

\_\_\_\_\_  
Rick Atherton

\_\_\_\_\_  
Tobias B. Glidden

\_\_\_\_\_  
Dawn E. Hill Holdgate

COMMONWEALTH OF MASSACHUSETTS

Nantucket, ss

On this \_\_\_\_\_ day of \_\_\_\_\_, 2015, before me, the undersigned Notary Public, personally appeared Robert DeCosta, Matthew G. Fee, Rick Atherton, Tobias B. Glidden and Dawn E. Hill Holdgate as Members of the Board of Selectmen of the Town of Nantucket, proved to me through satisfactory evidence of identification, which was personal knowledge of the undersigned, to be the persons whose names are signed on the preceding or attached document, and acknowledged to me that they signed it voluntarily for its stated purpose as the free and deed of the Board of Selectmen of the Town of Nantucket.

\_\_\_\_\_  
Notary Public  
My Commission Expires:

lot 50 (f/k/a Parcel D, Laurel St)



**LEGEND**

■ d/cb FND. DENOTES DRILL HOLE IN CONCRETE BOUND FOUND

CURRENT ZONING CLASSIFICATION: LIMITED USE GENERAL-1 (LUG-1)

MINIMUM LOT SIZE: 40,000 S.F.  
 MINIMUM FRONTAGE: 100 FT.  
 FRONT YARD SETBACK: 35 FT.  
 REAR/SIDE SETBACK: 10 FT.  
 GROUND COVER %: 7%

ZONING DISTRICTS R-20 AND LUG-1 ARE DELINEATED AS SHOWN ON PLAN

17745<sup>M</sup>  
 LAND COURT  
 APR 28 2015  
 FILED  
 For a new lot 50 (only)

NOTE: PLAN DOES NOT IMPLY COMPLIANCE WITH ZONING. LOCUS IS TO BE COMBINED WITH ADJUTING LAND

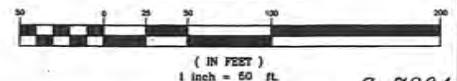
BEING PERIMETER PLAN OF PARCEL D SHOWN PLAN NO. 2011-21

**ORIGINAL COMPLAINT PERIMETER PLAN OF LAND IN NANTUCKET, MA. PREPARED FOR TOWN OF NANTUCKET**

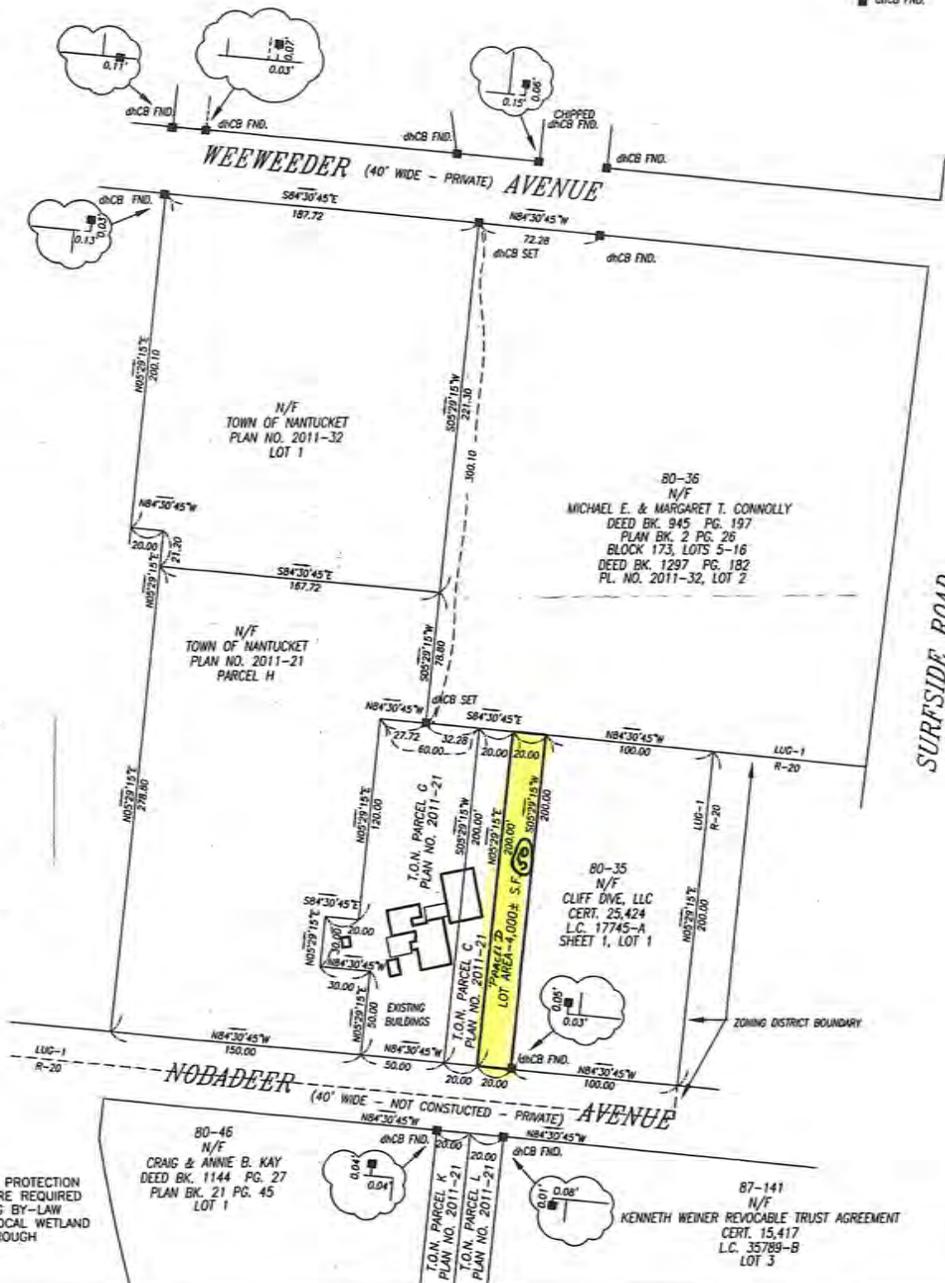
SCALE: 1"=50' DATE: DECEMBER 5, 2014

MICHAEL CONNOLLY & ASSOCIATES INC. PROFESSIONAL LAND SURVEYORS 149 SURFSIDE ROAD NANTUCKET, MA. 02554 (508) 228-8910

GRAPHIC SCALE



C-7364



"I HEREBY CERTIFY THAT THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIPS, AND THE LINES OF THE STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN."

Michael E. Connolly 12/5/2014  
 PROFESSIONAL LAND SURVEYOR DATE

"I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS."

DATE: 12/5/2014  
 Michael E. Connolly  
 PROFESSIONAL LAND SURVEYOR

"I CERTIFY THAT THIS PLAN WAS DRAWN FROM AN ACTUAL SURVEY MADE ON THE GROUND IN ACCORDANCE WITH THE LAND COURT INSTRUCTIONS OF 2006 ON OR BETWEEN 9-1-2009 AND 12-2-2010"

Michael E. Connolly 12/5/2014  
 PROFESSIONAL LAND SURVEYOR DATE

"I CERTIFY THAT THE CONDITIONS ON THE GROUND ARE THE SAME NOW AS AT THE TIME OF THE ORIGINAL SURVEY 12-2-2010 WITH THE EXCEPTION OF

Michael E. Connolly 12/5/2014  
 PROFESSIONAL LAND SURVEYOR DATE



THE PLANNING BOARD DETERMINES THAT:

(b) LOT(S) PARCEL D DO NOT CONTAIN AREAS SUBJECT TO PROTECTION UNDER THE MASSACHUSETTS WETLANDS PROTECTION ACT WHICH ARE REQUIRED TO BE EXCLUDED FROM LOT AREA UNDER THE NANTUCKET ZONING BY-LAW BUT STILL MAY BE SUBJECT TO PROTECTION UNDER STATE AND LOCAL WETLAND BY-LAWS. DETERMINATION OF APPLICABILITY MAY BE OBTAINED THROUGH APPLICATION TO THE CONSERVATION COMMISSION.

SETTLEMENT STATEMENT

Town of Nantucket ("Seller")  
Cliff Dive, LLC ("Buyer")  
Lot 50, off Nobadeer Avenue, Nantucket, MA (Property)  
January 7, 2016 (Closing Date)

**Purchase Price:** \$ 2,500.00

**Less:**

Escrow held by Town \$ 2,500.00

**Plus:**

Payment in Lieu of Tax Adjustment  
1/7/16-6/30/16 and  
7/1/16- 6/30/17 \$ 16.21

Reimbursement of Town's Legal Fees \$ 1,050.00

**Net Amount Due Seller:** \$ 1,066.21

**Checks:**

Town of Nantucket \$ 1,066.21

**BUYER: CLIFF DIVE, LLC**

**SELLER: TOWN OF NANTUCKET  
BOARD OF SELECTMEN**

By: \_\_\_\_\_  
Timothy P. Vieth, Manager

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
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## TOWN OF NANTUCKET Fiscal Year 2017 Budget Message

*As of December 7, 2015*

*Endorsed/Revised by Board of Selectmen:*

### ***I. Introduction***

The Town's financial position was strong in Fiscal Year 2016. Going into Fiscal Year 2017, indications are that the Town's position will remain strong, due to the following:

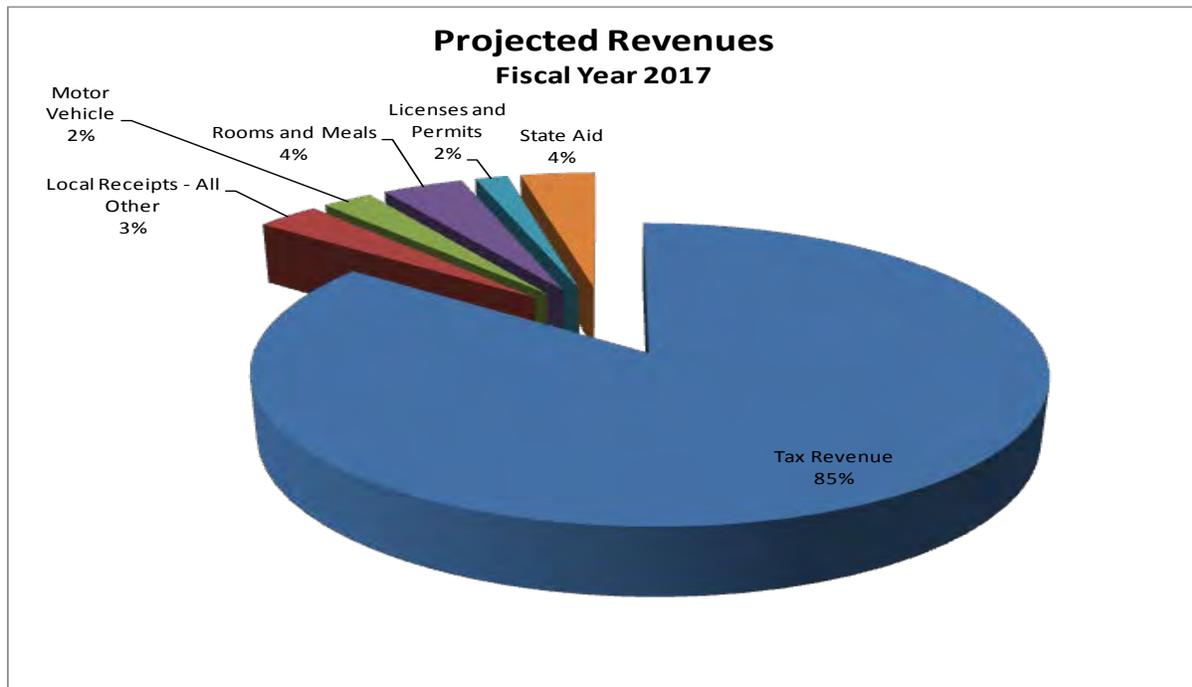
- we increased reserves by establishing a Capital Projects Reserve Fund at the 2016 Annual Town Meeting, with an initial appropriation of \$1,000,000;
- the Town's bond rating was raised to Aa1 by Moody's Investor Services, in January of 2015. This bond rating is one level below the highest bond rating issued by Moody's that a municipality can achieve. The benefits of this rating include the opportunity to borrow at a lower interest rate;
- Free Cash for use in FY 2016 and 2017 was certified by the Department of Revenue on October 14, 2015 in the amount of \$5,405,506 (of this, \$2,300,000 was allocated at the November 9, 2015 special town meeting). Free Cash is used exclusively for non-recurring items;
- the Stabilization Fund remains strong with a current balance of \$4,834,733. A best management practice is to have reserves that are 10% of the budget. Using a budget number of approximately \$85,000,000, the Stabilization Fund balance is slightly over 5%; however, with the Free Cash (undesignated reserves) balance of nearly \$5,500,000, these amounts exceed the best management practice threshold (see attachment);
- short-term and long-term capital projects planning continued and was improved during FY 2016 and in preparation for FY 2017 the acquisition of software called "Plan-it" will help the Town better manage capital projects on an ongoing basis for budgeting purposes. The software will help the town produce a more uniform and consistent plan that is accessible to all departments;
- increased focus on Town infrastructure continues, with a Facilities Assessment Report finalized in June, 2015 (see attachment); as well as the acquisition of software to assist with tracking of maintenance, repairs, and capital planning needs;

- economic conditions for the Island are healthy based on indicators including meals excise tax and room occupancy tax revenues coming in higher than projected; and, new growth which came in 9.86% higher, or \$102,335 over the amount certified in FY 2015; (revenue schedule attached)
- on November 19, 2015, the Town signed a Community Compact with the Commonwealth which will enable us to revise/rewrite and update our financial policies.

While local economic conditions are strong, we need to be cognizant of national economic indicators as well, including the monthly labor report, weekly report on first-time unemployment claims, consumer goods and materials report, and the monthly report on building permits issued by the Conference Board (see attachment). These seem to be steady for the moment; however, in light of how severe the most recent economic downturn was in 2008-11, we feel it is prudent to retain a level of financial flexibility between local revenues and the proposed budget and are not proposing to spend to the Town's allowable levy limit for FY 2017.

Each year, we are challenged to not only present a balanced budget but a plan of service for the community that must acknowledge that all requests and competing needs cannot be met to the degree desired by individual groups and departments. This is inherent in any budget process and is no different this year. Fixed costs are always increasing, especially those of employee benefits, service contracts and (generally) utility costs. Health insurance is particularly problematic, with state and federal requirements that leave municipalities with few options to address rising costs. Fortunately, the Town's levy capacity for FY 2017 will allow for funding fixed obligations and annual appropriations, as well as a level of additional expense increases to meet goals and priorities of the Board of Selectmen and Town Administration.

## II. Overview of FY 2017 General Fund Budget



As noted above, local economic revenue indicators are good, with increases in all areas that reflect a strong local economy including: new growth, building permits, room occupancy tax, meals tax, ferry embarkation fee, motor vehicle excise tax (see attachments). Although it will not be factored in as a revenue source to fund the budget, beginning in FY 2017 we are anticipating the beginning of a multi-year payment plan for the “payback” of General Fund monies used to subsidize Airport operations from FY 2012 to FY 2015, totaling \$4,611,770.

Prior to FY 2017 we expect several local fee categories to increase or to be proposed for increase, including: Town Clerk fees, Event and Licensing fees, Health Department, HDC. These increases have not been included in the FY 2017 budget plan (see attached).

### *Expenses*

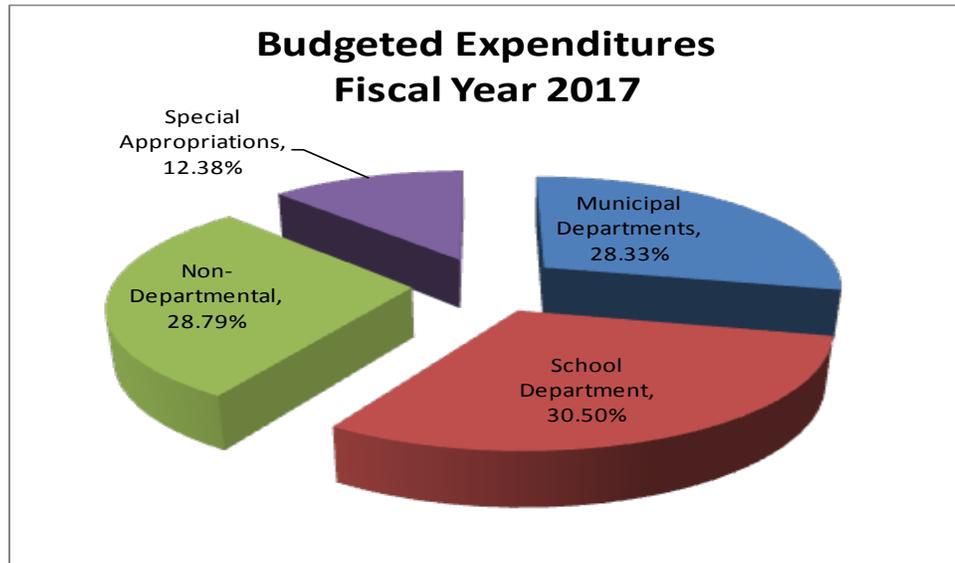
The proposed FY 2017 General Fund budget will fund:

*Fixed Obligations (each of these is explained in further detail in the attachments to this document)*

- allocates the required funding for 10 union contracts; and, for non-union employees;
- provides \$774,916 within the budget, allocated equally between the Town and School departments for capital improvements, pursuant to a requirement of the Town Code:

*The Town shall spend on capital projects a minimum of 1% of total Town local receipts collected in the prior fiscal year plus 1% of the total real estate and personal property taxes collected in the prior fiscal year. If local receipts fall below the 1% minimum, the Town may forego the funding requirement. Nantucket Town Code Chapter 11, § 11-12.1*

- funds the projected increase of 9.5% in Town employee and retiree health insurance;
- funds the projected increase in the Barnstable County Retirement Association annual assessment of 4.5%.



*Annual Appropriations*

- provides \$500,000 to the Other Post-Employment Benefits (OPEB) Trust Fund, in accordance with the Town's OPEB policy. FY 2017 will be the 3<sup>rd</sup> consecutive year in which a deposit to this Trust Fund has been made. The current balance of the fund through FY 2016 is \$1,265,994 (see attached policy);
- provides \$500,000 to the Reserve Fund (see attachment);
- provides subsidies to two Enterprise Funds: Our Island Home (\$2,352,375) and Solid Waste (\$5,630,250) (see attachment).

*Expense Increases*

From a broad perspective, the proposed FY 2017 budget will begin or continue to address the following goals and priorities:

- Increased seasonal demands (summer employees and expanded programming)
- Facilities maintenance (buildings, parks, fields, beaches, energy efficiencies)
- Infrastructure maintenance/improvements (streets, sidewalks, streetlights)
- Water quality (monitoring; pond management; fertilizer regulations education and enforcement)

- Administrative management improvements (budget and long-term capital planning; information technology operational and project management improvements, personnel/payroll/human resources management improvements)
- Housing initiatives
- Substance abuse prevention efforts
- Public safety improvements (increase in level of emergency medical services)
- Community convenience and visitor experience initiatives (traffic mitigation strategies; recreational activities; increase in information availability)

Specifically, the above goals and priorities will be addressed with the following expense increases:

#### Personnel-Related

1. Natural Resources: Increase part-time administrator to full-time. This will enable additional, needed office coverage as well as additional time for activities such as establishing a tracking/monitoring system for Conservation Commission Orders of Condition and fertilizer licensing conditions.
2. Police/Marine: Full-time year-round beach maintenance position. Every since the stand-alone Beach Coordinator position was absorbed into other positions due to departmental consolidations we have not been able to effectively coordinate beach-related maintenance activities to definitively address the maintenance demands of several heavily used public beaches. This position will maintain Town-owned, life-guarded beaches including fencing, signage, ramps and general maintenance and cleanliness.
3. Fire: Two additional (new) firefighter/paramedic positions. We are proposing to move from our current Basic Life Support (BLS) emergency medical services model to the Advanced Life Support (ALS) model that most municipalities use. This will need to be a phased program so as to spread the costs over more than one year. A total of 4 additional positions are planned (these being the first 2), with at least ten current firefighters to be trained as paramedics over a two-year period.
4. Fire: Additional overtime. In order to fill two shifts with the staff needed to run a partial ALS service (initial phase), we anticipate the need for some amount of additional overtime at first because it will take time to train the firefighters for ALS. It is intended that ALS be provided on every shift within 2-3 years.
5. Fire: Paramedic training. Training will be necessary to bring a number of the current firefighters to the paramedic level. There will be some ability to hold training here on the island but there is likely to be a need for off-island training and travel. Again, this is a process that will phased over time.

6. Visitor Services: Additional seasonal staff.

In order to provide a better visitor experience, we would like to add additional staff and/or staff hours at the Straight Wharf information kiosk.

7. Sewer Enterprise Fund: New Wastewater Superintendent position.

The scope of work contained within the DPW Director job description includes oversight of the wastewater treatment facilities and all matters relating to the sewer system. With the complexity of recent and upcoming projects and the need to develop a strong, viable capital program, as well as the need for dedicated project management it is clear that the DPW Director position cannot absorb these functions. We are recommending a senior level, non-union stand-alone position that would be funded from the Sewer Enterprise Fund and report to the Town Manager. A dedicated position to manage projects and “educate” the public about sewer projects has been discussed for several years. This position will oversee the rollout of the sewer capital plan outlined in the Comprehensive Wastewater Management Plan (CWMP) update. There is a 20-year capital program generated by the CWMP that will require close supervision during bidding, design and construction. Initiatives need to be implemented to remove remaining clay pipes in the core area as well as program the design of the repair and replacement of problematic areas. These areas have been maintained on a daily basis instead of investigating repairs and coordinating the construction for these repairs. The problematic areas have been identified; however, the design of the repairs will take more investigation and design work before the construction repair work can begin. Inflow and infiltration into the sewer system also needs to be pursued more diligently.

8. Town Administration: Energy Coordinator position.

This existing position was initially established with grant funding, then grant and Town funding. The grant(s) come to a close in FY 2017 and we propose to continue the position.

9. Town Administration: HDC Minute taker.

In FY 2012, due to budget cuts and the creation of the PLUS department, several administrative functions that support HDC were spread out over several positions. The Town’s dedicated Minutes Taker currently takes minutes for the HDC as well as several other boards and committees; however, with the increase in building permits to pre-2008 levels it is clear that dedicated minute taking services for HDC will improve the delivery of services for the Commission and the public.

10. Planning & Land Use Services (PLUS): Part-time housing specialist.

Current staff is unable to effectively manage housing initiatives on an on-going basis. We had a full-time position 3 years ago, it was determined after about one year that activity levels were insufficient to justify retaining the position and the individual was laid off. Today, the island housing situation has changed: there are multiple requests for 40B applications, zoning changes, the development of Town-owned land for housing. The Town needs a dedicated position to manage these issues and help to meet the Town’s obligations under state affordable housing requirements.

11. DPW: New Engineering Technician Position.

Initially, we were considering a Deputy DPW Director position; however, if the Wastewater Superintendent position is established, and one of the existing foremen positions is dedicated to fields and parks maintenance, with this additional position to gather, prepare and track the information needed for the engineering division of the DPW to be more functional, we believe this will bring the DPW into a more proactive and less reactive mode.

12. Human Resources: New part-time support position.

Over the summer of 2015, an operational review (see attached) of the Town's human resources function was performed. One of the findings was that for the number of employees the Town has, it does not have sufficient administrative support in place to handle all of the regulatory, statutory and reporting requirements. In a future year, this position will likely be requested to increase to full-time.

#### Expense-Related

1. Natural Resources: Water quality monitoring.

This 4-part expense will allow for:

- funding annual water quality testing of identified areas for TMDL (Total Managed Daily Load) compliance as outlined in the Nantucket Harbor and Madaket Harbor MEP (Massachusetts Estuary Project) reports (Note: this expense was being funded from the Waterways Improvement Fund; however, that Fund is projected to be utilized more going forward for a maintenance plan for the Town Pier);

- necessary equipment and instruments for water quality testing, again, in conjunction with the recommendations of the MEP reports;

- water quality analysis for the twice-annual openings of Hummock Pond and Sesachacha Pond – this is an expense that wasn't specifically budgeted to this level in the past and as a result budget transfers have been needed;

- in conjunction with the Nantucket Pond Management Coalition, funding would be provided to help implement initiatives of the Comprehensive Pond Management Plan, including the continuation of invasive species removal at various ponds; analysis of phosphorus data to be obtained through a state grant, currently underway; assistance with the purchase of a harvester for the removal of excessive vegetation at various ponds.

2. Police/Marine: Annual maintenance for Town Pier.

This expense will be funded from the Waterways Improvement Fund. It is expected that annual maintenance of the Town Pier will result in less capital costs over time.

3. Fire: ALS equipment.

The ALS program will require additional equipment for the ambulances. This amount can be funded from the Ambulance Reserve Fund.

4. Town Administration: Selectmen initiatives.

This funding would allow for the engagement of specialists or the acquisition of services, equipment or other expenses when needed by the Board to pursue a specific unanticipated initiative (examples in the past include the Fast Ferry Connector parking lot, fertilizer reduction initiatives and water quality testing).

5. Town Administration: Information Technology assessment recommendations. This is something of a place-holder. Town Administration initiated an IT operational assessment mid-fall of 2015. The assessment is on-going and we expect that there may be a recommendation(s) that would need to be funded in order to be implemented.

6. Town Administration: Video production coordinator. This would be to fund the “G” part of the PEG (Public, Education, Government) channel. We have found that without a dedicated resource to manage the taping of numerous public meetings – many of them after hours -- too many mistakes occur and the public is not able to view governmental meetings. This will provide consistency in management and operation of the equipment.

7. Town Administration: Fast ferry connector funding. Based on a Board workshop discussion on October 7, 2015, we propose to fund this approximately \$250,000/year service with \$25,000 from the General Fund and \$25,000 from the Cape & Islands License Plate Fund, for a total Town contribution for FY 2017 of \$50,000. It is our understanding that the remainder will be funded from other contributions (SSA, Hy-line, private businesses benefitting from the service, etc).

8. Town Administration. Increase in Health and Human Services annual appropriation. We are proposing a \$50,000 increase to this annual appropriation in recognition of the substance abuse and other issues that have arisen recently in the community. These funds would be recommended for specific allocation by the Contract Review Committee for the agency the CRC determines would use the funds most effectively.

Over the past 5-10 years, the Town’s assets have increased, our scope of responsibility has increased and we have taken on initiatives that are beneficial and responsive to needs or requests but do subsequently require additional resources. Our staffing and resources have not always kept up with these items, which include: additional infrastructure such as bike paths, roads, sidewalks, parks and fields; lifeguarding additional beaches; events and business license management and monitoring; code enforcement; renewable and other energy initiatives; public buildings; tasks for the NRTA (signs, benches, bike racks, trash pick-up, brush cutting, line painting); providing proper collection and disposal of sharps (used needles). The expense increase requests address several of these.

Other expense increase requests not specifically listed here will address inflationary cost increases, licensing and permit fees, personnel adjustments, operational issues or necessary equipment replacements. Some of these are “one-time” expenses, others are intended to recur annually. These are shown on the attached “Expense Increase Request Summary Sheet” and are not explained in detail in this narrative.

### ***III. Future Year Considerations/Unknowns Strategic Plan***

During FY 2017, the Board should consider the development of a Strategic Plan with measurable goals and objectives. Without one, we are more reactive than proactive and cannot properly plan and use our resources effectively to focus on and accomplish formally agreed-upon goals. We suggest a workshop devoted to this in the spring, with a budget request if needed to be prepared for FY 2018.

DRAFT

### *Staffing Assessment*

We recommend the Board consider a Town-wide staffing assessment – perhaps as part of a Strategic Plan or in addition. Are we staffed effectively? According to a Boston Globe report in March, 2015, Nantucket is one of the fastest growing town/counties in the country and with multiple large multi-unit construction projects in the works, Town resources need to grow to meet the anticipated demand. We have added and reduced staff the best we can with our own internal experience and understanding of Town operations. We know that initiatives and projects can become stalled due to workload of key staff. An outside consultant with extensive knowledge of municipal operations could help us determine if we are staffed correctly and/or using our resources in the most efficient manner possible.

### *Health Insurance*

The “Cadillac Tax is a component of the Affordable Care Act, is federally mandated and is to be implemented January 1, 2018. In summary, employers will pay a 40% tax on all costs for health insurance plans in excess of \$27,500 for family and \$10,200 for individual plans. Based on Nantucket’s current workforce and related insurance portfolio, the Town would be required to pay in excess of \$600,000 beginning with FY 2018.

### *Sewer Improvements*

While not an impact on the FY 2017 General Fund budget, there are two significant sewer projects being proposed at the 2016 Annual Town Meeting which would be partially funded through debt exclusion overrides. This will have an impact on the debt service appropriation for the FY 2018 budget.

### *Contract Expirations*

During FY 2017, the following concession leases will expire (all expire 12/31/16): Jetties, Surfside and Children’s Beach. We are planning to put these out to bid in the spring of 2016. Conservative estimates will be used for the anticipated revenue from these concessions which in FY 2016 will total approximately \$200,000.

The contracts for cleaning of various Town buildings and for landscaping will expire in March of 2016; the Town’s contract for gasoline and diesel expires in June, 2016; the contract for vehicle maintenance services in August of 2016. Again, conservative numbers will be used for the anticipated costs of these contracts, if unknown before the budget is finalized.

### *School*

The new intermediate school is scheduled to open in School Year 2017-18. As discussed in earlier presentations to the community, this will have implications for staffing. In particular, we anticipate additional staff such as a school nurse and one administrator. The most significant staffing need will be in custodial/maintenance staff, as we bring a 72,000 sq foot facility into our realm. Most other faculty will be transferred to the new facility from existing staff.

The renovation to the middle school is scheduled to be completed in time for school to begin in September of 2016. This will not require new staff, but will provide room for existing staff who now share spaces in the existing Middle School (CPS).

## *Revenue*

Although in the near future, current revenue sources appear to be sufficient, other areas to potentially look toward in the future for generating new revenue include: PILOT possibilities (Payment-in-Lieu-of-Taxes for entities that do not pay property tax – if all of these were taxed in FY 2015, taxes due would have exceeded \$10,000,000); parking fees (paid parking for parking lots, downtown parking, beach parking); taxi transaction fee (requires meters); host community fee for Registered Medical Marijuana Dispensary (in process); expansion of room occupancy tax to seasonal vacation rentals (requires special legislation); increase of real estate transfer tax for housing initiatives or another dedicated purpose (requires special legislation); tax on medical marijuana sales (requires special legislation). Some of these have been pursued by the Town, others are being pursued and some have remained stalled or not pursued.

## **IV. Other Recommendations**

Due to growing operational costs, an increasingly out-of-date facility, and multiple long-term infrastructure issues, at the recommendation of Town Administration and the Our Island Home Administrator, the Board of Selectmen convened an “Our Island Home Long-term Planning Work Group” in 2012. The Work Group met from October, 2012 – June 2013 to review financial and operational reports, data and other information of Our Island Home and also with the state’s only other (Taunton) municipally-operated nursing home and make recommendations to the Board regarding Our Island Home. In July, 2013 the Work Group presented its report to the Board (insert link). Our Island Home is operated as an Enterprise Fund (meant to fund its own operations); however, requires a significant annual subsidy from the Town’s General Fund. Because the Town wants to continue to ensure that the best, state-of-the art skilled nursing services are available to its elderly population, Town Administration is recommending a tax override for dedicated operating support for this service, as long as the Town remains the operator.

## **V. Conclusion**

The FY 2017 General Fund budget, as proposed, is \$86,843,248, this represents an increase of \$4,821,600, or 5.88%, over the FY 2016 budget. The levy limit for FY 2017 is projected to be \$87,134,684, which will leave unused levy capacity in the amount of \$291,437.

The Town has been extremely fortunate to be able to fund several items, within its levy limit, including Our Island Home, the landfill mining program, health insurance, an annual amount of capital items. While the FY 2017 budget is balanced and addresses our fixed obligations, it also puts forward some new initiatives that are intended to provide better or increased service to the public, as well as additional resources toward maintaining our infrastructure in a proactive manner, and address or continue to address goals and priorities of the Board of Selectmen and Town Administration. Our biggest challenges include housing, staffing, expanded programming (beaches, playing fields, trash, bike path maintenance) and keeping pace with the cost of living and faster-than-expected increases in costs ranging from health insurance to construction/maintenance costs – the same issues Nantucket families and businesses are encountering for their own budgets. Our community has grown in size and diversity, significantly over the last 20 years. We are facing some “big city” problems (substance abuse,

public safety, housing shortage) now more than ever and it will take additional resources in the coming years to address these. Nantucket is a small town with big city problems!

Thanks to the Board of Selectmen, Capital Program Committee, Finance Committee, Town departments, and especially to the staff who spend many, many hours putting together the information necessary to develop the budget recommendations, including Finance Director Brian Turbitt, Assistant Finance Director Lynell Vollans and Assistant Town Manager Gregg Tivnan.

***Prepared by:***

*Town Manager, pursuant to Article IV, Section 4.2(d)(3) of the Charter of the Town of Nantucket*

DRAFT

Town Administration  
Fiscal Year 2017  
General Fund Budget  
Recommendations

*December 9, 2015*

*Board of Selectmen's Meeting*

# FY 2017 General Fund Budget Overview

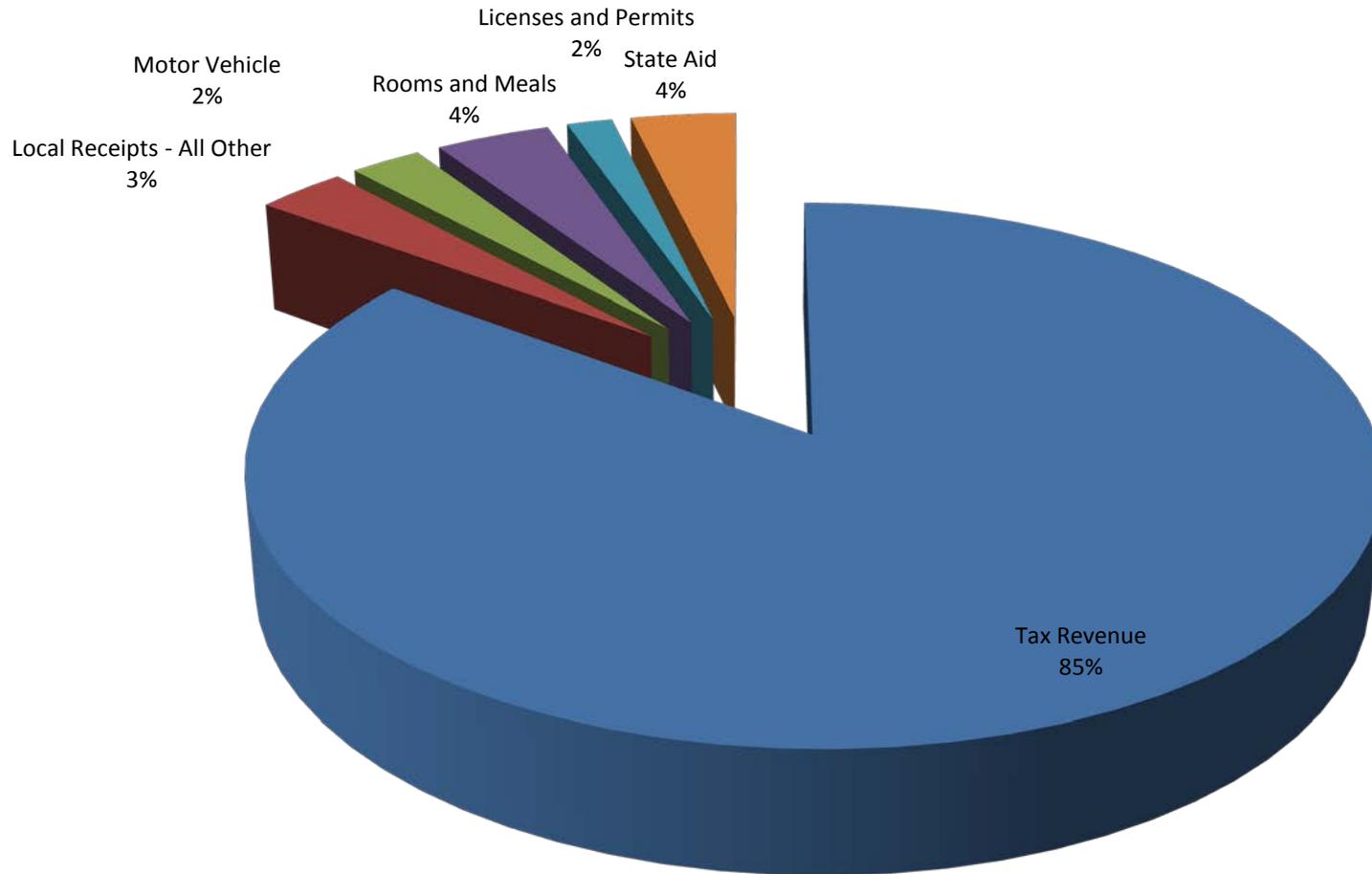
- Revenues
  - Total Projected Revenue: \$87,134,684
- Expenses
  - Total Projected Expenses: \$86,843,248

# General Fund Major Revenue Categories

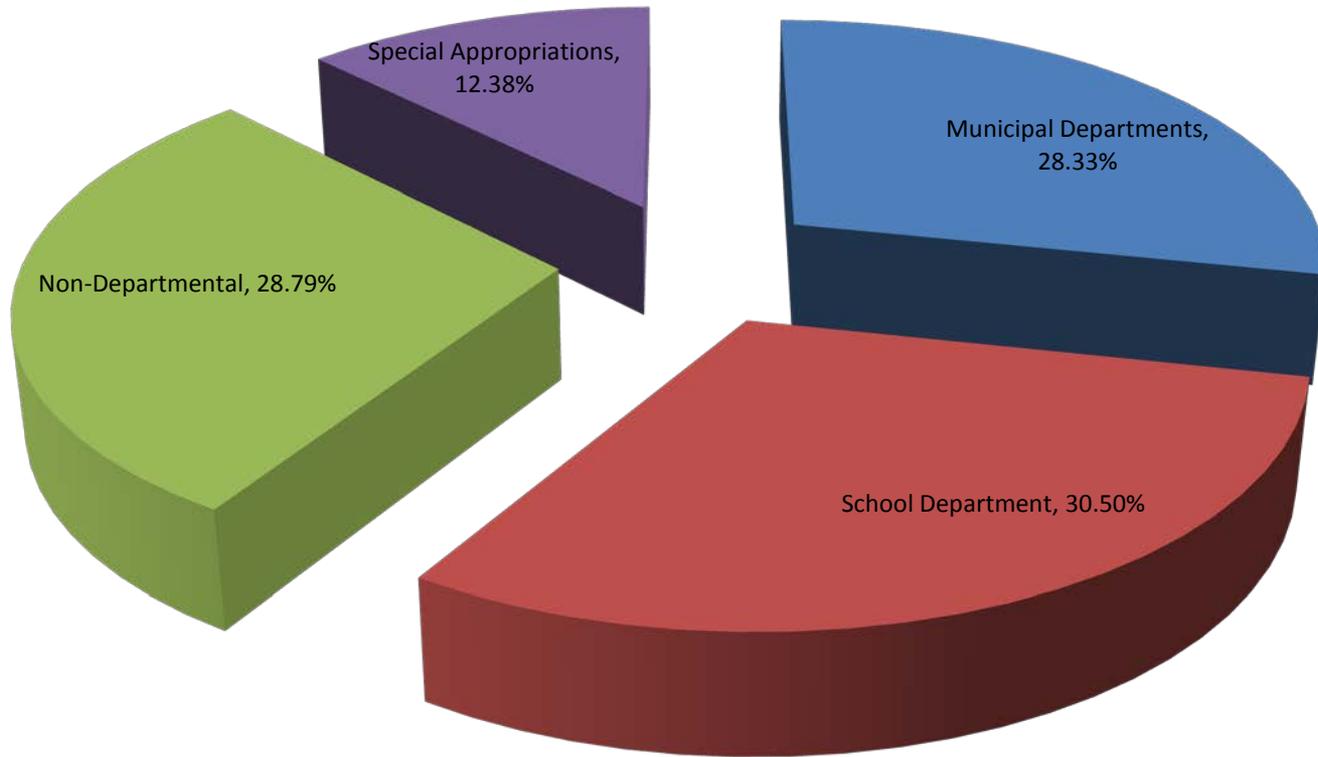
## FY 2017 Budget Comparison

REVENUES	FY2016	FY2017	\$ Change	% Change
Property Tax	70,008,552.00	73,981,628.00	3,973,076.00	5.68%
Local Receipts - All other	2,717,920.00	2,689,915.00	(28,005.00)	-1.03%
Motor Vehicle Excise	1,850,000.00	2,150,000.00	300,000.00	16.22%
Rooms and Meals Tax	3,360,000.00	3,466,000.00	106,000.00	3.15%
Licenses and Permits	1,237,465.00	1,375,000.00	137,535.00	11.11%
State Aid	2,342,711.00	3,180,705.00	837,994.00	35.77%
Free Cash	-	-	-	
Other Available Funds	505,000.00	-	(505,000.00)	-100.00%
<b>TOTAL REVENUES</b>	<b>82,021,648.00</b>	<b>86,843,248.00</b>	<b>4,821,600.00</b>	<b>5.88%</b>
<b>EXPENDITURES</b>				
Municipal Departments	22,322,869.00	24,598,592.00	2,275,723.00	10.19%
School Department	25,436,642.00	26,486,642.00	1,050,000.00	4.13%
Non-Departmental	23,645,222.00	25,002,972.00	1,357,750.00	5.74%
Special Appropriations	10,616,915.00	10,755,042.00	138,127.00	1.30%
<b>TOTAL EXPENDITURES</b>	<b>82,021,648.00</b>	<b>86,843,248.00</b>	<b>4,821,600.00</b>	<b>5.88%</b>

# FY 2017 Projected Revenues



# FY 2017 Projected Expenses



# General Fund Expense Categories

Category	Current Projection	% Increase/Decrease over FY 2016 Budget
Town Expenses	\$6,911,798	15.72% increase
Town Expense EIR's	\$855,700	<i>Included in Town expenses</i>
Town Salaries	\$17,684,794	<i>current contracts; c/b allowance</i>
Town Personnel EIR's	\$497,245	<i>Included in Town salaries</i>
School Expenses	\$5,217,329	3.98% increase
School Expense EIR's		<i>Included in School expenses</i>
School Salaries	\$21,269,313	<i>current contracts; c/b allowance</i>
School Personnel EIR's		<i>Included in School salaries</i>

# General Fund Expense Categories

*continued*

Category	Current Projection	% Increase/Decrease over FY 2016 Budget
Health Insurance		
Active	\$9,255,215	9.50% increase
Retiree	2,578,585	9.50% increase
General Insurance	\$2,264,360	10.00% increase
Debt Service	\$7,177,125	<i>per established schedule</i>
Retirement	\$3,727,687	4.50% increase
Enterprise Fund Subsidies	\$7,982,625	2.28% increase

# Other Expenses

Expense	Current Projection	% Increase/Decrease over FY 2016 Budget
Health & Human Services	\$400,000	14.28% increase
County Assessment	\$170,201	No change
Reserve Fund	\$500,000	No change
Unpaid Bills		
Other Post Employment Benefits (OPEB)	\$500,000	No change
Overlay & Other Deficits		
Cherry Sheet Charges	\$427,300	3.31% increase
Community School	\$400,000	14.28% increase
Min Cap Funding Req.	\$774,916	n/a- 1% of prior year revenue
<b>TOTAL</b>	<b>\$86,843,248</b>	<b>5.88% increase</b>

# Health Insurance

## Health Insurance Expenditures

	<b>2011</b>	<b>2012</b>	<b>2013</b>	<b>2014</b>	<b>2015</b>	<b>Budget 2016</b>	<b>Proposed 2017</b>
Active	\$ 4,373,411.68	\$ 4,506,853.13	\$ 5,375,693.20	\$ 6,193,357.48	\$ 6,948,600.00	\$ 8,413,832.00	\$ 9,255,215.00
Retirees	\$ 1,536,604.11	\$ 1,583,488.94	\$ 1,888,757.07	\$ 2,176,044.52	\$ 2,441,400.00	\$ 2,344,168.00	\$ 2,578,585.00

# Town Expense Requests (Included in Budget)

- \$ 2,436,826 Submitted Requests
- \$ 1,655,580 Recommended
  - One-time \$312,100
  - On-going \$1,343,480
- To be funded through available tax levy, budget adjustments, alternate funding sources, free cash, potential revenue increases

# Funding Sources for Town Expense Increases

Funding Source	
Tax Levy & Other General Revenues	\$1,280,845
Free Cash	\$72,100
Other Funds (refer to slide 12)	\$302,635
Total all Funding Sources	\$1,655,580

# Other Funding Sources for Town Expense Increases

Funding Source	
C & I License Plate Fund	\$25,000
Beach Improvement Revolver	\$27,635
Waterways Improvement Fund	\$75,000
Ambulance Reserve Fund	\$50,000
Sewer Enterprise Fund	\$125,000
Total	\$302,635

# Administration/**Board of Selectmen**

## Goals and Priorities for FY 2017

- Balanced budget – within projected revenue
- Capital and operational investment in infrastructure/facilities
- Staffing for increased service and seasonal demands; and to meet priorities
- Water quality
- Energy cost management and mitigation
- Health insurance cost mitigation
- Strategic Plan
- Housing
- Increased use of technology for transparency

# Initiatives/Needs/Goals Being Met/Addressed with Budget Recommendations

- Improve facilities/infrastructure/equipment maintenance - additional funding proposed in DPW, Town Admin, Public Safety, Natural Resources, IT
- Staffing to address areas of high activity and/or improved service – Public Safety, DPW, Visitor Services, IT, PLUS/HDC
- Water quality/ponds –comprehensive pond management plan (in partnership with other groups); additional funding for water quality initiatives, including fertilizer reduction education/efforts – Natural Resources
- Substance abuse prevention – increase in Health and Human Services allocation
- Housing – PLUS
- Energy management/efficiency initiatives including renewables – PLUS/Town Admin

# Actions/Efforts to Reduce Expenses and/or Increase Efficiency/Transparency

- Personnel
  - Review staffing when key positions become vacant
  - Combine/consolidate duties where appropriate
  - Cross-train staff where appropriate
  - Increase training opportunities so as to reduce reliance on consultants, reduce legal fees and other expense impacts (ie, effort to get several employees certified as Mass Public Purchasing Officials)
- Continual Review of Internal Controls/Processes and Procedures
- Implementation of software to better inform the public and town boards, departments (capital planning, complaint tracking, budget, project management)

# Other Recommendations

- Strategic Plan
  - Unified Board-supported vision necessary for long term financial and programmatic planning (FY18)
- Staffing and Resource Assessment
  - Comprehensive review of staffing and resources to address community growth and service needs
- Our Island Home
  - Operational override to address the funding of Our Island Home

# Our Island Home Retained Earnings

## Certified Retained Earnings

<b>2011</b>	<b>2012</b>	<b>2013</b>	<b>2014</b>	<b>2015</b>
253,610	3,411,372	2,054,350	1,747,556	1,649,432

## Projected Retained Earnings

<b>2016</b>	<b>2017</b>	<b>2018</b>	<b>2019</b>	<b>2020</b>
1,566,960	1,488,612	1,414,182	1,343,472	1,276,299

# Outstanding items/Current unknowns

- Citizen warrant article appropriation(s)  
(\$300,000 unfunded in Town Admin FY 17 Budget Plan)
- Chapter 90
- General Fund subsidy to Our Island Home  
(Override)
- State Aid impact
- Expiring contracts

# Preliminary Free Cash Recommendations – Not Final

General Fund Free Cash	<b>\$5,405,506</b>
less November 9, 2015 STM Appropriations	\$2,300,000
<b><i>Remaining</i></b>	<b><i>\$3,105,506</i></b>
Fund Town Expense Increase Requests (one-time)	\$72,100
Fund Capital Projects Stabilization Fund	\$250,000
Fund Town & School Capital Projects	\$2,783,406
<i>Remaining</i>	<i>\$0</i>

# FY 2017 Status of Capital Project Requests

<i>Dept</i>	<i>Item Submitted</i>	<i>Amount</i>
<b>GENERAL FUND</b>		
<b>DPW/PLUS</b>	In-Town Bike Path Design	\$ 200,000
<b>DPW/PLUS</b>	In Town Bikepath Phase 2	\$ 75,000
<b>DPW/PLUS</b>	In Town Bikepath Phase 3	\$ 75,000
<b>Fire Department</b>	Replace Engine 7 with a Brushbreaker	\$ 165,000
<b>Fire Department</b>	Replace Ambulance #1	\$ 270,000
<b>Fire Department</b>	Replace Ambulance #2	\$ 270,000
<b>Public Safety</b>	F-Street Bulkhead	\$ 425,000
<b>Public Safety</b>	Children's Beach Boat Ramp - Supplemental Funding	\$ 150,000
<b>Public Safety</b>	Dredge Plan	\$ 150,000
<b>Public Works</b>	Sidewalk Improvement Plan - Phase 1	\$ 1,500,000
<b>Public Works</b>	Nobadeer Farm Field House Construction	\$ 700,000
<b>Public Works</b>	Bartlett/Surfside Roundabout Design TIP 2017/2018	\$ 150,000
<b>Public Works</b>	Surfside Area Road Reconstruction - Phase 2	\$ 1,000,000
<b>Public Works</b>	Road Improvements/Maintenance - Island Wide	\$ 900,000
<b>Public Works</b>	First Way Construction (Paving)	\$ 750,000
<b>Public Works</b>	Winn Street Improvements	\$ 250,000

# FY 2017 Status of Capital Project Requests

- Capital Continued

<i>Dept</i>	<i>Item Submitted</i>	<i>Amount</i>
Public Works	6 Wheel Dump Truck - Replacement	\$ 190,000
Public Works	10 Wheeler - Replacement	\$ 200,000
Public Works	Pick-up Truck w/ Plow - Replacement	\$ 60,000
Public Works	Asphalt Recycler and Hot Box - New	\$ 110,000
Public Works	Van for Facilities - Replacement	\$ 42,000
School Department	Autoshop - Repairs/Upgrades	\$ 125,000
School Department	HVAC Upgrades	\$ 300,000
School Department	4wd Truck w/Plow - Replacement	\$ 50,000
School Department	Window Replacements	\$ 150,000
School Department	NHS Building Improvements	\$ 250,000
School Department	NHS/CPS Exterior Painting and Trim	\$ 250,000
Town Administration	Network Infrastructure	\$ 100,000
	Server Replacements	\$ 75,000
	E-Permitting	\$ 150,000
	Town Fueling Station	\$ 100,000
<b>TOTAL GF ITEMS</b>		<b>\$ 9,182,000</b>
<b>Other Funding Sources:</b>		
	Proceeds from Real Estate Sales	\$ 2,000,000
	Prior Year Capital Article Reappropriations	\$ 115,745
	Total Free Cash Available for Appropriations	\$ 2,783,406
	Capital from Operating Budget	\$ 774,916
	Waterways	\$ 150,000
	Ambulance Reserve	\$ 540,000
	<b>Total other funding sources</b>	<b>\$ 6,364,067</b>
	<b>Items left to fund</b>	<b>\$ 2,817,933</b>
<b>Sewer Costs not Included Above:</b>		
	Madaket/Warren's Lndng/Somerset	\$ 24,800,000
	Monomoy/Mid Island	\$ 13,440,000
	<b>Total of General Fund Portion of Sewer</b>	<b>\$ 38,240,000</b>

Sale of Fire Station Property IS NOT included in here -- but could be factored in to offset cost of new station  
 NOTES:

# FY 2017 Status of Capital Project Requests

- Capital Continued

<i>ENTERPRISE FUNDS</i>	<i>Item Submitted</i>		<i>Amount</i>
<i>Dept</i>			
Airport	Airport Equipment	\$	66,100
Airport	FIDS/PA Replacement	\$	375,000
Airport	Employee Housing Concept	\$	100,000
Airport	Interactive Employee Training	\$	175,000
Airport	Vault Room Replacement	\$	1,000,000
Airport	Terminal Exterior Painting	\$	75,000
Airport	Parking Lot Upgrades	\$	125,000
Airport	Poles and Lights	\$	40,000
Airport	Enclose Restaurant Entrance	\$	65,000
	<b>Subtotal Airport</b>	<b>\$</b>	<b>2,021,100</b>
Our Island Home	Bathroom Upgrades	\$	325,000
Our Island Home	Window Repairs	\$	90,000
Our Island Home	A/C Units	\$	100,000
Our Island Home	Resident Room Upgrades	\$	200,000
	<b>Subtotal OIH</b>	<b>\$</b>	<b>715,000</b>
Sewer	Sewer Extension - Madaket/Warren's Lndg/Somerset Design	\$	12,000,000
Sewer	Sewer Extension - Madaket/Warren's Lndg/Somerset Constr	\$	50,000,000
Sewer	Sewer Extension - Monomoy/Mid-Island Design	\$	6,000,000
Sewer	Sewer Extension - Monomoy/Mid-Island Constr	\$	27,600,000
Sewer	Sconset WWTF - Evaluation/Repairs	\$	1,000,000
Sewer	Membrane Filtration System Replacement	\$	1,300,000
Sewer	Sea St Pump Station Repairs - Construction	\$	3,000,000
Sewer	First Way Construction (Sewer Work)	\$	750,000
Sewer	Pine Valley Pump Station Generator Replacement	\$	80,000
Sewer	Replacement of 2008 Sludge Truck	\$	300,000
Sewer	Replacement of 2005 F-350 Pick-Up truck	\$	60,000
	<b>Subtotal Sewer</b>	<b>\$</b>	<b>102,090,000</b>

# FY 2017 Status of Capital Project Requests

- Capital Continued

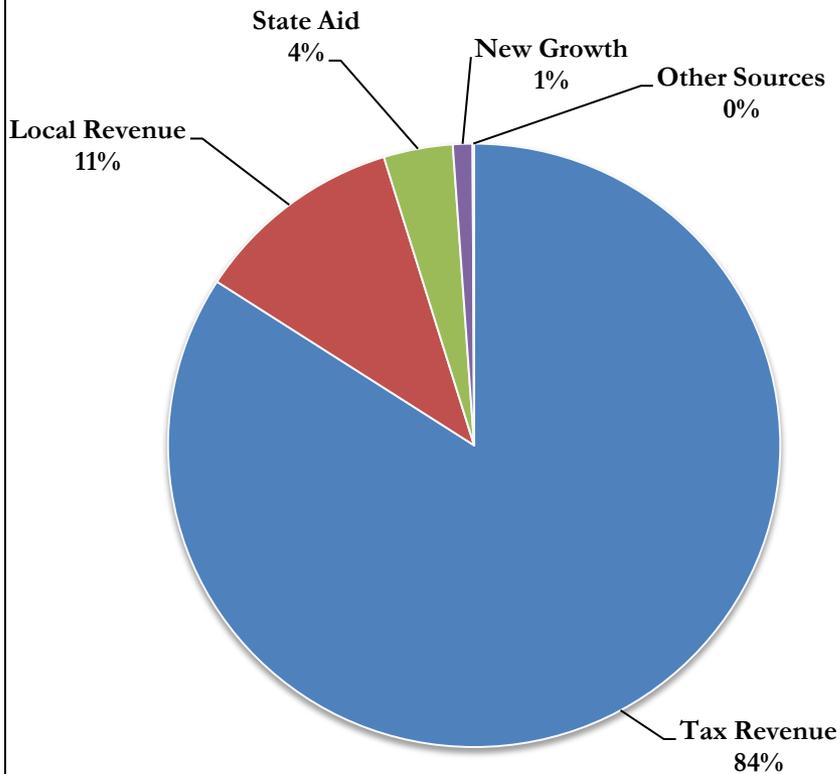
<b>ENTERPRISE FUNDS</b>	<b>Item Submitted</b>		
<b>Solid Waste</b>	Repairs and Maintenance to MRF	\$	115,000
<b>Solid Waste</b>	Landfill Mining Continuation	\$	700,000
<b>Solid Waste</b>	Supplement Funding to Lined Landfill (Cell 3C)	\$	500,000
	<b>Subtotal Solid Waste</b>	<b>\$</b>	<b>1,315,000</b>
<b>Siasconset Water</b>	Water Meter Replacement	\$	280,000
<b>Siasconset Water</b>	Repairs / Maintenance to Pump Station and Storage Tank Facility	\$	100,000
	<b>Subtotal Siasconset Water</b>	<b>\$</b>	<b>380,000</b>
<b>Wannacomet</b>	Water Main Replacement	\$	1,546,060
<b>Wannacomet</b>	Water Distribution Expansion	\$	825,000
<b>Wannacomet</b>	Pumping Equipment and Controls	\$	120,000
<b>Wannacomet</b>	Hydrant Replacement	\$	180,000
	<b>Subtotal Wannacomet Water</b>	<b>\$</b>	<b>2,671,060</b>
	<b>SUBTOTAL ALL EF</b>	<b>\$</b>	<b>109,192,160</b>
	<b>Less other funding sources*</b>		
	Airport AIP Grants	\$	1,550,000
	Sewer Project - General Fund Portion Madaket/Warren's Lndng/Somerset	\$	24,800,000
	Sewer Project - General Fund Portion Monomoy/Mid Island	\$	13,440,000
	Sewer Project Betterments	\$	57,360,000
	<b>TOTAL EF</b>	<b>\$</b>	<b>12,042,160</b>

# Next Steps

- December 15: Capital Program Committee review of recommendations with Finance Committee
- December 15: Town Administration FY17 Budget presentation to School Committee
- January 6: Board of Selectmen public hearing; adoption of recommended FY 2017 General Fund Budget
- January 7: Review of Recommended Budget with Finance Committee
- January 20: review of Enterprise Fund Budgets with Board of Selectmen
- Mid-January – mid-March: Finance Committee review of General Fund & Enterprise Fund budgets; other financial appropriations
- 2016 Annual Town Meeting – Saturday, April 2

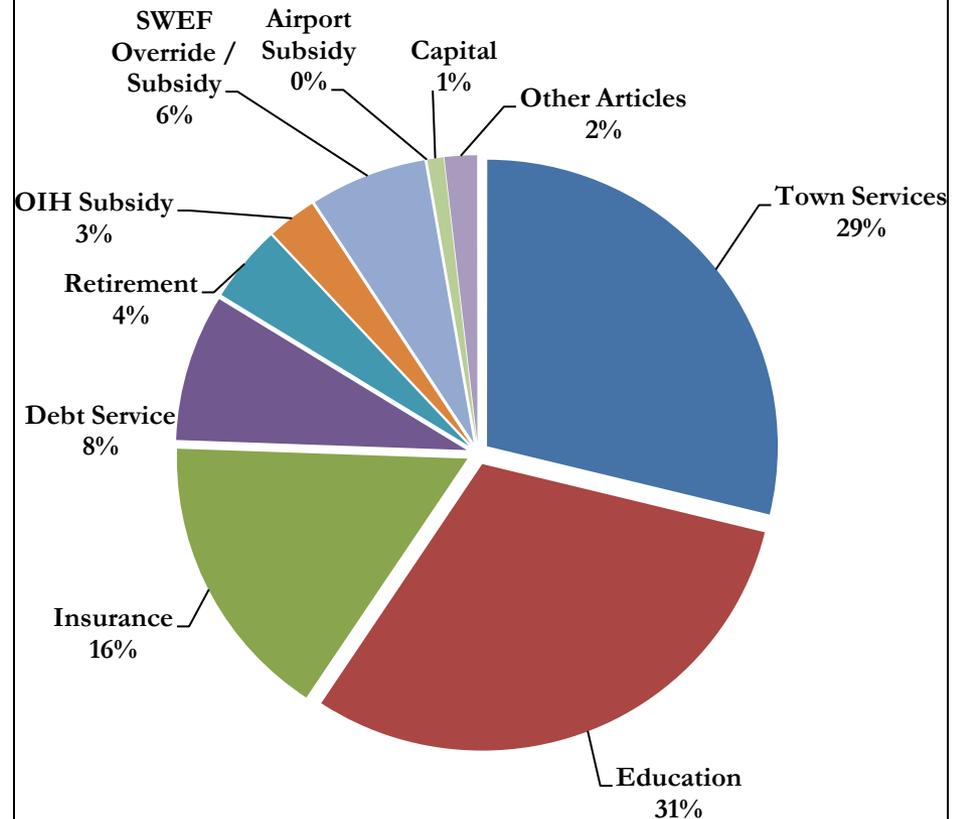
# FY 2017 General Fund Budget Revenue and Expenses

Projected Sources As of 12/09/2015



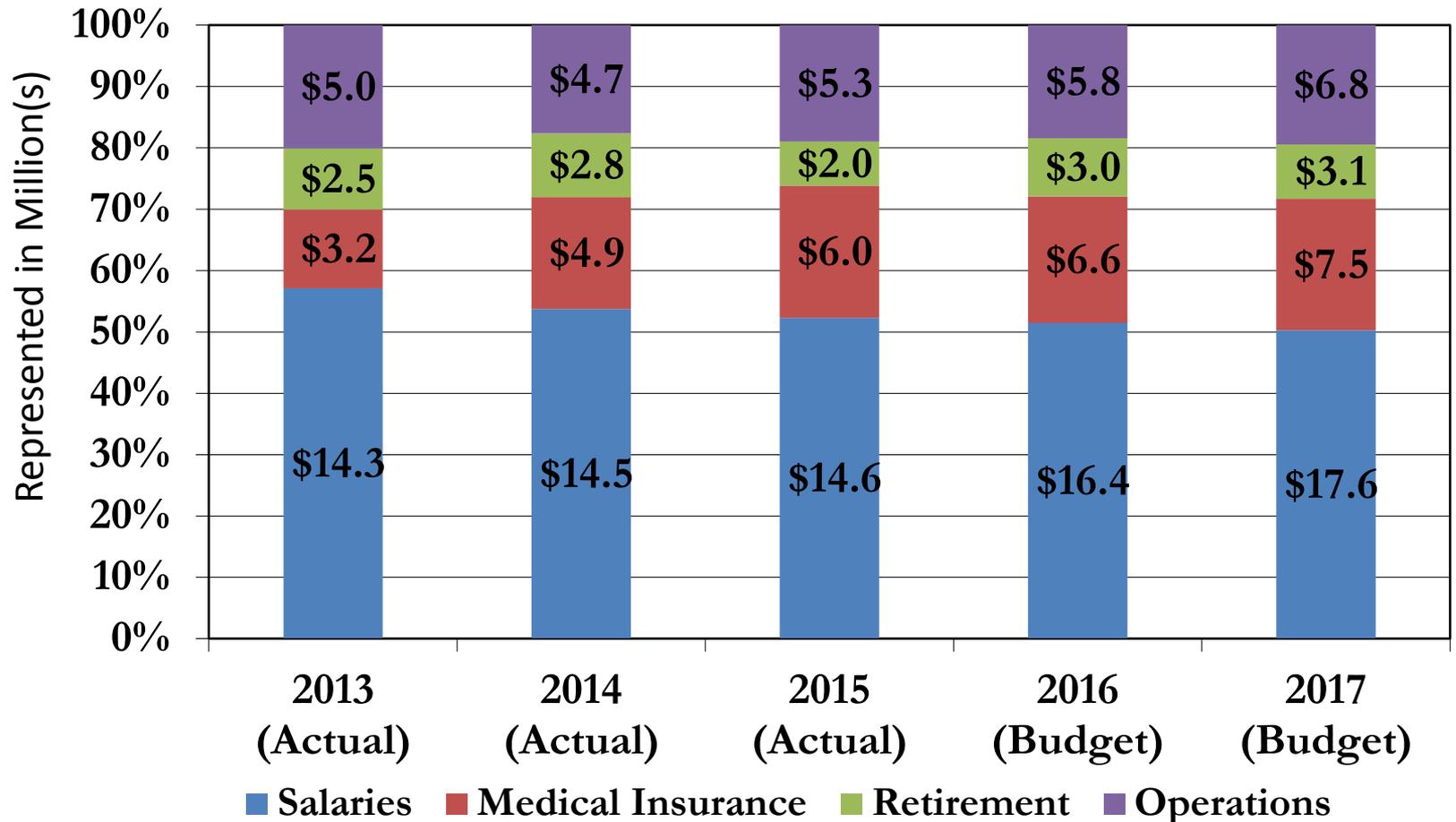
**\$87,134,684**

Projected Expenses As of 12/09/2015

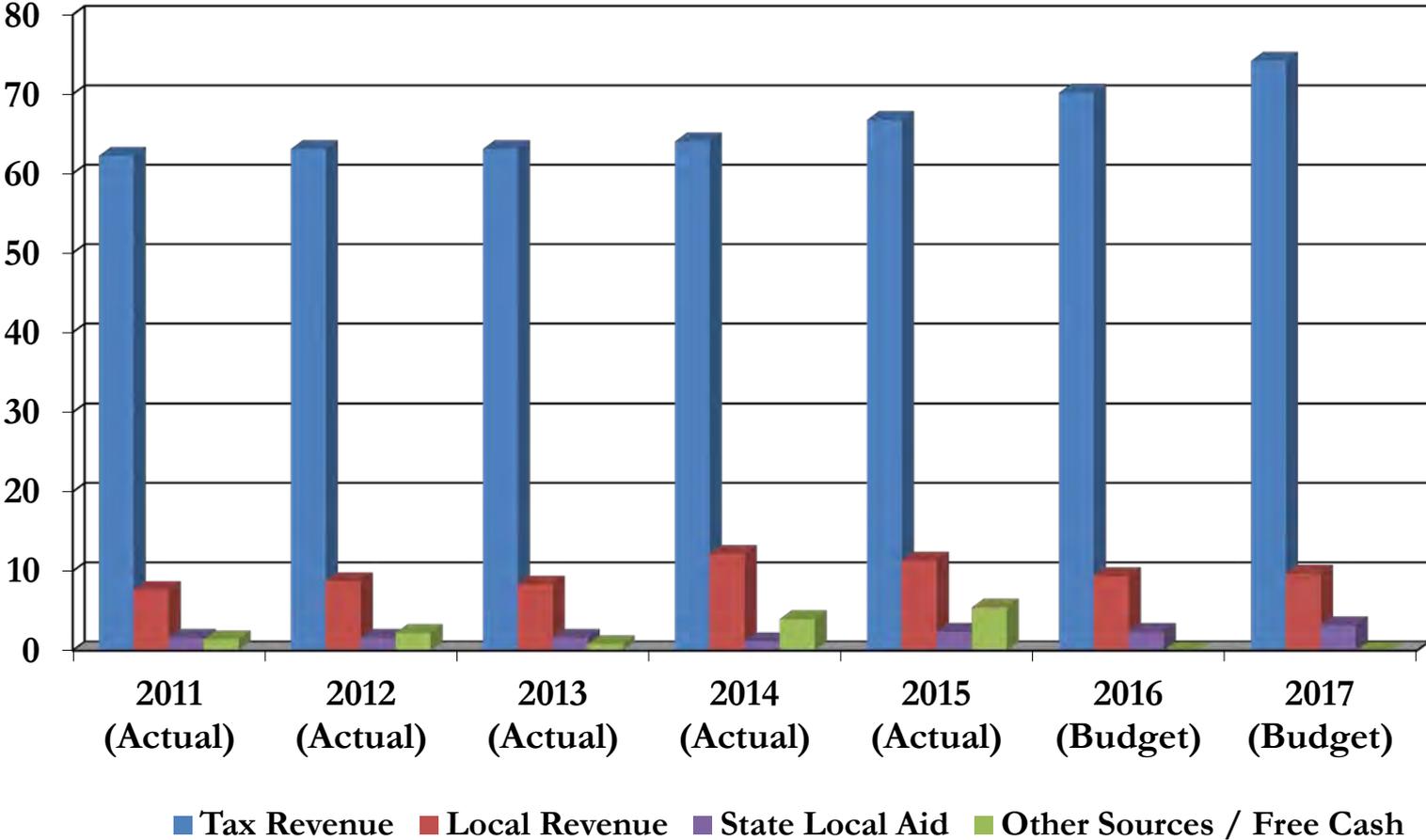


**\$86,843,248**

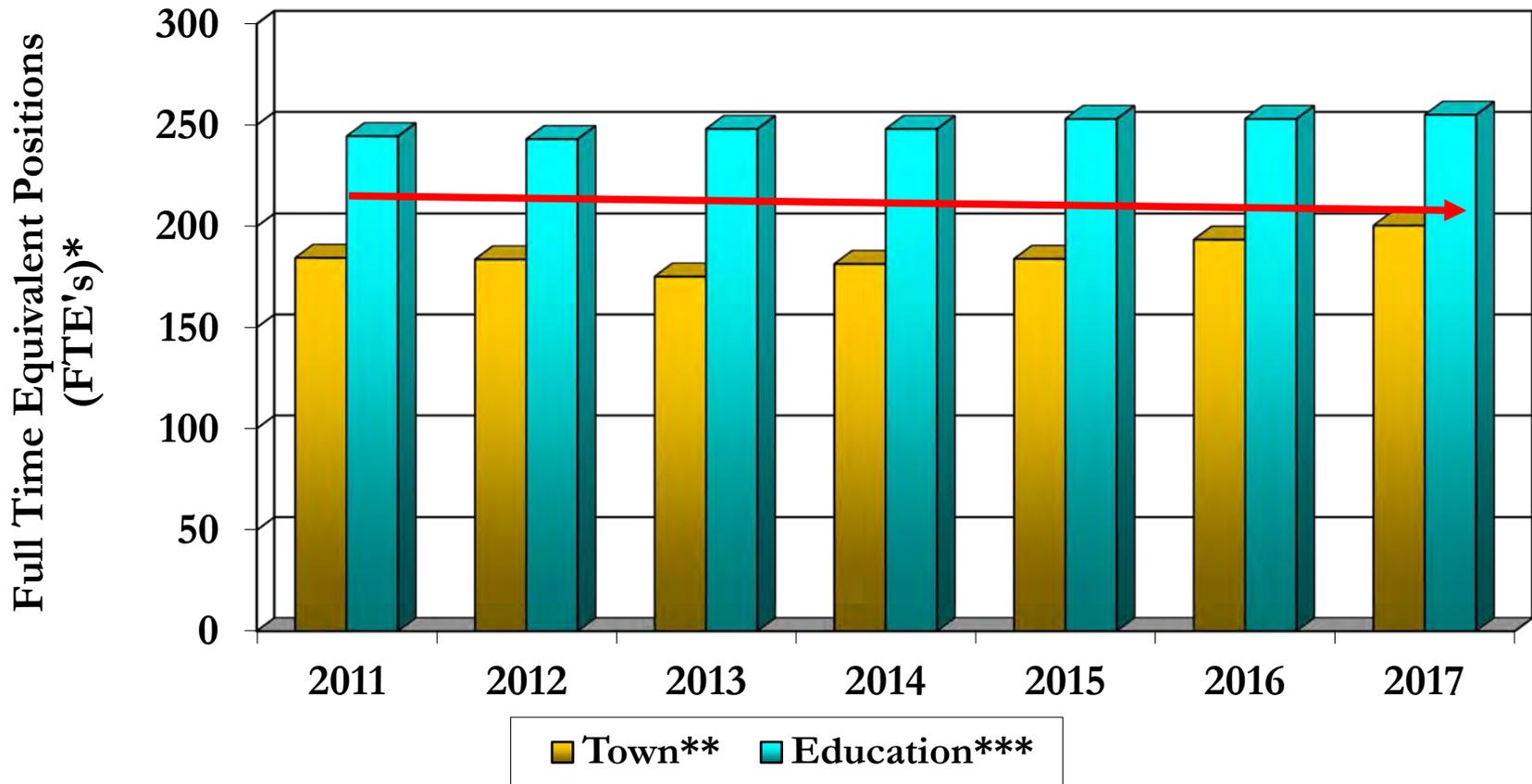
# Town Expenses, Salaries FY 2013-2017



# General Fund Revenue FY 2011-2017



# General Fund Personnel History FY 2011-2017



\*Full Time Equivalent Calculation = 33-40 Hrs 1.0; 20-32 Hrs 0.50; Seasonal = 0.25

\*\*For comparative purposes, Town Personnel History does not include Our Island Home

\*\*\* Education Personnel History includes Community School Employees

## Libby Gibson

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**From:** Paula Leary  
**Sent:** Friday, December 11, 2015 8:22 AM  
**To:** Libby Gibson  
**Subject:** RE: BOS - Fireworks

Good morning - I wasn't sure if you wanted me to respond to Scott or not, but feel free to forward this to him.

Per Emergency Management the NRTA has provided additional bus service to Surfside Beach on July 4<sup>th</sup> from 3-6 pm the last few years. Last year because of the amount of people going to and coming from the beach we added an extra bus at noon or 1:00. This provides 20 minute service instead of the scheduled 40 minutes. With the issues at the beach parking lot, the loading time with so many people and traffic I don't think it could be done in any less time with 2 buses. I could check but I suspect we are loading and going on both ends on no real schedule. The buses we operate to the beach are not the buses we use for the fireworks (too large for that route).

The other issues for the NRTA are resources - equipment and drivers. We don't really have "extra" buses to add service. The additional beach and fireworks service is always contingent on buses being available, we can't guarantee in advance that the equipment will be available. Having enough drivers for additional service is an issue. Last year we carried 5,600 (almost double what we carry on a normal day in July) on July 4<sup>th</sup> - with most of this ridership coming from our regular routes.

I'm happy to talk more about this with whomever would want/need more information. I'd like to be included in any upcoming meetings that transportation will be discussed.

Paula Leary  
NRTA Administrator  
3 East Chestnut Street  
Nantucket, MA 02554  
(508) 325-9571  
(508) 325-0788 (fax)  
[nrta@nantucket-ma.gov](mailto:nrta@nantucket-ma.gov)  
[www.nrtawave.com](http://www.nrtawave.com)

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**From:** Libby Gibson  
**Sent:** Wednesday, December 09, 2015 3:34 PM  
**To:** Paula Leary <[nrta@nantucket-ma.gov](mailto:nrta@nantucket-ma.gov)>  
**Subject:** FW: BOS - Fireworks

C. Elizabeth Gibson  
Town Manager  
Town of Nantucket  
(508) 228-7255

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**From:** Libby Gibson  
**Sent:** Wednesday, December 09, 2015 3:29 PM  
**To:** 'Scott Thomas'  
**Subject:** RE: BOS - Fireworks

9:14 AM

12/20/2015 9:14 AM

Scott – I apologize for the delay in response. Thank you for taking the time to share your thoughts and ideas, much appreciated. Much of what you list out has been pretty thoroughly reviewed already (**see below**) but we can certainly review it again at the Jan 6 BOS meeting.

C. Elizabeth Gibson  
Town Manager  
Town of Nantucket  
(508) 228-7255

**From:** Scott Thomas [<mailto:management@nantucketinn.net>]

**Sent:** Thursday, December 03, 2015 1:39 PM

**To:** Libby Gibson

**Subject:** BOS - Fireworks

Dear Libby,

I wanted to take a moment to follow up on Chairman DeCosta's challenge to me to bring forth other options for the July 4<sup>th</sup> dilemma. I am writing to you in hopes that you can share my thoughts with all the decision makers.

I think the overall consensus of the audience was that we recognize that the beach party is a problem that we all want to see remedied. But that doing so at the expense of our traditional Independence Day activities is detrimental to the wrong group of people. And that while we recognize the manpower issue faced by Chief Pittman, that there should be other options brainstormed and considered before taking such dramatic action.

Here are just a few suggestions that a group of us discussed in the lobby and the parking lot – along with a few others.

- Forming a **citizens** workgroup to investigate this issue prior to the January 6 meeting – VSC Advisory, boat representatives, Surfside Assoc, lodging, merchants, ASAP, road race organizers **An investigation isn't so much needed as a resolution(s) -- we already know what the problems are. The holiday first of all, the straightforward access to the beaches is another, easy transportation to the island is yet another and easy access to alcoholic beverages is yet the biggest driver. When you have a crowd of 7,000 people actively drinking you would need over one hundred police officers to even consider effectively breaking it up and enforcing the public consumption laws, etc. The number of officers is not available.**
- Addressing the party issue preventatively – not day of event (social media – ASAP/Mahon About Town/Blackbook; prevent under-age intoxication and eliminate the need for police “baby-sitting”) **This is in the works, now; the police “baby-sitting” can only be eliminated if there is no need for it, which I'm not sure we'll know until the day of.**
- Addressing party issues preventively at point of arrival – confiscate alcohol from under-aged persons at the ferry dock in Nantucket **This will take a concerted effort by the Nantucket Police and would require deploying several officers from where the beach party problem is to both (?) ferry docks. There is a lack of personnel to do this in a meaningful way. Also, rarely does an underage person actually carry the liquor off the boat or directly to the beach for that matter. Usually it is being carried by the two 21 year olds while the four 19 year olds (or younger) carry the ice and the beach bags, etc.**
- Contacting event organizers (Boston Barstool, Jack Wills) **Good idea, already being planned, although “Barstool Bob” claims not to have any involvement anymore and Jack Wills was nowhere around last year.**
- Use of Sheriff Department (perhaps deputized citizens) to assist with traffic control issues/private party details to free up police officers **The Sheriff has limited staff and they are not trained to handle private party details – especially in the event of an issue; traffic control, possibly if the individuals have the proper training. The Town becomes responsible for any actions taken by individuals it tasks with any of these duties.**

- Requesting ABCC, NFD, Coast Guard to assist at Nobadeer Beach **The ABCC has no jurisdiction at Nobadeer since there are no licensed establishments involved in this. The USCG has no jurisdiction and is a water resource -- we don't have any problems with people in the water, it is the beach that is the problem. The NFD will be deployed to the extent possible without compromising their required roles elsewhere during the Fourth.**
- Requesting assistance from the airport commission as they may have authority to control access to Nobadeer Beach **They do provide assistance with trash and porta-potties. If we restrict access to Nobadeer then we have happen what happened a couple years ago, they go to another beach. Then we are spread out over two or even three beaches, causing further problems.**
- Chief Pittman stated that his force can only work 18 hour days and that his force is needed on July 4<sup>th</sup> from as early as 6AM for Main Street parking control until 10PM at the end of the fireworks – a 16 hour period. **Some of the staff is just coming off a 12 hour shift when the day starts and some will be working until 7:00 AM the next morning. We can't stretch them over the 16 hour period you mention. We still have to staff the shifts. Really the only extra bodies that we can gather are the officers on their regular day off, those that work in Monday thru Friday positions such as detectives and those that have already worked 12 hours on their regular shift, we can hold them over or bring them in for an additional six hours. Monday, July 4<sup>th</sup> is a blackout date by contract which means that no officer is allowed to take benefit time off on that date. The rest of the weekend however is not.**
- The Nantucket community raised the funds to hold the fireworks when the town was not able. It seems reasonable that the community would raise funds to support the added expense of curtailing the Nobadeer party. **Not sure what you are suggesting here but money is not the main issue. The State Police pay for their own officers and transportation. We already use everybody we have and have done so for the past half dozen years so our costs are already figured into the budget. What we need additional funds for and one of the problems that conflicts with the fireworks is the need for additional transportation to and from Nobadeer. We pay for an extra bus to run but the bus stops at 5:00 PM because they have to deploy for the fireworks pickups and really we need two or three buses or more buses than we have been getting to keep up with the demand. Absent buses, the intoxicated all walk the shortest route to their destination (often through the yards of the residents in Surfside - leaving behind trash and other unpleasant items).**

I certainly don't mean to minimize any of your suggestions but we have exhausted all of these which is why we've come to the recommendation of holding the fireworks on a different day. If that does not end up getting approved by the Board, we'll have to do the best we can and hope that some of the actions being taken will at least help.

We recognize that not all, or perhaps any, of these suggestions are feasible but that if the town, the police department and the community work together – proactively, not reactively – we can solve this issue together.

Thank you and happy Stroll.

Scott Thomas

SCOTT THOMAS  
General Manager  
Nantucket Inn  
508 228-6900 ext 502

## Libby Gibson

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**From:** Erika Mooney  
**Sent:** Monday, December 14, 2015 3:53 PM  
**To:** Bob DeCosta; Dawn Hill Holdgate; Matt Fee; Rick Atherton; Tobias Glidden  
**Cc:** Libby Gibson; Gregg Tivnan; William Pittman  
**Subject:** FW: Change of Fireworks Date 2016

FYI - please see below.

Erika

Erika D. Mooney  
Project Administrator  
Town of Nantucket  
16 Broad Street  
Nantucket MA 02554  
508-228-7266  
508-228-7272 Fax

-----Original Message-----

**From:** Lydia Graves [<mailto:lbgravesii@comcast.net>]  
**Sent:** Monday, December 14, 2015 1:08 PM  
**To:** Erika Mooney  
**Subject:** Change of Fireworks Date 2016

To the Board,

I am writing to strenuously object to the idea being put forth by the fire department to change the date of the fireworks from Independence Day to July 2 in 2016. Not only do I think this idea is ridiculous in general I also think that making a decision like that for the 2016 season will cause a great deal of hardship for islanders, visitors and part-timers alike. Many people, like myself have already made their July 4 vacation plans which absolutely include the fireworks on that day. I understand that they do get moved due to weather considerations but when that happens it is to the day after, not two days before. My family, which is originally from Nantucket, having been coming as summer residents, paying taxes, since the 1800's. We invite friends down specifically for the 4th activities. Many have to put in to their work months in advance to get the days off, which they have already done for 2016. Changing the fireworks will mean that many of my guests will miss them which means that several of them will decide not to come. This will make me think about whether it is worth our coming down at that time. We are not the only people who feel this way, I'm sure.

On the larger point, not just as an inconvenience to the people who find the island a beautiful place to spend their money, fireworks are part of a celebration for a specific holiday. They are not just a "party favor". They represent the struggle our country has gone through at the beginning and now.

Capriciously changing the date to display them to accommodate a beach party attended by ill mannered slobs who have no connection to the island is a travesty. If the sub-text for the police's request is to get approval to shut down the Jam, then in my opinion it worked. Shut it down. There is no reason to allow it to happen. Using town resources to allow 7,000 drunk teenagers to congregate and throw trash on the beach is complete hypocrisy especially in this day and age. I attended these jams once or twice when I was young but it was nothing like what I hear it is now. A young friend of ours attended a couple of years ago and was disgusted at the way people treated the beach. Spend some of the money you will save in

4:33 PM

12/14/2015 4:33 PM

clean-up costs to get the word out that it isn't happening this year or any other. If the word is disseminated easily that the party exists, it should not be that hard to use the same process to make sure the crowds won't come down.

To sum up: Moving the date of the fireworks to accommodate a drunk fest is ridiculous. Threatening to do so with so little notice is very bad for business.

Thank you for your consideration in this matter.

Regards,

Lydia Graves

## Libby Gibson

---

**From:** Pittman, William (pd520) [wpittman@police.nantucket-ma.gov]  
**Sent:** Thursday, October 29, 2015 9:32 AM  
**To:** Libby Gibson; Kate Hamilton  
**Cc:** Amy Baxter; Paul Rhude; Macvicar, Angus (pd179)  
**Subject:** July 4th

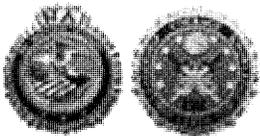
Libby,

I just wanted to follow-up on my comments to the BOS last night regarding the July 4<sup>th</sup> holiday. We have come to the conclusion that it would be in the best interests of public safety if we could possibly move the Town's July 4<sup>th</sup> activities to another day on the holiday weekend in 2016. Selectmen Holdgate even suggested Saturday. The problem is that each of the events that are traditionally held on July 4<sup>th</sup> require the assistance of the NPD. First there is the downtown main street events. These require the midnight shift to close off parking on Main Street prior to 6:00 AM each day. Then we have to assign staff to police the event. Last year we cut this event short on staffing and the result was the inability to address the water balloon assault that broke out after the water fight. Then we need to address the Nobadeer Beach crowd. As you know we have been directed by the Board of Selectmen to make that event go away. That will require not only the assistance of the Mass. State Police but also the Nantucket Fire Dept. and everybody on the NPD that is not assigned to handle calls for service that day (which in itself tends to be fairly heavy). Then, we need to provide traffic control and security for the fireworks which itself requires a large number of staff to handle.

We have come to the conclusion that even with the assistance of the State Police we will be unable to handle all three details to the extent that public safety can be assured. It is also our conclusion that as much as we would like the Nobadeer Beach event to go away that will not happen without us being able to direct all of our resources at it. Traditionally, Nobadeer Beach always happens on the 4<sup>th</sup> of July regardless of what day of the week the 4<sup>th</sup> falls on. For that reason, we feel that the Town should entertain the idea of moving the Downtown Main Street event and the Fireworks to another night that weekend. I would like us to meet sooner rather than later to discuss this and possibly come to a conclusion so we can factor the decision into our planning for Nobadeer Beach.

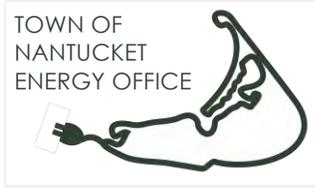
### **William J. Pittman** **Chief of Police**

Nantucket Police Department  
4 Fairgrounds Road  
Nantucket, MA 02554  
Tel: (508) 228-1212  
Fax: (508) 228-7246



PLEASE NOTE MY NEW E-MAIL ADDRESS: [wpittman@police.nantucket-ma.gov](mailto:wpittman@police.nantucket-ma.gov)

This electronic message and any files attached hereto contain confidential or privileged information from the Nantucket Police Department. This information is intended to be for the use of individuals or entities to whom it is addressed only. If you are not the intended recipient, be aware that any disclosure, copying, distribution or use of the contents of this information is strictly prohibited. If you have received this transmission in error, please notify the sender by reply e-mail and destroy all copies of this message.



**MEMORANDUM**

TO: Libby Gibson, Town Manager  
 FROM: Lauren Sinatra, Energy Coordinator  
 RE: Update of Nantucket Energy Office Activities: Second Quarter of FY2016  
 DATE: December 24, 2015

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This memorandum provides a brief summary update of the activities of the Energy Office through the second quarter of FY2016 to date. The Energy Office will be prepared to discuss these items with the Board of Selectmen on January 6, 2016.

**Announcements**

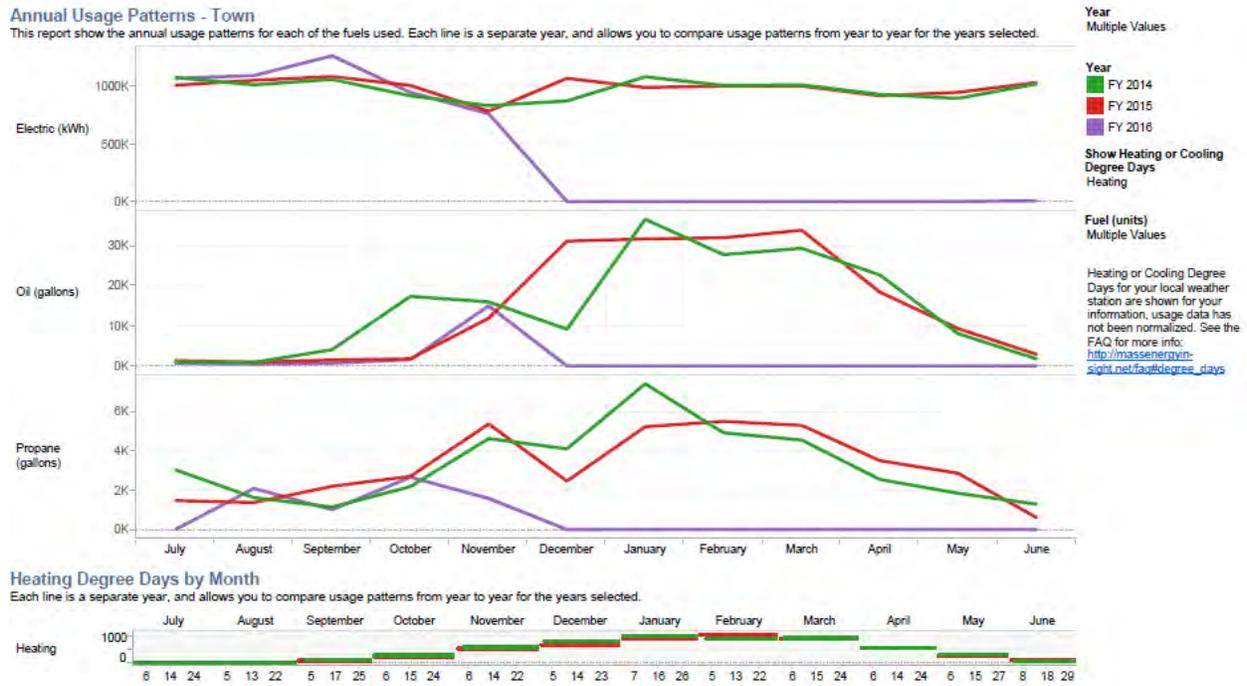
- Due to the unseasonably warm late fall/winter weather, a natural gas surplus has impacted electric rates to the point that current prices are 35% below originally forecasted. Now is the time to lock in longer term electric supply contract prices.
- Most competitive electricity supply options available at present to Nantucket residents:
  - Ambit Energy (9.25¢/kWh for 12 months. No cancellation fee.)
  - Conedison (9.95¢/kWh for 12 months)
  - Think Energy—Suez (8.4¢/kWh for 12 months)

**Municipal Facilities: Energy Efficiency and Conservation Efforts**

1. Monitoring of Town energy consumption. Oil, propane, and electricity consumption data for the month of December has not yet been received. Therefore, the following table compares energy consumption by municipal facilities and equipment during as of **November 30** of fiscal years 2015 and 2016:

	<b>FY2015</b>	<b>FY2016</b>	<b>(=/-)%</b>
Electricity, kWh	4,954,893	5,154,350	<b>+3.86%</b>
Heating oil, gallons	17,592	18,596	<b>+5.4%</b>
Propane, gallons	13,189	7,380	<b>-44%</b>

Source: MassEnergy Insight data totals as of **November 30, 2015**, based upon National Grid data (automatically updated in software on a monthly basis), and quarterly delivery records supplied by Yates Gas and Harbor Fuel (input manually by Energy Coordinator).



2. Energy assessments and energy efficiency upgrades at Municipal facilities and Town-owned residences

***Municipal Facilities***

The Energy Office continues to encourage and offer support for the implementation of several energy saving (incentivized) measures and upgrades at:

- Planning and Land Use Services (2 Fairgrounds Road)
  - Installation of wifi thermostats was completed on 12/22/15. Estimated to save approximately \$9,400/year with less than a 2 year payback (ROI). The project proposal is attached.
- Surfside Wastewater Treatment Plant: Sludge Blower, Draft pumps, Aeration Blower, LEAP MBR
  - Pricing proposals due in a few weeks.

Additionally, the Energy Office staff is presently working with the Wastewater Treatment Plant's Chief Operator to apply for a **solar hot water feasibility study grant**, offered through the Massachusetts Clean Energy Center. The grant will fund a \$5,000 technical study, in exchange for a 2% cost share (\$250) from the Town. If the study identifies that a solar hot water project is financially viable, the Town will be eligible for a second round of construction funding (up to 65% of total cost).

***Municipal Staff Housing***

The Energy Office staff has worked with the DPW to coordinate the weatherization of municipal staff housing on Hillside Avenue and 39 Washington, which will decrease the energy bills and improve the general comfort of the staff tenants.

**3. Electric Vehicle Grant**

On November 24, 2015 the Energy Office was awarded a \$5,000 grant from the Massachusetts Department of Environmental Protection (MassDEP) to apply towards a purchase of a new, Plug-in Hybrid Electric Vehicle (PHEV) through the Massachusetts Electric Vehicle Incentive Program (MassEVIP). This electric vehicle will be the first among the Town's municipal fleet and will be used primarily by the Director of Public Health for inspections and administrative tasks. The electric vehicle will be parked in a designated parking spot behind the Finance Building on 37 Washington Street, adjacent to the electric vehicle charging stations.

The balance (~\$25,000) will be funded by the Cape & Islands Green Program (of the Cape & Island License Plate Fund), which supports "environmentally compatible economic development programs" and "focuses on the environmental protection of Cape Cod & Islands by engaging the community in best green practices." The Energy Office contends that by adding an emissions-free, electric vehicle to the municipal fleet, the Town would be *leading by example* to promote environmentally responsible, best green practices. The Town would be participating in the State's MassEVIP Program, which the Commonwealth launched to demonstrate its commitment to increasing the deployment of EVs with the aim of giving these advanced technology vehicles higher visibility across the state.

The Town is seeking to add an electric vehicle to the municipal fleet:

- To increase local air-quality: EVs not only decrease greenhouse gas (GHG) emissions but also significantly reduce smog forming emissions. Even when EVs are charged with electricity generated from fossil fuels, less greenhouse gases (GHGs) are emitted than conventional gasoline-fueled vehicles. The Northeast power grid is more reliant on natural gas and renewable energy, so electricity generated in our region is among the cleanest in the country.
- Since electricity is generated almost entirely by domestic sources, driving EVs reduces our dependence on foreign oil imports. Electricity costs less than petroleum and is subject to less price volatility, so EV owners can benefit from reliable and less expensive sources of energy to power their vehicles.
- Over the lifetime of an EV, the Town can save thousands of dollars in fuel costs (this is money that can instead be diverted to local projects and development programs).

#### 4. LED Streetlamps

The Town's nearly 200 decorative streetlamps continue to be costly to maintain. In 2014, nine LED streetlamp retrofit kits were installed, which have so far to date proven reliable and maintenance free. Based on the positive feedback received from the mid-island Stop and Shop's decorative, LED parking lot lighting, the Energy Office staff is investigating the costs of a complete conversion project. The LED streetlamp manufacturer, Spring City, has offered to provide two sample luminaires (in both traditional lantern and "main street" cylindrical styles) for a pilot installation at no cost.

Utility incentives and possible grant funds may be applicable for this project, depending on the color temperature and lumen output of the LED lighting selected.

### **Competitive Electric Supply Procurement**

#### 1. Rebidding Municipal Electric Supply

Since the Town of Nantucket engaged Titan Energy as an electricity supply broker in 2012, over **\$717,000** in actual savings against National Grid's standard generation rates have been achieved. When the Town's current electric supply contract was executed last November, national and regional energy markets were in the midst of unprecedented volatility, dating back to the end of 2013 and the now "forgotten" Polar Vortex of 2014. The most recent electricity supply contract, despite price escalation and abnormal weather patterns, has performed well since its inception.

The unseasonably warm weather of this fall and winter have created a different kind of volatility; where long term energy supply contracts are very much in the buyer's favor:

- Wholesale energy prices are down roughly 35% within the last 3 months
- Natural gas prices (the major driver of electricity rates in New England) are down over 50% from this time last year
- The winter "fear premium" associated with 2014-2015 has essentially dissipated due to the warmer-than-average start to the heating season.

Per the advice of Titan Energy, it is our recommendation that the Town authorize Titan to issue an RFP for electricity supply services to evaluate our pricing options and execute a contract renewal (locking into current low prices), if appropriate.

#### 2. Shopping for Competitive Supply Tool (Residential)

The Department of Public Utilities is in the process of creating an online tool for ratepayers to shop for competitive electric supply plans. However, there is currently no information about the competitive supply products specifically available to the ratepayers of National Grid's Nantucket Electric Company service territory, only those offered to National Grid's Massachusetts Electric Company service territory.

The Energy Office submitted the attached letter to the DPU, which describes the issues currently facing Nantucket ratepayers, i.e. limited supplier options and no clear information indicating which National Grid suppliers are also registered to sell products on Nantucket. These are two very compelling reasons for the Town to continue to pursue Municipal Aggregation. But, until then, getting “Competitive Supply Products in Nantucket Electric Territory” to be included in the DPU’s online search tool is something the Energy Office will continue to pursue and monitor.

### **Airport Solar PV Investigation**

The Energy Office, with support from Town Administration and the Nantucket Memorial Airport, continues to investigate the feasibility of developing 2-Megawatts of solar PV on Airport land previously identified by the “Carbon Neutral Airport Program (the CNA Program).” A representative from SunEdison will be present to discuss project updates and answer questions from the Selectmen.

Since the last quarterly energy update, the Energy Office is pleased to report that on December 18, 2015, Congress voted to extend the 30% Investment Tax Credit, ensuring the project’s optimal financial projections without the pressure of energizing the system by December 31, 2016 to qualify for the deadline.

The Energy Office has also recently identified a problem that exists in the state’s net-metering cap allocation database. Specifically, that off-island projects are being counted against (deducted from) Nantucket’s separate net-metering cap allocation. The Energy Office also identified that excess capacity can be claimed from the defunct Bartlett Farm wind turbine, which is still listed as active in the ACA database. Energy Office staff will continue to monitor the situation for resolution.

### **Municipal Energy Policies**

#### **1. Requiring Home Energy Assessments as part of a Municipal Regulation to Control Air Pollution**

The Energy Office staff is working with the Town’s Public Health Director to investigate the feasibility of requiring homes on septic systems to receive a no-cost, Mass Save home energy assessment upon a property transfer or renovation. According to MGL Chapter 111, Section 31C, a Board of Health may enact regulations to control air pollution if the regulation serves to prevent:

- 1) Nuisance to members of the town
- 2) Danger to the public health of the town; or
- 3) Detriment to public comfort and convenience in the Town

There are several reasons why the Energy Office and Health Department believe that a municipal policy to help reduce island-wide energy consumption may comply with the aforementioned regulations. Nantucket’s demand for electricity is growing more than five times the statewide average, with 78% of Nantucket’s “peak load” being attributable to the residential sector. Through the Mass Save program, a

residence would immediately be outfitted with instant saving measures (such as LED bulbs) and receive a customized report with recommendations on increasing energy efficiency for no-cost. Not only would this energy audit be informational and helpful for new home buyers, but it would help increase the overall energy efficiency of the island. More efficient homes would:

- Use less electricity, propane and oil, resulting in less emissions and better air quality. Reduced consumption of liquid fuels will also result in less fuel deliveries barged to the island, which is a significant source of local air pollution.
- Help to reduce the need for back-up diesel generation during peak load events, which would cause a public nuisance and increase air pollution in the historic downtown district (National Grid's roll-on diesel generators would be connected to the Candle Street substation)
- Defer the need for a 3<sup>rd</sup> undersea cable, which could impose an extra surcharge on all rate payers
- Lessen unnecessarily high energy costs, especially for tenants who are often times at the mercy of landlords to initiate or install energy efficient services and equipment.

Perhaps even more important to preventing danger to public health is the fact that an energy assessment includes a **combustion safety test**, which ensures that appliances such as heating systems, hot water heaters and stoves are operating safely and efficiently, without an excessive buildup of carbon monoxide. Discussions about the feasibility of this policy are ongoing and subject to input by the Board of Selectmen, Town Administration, National Grid, Town Counsel, and the general public.

## 2. Energy Efficient IT Settings

The Energy Office is presently working with the Town IT Department to identify and implement a "Group Policy" that will centralize control of municipal employee computer monitors according to the certain energy saving settings.

## **Community-Wide Energy Initiatives**

### 1. Community Choice Aggregation (CCA)/Municipal Aggregation

The Town of Nantucket issued an RFP for municipal electric aggregation consulting services in October and received three proposals by the due date on December-18<sup>th</sup>. A selection committee has been formed, comprised of Town staff and two resident taxpayers, including: Heidi Bauer (Procurement Officer), Lauren Sinatra (Energy Coordinator), Noah Karberg (Airport Environmental Coordinator), Peter McEachern, and Peter Kaiser.

The committee will begin to evaluate the proposals during the week of January 4, 2016 and expects to make a determination by the end of January.

## 2. Mass Save Energy Efficiency Program: Residential & Business Energy Assessments

In the calendar year to date, the Energy Office has worked with National Grid and Mass Save to publicize, schedule and arrange no-cost home energy assessments for **544** Nantucket households during five separately coordinated "Mass Save Home Energy Assessment Week(s)," which puts us well above our goal of 400 assessments for the calendar year. A goal of 450 has been set for 2016. Mass Save will not return again until the week of March 14, 2016, at which point energy audit weeks will take place every other month (6 weekly visits per year).

- In 2015:
  - **544 Home Energy Assessments were performed**
  - 24,569 LEDs installed
  - 201 wifi thermostats (+\$200 value)
  - 97 dehumidifiers (+\$200 value)
  - 60 Hybrid electric Heat-pump Water Heaters (\$3,000 value)
  - 986 Powerstrips installed
  - 986 Programmable thermostats installed
  - 691 Low-flow showerheads installed
  - 151 Insulation contracts and 155 Air Sealing contracts issued
- The next scheduled residential and small business energy audits will take place:
  - March 14-18, 2016
  - May 9-13, 2016

## 3. National Grid's "Nantucket Non Wires Alternative Pilot" Filing to Dept. of Public Utilities

National Grid is planning to file a proposal for a Non-Wires Alternative (NWA) demonstration project on Nantucket with the Massachusetts Department of Public Utilities. The NWA Pilot encompasses the deployment and testing of distributed energy resources such as energy efficiency, demand response, renewable energy, energy storage, and volt VAR optimization, as well as targeted outreach to help educate and encourage energy efficient habits with customers. The NWA Pilot is intended to test and evaluate customer actions and behavior with the goal of achieving a reduction in peak loads of the Company's distribution equipment in specific geographic areas as approved by the Department.

Lindsay Foley, NWA Project Manager from National Grid, will be in attendance at the January 6, 2016 Board of Selectmen meeting to deliver a brief presentation and to answer questions.

#### 4. Local Contractor Energy Education Series

The Energy Office is collaborating with National Grid and the Nantucket Builders Association to coordinate and host three workshops on various energy topics, all of which will be accredited for Construction Supervisor License continuing education credits:

- January 13, 2016: **“National Grid Presents: Electric Service Customer Fulfillment”**
- February 10, 2016: **“The Changing Energy Code (IECC2015) and the new Stretch Code”**
- March 9, 2016: **“Mass Save New Construction Program”**

The workshops are being sponsored by National Grid as part of the “Non Wires Alternative” project as a means to increase contractor compliance with the changing energy codes.

#### 5. WPI Project – “Analyzing Energy Awareness, Attitudes, and Alliances on Nantucket”

From October 26 until mid-December, the Energy Office sponsored and served as project advisor to three undergraduate engineering students from Worcester Polytechnic Institute. This project was the fifth research project that the Energy Office has sponsored in recent years, focused on local energy issues.

The purpose of this year’s project was for the team to provide key research, recommendations, and deliverables—based on local interviews, surveys, and lessons learned from the City of Worcester’s smart grid pilot project and local Sustainability Hub—to support the Town of Nantucket Energy Office and National Grid in their efforts to increase the public’s energy awareness and participation in local energy programs designed to save Nantucket residents and businesses energy and energy-related costs, such as Municipal Aggregation and the “Non-Wires Alternative” (NWA) pilot project to reduce summer peak load and defer the need for a third undersea transmission cable.

**General findings:** From the results of a survey of 194 year-round residents and 88 seasonal residents, the team concluded:

- That the majority of the population on Nantucket is aware of how the island receives its electricity, but is generally not aware of the surcharges that pay for the cables or what the major factors are that increase electricity demand in the summer.
- Seasonal residents are generally less aware of these topics than year-round residents.
- The majority of the population on Nantucket is interested in participating in different energy saving programs.
- Those who are opposed to participating in such programs may be more interested if they were better informed (less misinformed).

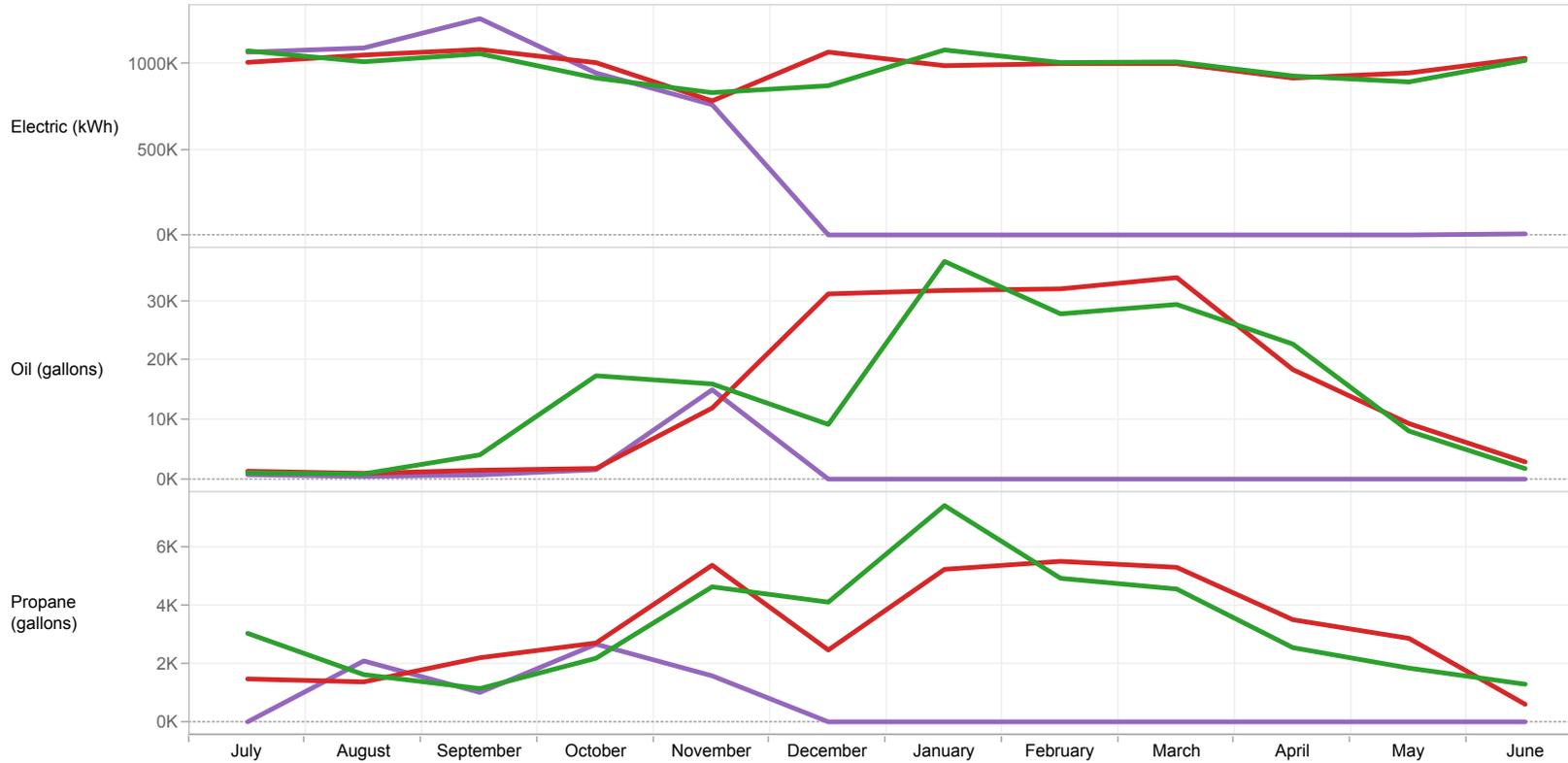
**Key findings and recommendations:**

- Continue to pursue municipal aggregation. **95% were in favor** if they could achieve cost savings and/or green power supply.

- Continue to pursue a community shared solar project at the airport. **85% of those surveyed expressed interest** in purchasing a portion of their power generated from this project.
- Explore setting up an energy efficiency fund with a local non-profit (Community Foundation) to help fund energy efficiency or renewable energy projects for residents or businesses in the community.
- Public awareness of the Mass Save program has risen from **48% in 2012 to 79% in 2015!**. Continue to collaborate with National Grid to promote the program locally.

## Annual Usage Patterns - Town

This report shows the annual usage patterns for each of the fuels used. Each line is a separate year, and allows you to compare usage patterns from year to year for the years selected.



**Year**  
Multiple Values

**Year**  
FY 2014  
FY 2015  
FY 2016

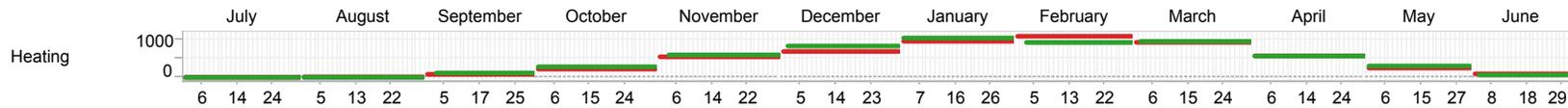
**Show Heating or Cooling Degree Days**  
Heating

**Fuel (units)**  
Multiple Values

Heating or Cooling Degree Days for your local weather station are shown for your information, usage data has not been normalized. See the FAQ for more info: [http://massenergyinsight.net/faq#degree\\_days](http://massenergyinsight.net/faq#degree_days)

## Heating Degree Days by Month

Each line is a separate year, and allows you to compare usage patterns from year to year for the years selected.



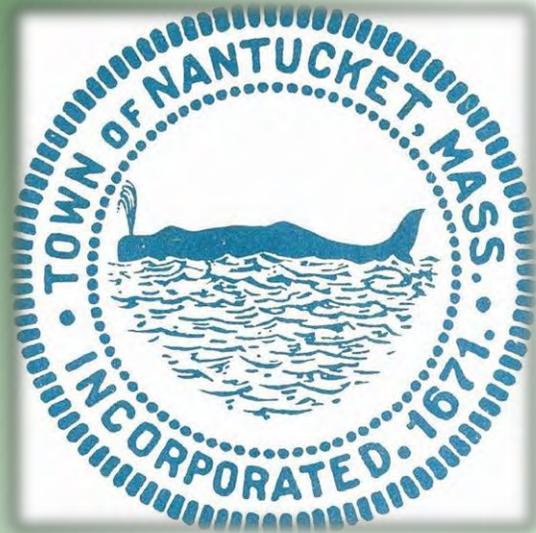
**NOVEMBER 24, 2015**



**Presents:**

**NANTUCKET ISLAND  
2 FAIRGROUNDS ROAD  
ENERGY CONSERVATION  
MEASURES**

**PROJECT PROPOSAL**



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# Table of Contents

- Executive Summary..... 4
- Estimated Savings Graphs..... 5
- Baseline ..... 6
  - Audit types ..... 6
- Energy Conservation Measures ..... 7
  - EMS – Temperature Setback..... 7
- Proposed Scope of Work ..... 8
  - General Scope ..... 8
- General Qualifications/Exclusions ..... 9
- Appendix “A” – Calculations ..... 10
- Appendix “B” – National Grid Minimum Requirements Document ..... 11
- Appendix “C” – National Grid Project Incentive Preapproval Documents ..... 14
- Appendix “D” – Cut Sheets ..... 16

# Executive Summary

In the interest of developing a plan for general energy efficiency improvements, Northern Energy Services performed an **ASHRAE Level I** energy audit for the Town of Nantucket at their 2 Fairgrounds Road facility in Nantucket, MA, looking for potential Energy Conservation Measures (ECMs) that would benefit the facility owners. Based on our surveys, Northern Energy is pleased to recommend the following modifications with favorable payback periods to the existing building systems:

- **Energy Management System – Temperature Setback**

These were **ASHRAE Level I** walkthrough audits and only the most advantageous measures were considered for this report. This is a preliminary report only, and all costs, incentives, and savings numbers presented in this report should be considered **estimates only**. If executed, these measures could result in the savings potential enumerated below:

## Project Savings

ECM#	Energy Savings Estimate Energy Conservation Measures	Elec. Saved		Thermal	%	%
		kW	kWh/yr	ELECTRIC kWh	Elec.	Fuel
1	EMS - Temperature Setback	5	44,896	0	19.2%	0.0%
<b>TOTALS</b>		5	44,896	0	19.2%	0.0%

The resulting energy efficiency project would incur the following costs to the owner:

## Project Costs

ECM#	Energy Conservation Measures	Parts	Labor	Tax	Measure Cost
		\$	\$	\$	\$
1	EMS - Temperature Setback	\$24,342	\$12,208	\$0	\$36,550
<b>TOTALS</b>		\$24,342	\$12,208	-	\$36,550

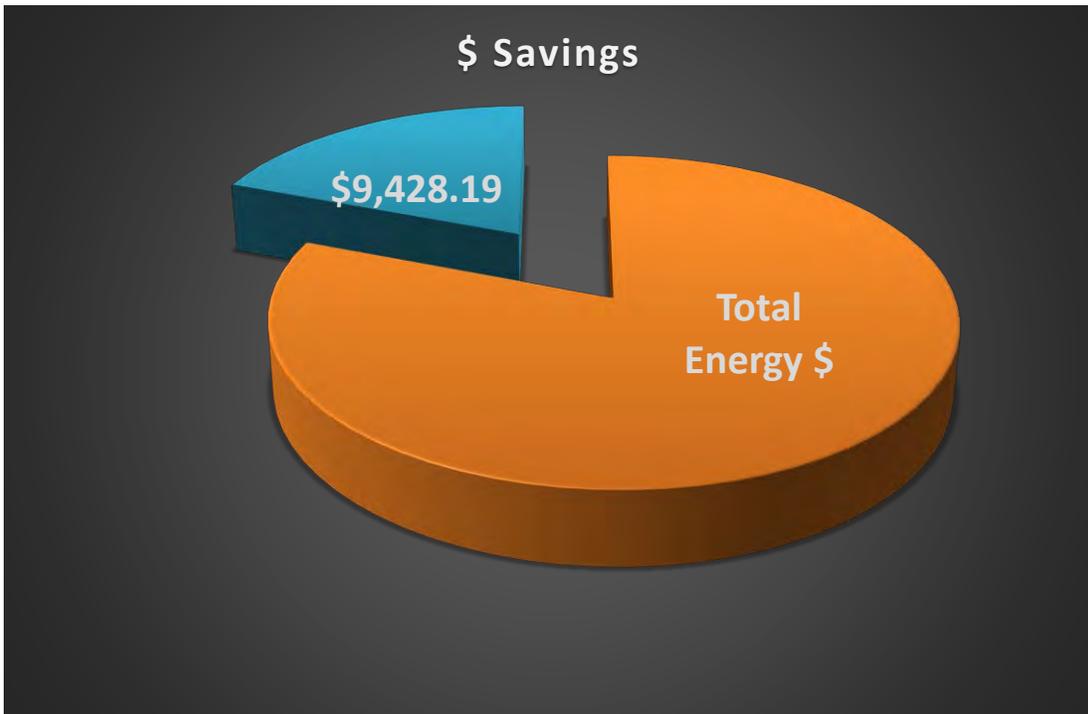
Under these conditions, the energy efficiency project would present the following payback:

## Project Overview

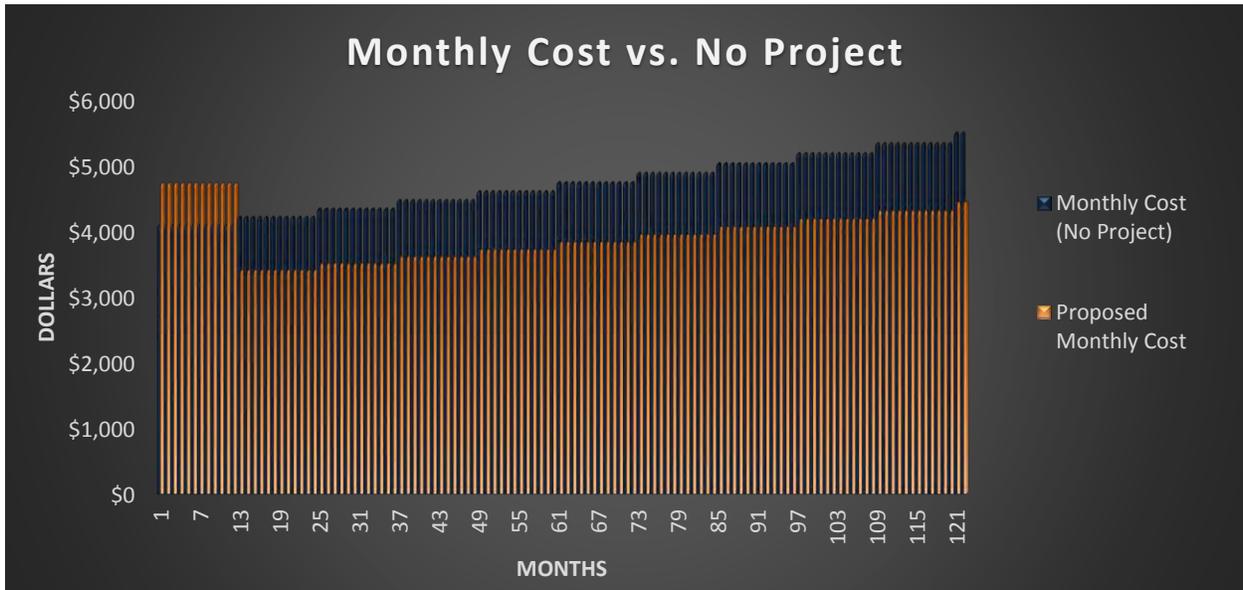
ECM#	Cost/Benefit Analysis for Energy Conservation Measures	Estimated Energy Saved	O&M	Total Estimated Savings	Measure Cost	Pre-approved NGrid Incentive	Customer Cost	ROI	Simple Payback
		\$/yr	\$/yr	\$/yr	\$/yr	\$	\$/yr		
1	EMS - Temperature Setback	\$9,428	\$0	\$9,428	\$36,550	\$19,463	\$17,087	55.2%	1.8
<b>TOTALS</b>		\$15,883	\$0	\$9,428	\$36,550	\$19,463	\$17,087	55.2%	1.8

Should the Town of Nantucket wish to proceed with the installation as presented, remaining project balance (“Measure Cost” less pre-approved National Grid incentive) would be payable Net 30 upon project completion. **No upfront cost is required.**

## Estimated Savings Graphs



Projected Energy Savings



Comparison of Future Costs - Cost of No Project vs. Cost if Project Completed

## Baseline

The savings calculations herein are based upon the building operator’s description of operating conditions. These numbers represent the **estimated** energy reduction from these conditions only. These calculations **do not include** potential variations due to changes in building occupancy, extreme weather conditions, and alterations to the building’s interior or exterior spaces, alterations to the schedule of occupants and/or equipment, or any other condition that would significantly alter building consumption from this baseline. Predicting future energy usage is complex and holistic, and as such the savings figures contained herein are estimated. Below is the billing data provided by the customer:

### 2 Fairgrounds Road Utility Data

<b>Fossil Fuel Consumption</b>		<b>Gas Therm</b>		<b>dollars</b>
<b>Electric consumption</b>	<b>233,920</b>	<b>kWh</b>	<b>\$49,123</b>	<b>dollars</b>

In lieu of complete utility cost data, a cost of \$.21/kWh was used for this proposal. Calculations for these measures are the result of an **ASHRAE LEVEL 1** energy audit. This was a free audit performed by Northern Energy Services for the customer. The conclusions contained within this report are subject to the limitations of this type of audit (See below).

### Audit types

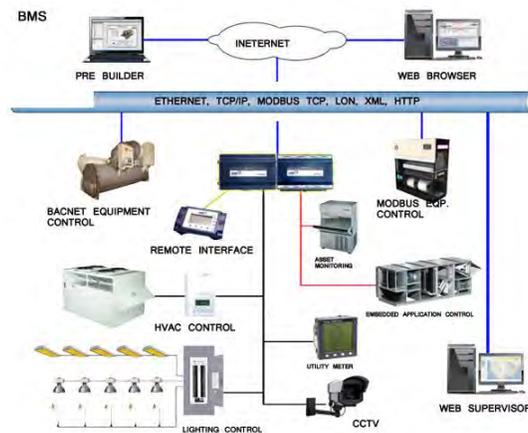
Type of Audit	Brief Description
<b>Level 1</b>	<ul style="list-style-type: none"> <li>▪ Brief on-site survey of the building</li> <li>▪ Savings and cost analysis of most obvious/advantageous Energy Conservation Measures (ECMs)</li> <li>▪ Identification of potential capital improvements meriting further consideration</li> </ul>
<b>Level 2</b>	<ul style="list-style-type: none"> <li>▪ More detailed building survey</li> <li>▪ Spot readings and metering</li> <li>▪ Breakdown of energy use</li> <li>▪ Savings and cost analysis of all ECMs</li> <li>▪ Identification of ECMs requiring more thorough data collection and analysis (Level 3)</li> </ul>
<b>Level 3</b>	<ul style="list-style-type: none"> <li>▪ Attention to capital-intensive projects identified during the Level 2 audit</li> <li>▪ More detailed field analysis</li> <li>▪ Data logging/longitudinal data collection</li> <li>▪ More rigorous engineering analysis</li> <li>▪ Cost and savings calculations with a high level of accuracy</li> </ul>

# Energy Conservation Measures

## EMS – Temperature Setback

The 2 Fairgrounds Road facility relies on electric fan-coil units and electric baseboard to meet all space heating requirements. This equipment has no over-arching control system; each unit relies on local, unitary controls. An energy management system (EMS) would offer networked accessible building controls and flexible scheduling of heating equipment. By allowing setpoint temperatures to drift during unoccupied hours, the heating loads in scheduled areas can be significantly reduced when occupant comfort is not a priority.

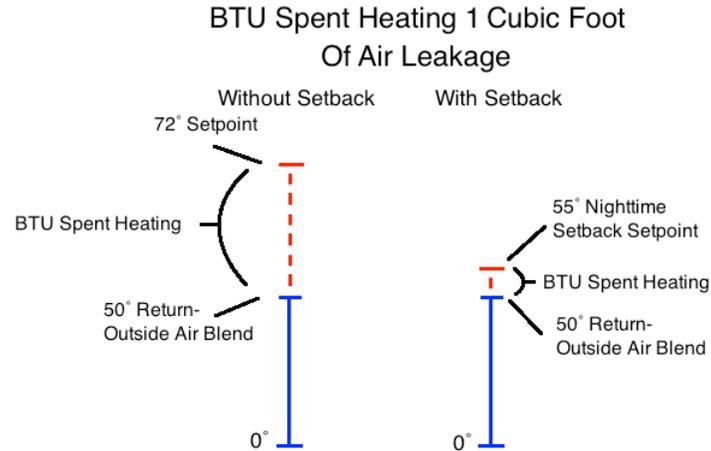
This system will not affect the temperature inside a room during occupied hours; however, it will allow the system to automatically scale down during specified periods in which occupancy is unlikely or impossible.



(Figure illustrative)

In a perfectly insulated and sealed room, EMS temperature setback would be completely unnecessary. In fact, such a space would only require cooling units, as heat-gains from occupants and plug loads would be permanently trapped within the space. However, no building is perfectly insulated and sealed. Tempered indoor air escapes and outdoor air infiltrates the space constantly. Additionally, even in tightly sealed spaces, heat is lost/gained by being transferred through the walls of the building.

Thus, the notion of temperature setback works in two ways. First, by decreasing the net temperature difference between outdoor and indoor air, temperature setback causes less heat to be lost/gained through the walls of the facility. Second, given a fixed CFM of indoor air exfiltration, setback leads to fewer BTUH being put into escaping air:



## Proposed Scope of Work

### *Existing Operation*

The building currently relies on local and unitary controls for energy management. This limits the ability of the staff to automatically schedule HVAC equipment and plan for unoccupied periods. Occupant comfort is maintained, but these conditions make it difficult to optimally manage energy expenditure.

### *Proposed Operation*

Northern Energy Services proposes the installation of an Energy Management System to control heating equipment for this facility. The system will allow flexible and easily maintained scheduling and controls for the HVAC equipment, and allow a temperature drift for unoccupied periods, as well as a quick return to setpoint for occupied periods.

### *General Scope*

#### *EMS – Temperature Setback*

Northern Energy Services recommends the installation of a wireless energy management system as enumerated below:

- Furnish and install:
  - Twenty (20) Wi-Fi linked thermostats
  - Twenty (20) line voltage to 24 VAC relays
  - Relays and thermostats mounted and boxed as necessary
- System shall control:
  - Building fan-coil units and electric baseboard\*
  - Scope includes all labor, material, and permits necessary to complete project
- Qualifications/Exclusions:
  - Northern Energy and subcontractors **not** responsible for work involving:
    - high voltage wiring
    - smoke or fire safety equipment

- cutting/painting/patching/finish carpentry
- warranty on any **existing** equipment
- System to control equipment specified within this scope **only**

\* Control types and limits determined by equipment limitations.

## General Qualifications/Exclusions

This report is not for general use and is the intellectual property of Northern Energy Services. All savings estimates and rebates must be considered estimated until reviewed and approved by the utility. ***These qualifications and exclusions apply to this proposal in its entirety.***

### Prices contained herein do not include:

- Asbestos abatement or removal.
  - In the event asbestos is found, customer is responsible for removal.
- Hazardous waste disposal not specified.
- Change orders required by customer.
- Change orders required by inspectors.
- Engineered drawings, as-builts, submittals, or similar.
- Costs to repair or update any existing equipment not specified.
  - All scope items are subject to the limitations of audit type specified in “Baseline” section of this proposal. Northern Energy Services is not responsible for deficiencies of the existing hardware not identified during audit.
  - In the event defective or deficient equipment is found, Northern Energy Services will generate a price to correct the deficiency.
  - Customer is not obligated to have Northern Energy effect any non-specified repair.
- Unless explicitly indicated, Northern Energy reserves the right to use wireless or hard wired devices as necessary to execute scope. This is at the discretion of Northern Energy Services, and will not change the costs to the customer.
- During installation, Northern Energy reserves the right to substitute comparable hardware brands for any manufacturer’s product specified in this proposal if the originally specified equipment is found to be inadequate for reasons undetermined. This will not change the costs to the customer.
- Overtime, non-first shift, or premium time labor hours.
- Structural, carpentry, painting, patching, and/or finish work for interior, exterior, and/or roofing surfaces.
- Northern Energy Services is not responsible for unforeseen conditions (*force majeure* events) including climate conditions and natural disasters.
- Pricing in this proposal is guaranteed for sixty (60) days from the proposal date.

# Appendix "A" - Calculations

## Temperature Setback

Title	Northern Energy Services
Date	April 24, 2015
Project	Template
Building	testing

Savings Summary	Baseline	Proposed	Savings	Savings
kWh/yr	84,219	31,400	44,896.16	\$ 9,428.19
kW				
ELECTRIC kWh	-	-	-	
Total				\$ 9,428

	\$/kWh	\$ 0.21
	ELECTRIC kWh	#DIV/0!

Input Variables	Existing 1 @ 8 mph (20 F above)	Proposed
Summer Occupied Setpoint	70	70
Summer Unoccupied Setpoint	70	85
Winter Occupied Setpoint	70	70
Winter Unoccupied Setpoint	70	55
Building Area	14,000	Cooling type:
Exterior Wall Area	18,000	DX
Roof Area	14,000	% spaces COOLED
Building Height	25	5%
Average R-value of Wall	10.00	
Average R-value of Roof	13.50	Variation
Heating Efficiency (%)	100%	15%
Cooling System Efficiency (kW/ton)		1.20

Building Setpoint (Before Setback)	Occupied	Unoccupied
Summer Inside Setpoint (F)	70	70
Winter Inside Setpoint (F)	70	70

Building Setpoint (After Setback)	Occupied	Unoccupied
Summer Inside Setpoint (F)	70	85
Winter Inside Setpoint (F)	70	55

Peak Savings	kW	kWh
Winter on-peak	7.2	22,306
Winter off-peak	6.7	18,531
Summer on-peak	1.6	3,252
Summer off-peak	0.9	802
		44,891

Heating Split	% total heat capacity
Electric heat	100%
ELECTRIC kWh	0%

Assumptions and Constants:	
Building Balance Point (unocc)	65.84
Default Wall R-Value	10
Default Roof R-Value	20
Building Infiltration- Air Changes Per Hour	0.1
	Te 4.16
Overall UA Value	2837
Infiltration CFM	438

Calc assumes sensible heat savings only

Bin Temp	Hours		Total Hours	Existing Case		Proposed Case		Total kWh	Heating ELECTRIC kWh	System Delta T	Envelope Loss/Gain MMBtu	Infiltration Loss/Gain MMBtu	Total kWh	Heating ELECTRIC kWh
	Unoccupied	Occupied		System Delta T	Envelope Loss/Gain BTU	Infiltration Loss/Gain BTU	System Delta T							
97.5	0.0	0.0	0	31.66	0	14,959	0	0	16.66	0	7,872	0	0	
92.5	0.0	0.0	0	26.66	0	12,597	0	0	11.66	0	5,509	0	0	
87.5	0.0	0.0	0	21.66	0	10,234	0	0	6.66	0	3,147	0	0	
82.5	12.0	12.0	24	16.66	567,180	7,872	3	0	1.66	56,514	784	0	0	
77.5	58.0	119.0	177	11.66	1,918,631	5,509	10	0	0	0	0	0	0	
72.5	181.0	285.0	466	6.66	3,419,935	3,147	17	0	0	0	0	0	0	
67.5	716.0	301.0	1,017	1.66	3,371,989	784	17	0	0	0	0	0	0	
62.5	796.0	225.0	1,021	3.34	7,542,660	1,578	2,211	0	0	0	0	0	0	
57.5	620.0	247.0	867	8.34	14,669,751	3,941	4,301	0	0	0	0	0	0	
52.5	633.0	342.0	975	13.34	23,956,565	6,303	7,023	0	0	0	0	0	0	
47.5	899.0	379.0	1,278	18.34	46,776,102	8,666	13,712	0	3.34	8,518,658	1,578	2,497	0	
42.5	796.0	306.0	1,102	23.34	52,708,290	11,028	15,451	0	8.34	18,834,068	3,941	5,521	0	
37.5	727.0	201.0	928	28.34	58,451,985	13,391	17,135	0	13.34	27,514,096	6,303	8,066	0	
32.5	303.0	97.0	400	33.34	28,659,805	15,753	8,404	0	18.34	15,765,472	8,666	4,623	0	
27.5	141.0	29.0	170	38.34	15,336,852	18,116	4,500	0	23.34	9,336,519	11,028	2,740	0	
22.5	76.0	32.0	108	43.34	9,344,746	20,478	2,745	0	28.34	6,110,524	13,391	1,795	0	
17.5	101.0	20.0	121	48.34	13,851,379	22,841	4,066	0	33.34	9,553,268	15,753	2,805	0	
12.5	77.0	3.0	80	53.34	11,652,222	25,203	3,422	0	38.34	8,375,444	18,116	2,460	0	
7.5	24.0	2.0	26	58.34	3,972,306	27,566	1,172	0	43.34	2,950,972	20,478	871	0	
2.5	0.0	0.0	0	63.34	0	29,928	9	0	48.34	0	22,841	7	0	
-2.5	0.0	0.0	0	68.34	0	32,291	9	0	53.34	0	25,203	7	0	
-7.5	0.0	0.0	0	73.34	0	34,653	10	0	58.34	0	27,566	8	0	
	0	0	8,760		264,710,251	266,216	84,219	0			192,175	31,400	0	

# **Appendix “B” – National Grid Minimum Requirements Document**

# Minimum Requirements Document

## Energy Conservation Measures



Customer Name:	Town of Nantucket, MA	LCR or CNC	LCR
Facility Name:	Nantucket Fairgrounds	Application #:	5218472
Measure Description:	<b>New Entouch – Pro WiFi Thermostats w/setback</b>		

This document specifies the agreed upon minimum equipment specifications and operational requirements of the proposed system. These requirements shall address the criteria necessary to be met to achieve the demand and energy savings estimated in the engineering analysis for this project. (Use additional sheets if necessary).

Post Inspection	<b>EQUIPMENT DESCRIPTION:</b> Provide a list of equipment or materials installed as part of this project. Include mfr, model, HP, kW, efficiency ratings, etc.
Yes No	<p><b><u>New Building Energy Management System</u></b></p> <p>Purchase and install twenty (20) new Entouch Pro Motion Sensing Thermostats including all necessary devices for to control the following equipment according to the approved scope of work:</p> <ul style="list-style-type: none"> <li>• Twenty (20) Systems (ceiling mount FCU's) to be controlled by twenty (20) Entouch-Pro motion sensing thermostats</li> <li>• System front-end will be cloud based</li> <li>• WiFi enabled thermostats</li> <li>• Furnish and install:             <ul style="list-style-type: none"> <li>○ Twenty (20) Wi-Fi linked thermostats</li> <li>○ Twenty (20) line voltage to 24 VAC relays</li> <li>○ Relays and thermostats mounted and boxed as necessary</li> </ul> </li> <li>• System shall control:             <ul style="list-style-type: none"> <li>○ Building fan-coil units and electric baseboard*</li> <li>○ Scope includes all labor, material, and permits necessary to complete project</li> </ul> </li> <li>• Qualifications/Exclusions:             <ul style="list-style-type: none"> <li>○ Northern Energy and subcontractors <b>not</b> responsible for work involving:                 <ul style="list-style-type: none"> <li>▪ high voltage wiring</li> <li>▪ smoke or fire safety equipment</li> <li>▪ cutting/painting/patching/finish carpentry</li> <li>▪ warranty on any <b>existing</b> equipment</li> </ul> </li> <li>○ System to control equipment specified within this scope <b>only</b></li> </ul> </li> </ul>
Post Inspection	<b>SEQUENCE OF OPERATION:</b> Provide a description of equipment operating sequences, setpoints, operating schedules, balancing requirements (flow, velocity, head, etc) or any other required operating parameters.
Yes No	<p><b><u>Fan Coil Units (20) (Only one unit has cooling, the office unit)</u></b></p> <ul style="list-style-type: none"> <li>• On / Off Control</li> <li>• Space Temperature Setback Control             <ul style="list-style-type: none"> <li>• Occupied Heat = 70F</li> <li>• Unoccupied Heat = 55F</li> <li>• Occupied Cool = 70F</li> <li>• Unoccupied Cool = 85F</li> </ul> </li> </ul>

Post Inspection	<b>DOCUMENTATION:</b> List any written documentation required to verify, operate, or maintain the equipment being installed or controlled. This may include specification sheets, test reports, construction drawings, etc..
Yes <input type="checkbox"/> No <input type="checkbox"/>	Provide the following <ul style="list-style-type: none"> <li>• Equipment Start-up / testing report or commissioning documentation</li> <li>• Project sign-off documentation</li> <li>• Final Invoices (material, labor, and engineering costs, ect to document the total installed project costs.</li> </ul>
Post Inspection	<b>OTHER REQUIREMENTS:</b> Describe any requirements for demolition, removal, etc of existing equipment.
Yes    No	Provide safe access for NGrid personnel to perform the inspection.

The pre-approved incentive is subject to Retail Companies' POST INSPECTION of final specifications, drawings and operation of the proposed equipment. In the event the proposed system is altered from the above description, notify the Company of the change prior to the equipment purchase and installation as the change in design and operation may impact the available incentive.

		
Technical Support Consultant	Date	Customer Signature
		Date

# **Appendix “C” – National Grid Project Incentive Preapproval Documents**

November 12, 2015

Lauren Sinatra  
Nantucket-2 Fairgrounds  
2 Fairgrounds Rd  
Nantucket, MA 02554

**RE: ENERGY INITIATIVE Pre-approval**

**BA Number: 5209423008                      App#: 5218472**

Dear Lauren Sinatra:

National Grid has pre-approved your Energy Initiative rebate application for Nantucket-2 Fairgrounds, 2 Fairgrounds Rd, Nantucket, MA. After a review of your application and a pre-installation survey of your facility, we have determined that your project will qualify for rebate payments from National Grid that will total \$19,463.00 if installed as planned.

Please note that National Grid 's rebate payment for this project is subject to numerous Terms and Conditions which are detailed on the customer report, as well as minimum requirements document:

- applicable
- not applicable

(See Minimum Requirements Document dated 7/6/15 attached). These Terms and Conditions include:

1. **Project completion within 180 days** - To be eligible to receive the incentives for this application, the project must be completed by May-12-2016, 180 days from the date of our pre-approval.
2. **Completed Application** - The application form must be complete, and paid invoices (with itemized material and labor costs and equipment discounts) as well as other documentation for all installed measures should be attached.
3. **Post-installation Verification** - Our representatives may conduct a post-installation verification of the newly installed equipment to ensure that the installation is consistent with the application as pre-approved, represents sound engineering practices and complies with the attached Minimum Requirements Document (if applicable).
4. **Project Changes After Pre-approval** - If you decide to make a change in your project after pre-approval you must notify us prior to beginning installation. We will determine whether the proposed change will require any revision to your application or incentive as pre-approved.

Please call me if you have any questions. Thank you for your support of our programs.

Sincerely,

*James Whitehead Jr.*

James Whitehead Jr  
Energy Solutions Services

## **Appendix “D” – Cut Sheets**



# ENTOUCH PRO

## MOTION SENSING THERMOSTAT

### ENTOUCH PRO MOTION SENSING THERMOSTAT

The EnTouch Pro is an industry first - a true commercial thermostat with a high definition touchscreen display, built-in motion detection, and built-in wifi networking. The touchscreen display and motion detection simplify the controller for tenants while the security and EMS features limit user changes, and ensure the lowest energy costs. Wifi networking allows the system to be managed remotely through a computer, tablet, or mobile phone.

#### APPLICATIONS

- Multi-tenant facilities (offices and residential)
- Schools (classrooms and portable buildings)
- Hospitality (guest rooms and common areas)
- Retail Stores
- Restaurants

#### UNIQUE FEATURES

- Touchscreen can be fully branded with customer logo
- Works with EnTouch mobile apps and web portals
- Facility staff alerting and remote issue diagnostics

#### TECHNICAL SPECIFICATIONS

##### HVAC System Compatibility

- Supports gas / electric / heat pump systems
- Supports fan, 2 stage cooling, and 2 stage heat
- Support for auxiliary heat
- Configurable remote sensor input

##### Internet Communication

- 802.11 (b, g, & n)
- Supports DHCP and static connections

##### Power Requirements

- 24VAC: requires both R and C wires

##### Physical

- Dimensions: 3" x 4.75" x 1"

#### FEATURES

- Full Color Touchscreen Display
- PIR Motion Sensor
- WIFI Netorking
- Remote Web Portal Control
- Customer and Manager Apps
- 7 day occupancy scheduling
- Security modes limit user changes
- Internal temperature sensor
- Supports remote temperature sense

#### COMMON APPLICATIONS

- Multi-tenant facilities (offices and residential)
- Schools (classrooms and portable buildings)
- Hospitality (guest rooms and common areas)



MANAGEMENT OF:



HVAC



LIGHTING



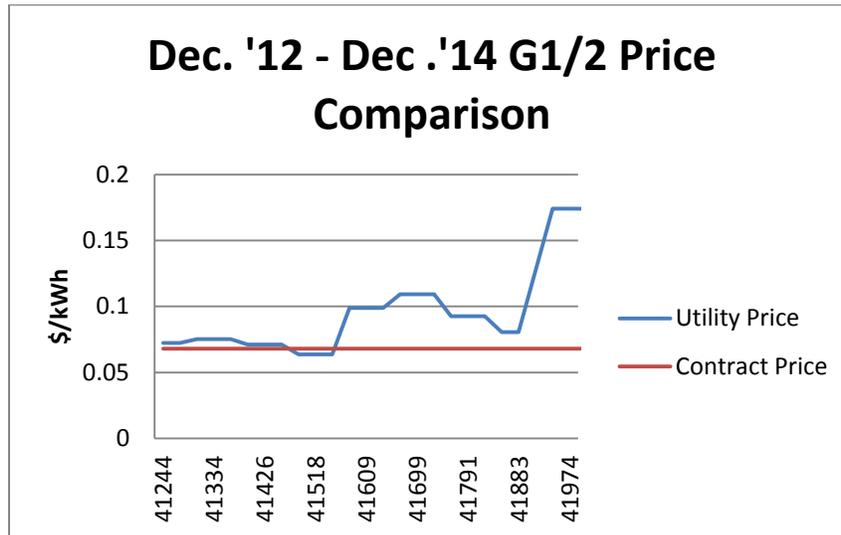
REFRIGERATION



24/7 CLOUD MONITORING

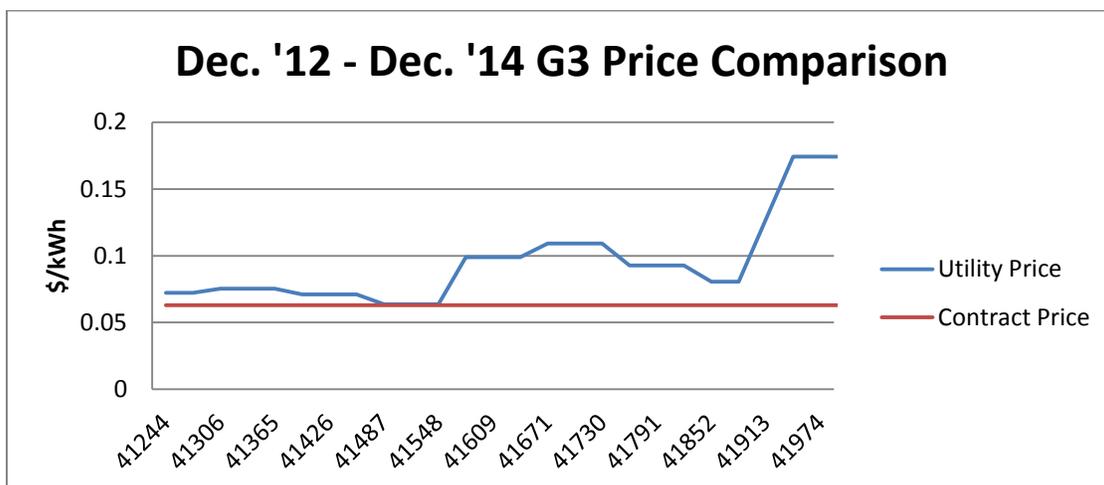
## Competitive Electricity Supply Analysis

In July 2012, the Town of Nantucket and Titan Energy executed a supply contract including all G1 (small commercial accounts) and G2 (mid-size commercial accounts) rate class accounts with Liberty Power, beginning in December 2012 and terminating in December 2014. This pricing was the result of a rigorous bidding process, overseen by Titan, recommended by the Energy Office staff, and approved by Town Administration and the Nantucket Board of Selectmen. The contract performed very well over time and produced approximately **\$207,500.61** in actual savings against National Grid's standard generation rate.



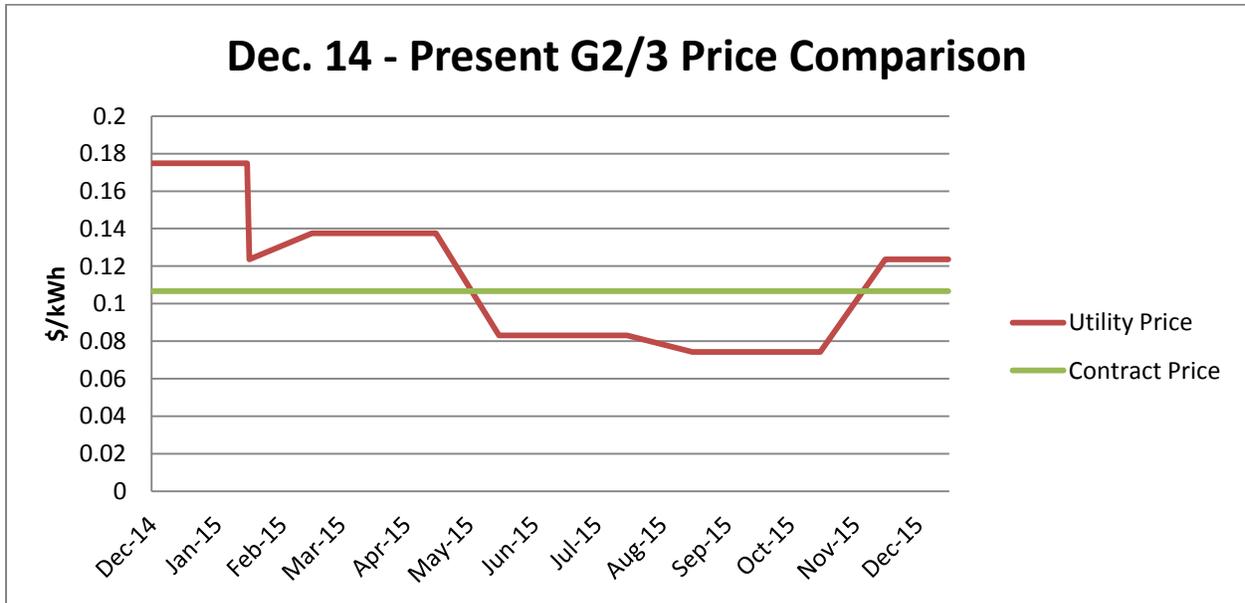
**Total G1/2 Savings:      \$207,446.61**

Similarly, in July 2012, the Town of Nantucket and Titan Energy executed a supply contract including all G3 (industrial size) rate class accounts with Hess/Direct Energy, beginning in December 2012 and terminating in December 2014. This pricing was the result of a rigorous bidding process, overseen by Titan, recommended by the Energy Office staff, and approved by Town Administration and the Board of Selectmen. The contract performed exceedingly well over time and produced approximately **\$405,120.09** in actual savings against National Grid's standard generation rate. The Town was well positioned to avoid the "Polar Vortex" and price spikes associated with the brutal winter of 2014.



**Total G3 Savings:      \$405,125.09**

In August 2014, the Town of Nantucket and Titan Energy executed supply contracts with Liberty Power, configured to include the largest G2 and G3 accounts onto one master contract, and small, G1 accounts placed on a separate contract, beginning in December 2014 and terminating in November 2016. This pricing followed the same bid process, overseen by Titan, recommended by the Energy Office staff, and approved by Town Administration and the Board of Selectmen. This contract has thus far performed very well, despite unprecedented volatility and extreme winter price spikes in the wholesale market. Total contract savings to-date equal \$82,187.53. See below for additional details by location.

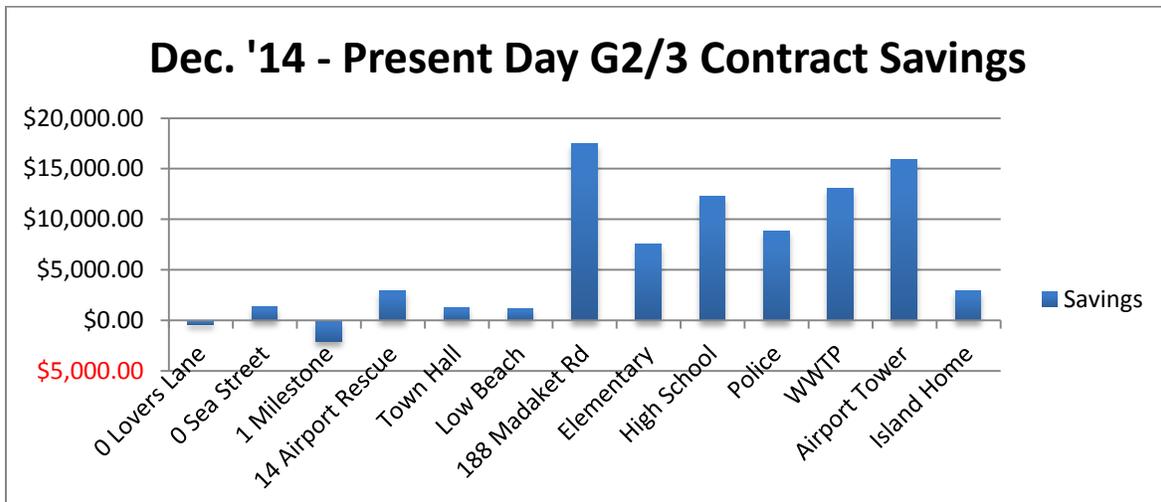


**Total G2/G3 Savings: \$82,187.53**

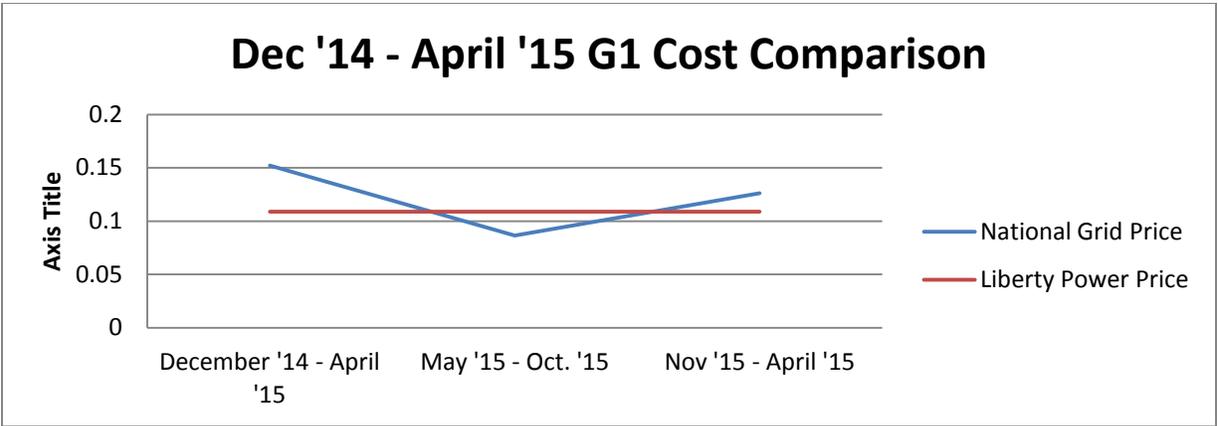
The chart below depicts total contract savings for all G2 and G3 accounts (representing 90% of the total town-wide electricity consumption) from December 2014 to the present day per facility account.

The savings were calculated (for all charts) using actual kWh consumption data from National Grid compared at the two prices: the NG standard generation rate and Town’s competitive supply contracted rate.

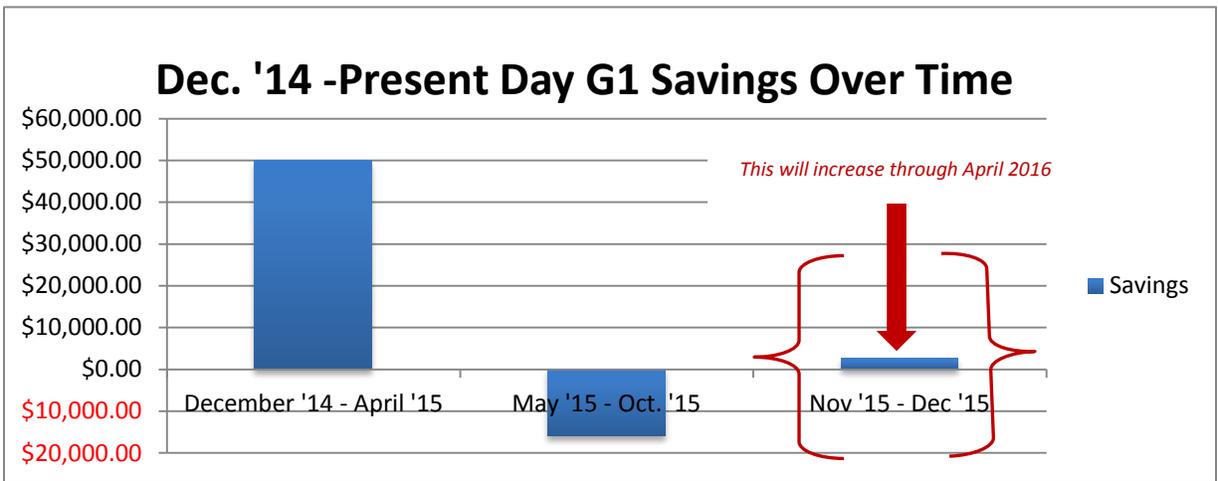
0 Lovers Lane and 1 Milestone experienced a small loss due to the timing of energy use during periods where the utility was offering a lower standard generation rate.



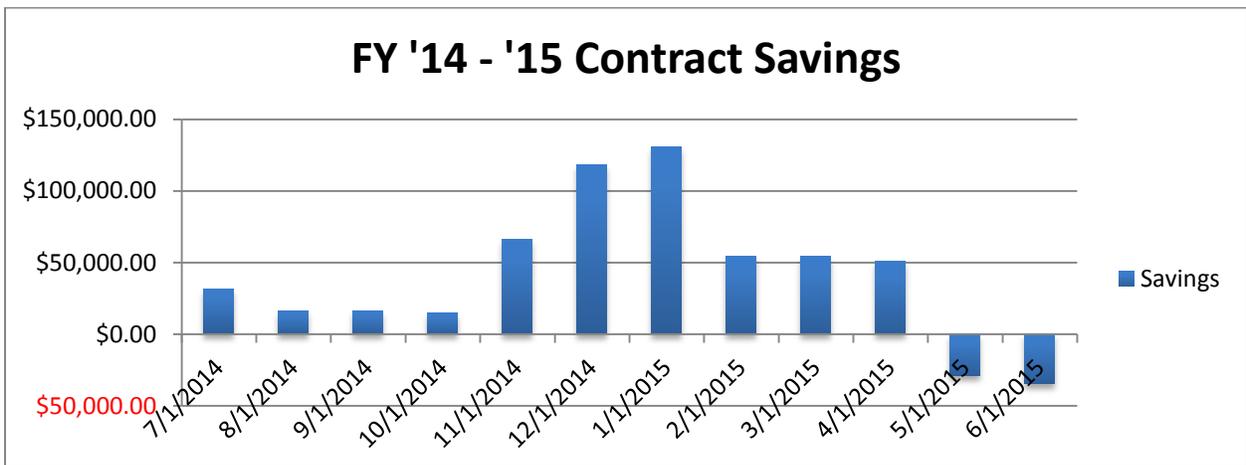
The charts below pertain to the small G1 account group. Savings will increase during the November-April '16 timeframe, as National Grid's winter rates have risen, once again.



**Total G1 Savings: \$22,623.97**



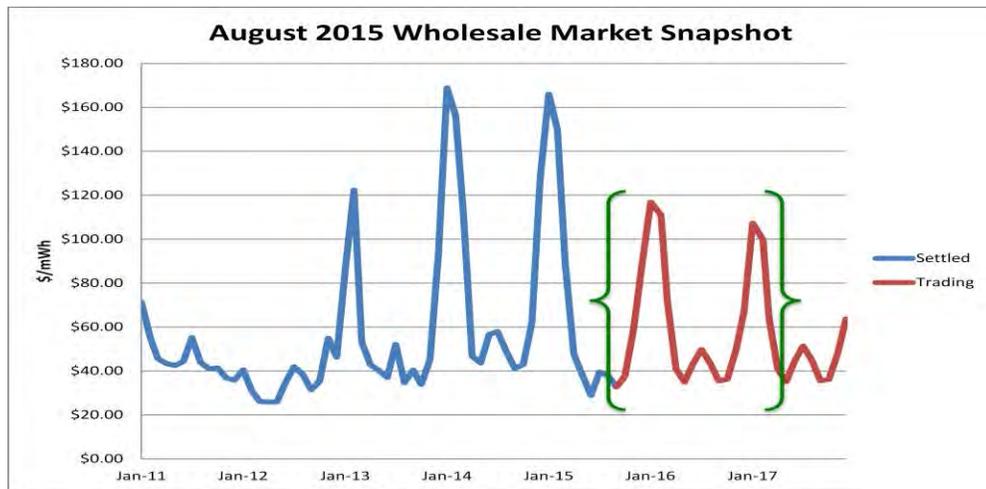
**Dec '14 - Present Savings: \$104,811.50**



**FY '14 - '15 Savings: \$488,526.32**  
**Cumulative Savings\*: \$717,383.21**

These two charts depict the steep decline in the cost of wholesale electricity in Massachusetts that has occurred as recently as November/December of 2015.

The decline is a direct result of an oversupplied natural gas market (main driver of electricity prices in New England), warmer than expected winter weather further driving down demand for the fuel, decreased fear premiums associated with the local pipeline operators' ability to deliver natural gas to both power generators AND seasonal customers without interruption, and a general consensus that prices are out of "balance" with their true value- in the consumer's favor. It is Titan's view that we should explore market rates for the next Town-wide supply contract. Rebidding the accounts now would **not** bind TON to accept the results of the bid, though it would allow TON to capture any upside for the future if the results are favorable.





# Planning and Land Use Services

Building ▪ Energy ▪ Historic District Commission ▪ Planning Board ▪ Zoning Board of Appeals

Morgane Treanton  
Department of Public Utilities  
One South Station, 5<sup>th</sup> Floor  
Boston, MA 02110

November 25, 2015

Dear Ms. Treanton:

On behalf of all Nantucket electric ratepayers, I express concern over the lack of clear information about the competitive supply products specifically available to our community (*Nantucket Electric Company* territory). While National Grid is the island's electric utility company, most of the company's approved suppliers do not currently provide products and services to the Nantucket market.

From what I understand, a competitive supplier can be registered to sell supply products for National Grid's *Massachusetts Electric Company* territory, but must separately register to supply electricity products on Nantucket, which is a separate service territory and subsidiary of National Grid. As a result, Nantucket customers are eligible for only a fraction of the choices listed on the National Grid product spreadsheet available on the new "Shopping for Competitive Supply" website (see appendix).

For example, when I personally tried signing up for a winter plan with a National Grid-approved residential electric supplier, "Verde Electric," I was told after several weeks of enrollment issues—and much confusion by both myself and various members of their sales team: ***"The issue is that Nantucket Electric is a separate part of National Grid and after going over this with our enrollment team they realize they cannot service your account. It may have something to do with the idea that many accounts would be seasonal and meters get turned on and off. I apologize for this and hope you can find an alternate supplier."*** It would seem as if most suppliers cannot see the value in registering their companies to do business in Nantucket as it requires significant upfront costs, with little guarantee of sizeable enrollment.

It is my hope that the Department of Public Utilities can provide more accurate information about the electricity supply options available to Nantucket customers. Ideally, separate spreadsheets listing the supply products for both "Massachusetts Electric Company d/b/a National Grid" and "Nantucket Electric Company d/b/a National Grid" would be created and maintained. Alternatively, perhaps there is a way to clearly indicate on the current National Grid spreadsheet which supply products are available to Nantucket customers?

Otherwise, if only one spreadsheet is provided, Nantucket residents will continue to be misled about their actual (limited) supply options, which will only cause confusion, frustration, enrollment delays, and



# Planning and Land Use Services

Building ▪ Energy ▪ Historic District Commission ▪ Planning Board ▪ Zoning Board of Appeals

lost cost savings. Unfortunately, the situation is far too complex for an average Nantucket resident—and many of the supply company sales representatives, as I personally experienced—to try to navigate on their own.

Your guidance and support are truly appreciated. Please do not hesitate to contact me regarding any questions. I am happy to provide further input as helpful and appropriate.

Best regards,

*Lauren M. Sinatra*

Lauren Sinatra

Energy Coordinator

Town of Nantucket

[Lsinatra@nantucket-ma.gov](mailto:Lsinatra@nantucket-ma.gov)

508-325-5379



# Planning and Land Use Services

Building ▪ Energy ▪ Historic District Commission ▪ Planning Board ▪ Zoning Board of Appeals

## Appendix

### “Electric Supply Products Available to National Grid Residential Customers”

#	Company	Offered to Nantucket ratepayers?
1	Ethical Electric	No
2	Sunwave Gas & Power	No
3	Verde Energy USA	No
4	Direct Energy	No
5	SFE Energy	No
6	Town Square Energy, LLC	No
7	IGS Energy	No
8	NRG Home	No
9	Abest Power & Gas	No
10	Agera Energy, LLC	No
11	REP Energy, LLC	No
12	Ambit Energy	No
13	Oasis Energy	No
14	Green Mountain Energy	No
15	Major Energy Electric Services, LLC	No
16	Discount Power, Inc.	No
17	Starion Energy	No
18	Provider Power Mass	No
19	PALMco Power MA, LLC	No
20	Just Energy	No
21	Energy Plus	<b>Yes</b>
22	Constellation New Energy	<b>Yes</b>
23	ConEdison Solutions	<b>Yes</b>
24	Massachusetts Gas & Electric	<b>Yes</b>
25	Viridian Energy	<b>Yes</b>
+	<b>XOOM Energy</b>	<b>Yes, although not listed.</b>

**Source:** *Shopping for Competitive Supply - National Grid.* The Official Website of the Executive Office of Energy and Environmental Affairs. <http://www.mass.gov/eea/docs/dpu/utility-prices/11-25-15-national-grid-product-information.xlsx>

NOTE: DESKTOP ANALYSIS OF TOPOGRAPHY AND TREE HEIGHTS WERE ASSUMED FOR THE DESIGNS. FINAL SYSTEM SIZE AND LOCATION WILL VARY BASED ON FURTHER DILIGENCE

POCC AT THE 3PHASE DISTRIBUTION LINES ALONG THE ROAD

POTENTIAL LOCATION OF EQUIPMENT AREA



600 Clipper Drive  
Belmont, CA 94002  
(888)-SUNEDISON  
(888)-786-3347

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PROJECT DETAIL		SYSTEM DESCRIPTION			SHEET INFORMATION	
PROJECT#: MA-15-0406	LAT: N41.2549 LONG: W70.0516	MODULE TYPE: TRINA SOLAR 315W	TILT ANGLE: 25°	AZIMUTH: 180°	AREA : 9 ACRES	DATE: 10/22/15
ADDRESS: Bunker Road and Madequecham , Valley Road, Nantucket, MA 02554		MODULE QUANTITY: 7,344	RACKING STRUCTURE: FIXED TILT GROUND MOUNT		DESIGNER: RSP	
		SYSTEM SIZE (DC): 2,313.36 kW	INVERTER: 57 x CHINT CPS SKA 28KTL-US 480		SHEET NO: <b>CL-1</b>	
		SYSTEM SIZE (AC): 1,596.00 kW				

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**Lauren Sinatra**

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**From:** Cardinal, Joseph A. [Joseph.Cardinal@nationalgrid.com]  
**Sent:** Wednesday, December 09, 2015 2:00 PM  
**To:** Lauren Sinatra  
**Subject:** RE: EXT || RE: Nantucket Net-Metering Cap

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Hi Lauren-----You are correct that the capacity hasn't been removed yet from the Cadmus and Ngrid sites. We had to make sure that legally we were following all the rules of the ISA. That being said a termination letter relative to the ISA in question has been created and after it has been sent, we then have the legal right to remove the capacity from our records. Hopefully the letter goes out in the next couple of days and without any challenge from the customer we should be able to remove the capacity #s from the site soon.

I will keep you updated

Take Care Joe

Joseph A. Cardinal  
Manager Community & Customer Management  
nationalgrid  
T. 508 897-5589  
C. 508 922-7419  
F 508 897-5690

---

**From:** Lauren Sinatra [mailto:lsinatra@nantucket-ma.gov]  
**Sent:** Wednesday, December 09, 2015 11:18 AM  
**To:** Cardinal, Joseph A.  
**Subject:** EXT || RE: Nantucket Net-Metering Cap

Hi Joe—

Can you please let me know if there's been any progress on this? It doesn't appear as if the Bartlett Farm wind turbine has been removed from either the Cadmus or National Grid sites. This is capacity that the Town will seek to use in a municipal PV project that is in the pipeline.

Please do let me know where this issue stands.

Much appreciated!

Lauren

---

**From:** Cardinal, Joseph A. [mailto:Joseph.Cardinal@nationalgrid.com]  
**Sent:** Tuesday, October 27, 2015 3:43 PM  
**To:** Lauren Sinatra  
**Subject:** Nantucket Net-Metering Cap

Hi Lauren--see the explanations from Chandra below. I will let you know once our database has been corrected

Thanks for your patience, Joe

**From:** Bilsky, Chandra  
**Sent:** Tuesday, October 27, 2015 1:31 PM  
**To:** Cardinal, Joseph A.  
**Cc:** Moran, Robert G. Jr.  
**Subject:** RE: Nantucket Net-Metering Cap

And as far as the other 5 projects being included in the wrong utility cap, it sounds to me like Ryan from Cadmus is taking care of that. With the IT issues today I can't even get on the Cadmus site to check. The numbers we include on our site come from Cadmus so once they fix theirs and I can get on their site, I will fix our site as well. I normally change the numbers at the beginning of the month anyway.

~Chandra

---

**From:** Bilsky, Chandra  
**Sent:** Tuesday, October 27, 2015 1:08 PM  
**To:** Cardinal, Joseph A.  
**Cc:** Moran, Robert G. Jr.  
**Subject:** RE: Nantucket Net-Metering Cap

I confirmed that we need the customer to cancel their ISA and request removal from the cap. I called and left John Bartlett a voicemail and I sent him an email with this information.

~Chandra

---

**From:** Bilsky, Chandra  
**Sent:** Tuesday, October 27, 2015 11:11 AM  
**To:** Cardinal, Joseph A.; Moran, Robert G. Jr.  
**Subject:** RE: Nantucket Net-Metering Cap

I apologize for not getting back to you right away. We did include the Bartlett Farm 250 kW Wind turbine in our grandfathered cap information to Cadmus. I can see on their CSS account 53053-68008 that they have not net exported since July 2014. I do not see anything in their project folder or on their CSS account indicating that they notified us of decommissioning. I am not sure what the process would be to remove them from the net meter cap, but I imagine someone from Bartlett Farm would need to notify Cadmus and National Grid. Let me find out.

~Chandra

---

**From:** Cardinal, Joseph A.  
**Sent:** Tuesday, October 27, 2015 10:25 AM  
**To:** Moran, Robert G. Jr.; Bilsky, Chandra  
**Subject:** RE: Nantucket Net-Metering Cap

Hi Chandra--just checking in to see if you have been able to research the below questions from Bob Moran. I would like to report back to Lauren on Nantucket soon.

Thanks for your assistance, Joe

**From:** Moran, Robert G. Jr.  
**Sent:** Wednesday, October 21, 2015 4:08 PM  
**To:** Cardinal, Joseph A.; Bilsky, Chandra  
**Subject:** FW: Nantucket Net-Metering Cap  
**Importance:** High

Hi Chandra – can you answer these questions? It appears that (5) mainland projects are being counted against the Nantucket Net Metering cap... it also appears that a 250kW project may have been decommissioned, and not removed from the cap calculation. Can you clarify how that would get rectified? I'm not familiar with the Bartlett Farm project, but I'm curious if we're sure that they properly informed us of the decommissioning?

Thanks

Bob 508 897 5656

---

**From:** Cardinal, Joseph A.  
**Sent:** Wednesday, October 21, 2015 4:02 PM  
**To:** Moran, Robert G. Jr.  
**Subject:** FW: Nantucket Net-Metering Cap  
**Importance:** High

Bob Any idea who would be responsible for confirming this information for Lauren?

---

**From:** Lauren Sinatra [<mailto:lsinatra@nantucket-ma.gov>]  
**Sent:** Monday, October 19, 2015 5:08 PM  
**To:** Cardinal, Joseph A.  
**Cc:** [administrator@massaca.org](mailto:administrator@massaca.org); [ryan.fahey@cadmusgroup.com](mailto:ryan.fahey@cadmusgroup.com)  
**Subject:** RE: Nantucket Net-Metering Cap  
**Importance:** High

Hi Joe,

Per Bob's helpful email, I visited the Mass ACA website, and was surprised and confused by some of the information I saw listed. For example, there are several off-island projects that are currently being counted against Nantucket's net metering cap (see attached).

I called the Mass ACA to confirm Nantucket's actual capacities available in both the private and public cap allocations and spoke with Ryan Fahey, who was very helpful. In checking his data, he confirmed to me that Nantucket's current capacity under the private cap is in fact **1544.6kw**, not 901kw, as indicated on their website. Not only were the off-island projects being counted against Nantucket's private cap, but also the 250kw Bartlett Farm turbine that was decommissioned and completely removed from the site last year.

While Ryan is able to resolve the issue with the off-island jobs being misappropriated to the wrong utility cap, he advised that I contact you to confirm that the 250kw Bartlett Farm turbine is no longer in operation and net-metering towards the cap.

Can you please reply to this email to all parties copied herein to confirm this fact so that the 250kw can be reallocated as available under Nantucket's Private Cap?

Thank you,  
Lauren

--

Lauren M. Sinatra  
Energy Coordinator  
Town of Nantucket Energy Office  
2 Fairgrounds Road  
Nantucket, MA 02554

[lsinatra@nantucket-ma.gov](mailto:lsinatra@nantucket-ma.gov)  
office: (508) 325-5379  
[www.ACKEnergy.org](http://www.ACKEnergy.org)  
Find us on Facebook and Twitter!

**From:** Cardinal, Joseph A. [<mailto:Joseph.Cardinal@nationalgrid.com>]  
**Sent:** Friday, October 02, 2015 3:31 PM  
**To:** Lauren Sinatra  
**Subject:** FW: Nantucket Net-Metering Cap

Hi Lauren--please see Bob Moran's explanation below on the net-metering installations for Nantucket.

Take Care Joe

---

**From:** Moran, Robert G. Jr.  
**Sent:** Friday, October 02, 2015 12:02 PM  
**To:** Cardinal, Joseph A.  
**Cc:** Bilsky, Chandra  
**Subject:** Nantucket Net-Metering Cap

Wind turbines generally produce about 2000-2400 'full load hours' of energy per year, so a 100kW turbine will generate about ~200,000-250,000kWh per year... maybe 20,000kWh per month. This would certainly get subsumed by the ~1,000,000kWh that the school uses annually. So, even though the school may export in a given hour, it will *never* 'net export' over a month, and will never see a net metering credit. But – a customer doesn't have to 'net export' over the course of a month to be considered net metering. Even "behind the meter" installations count, according to the definition in the net metering tariff. Net metering simply means that the meter has the capability to measure energy in both directions, and calculate a bill based on the net. E.g. – the bill for 140,489 kWh in Sept 2015 suggests that they probably used about 160,000kWh, generated about 20,000kWh, and were billed on the net.

In terms of the cap, Mass ACA keeps track of it. Cap info is available at:

<https://app.massaca.org/allocationreport/report.aspx> - and Lauren appears to be correctly citing Mass ACA's info, and our internal Business objects system matches up with the State's records.

Bob

---

**From:** Cardinal, Joseph A.  
**Sent:** Friday, October 02, 2015 10:32 AM  
**To:** Moran, Robert G. Jr.  
**Subject:** FW: Nantucket Net-Metering Cap

Bob..your expertise would be appreciated...Thanks Joe

**From:** Lauren Sinatra [mailto:lsinatra@nantucket-ma.gov]  
**Sent:** Friday, October 02, 2015 10:24 AM  
**To:** Cardinal, Joseph A.  
**Subject:** Nantucket Net-Metering Cap

Hi Joe,

I'm hoping you can help clarify something for me. On National Grid's website it indicates that 100kW has already been used against our public net-metering cap. It would assume this is the 100kW wind turbine at the high school, but I thought that the turbine was installed "behind the meter". In looking at their most recent (high) electric bill, I don't see any sign of net metering credits (attached)...



	Mass Electric Territory	Nantucket Electric Territory
Public Cap	100,000 kW	364,000 kW
Nantucket Cap		364,000 kW

And is there really 364kW of private solar connected on Nantucket? This seems high to us.

Any further information on these numbers would be appreciated.

Thank you,  
Lauren

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COMMONWEALTH OF MASSACHUSETTS  
EXECUTIVE OFFICE OF ENERGY & ENVIRONMENTAL AFFAIRS  
**DEPARTMENT OF ENVIRONMENTAL PROTECTION**

ONE WINTER STREET, BOSTON, MA 02108 617-292-5500

DEVAL L. PATRICK  
Governor

TIMOTHY P. MURRAY  
Lieutenant Governor

IAN A. BOWLES  
Secretary

LAURIE BURT  
Commissioner

**Guidance for Adopting Municipal Regulations to Control  
Air Pollution under M.G.L. chapter 111, section 31C**

A city or town, through its Board of Health or other legal authority (referred to in this fact sheet as “Board of Health”), has the authority to enact “reasonable” rules and regulations to control air pollution, pursuant to Massachusetts General Laws Chapter 111, Section 31C (Section 31C). These regulations are enforceable only after they are approved by the Massachusetts Department of Environmental Protection (MassDEP) and printed in a newspaper published in the city or town (if there is no newspaper published in the city or town, the regulation must be posted in a public place).

Boards of Health may enact regulations to control air pollution if the regulation serves to prevent:

1. Nuisance to members of the town;
2. Danger to the public health of the town; or
3. Detriment to public comfort and convenience in the town.

According to Section 31C “air pollution” includes (but is not limited to) the emission of smoke, particulate matter, soot, cinders, ashes, toxic and radioactive substances, fumes, vapors, gases, industrial odors, and dusts that may arise within the town’s boundaries and are a nuisance, danger, or detriment.

*Procedural Requirements of Section 31C*

Before sending a regulation or an amendment of a previously approved regulation to MassDEP for approval, the Board of Health must hold a public hearing to give the public an opportunity to comment on the regulation. The date, time, place and subject of the hearing must be printed in a newspaper published in the city or town, or if there is no newspaper published in the city or town, the notice of the hearing must be posted in a public place within the city or town. The text of the regulation or amended regulation does not have to be published in the newspaper before the hearing, but it should be made available to the public at or before the hearing.

The notice must be published in the newspaper twice, in two successive weeks before the hearing, as follows:

- The first notice must be published at least two weeks (14 days) before the hearing; and
- The second notice must be published sometime during the week immediately following the week of the first publication. For example, if a hearing is scheduled to be held on June 15, the first notice should be published by June 1, and the second notice must be published during the week of June 8, 2009.

After the hearing, if the Board of Health approves the regulation or amended regulation, the regulation must then be approved by MassDEP. To obtain MassDEP's approval, the Board of Health must submit the following information:

1. A letter requesting approval of the regulations;
2. One copy of the regulation; and
3. Copies of the two public hearing notices that were published or posted (please make sure the copies show the date on which the notices were published).

This information must be submitted to Assistant Commissioner, Bureau of Waste Prevention, MassDEP, One Winter Street, Boston, MA 02108

MassDEP will inform the Board of Health in writing whether the agency approves or disapproves the regulation.

If MassDEP approves the regulation, the Board of Health must print a copy of it in a newspaper published in the city or town to give the regulation the force of law<sup>1</sup>.

#### *Substantive Requirements of Section 31C*

Regulations adopted by cities and towns pursuant to Section 31C must be "reasonable." Although there is no specific definition of "reasonable" in the statute, these regulations should be clear, concise and not conflict with existing laws and regulations.

Section 31C contains a penalty provision that should be included in the regulation either in its entirety or by reference:

Whoever violates any order, rule or regulation promulgated or adopted under the provisions of this section shall be punished, for the first offense, by a fine of not less than one thousand nor more than five thousand dollars and for a subsequent offense, by a fine of not less than five thousand nor more than ten thousand dollars. For the purpose of this paragraph each day or part thereof of violation of such an order, rule or regulation whether such violation be continuous or intermittent, shall be construed as a separate and succeeding offense.

Regulations adopted by the Board of Health can include limits, bans and/or moratoriums on certain activities that produce air pollution (e.g. outdoor wood fired boilers). The regulation must be at least as stringent as any applicable state or federal law or regulation.

#### *Local Regulations Adopted Pursuant to M.G.L. Chapter 111, Section 31*

Boards of Health also have the authority to "make reasonable health regulations" pursuant to M.G.L. Chapter 111, Section 31. Regulations adopted under Section 31 do not have to be approved by MassDEP, but this section of the statute requires that "attested copies of sanitary codes, and all rules, regulations and standards, and any amendments and additions thereto" must be filed with MassDEP (Please send them to: Assistant Commissioner, Bureau of Waste Prevention, MassDEP, One Winter Street, Boston, MA 02108).

---

<sup>1</sup> If no newspaper is published in the city or town, a copy of the regulation must be posted in a public place in the city or town.

An air pollution regulation may be adopted pursuant to both Section 31 and Section 31C, but the procedural and substantive requirements of Section 31C must be followed in order to give the air pollution regulation the force of law.

*For More Information*

- MassDEP encourages Boards of Health to consult with their Town Counsel on the procedural and substantive requirements for adopting air regulations under Section 31C, and to consult with other cities/towns to develop a consistent approach for regulating air pollution.
- Contact Marc Cohen in MassDEP's Bureau of Waste Prevention (email: [marc.cohen@state.ma.us](mailto:marc.cohen@state.ma.us) or telephone: 617/292-5873), with questions about the requirements of Section 31C.

Metrics Report: Home Energy Assessments

Week of:	Total HEAs	Powerstrips	Bulbs	Thermostats	Showerhead	Aerators	Insulation Proposed	Insulation Installed (Signed)	Air Sealing Proposed	Air Sealing (Signed)	Roadblocks	HPWH	Wi-Fi	Dehumidifiers	HEAS/Year
1/16/2012	52		1052	68	19	19	27	15	25	17					
4/24/2012	47		1237	24	27	13	17	3	14	2					
11/4/2012	46		1037	54	16	18	11	2	13	6					145
3/11/2013	92		2248	85	66	57	35	8	28	11					
5/13/2013	72		2232	103	73	73	25	0	10	0					
10/7/2013	57		1500	86	59	70	15	13	9	8					221
2/7/2014	65	130	1544	116	68	92	14	4	15	4	15				
5/5/2014	78	156	2143	112	150	125	18	0	18	0	16				
7/28/2014	69	126	3121	128	113	116	27	4	30	11	14				
10/6/2014	91	151	4149	110	140	130	19	7	20	3	15				303
1/12/2015	68	136	3571	70	99	100	11	2	12	1	12				
4/13/2015	95	155	4457	23	113	138	23	6	17	11	31				
5/18/2015	77	154	3126	61	92	95	26	4	26	4	6	9	45	14	
6/15/2015	98	206	3878	31	162	189	37	9	42	11	18	33	59	22	
9/21/2015	111	179	5215	61	131	143	35	7	34	10	9	12	58	28	
11/2/2015	95	156	4322	64	94	132	19	5	24	8	12	6	39	33	544
<b>Grand Total</b>	<b>1213</b>	<b>1549</b>	<b>44832</b>	<b>1196</b>	<b>1422</b>	<b>1510</b>	<b>359</b>	<b>89</b>	<b>337</b>	<b>107</b>	<b>148</b>	<b>60</b>	<b>201</b>	<b>97</b>	



# The Nantucket Builders Association & National Grid *present...*

A Continuing Education Course for *all* Construction Supervisors Licensees:

## *Electric Service Customer Fulfillment*

Wednesday, January 13, 2016; 6:30-8:30pm

**Presented by:**

Tracy Bolduc  
Manager Customer Connections NE  
National Grid

**Where:**

The Faregrounds Restaurant  
27 Fairgrounds Road; Nantucket, MA

**Description**

In this course, attendees will learn about National Grid's Service Fulfillment Processes. Topics covered will include:

- The electric service request process lifecycle
- Recognized pain points, such as cycle times, communication and costs
- Targeted key initiatives for 2015 and 2016 designed to improve electric service requests
- Reviewing what the company measures (customer sat, work order volumes, lifecycle, etc.)

A robust question and answer segment will follow the main presentation.

Approved by the Massachusetts Board of Building Regulations and Standards for:  
2 hours for Continuing Construction Supervisors Education covering:  
**1 Hour of Energy and 1 Hour Elective**

**Free and open to the Public. Seating is limited.**

There is a \$25.00 fee for members of the Nantucket Builders Association and  
\$50.00 fee for non-members who wish to obtain *CEU credits*.

Please pre-register at: [www.nantucketbuildersassociation.org](http://www.nantucketbuildersassociation.org)  
Questions? Email: [Admin@NantucketBuildersAssociation.org](mailto:Admin@NantucketBuildersAssociation.org)



# G2/3 National Grid Energy Data Report

Prepared for The Town of Nantucket  
By Titan Energy New England

December 2015

# Table of Contents

1. Airport Tower	3-6
2. 14 Airport Road, Fire/Rescue	7-10
3. Nantucket High School	11-14
4. Nantucket Elementary School	15-18
5. Nantucket Town Hall	19-22
6. Police Station	23-26
7. Wastewater Treatment Plant	27-30
8. Our Island Home	31-34
9. 0 Lovers Lane Pump	35-38
10. 0 Sea Street	39-42
11. 1 Milestone Road	43-46
12. 65 Low Beach Road	47-50
13. 188 Madaket Road WSTOP	51-54

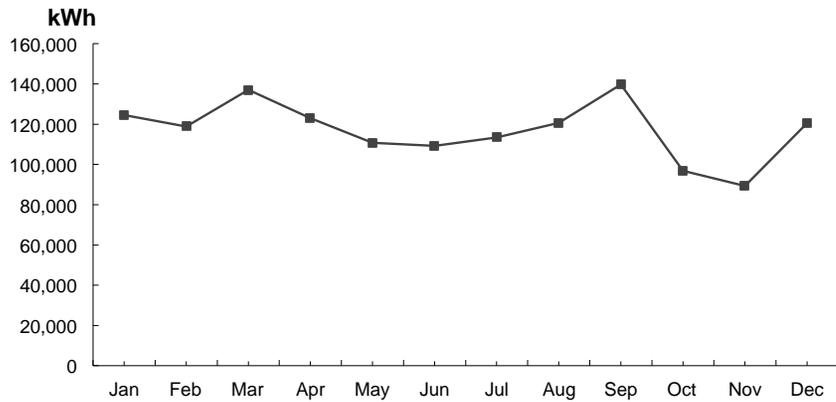
# TITAN ENERGY

Creative energy solutions

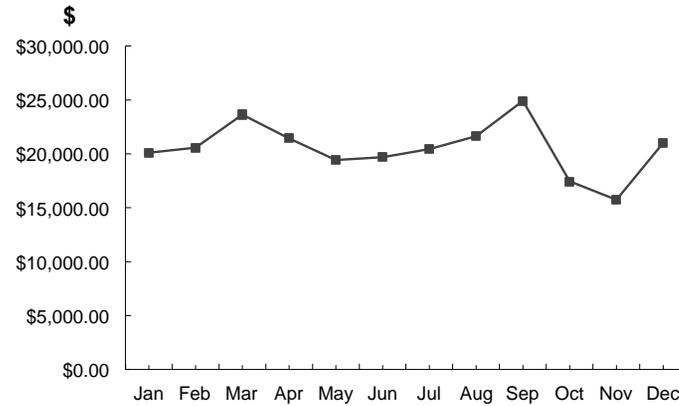


Account Location	Commodity	Start	Stop	Supplier	Price	Follow-Up Action
14 Airport Road (Tower) NG# 2620890004, G3	Electricity	12/1/14	11/30/16	Liberty Power	\$.10665 / kWh	none

*ELECTRIC 2015 YTD, Usage .....*

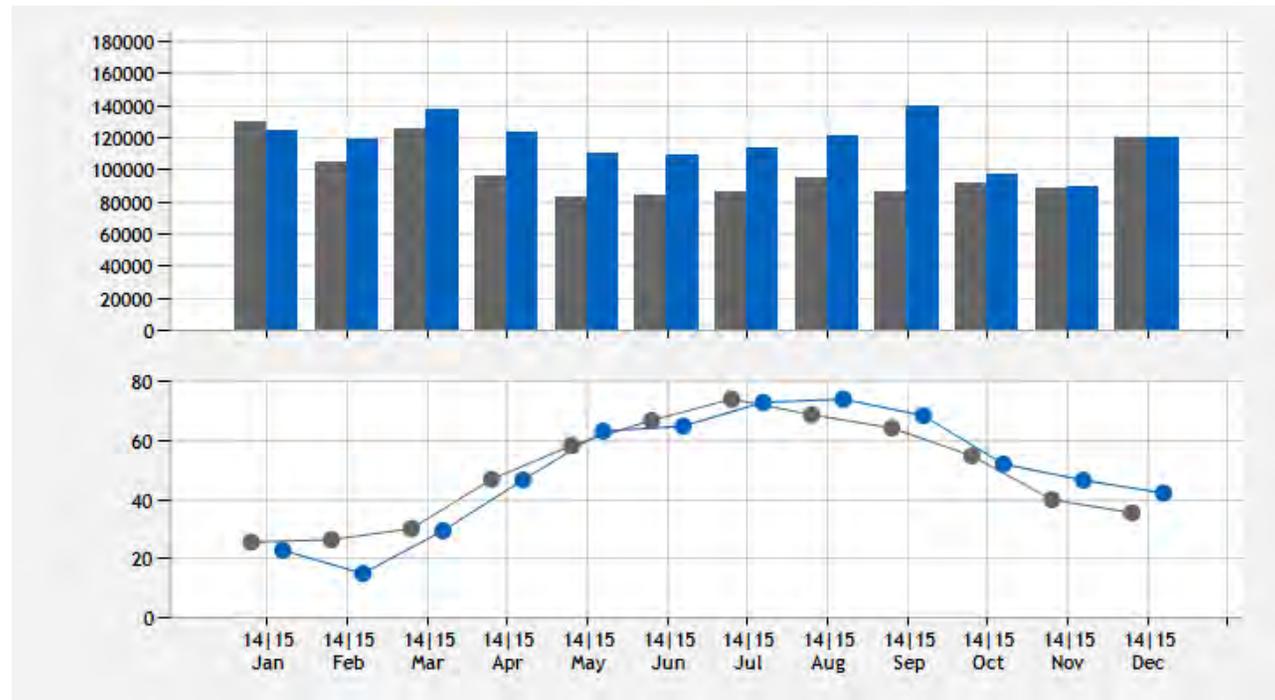


*ELECTRIC 2015 YTD, Dollars Spent .....*

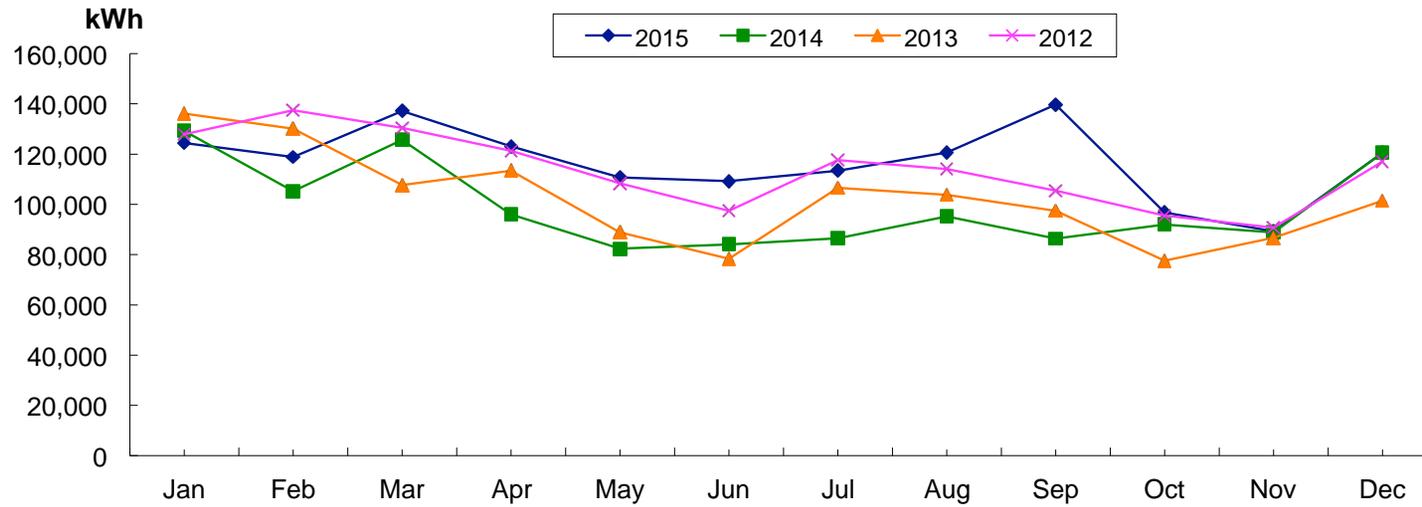


 **Electricity**  
Monthly usage (kWh)  
Current year  
Previous year

 **Temperature**  
Current year  
Previous year

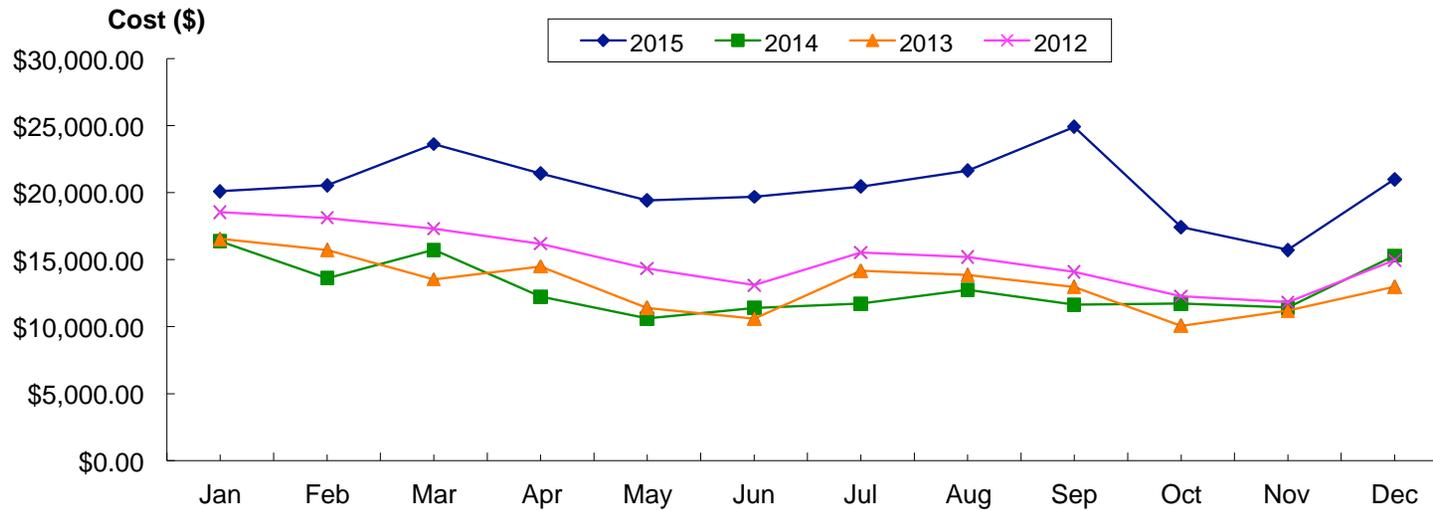


*ELECTRIC Y-O-Y, Usage* .....



	2015	2014	2013	2012	Total
Jan	124,480	129,280	136,160	127,840	
Feb	118,880	105,280	130,080	137,440	
Mar	137,120	125,600	107,680	130,400	
Apr	123,040	96,000	113,440	121,280	
May	110,720	82,400	88,800	108,320	
Jun	109,280	84,000	78,400	97,440	
Jul	113,440	86,560	106,560	117,600	
Aug	120,640	95,200	103,840	114,080	
Sep	139,680	86,400	97,440	105,440	
Oct	96,800	92,000	77,600	95,520	
Nov	89,280	88,800	86,720	90,720	
Dec	120,480	120,480	101,440	117,120	
<b>Total</b>	<b>1,403,840</b>	<b>1,192,000</b>	<b>1,228,160</b>	<b>1,363,200</b>	<b>5,187,200</b>

ELECTRIC Y-O-Y, Cost .....



	2015	2014	2013	2012	Total
Jan	\$20,100.00	\$16,359.00	\$16,556.00	\$18,533.00	
Feb	\$20,559.00	\$13,599.00	\$15,718.00	\$18,107.00	
Mar	\$23,626.00	\$15,738.00	\$13,532.00	\$17,312.00	
Apr	\$21,420.00	\$12,240.00	\$14,479.00	\$16,179.00	
May	\$19,420.00	\$10,608.00	\$11,400.00	\$14,340.00	
Jun	\$19,691.00	\$11,388.00	\$10,587.00	\$13,109.00	
Jul	\$20,449.00	\$11,723.00	\$14,175.00	\$15,523.00	
Aug	\$21,646.00	\$12,753.00	\$13,852.00	\$15,193.00	
Sep	\$24,899.00	\$11,646.00	\$12,949.00	\$14,095.00	
Oct	\$17,437.83	\$11,721.00	\$10,043.00	\$12,277.00	
Nov	\$15,734.85	\$11,425.00	\$11,196.00	\$11,821.00	
Dec	\$21,012.55	\$15,300.00	\$12,978.00	\$14,972.00	
<b>Total</b>	<b>\$245,995.23</b>	<b>\$154,500.00</b>	<b>\$157,465.00</b>	<b>\$181,461.00</b>	<b>\$739,421.23</b>

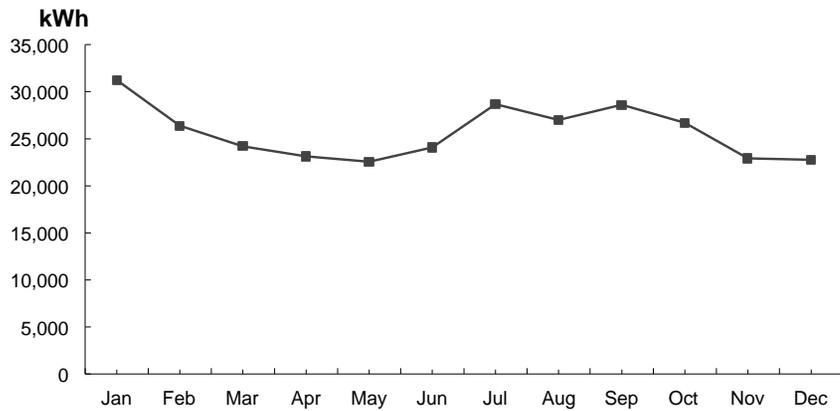
# TITAN ENERGY

Creative energy solutions

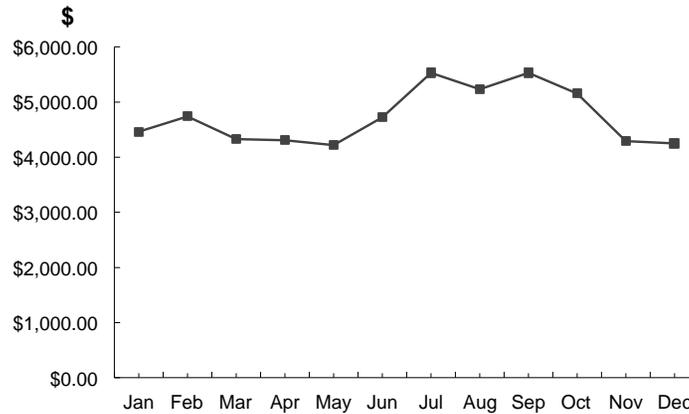


Account Location	Commodity	Start	Stop	Supplier	Price	Follow-Up Action
14 Airport Road, Fire/Rescue NG# 7509616010, G2	Electricity	12/1/14	11/30/16	Liberty Power	\$.10665 / kWh	none

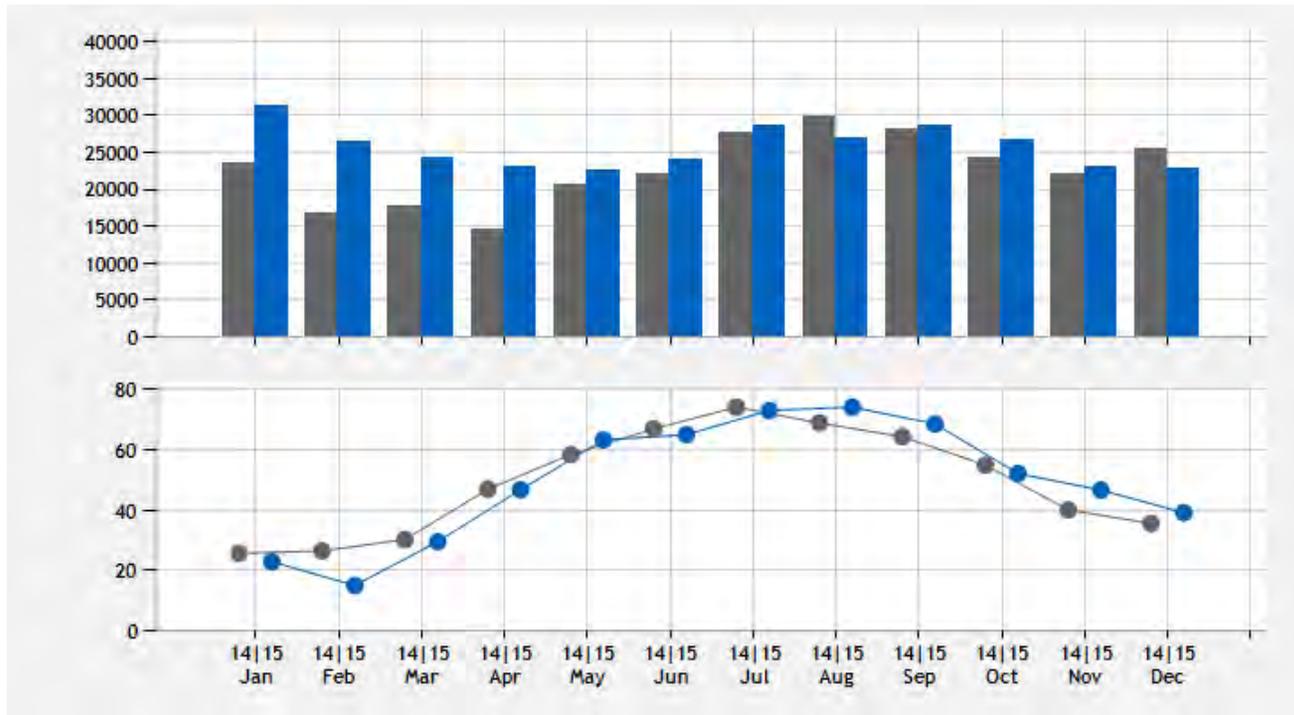
*ELECTRIC 2015 YTD, Usage .....*



*ELECTRIC 2015 YTD, Dollars Spent .....*

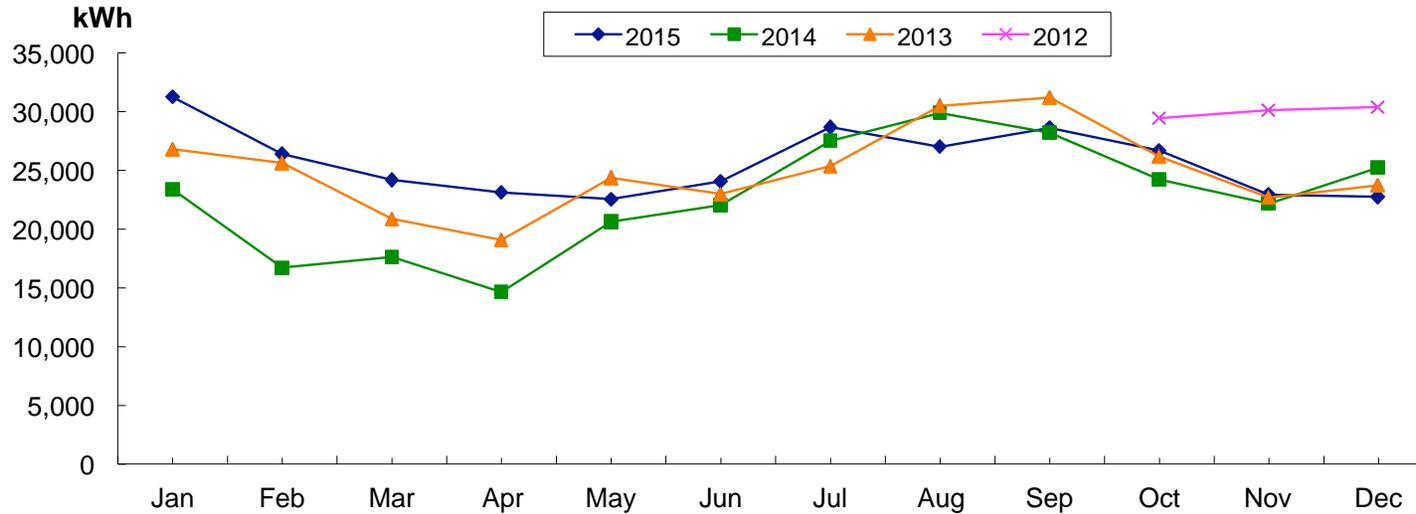


 **Electricity**  
Monthly usage (kWh)  
Current year  
Previous year



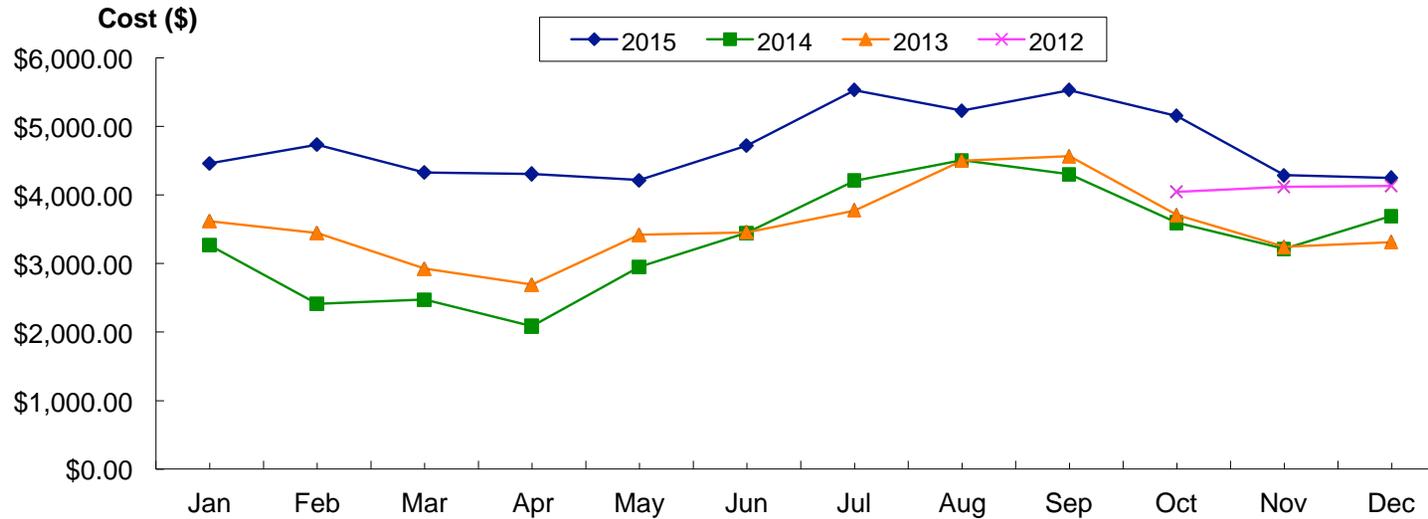
 **Temperature**  
Current year  
Previous year

ELECTRIC Y-O-Y, Usage .....



	2015	2014	2013	2012	Total
Jan	31,240	23,400	26,800		
Feb	26,400	16,720	25,640		
Mar	24,200	17,640	20,880		
Apr	23,120	14,640	19,080		
May	22,560	20,640	24,360		
Jun	24,080	22,040	23,000		
Jul	28,680	27,520	25,360		
Aug	27,000	29,880	30,480		
Sep	28,600	28,200	31,200		
Oct	26,680	24,230	26,160	29,440	
Nov	22,920	22,160	22,680	30,120	
Dec	22,760	25,250	23,720	30,400	
<b>Total</b>	<b>308,240</b>	<b>272,320</b>	<b>299,360</b>	<b>89,960</b>	<b>969,880</b>

*ELECTRIC Y-O-Y, Cost* .....



	2015	2014	2013	2012	Total
Jan	\$4,461.00	\$3,264.00	\$3,616.00		
Feb	\$4,735.00	\$2,410.00	\$3,445.00		
Mar	\$4,328.00	\$2,473.00	\$2,926.00		
Apr	\$4,306.00	\$2,085.00	\$2,693.00		
May	\$4,218.00	\$2,951.00	\$3,419.00		
Jun	\$4,721.00	\$3,449.00	\$3,452.00		
Jul	\$5,528.00	\$4,207.00	\$3,770.00		
Aug	\$5,231.00	\$4,507.00	\$4,500.00		
Sep	\$5,526.00	\$4,304.00	\$4,565.00		
Oct	\$5,152.28	\$3,597.00	\$3,707.00	\$4,044.00	
Nov	\$4,288.79	\$3,216.00	\$3,244.00	\$4,117.00	
Dec	\$4,246.83	\$3,696.00	\$3,311.00	\$4,132.00	
<b>Total</b>	<b>\$56,741.90</b>	<b>\$40,159.00</b>	<b>\$42,648.00</b>	<b>\$12,293.00</b>	<b>\$151,842</b>

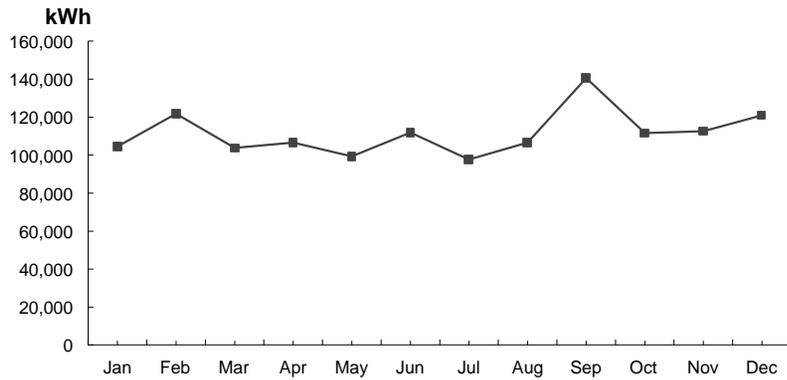
# TITAN ENERGY

Creative energy solutions

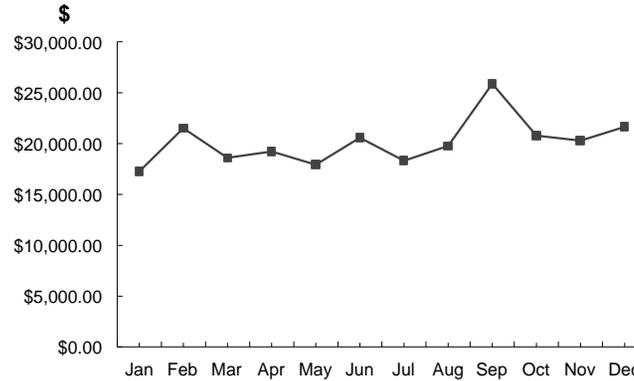


Account Location	Commodity	Start	Stop	Supplier	Price	Follow-Up Action
Nantucket High School NG# 8949519008, G3	Electricity	12/1/14	11/30/16	Liberty Power	\$.10665 / kWh	n/a

*ELECTRIC 2015 YTD, Usage .....*

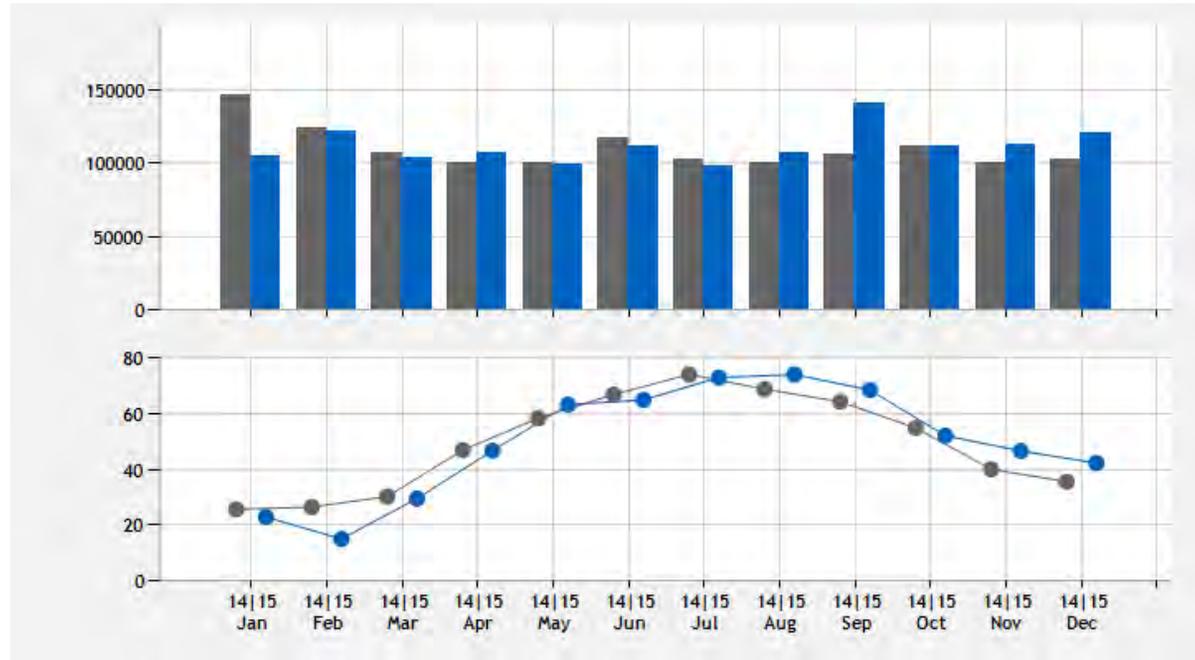


*ELECTRIC 2015 YTD, Dollars Spent .....*

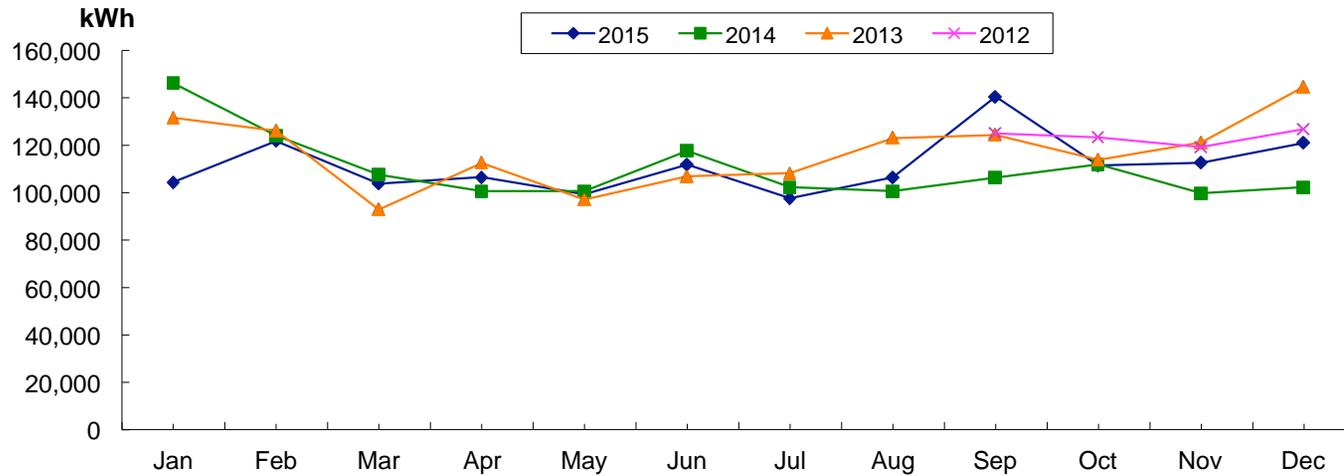


 **Electricity**  
Monthly usage (kWh)  
Current year  
Previous year

 **Temperature**  
Current year  
Previous year



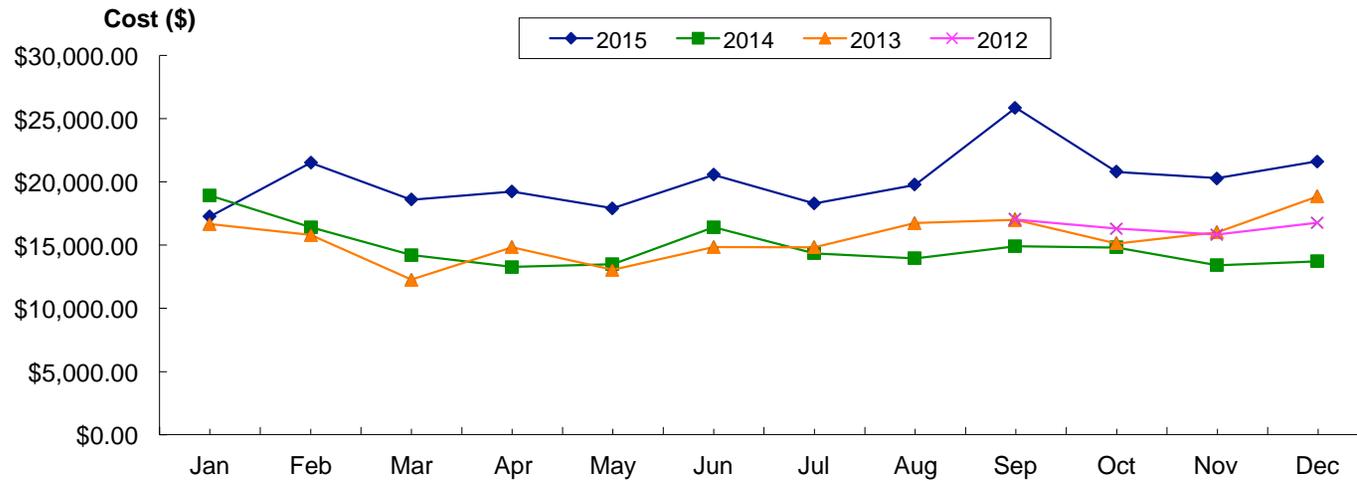
ELECTRIC Y-O-Y, Usage .....



	2015	2014	2013	2012	Total
Jan	104,462	146,132	131,516		
Feb	121,756	124,087	126,058		
Mar	103,743	107,543	92,823		
Apr	106,630	100,683	112,526		
May	99,334	100,658	97,145		
Jun	111,871	117,601	106,887		
Jul	97,629	102,292	108,296		
Aug	106,528	100,636	122,993		
Sep	140,489	106,366	124,282	125,005	
Oct	111,547	111,900	113,825	123,321	
Nov	112,568	99,778	121,232	119,217	
Dec	120,946	102,295	144,767	126,746	
<b>Total</b>	<b>1,337,503</b>	<b>1,319,971</b>	<b>1,402,350</b>	<b>494,289</b>	<b>4,554,113</b>



ELECTRIC Y-O-Y, Cost .....

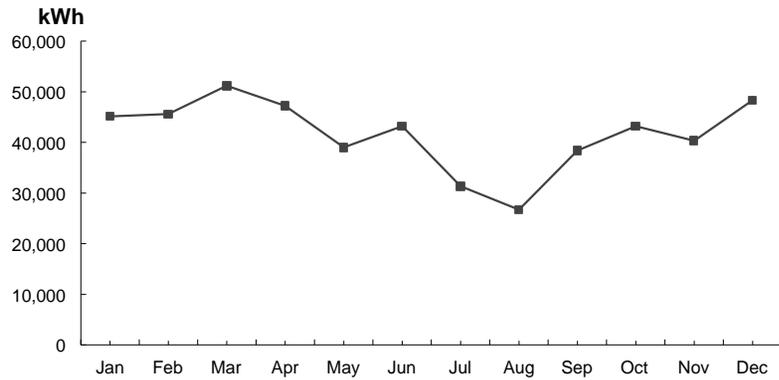


	2015	2014	2013	2012	Total
Jan	\$17,251.00	\$18,926.00	\$16,670.00		
Feb	\$21,516.00	\$16,400.00	\$15,800.00		
Mar	\$18,593.00	\$14,209.00	\$12,258.00		
Apr	\$19,227.00	\$13,273.00	\$14,812.00		
May	\$17,920.00	\$13,481.00	\$13,032.00		
Jun	\$20,559.00	\$16,407.00	\$14,832.00		
Jul	\$18,297.00	\$14,348.00	\$14,813.00		
Aug	\$19,763.00	\$13,937.00	\$16,735.00		
Sep	\$25,869.00	\$14,899.00	\$16,986.00	\$17,014.00	
Oct	\$20,781.02	\$14,797.00	\$15,122.00	\$16,307.00	
Nov	\$20,290.80	\$13,398.00	\$16,009.00	\$15,829.00	
Dec	\$21,634.15	\$13,712.00	\$18,860.00	\$16,762.00	
<b>Total</b>	<b>\$241,700.97</b>	<b>\$177,787.00</b>	<b>\$185,929.00</b>	<b>\$65,912.00</b>	<b>\$671,328.97</b>

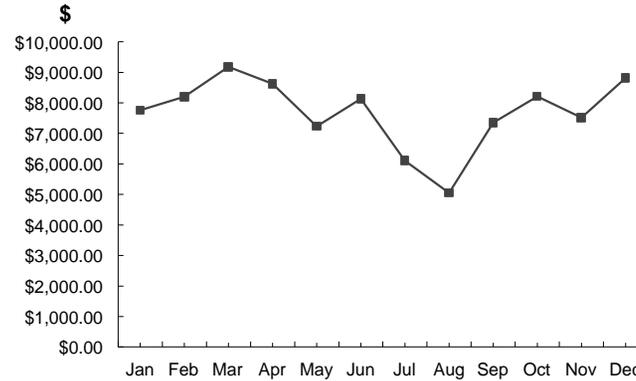


Account Location	Commodity	Start	Stop	Supplier	Price	Follow-Up Action
Nantucket Elementary School NG# 8949520001, G3	Electricity	12/1/14	11/30/16	Liberty Power	\$.10665 / kWh	n/a

*ELECTRIC 2015 YTD, Usage .....*



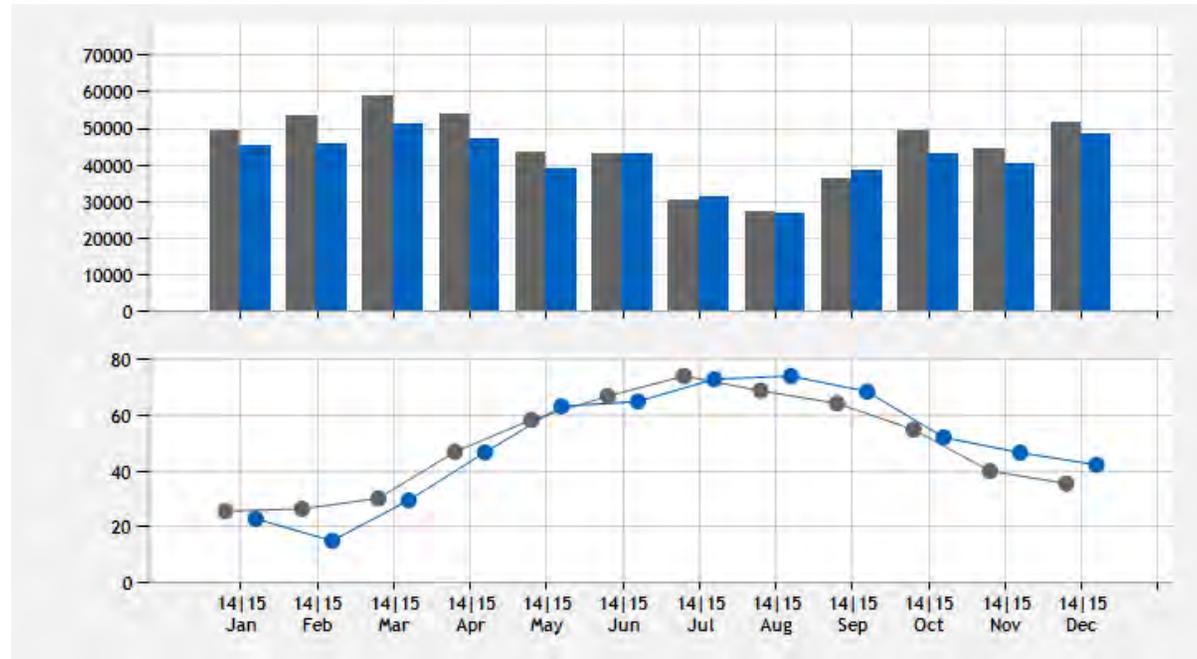
*ELECTRIC 2015 YTD, Dollars Spent .....*



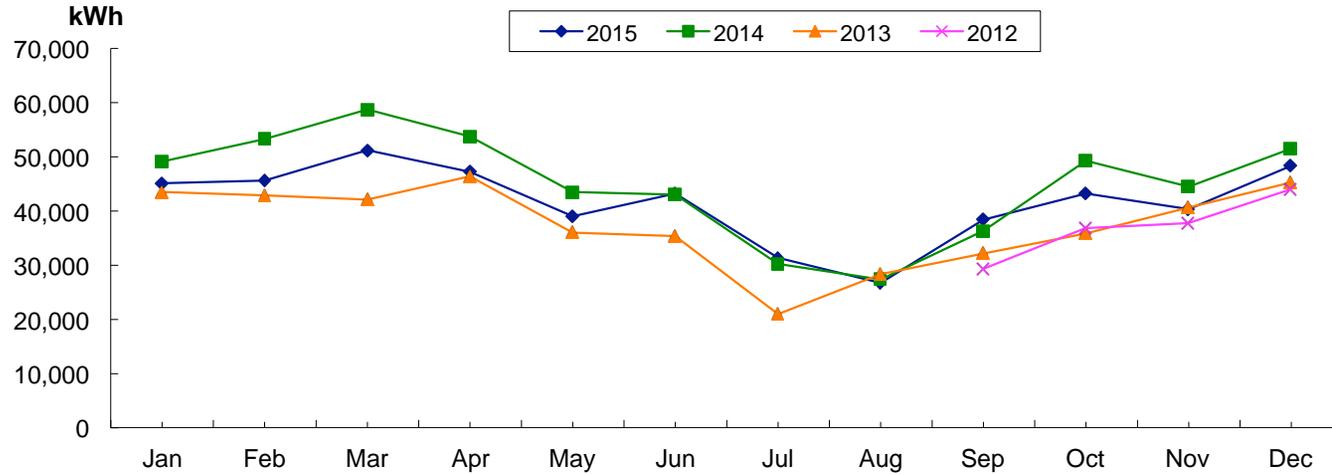
**Electricity**  
Monthly usage (kWh)  
Current year  
Previous year



**Temperature**  
Current year  
Previous year



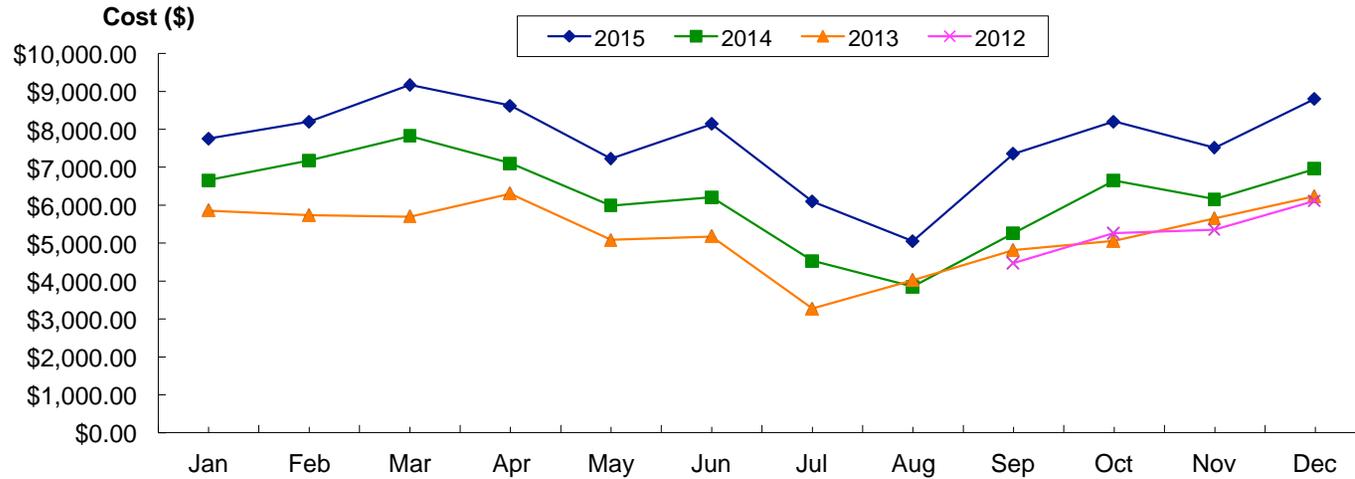
ELECTRIC Y-O-Y, Usage .....



	2015	2014	2013	2012	Total
Jan	45,120	49,120	43,520		
Feb	45,600	53,280	42,880		
Mar	51,200	58,720	42,080		
Apr	47,200	53,760	46,400		
May	39,040	43,520	36,000		
Jun	43,200	43,040	35,360		
Jul	31,360	30,240	20,960		
Aug	26,720	27,360	28,320		
Sep	38,400	36,320	32,160	29,280	
Oct	43,200	49,280	35,840	36,800	
Nov	40,320	44,480	40,640	37,760	
Dec	48,320	51,520	45,280	44,000	
<b>Total</b>	<b>499,680</b>	<b>540,640</b>	<b>449,440</b>	<b>147,840</b>	<b>1,637,600</b>



ELECTRIC Y-O-Y, Cost .....



	2015	2014	2013	2012	Total
Jan	\$7,757.00	\$6,660.00	\$5,852.00		
Feb	\$8,203.00	\$7,177.00	\$5,736.00		
Mar	\$9,174.00	\$7,816.00	\$5,691.00		
Apr	\$8,627.00	\$7,107.00	\$6,301.00		
May	\$7,228.00	\$5,987.00	\$5,083.00		
Jun	\$8,132.00	\$6,211.00	\$5,171.00		
Jul	\$6,100.00	\$4,533.00	\$3,271.00		
Aug	\$5,049.00	\$3,854.00	\$4,018.00		
Sep	\$7,354.00	\$5,257.00	\$4,811.00	\$4,467.00	
Oct	\$8,208.41	\$6,645.00	\$5,056.00	\$5,261.00	
Nov	\$7,510.59	\$6,161.00	\$5,653.00	\$5,351.00	
Dec	\$8,810.47	\$6,954.00	\$6,234.00	\$6,112.00	
<b>Total</b>	<b>\$92,153.47</b>	<b>\$74,362.00</b>	<b>\$62,877.00</b>	<b>\$21,191.00</b>	<b>\$250,583.47</b>

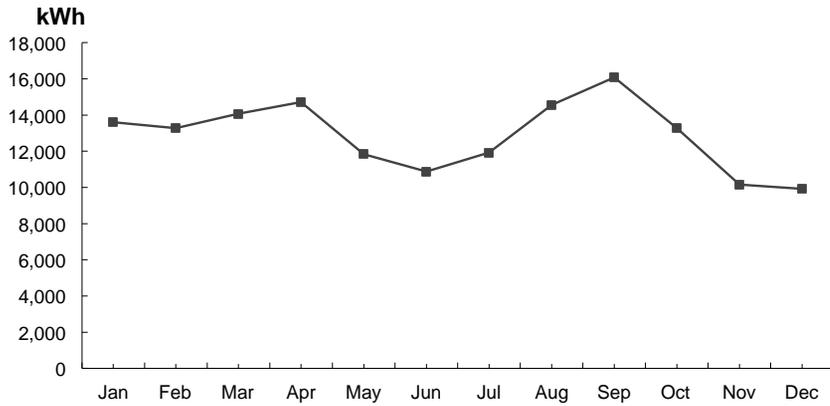
# TITAN ENERGY

Creative energy solutions

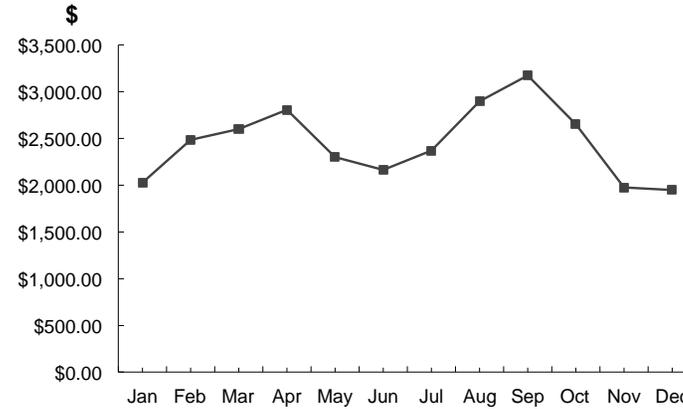


Account Location	Commodity	Start	Stop	Supplier	Price	Follow-Up Action
16 Broad Street NG# 3944046005, G2	Electricity	12/1/14	12/30/16	Liberty Power	\$.10665 / kWh	none

*ELECTRIC 2015 YTD, Usage .....*

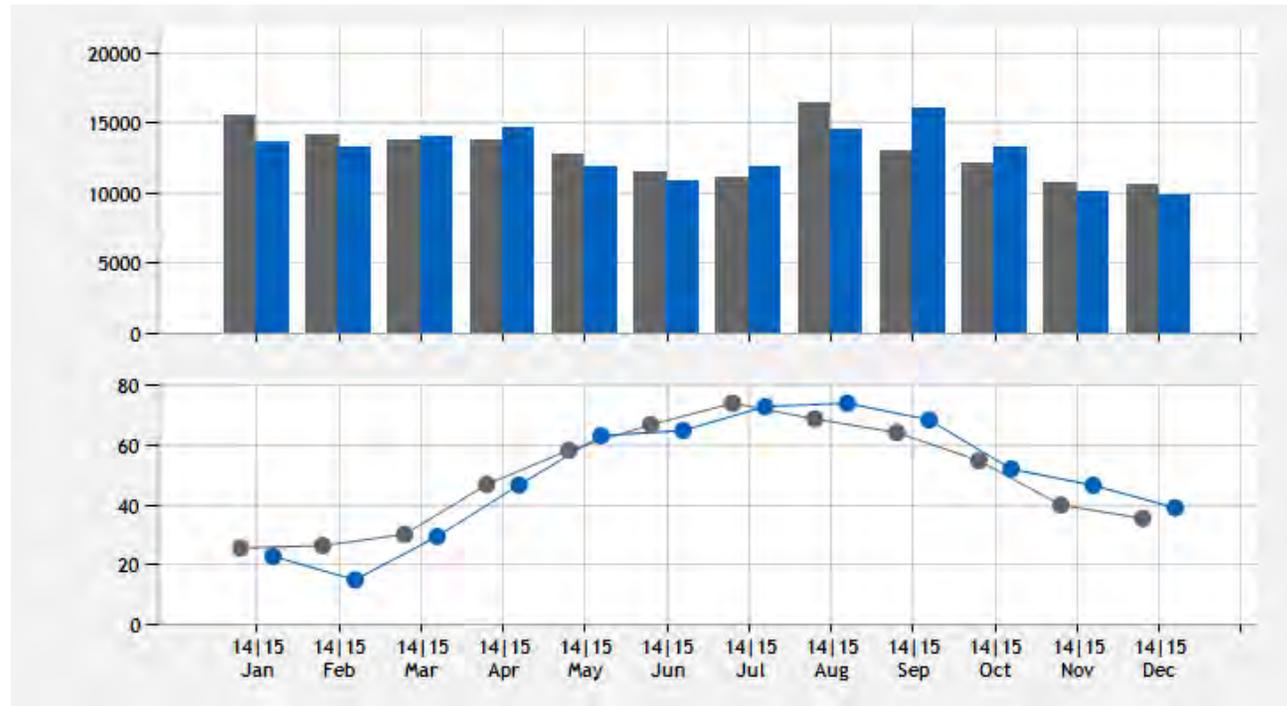


*ELECTRIC 2015 YTD, Dollars Spent .....*

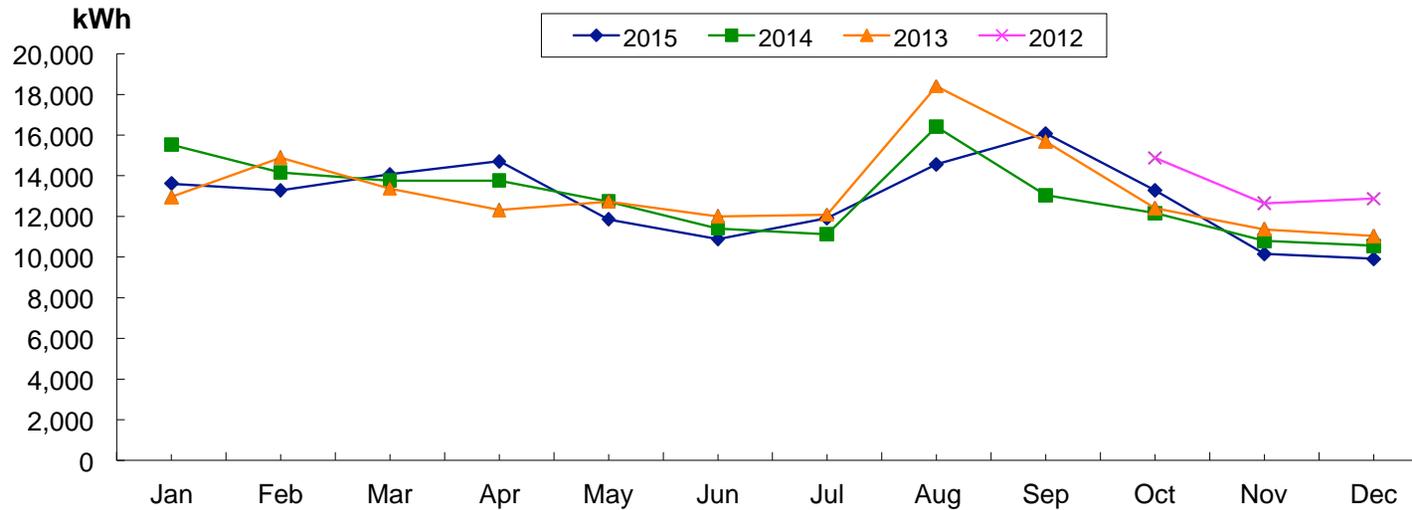


 **Electricity**  
Monthly usage (kWh)  
Current year  
Previous year

 **Temperature**  
Current year  
Previous year

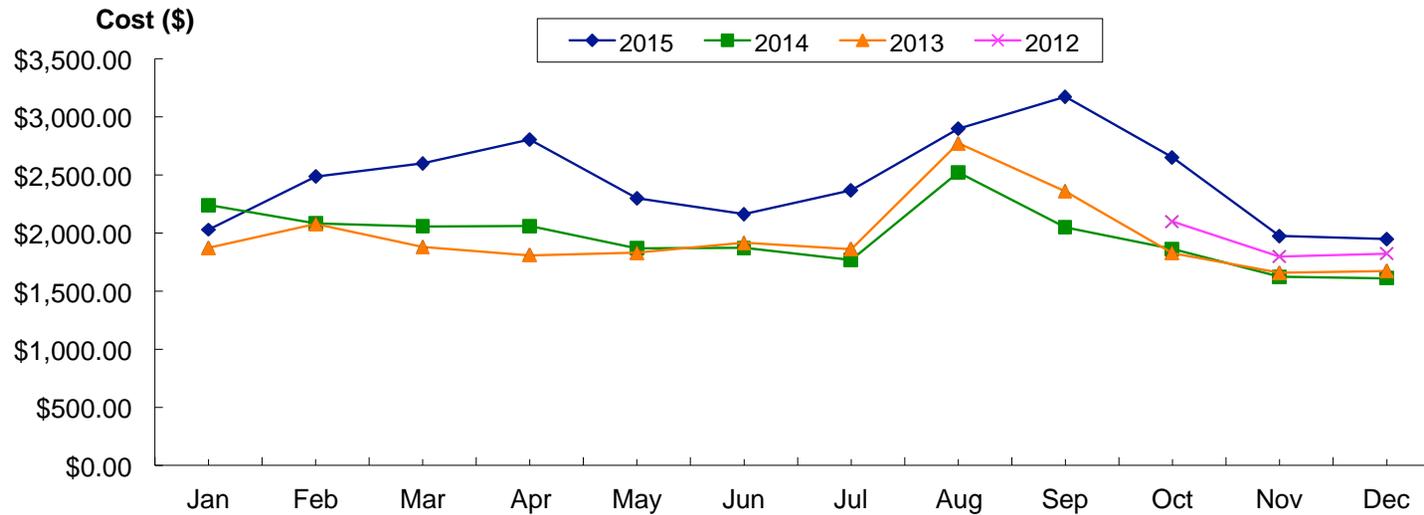


ELECTRIC Y-O-Y, Usage .....



	2015	2014	2013	2012	Total
Jan	13,600	15,520	12,960		
Feb	13,280	14,160	14,880		
Mar	14,080	13,760	13,360		
Apr	14,720	13,760	12,320		
May	11,840	12,720	12,720		
Jun	10,880	11,400	12,000		
Jul	11,920	11,120	12,080		
Aug	14,560	16,400	18,400		
Sep	16,080	13,040	15,680		
Oct	13,280	12,160	12,400	14,880	
Nov	10,160	10,800	11,360	12,640	
Dec	9,920	10,560	11,040	12,880	
<b>Total</b>	<b>154,320</b>	<b>155,400</b>	<b>159,200</b>	<b>40,400</b>	<b>509,320</b>

*ELECTRIC Y-O-Y, Cost* .....



	2015	2014	2013	2012	Total
Jan	\$2,028.00	\$2,241.00	\$1,872.00		
Feb	\$2,486.00	\$2,083.00	\$2,077.00		
Mar	\$2,601.00	\$2,057.00	\$1,879.00		
Apr	\$2,805.00	\$2,060.00	\$1,806.00		
May	\$2,300.00	\$1,867.00	\$1,832.00		
Jun	\$2,164.00	\$1,874.00	\$1,918.00		
Jul	\$2,369.00	\$1,769.00	\$1,860.00		
Aug	\$2,898.00	\$2,522.00	\$2,774.00		
Sep	\$3,174.00	\$2,049.00	\$2,359.00		
Oct	\$2,650.37	\$1,864.00	\$1,827.00	\$2,099.00	
Nov	\$1,974.68	\$1,625.00	\$1,657.00	\$1,797.00	
Dec	\$1,947.61	\$1,609.00	\$1,674.00	\$1,821.00	
<b>Total</b>	<b>\$29,397.66</b>	<b>\$23,620.00</b>	<b>\$23,535.00</b>	<b>\$5,717.00</b>	<b>\$82,269.66</b>

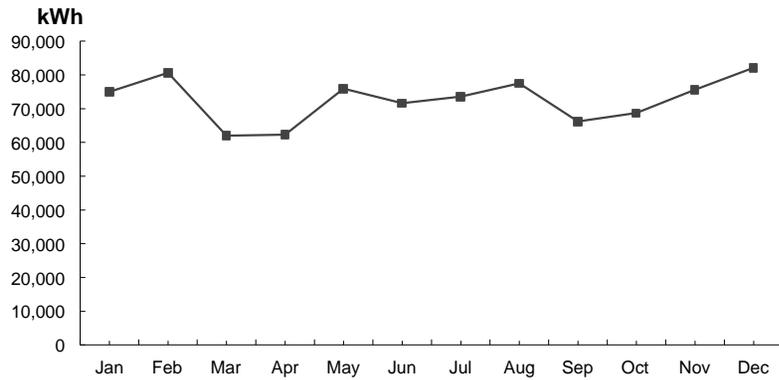
# TITAN ENERGY

Creative energy solutions

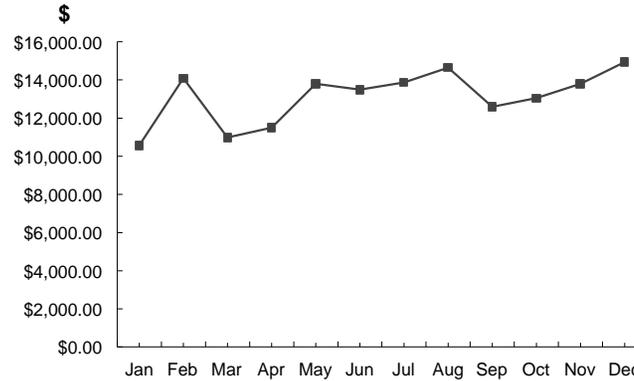


Account Location	Commodity	Start	Stop	Supplier	Price	Follow-Up Action
4 Fairgrounds Road NG# 1269949001, G2	Electricity	12/1/14	11/30/16	Liberty Power	\$.10665 / kWh	none

*ELECTRIC 2015 YTD, Usage .....*



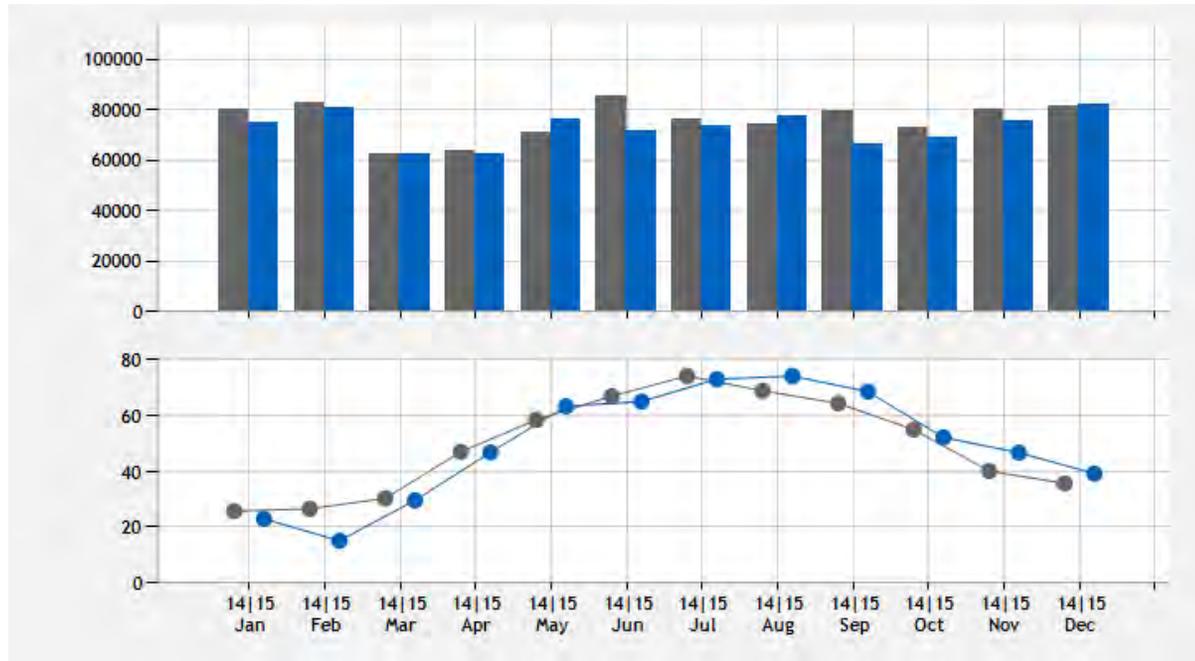
*ELECTRIC 2015 YTD, Dollars Spent .....*



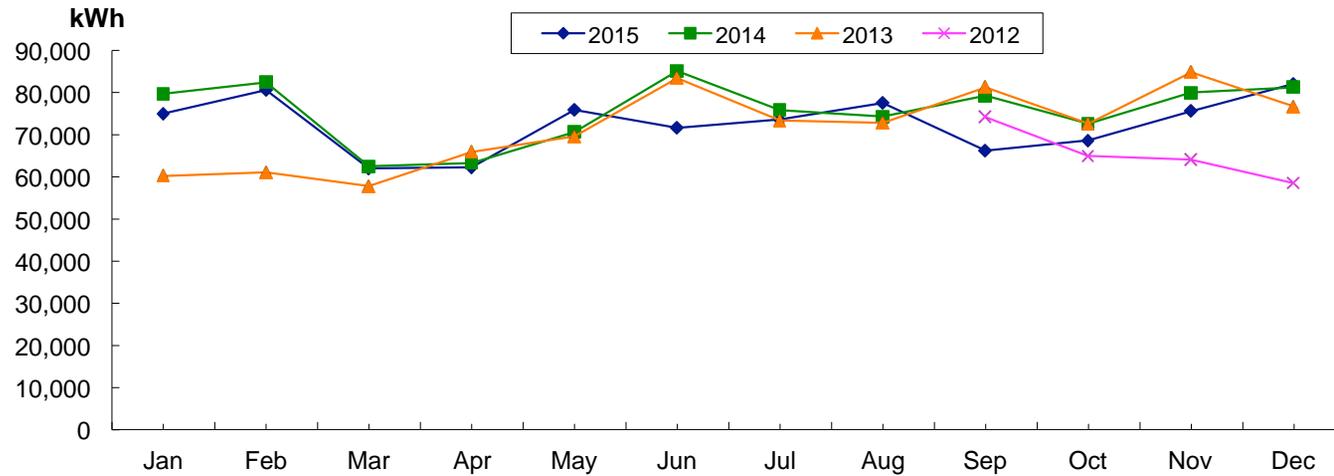
**Electricity**  
Monthly usage (kWh)  
Current year  
Previous year



**Temperature**  
Current year  
Previous year



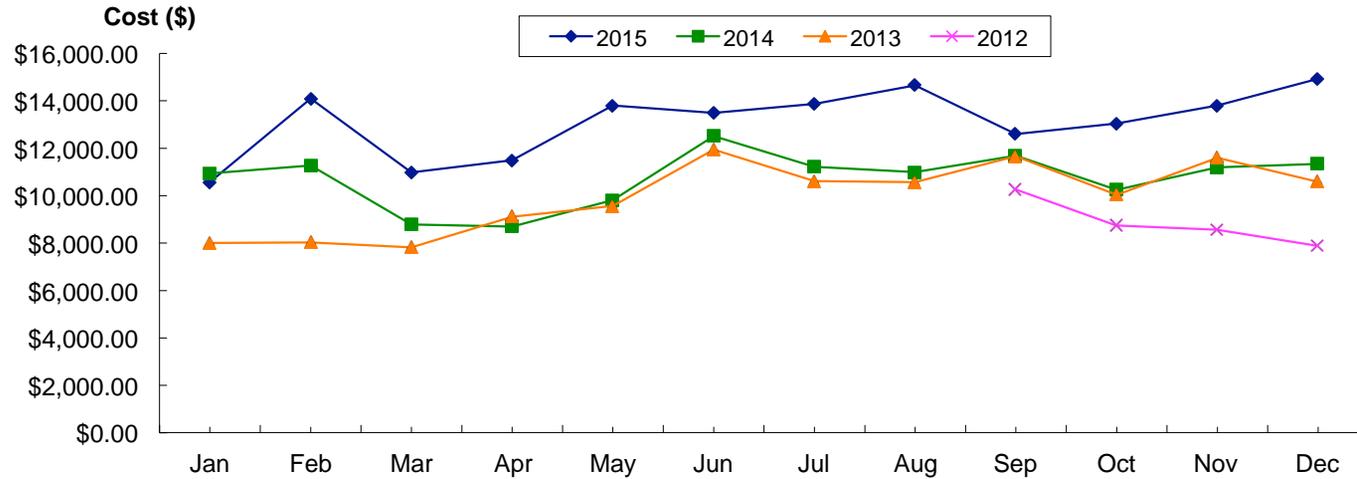
ELECTRIC Y-O-Y, Usage .....



	2015	2014	2013	2012	Total
Jan	75,000	79,700	60,200		
Feb	80,600	82,400	61,100		
Mar	62,000	62,500	57,800		
Apr	62,300	63,300	65,900		
May	75,900	70,600	69,600		
Jun	71,600	85,100	83,400		
Jul	73,600	75,800	73,400		
Aug	77,500	74,300	72,800		
Sep	66,200	79,300	81,200	74,200	
Oct	68,700	72,600	72,600	65,000	
Nov	75,600	80,000	84,800	64,100	
Dec	82,100	81,200	76,700	58,500	
<b>Total</b>	<b>871,100</b>	<b>906,800</b>	<b>859,500</b>	<b>261,800</b>	<b>2,899,200</b>



ELECTRIC Y-O-Y, Cost .....



	2015	2014	2013	2012	Total
Jan	\$10,569.00	\$10,940.00	\$8,006.00		
Feb	\$14,092.00	\$11,270.00	\$8,024.00		
Mar	\$10,984.00	\$8,788.00	\$7,818.00		
Apr	\$11,499.00	\$8,691.00	\$9,111.00		
May	\$13,804.00	\$9,811.00	\$9,571.00		
Jun	\$13,490.00	\$12,514.00	\$11,939.00		
Jul	\$13,871.00	\$11,221.00	\$10,609.00		
Aug	\$14,646.00	\$10,998.00	\$10,574.00		
Sep	\$12,597.00	\$11,686.00	\$11,658.00	\$10,269.00	
Oct	\$13,043.57	\$10,245.00	\$10,034.00	\$8,738.00	
Nov	\$13,804.17	\$11,196.00	\$11,592.00	\$8,567.00	
Dec	\$14,931.23	\$11,337.00	\$10,578.00	\$7,880.00	
<b>Total</b>	<b>\$157,330.97</b>	<b>\$128,697.00</b>	<b>\$119,514.00</b>	<b>\$35,454.00</b>	<b>\$440,995.97</b>

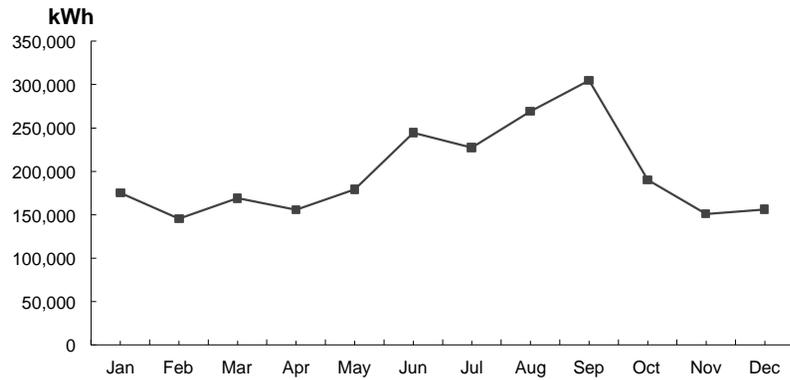
# TITAN ENERGY

Creative energy solutions

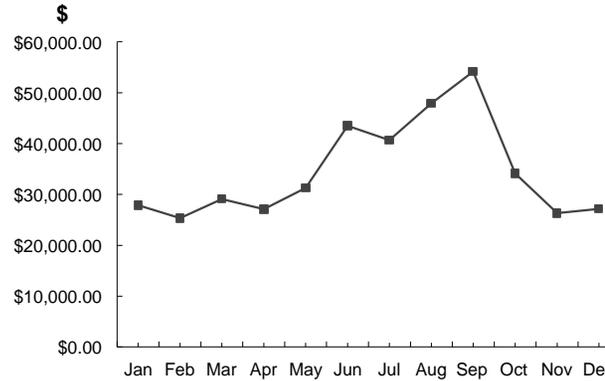


Account Location	Commodity	Start	Stop	Supplier	Price	Follow-Up Action
72 South Shore Road, WWTP NG# 8778513016, G3	Electricity	12/1/14	11/30/16	Liberty Power	\$.10665 / kWh	none

*ELECTRIC 2015 YTD, Usage .....*



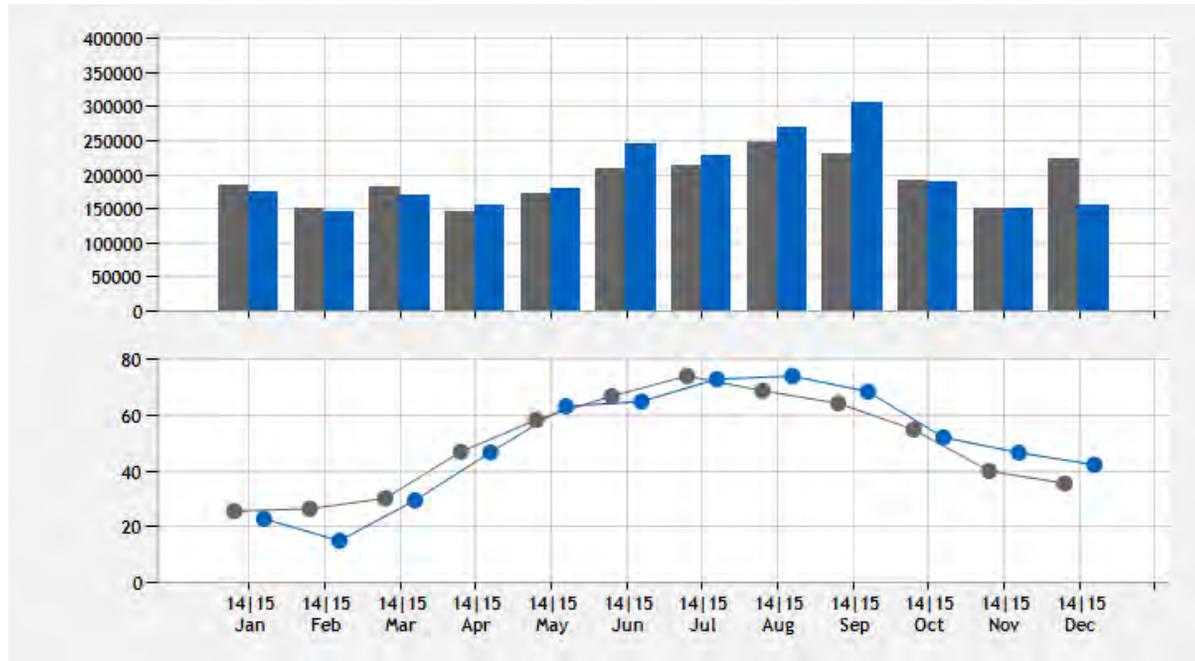
*ELECTRIC 2015 YTD, Dollars Spent .....*



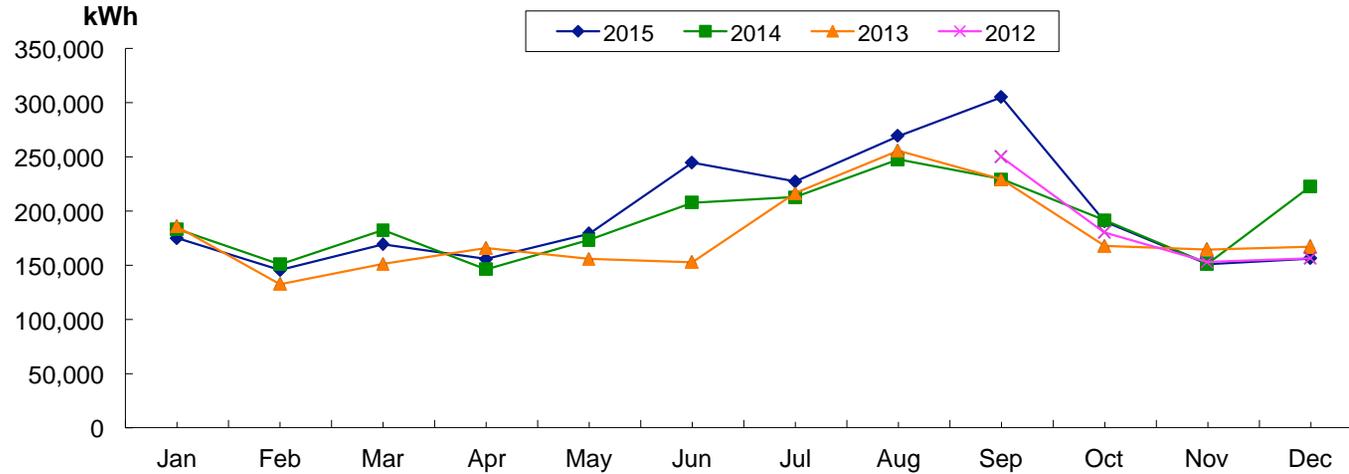
**Electricity**  
Monthly usage(kWh)  
Current year  
Previous year



**Temperature**  
Current year  
Previous year



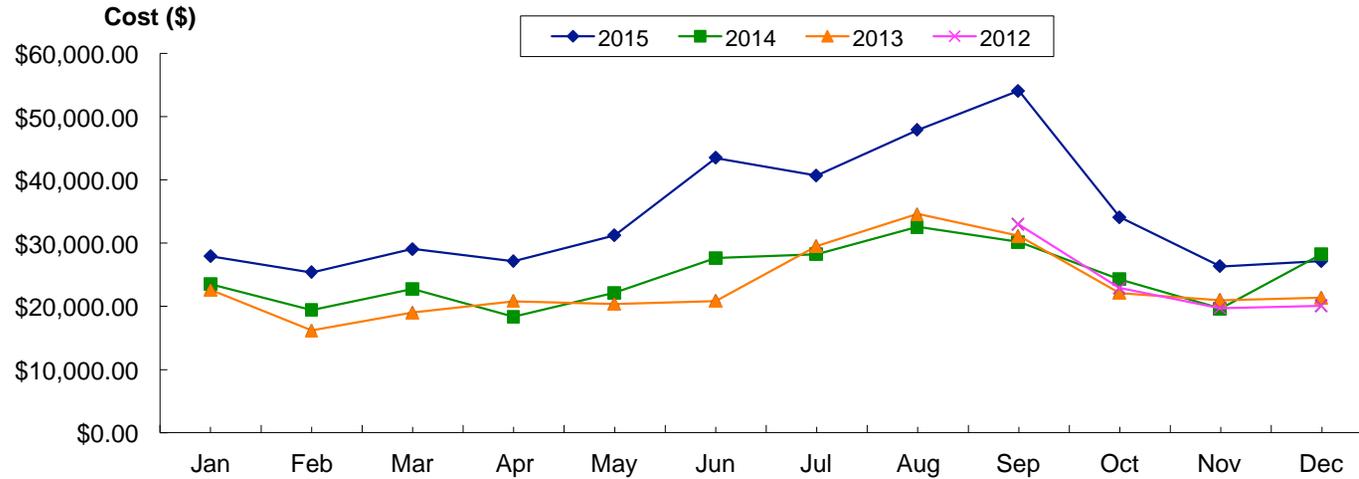
*ELECTRIC Y-O-Y, Usage .....*



	2015	2014	2013	2012	Total
Jan	175,200	183,300	185,700		
Feb	145,500	150,600	132,300		
Mar	169,200	182,400	151,200		
Apr	155,700	146,100	165,700		
May	179,100	173,400	155,700		
Jun	244,500	207,600	152,700		
Jul	227,400	213,000	216,600		
Aug	269,100	247,500	255,600		
Sep	304,800	229,500	229,200	249,900	
Oct	190,240	191,400	167,700	180,300	
Nov	150,900	151,500	164,400	153,000	
Dec	156,000	222,900	167,100	156,300	
<b>Total</b>	<b>2,367,640</b>	<b>2,299,200</b>	<b>2,143,900</b>	<b>739,500</b>	<b>7,550,240</b>



ELECTRIC Y-O-Y, Cost .....

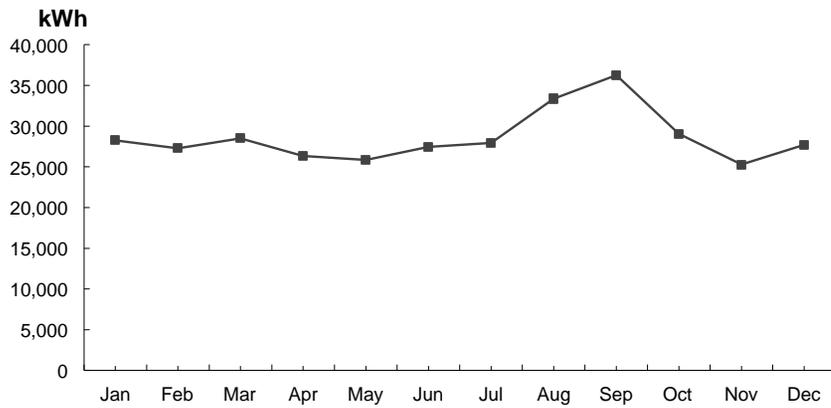


	2015	2014	2013	2012	Total
Jan	\$27,907.00	\$23,505.00	\$22,615.00		
Feb	\$25,343.00	\$19,398.00	\$16,185.00		
Mar	\$29,090.00	\$22,754.00	\$19,008.00		
Apr	\$27,128.00	\$18,338.00	\$20,752.00		
May	\$31,244.00	\$22,153.00	\$20,360.00		
Jun	\$43,452.00	\$27,624.00	\$20,832.00		
Jul	\$40,660.00	\$28,217.00	\$29,518.00		
Aug	\$47,871.00	\$32,566.00	\$34,606.00		
Sep	\$54,111.00	\$30,200.00	\$31,153.00	\$33,001.00	
Oct	\$34,130.97	\$24,243.00	\$22,073.00	\$22,909.00	
Nov	\$26,312.47	\$19,647.00	\$20,932.00	\$19,668.00	
Dec	\$27,175.23	\$28,242.00	\$21,351.00	\$20,061.00	
<b>Total</b>	<b>\$414,424.67</b>	<b>\$296,887.00</b>	<b>\$279,385.00</b>	<b>\$95,639.00</b>	<b>\$1,086,335.67</b>

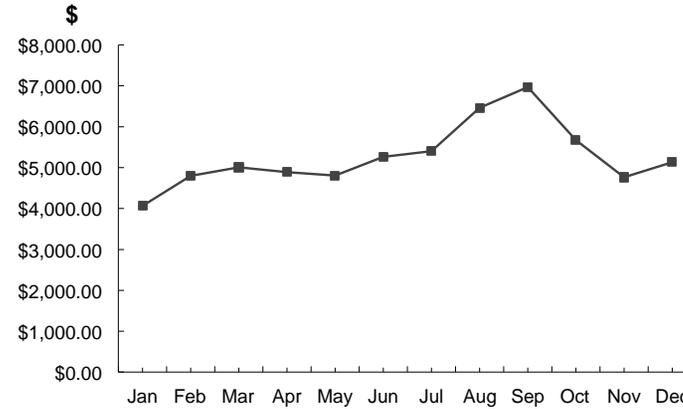


Account Location	Commodity	Start	Stop	Supplier	Price	Follow-Up Action
Our Island Home, 142 Orange Street NG# 8930904008, G2	Electric	12/1/14	11/30/16	Liberty Power	\$.10665 / kWh	none

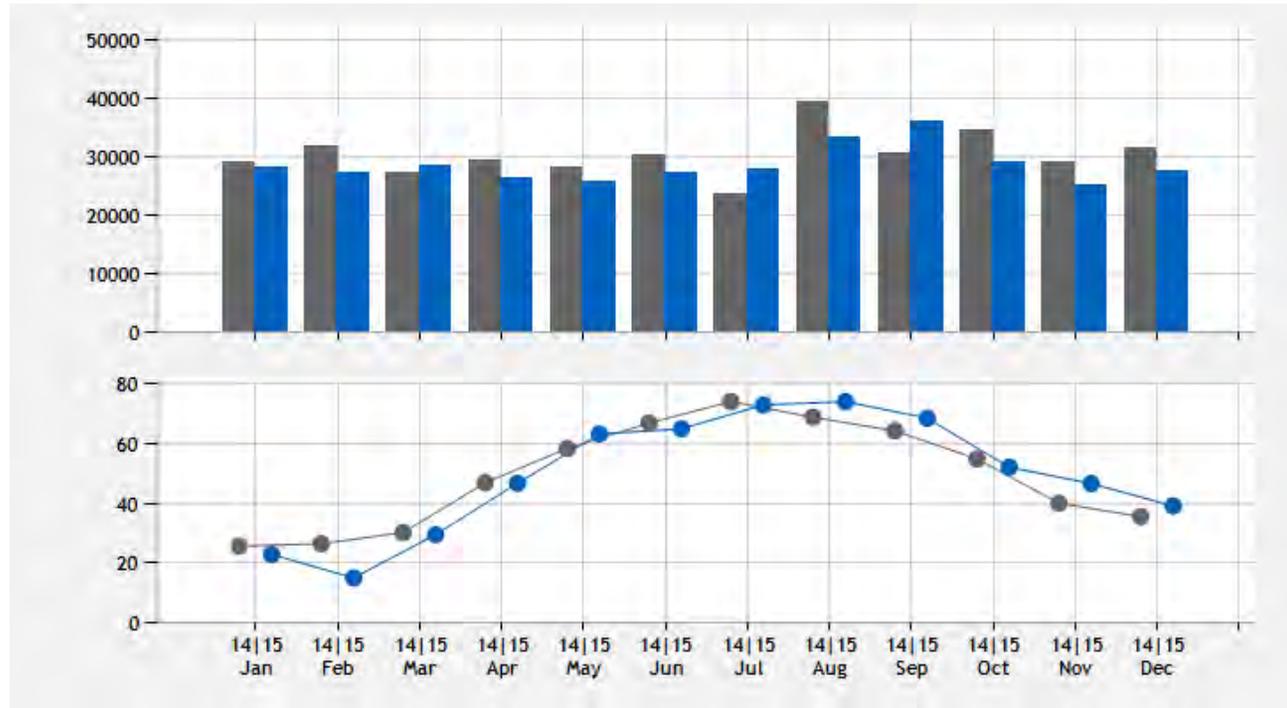
ELECTRIC 2015 YTD, Usage .....



ELECTRIC 2015 YTD, Dollars Spent .....

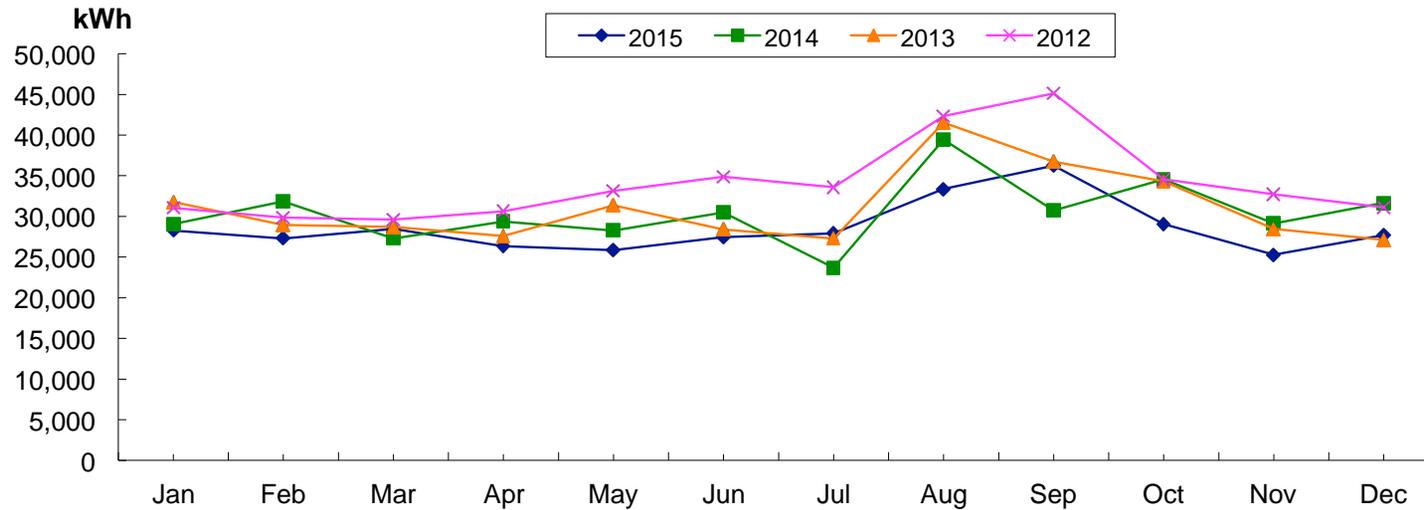


**Electricity**  
Monthly usage(kWh)  
Current year  
Previous year



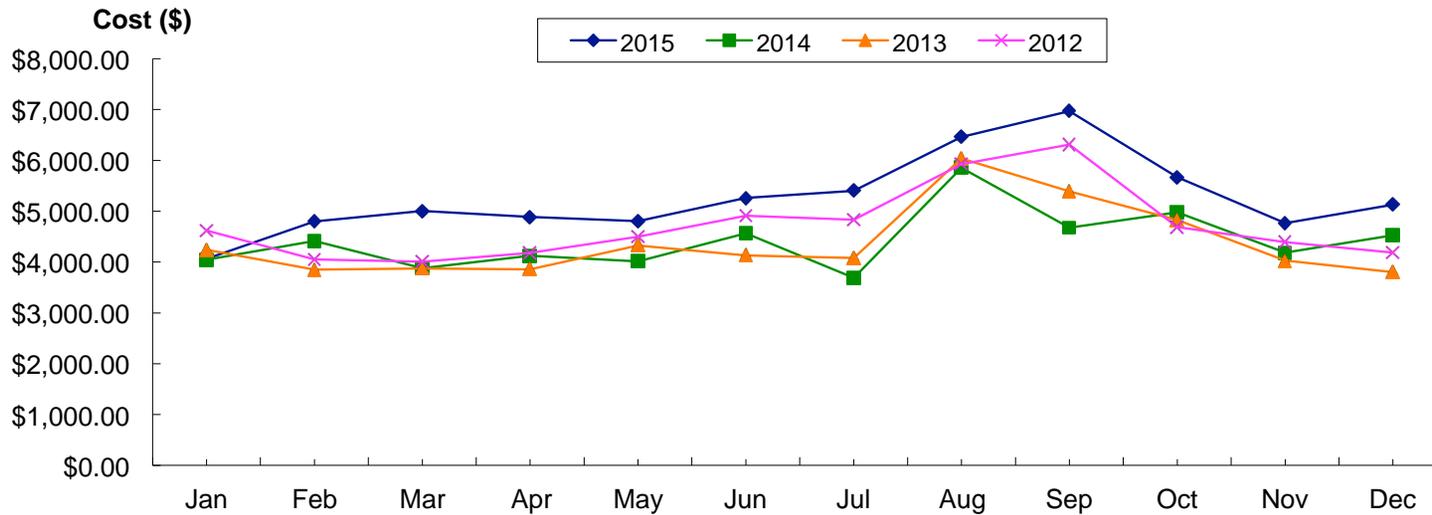
**Temperature**  
Current year  
Previous year

ELECTRIC Y-O-Y, Usage .....



	2015	2014	2013	2012	Total
Jan	28,240	29,040	31,760	31,040	
Feb	27,280	31,840	28,960	29,840	
Mar	28,480	27,280	28,720	29,600	
Apr	26,320	29,360	27,600	30,640	
May	25,840	28,240	31,360	33,120	
Jun	27,440	30,480	28,400	34,880	
Jul	27,920	23,680	27,280	33,600	
Aug	33,360	39,440	41,520	42,320	
Sep	36,240	30,720	36,720	45,120	
Oct	29,040	34,560	34,320	34,560	
Nov	25,280	29,120	28,480	32,720	
Dec	27,680	31,680	27,120	31,120	
<b>Total</b>	<b>343,120</b>	<b>365,440</b>	<b>372,240</b>	<b>408,560</b>	<b>1,489,360</b>

ELECTRIC Y-O-Y, Cost .....



	2015	2014	2013	2012	Total
Jan	\$4,064.00	\$4,045.00	\$4,241.00	\$4,620.00	
Feb	\$4,801.00	\$4,414.00	\$3,854.00	\$4,055.00	
Mar	\$5,005.00	\$3,880.00	\$3,876.00	\$4,007.00	
Apr	\$4,891.00	\$4,124.00	\$3,858.00	\$4,183.00	
May	\$4,806.00	\$4,013.00	\$4,324.00	\$4,498.00	
Jun	\$5,263.00	\$4,563.00	\$4,133.00	\$4,912.00	
Jul	\$5,402.00	\$3,690.00	\$4,082.00	\$4,831.00	
Aug	\$6,459.00	\$5,852.00	\$6,036.00	\$5,924.00	
Sep	\$6,968.00	\$4,677.00	\$5,391.00	\$6,308.00	
Oct	\$5,669.44	\$4,980.00	\$4,825.00	\$4,686.00	
Nov	\$4,766.66	\$4,187.00	\$4,032.00	\$4,393.00	
Dec	\$5,130.79	\$4,525.00	\$3,802.00	\$4,188.00	
<b>Total</b>	<b>\$63,225.89</b>	<b>\$52,950.00</b>	<b>\$52,454.00</b>	<b>\$56,605.00</b>	<b>\$225,234.89</b>

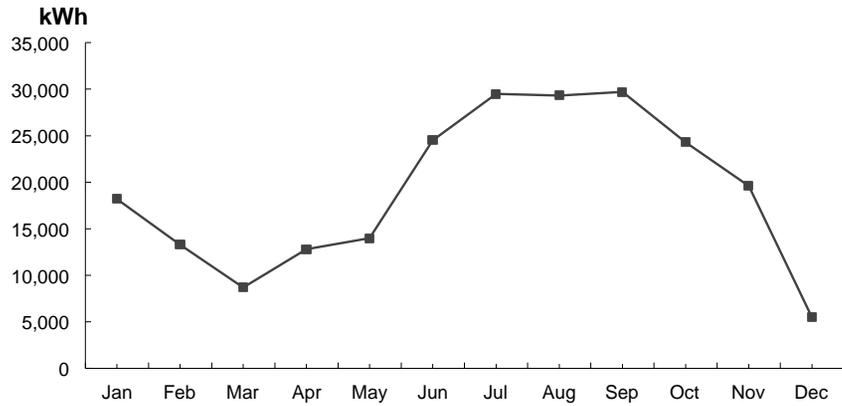
# TITAN ENERGY

Creative energy solutions

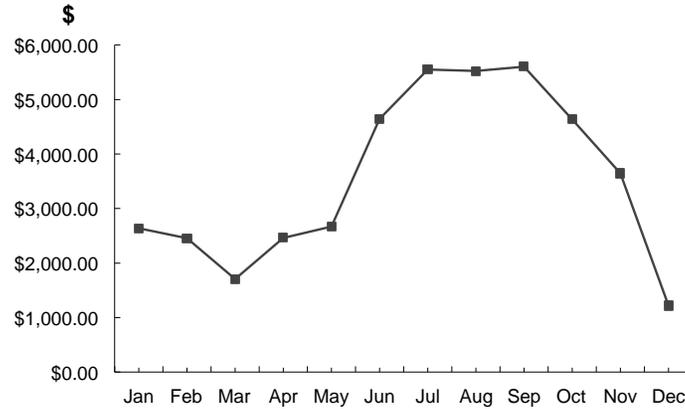


Account Location	Commodity	Start	Stop	Supplier	Price	Follow-Up Action
0 Lovers Lane, Pump NG# 0235310004, G2	Electricity	12/1/14	11/30/16	Liberty Power	\$.10665 / kWh	none

ELECTRIC 2015 YTD, Usage .....

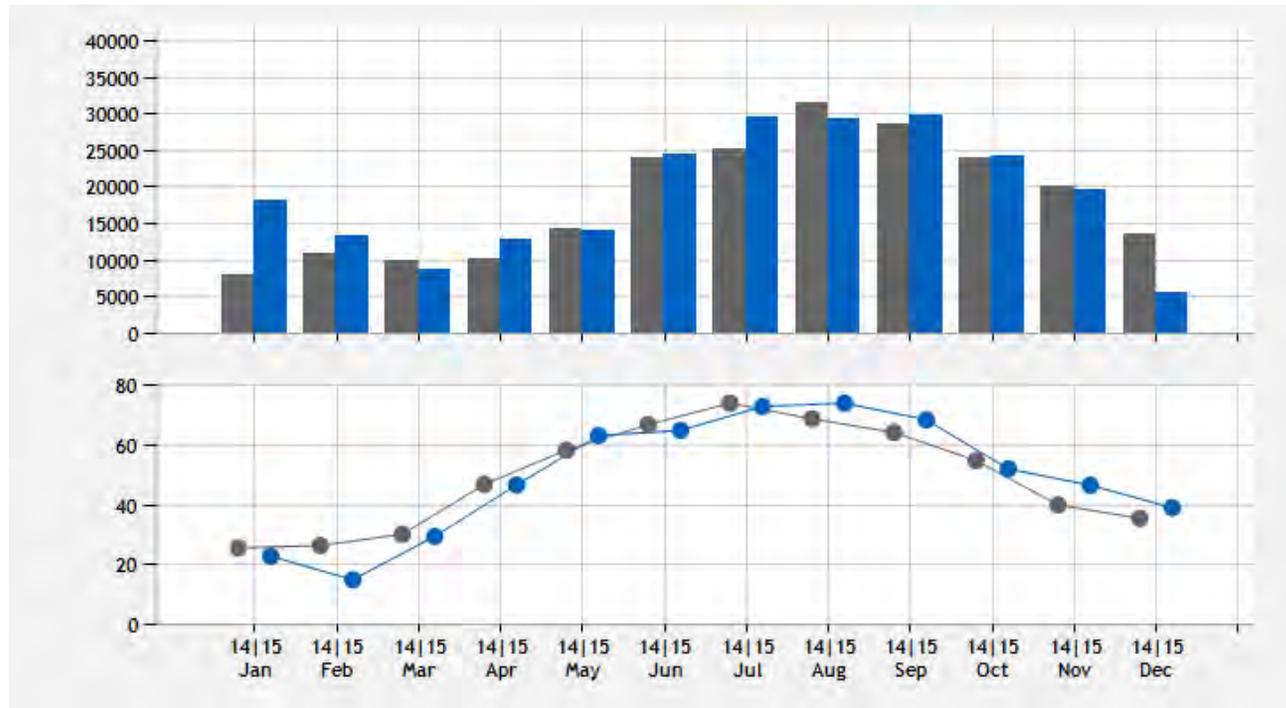


ELECTRIC 2015 YTD, Dollars Spent .....

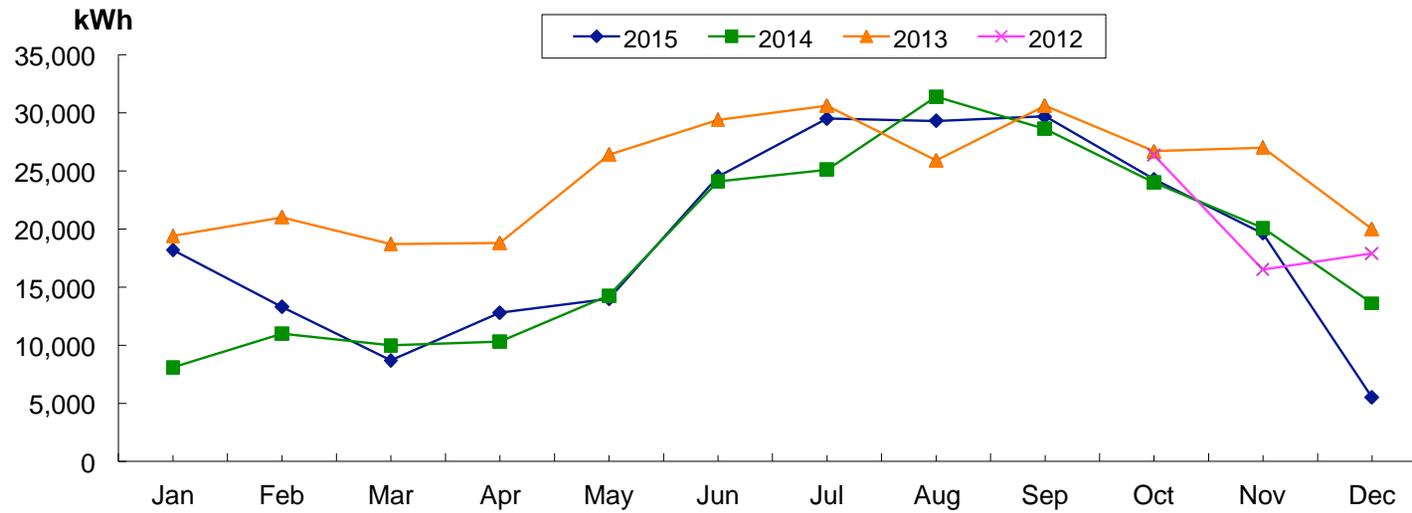


 **Electricity**  
Monthly usage (kWh)  
Current year  
Previous year

 **Temperature**  
Current year  
Previous year

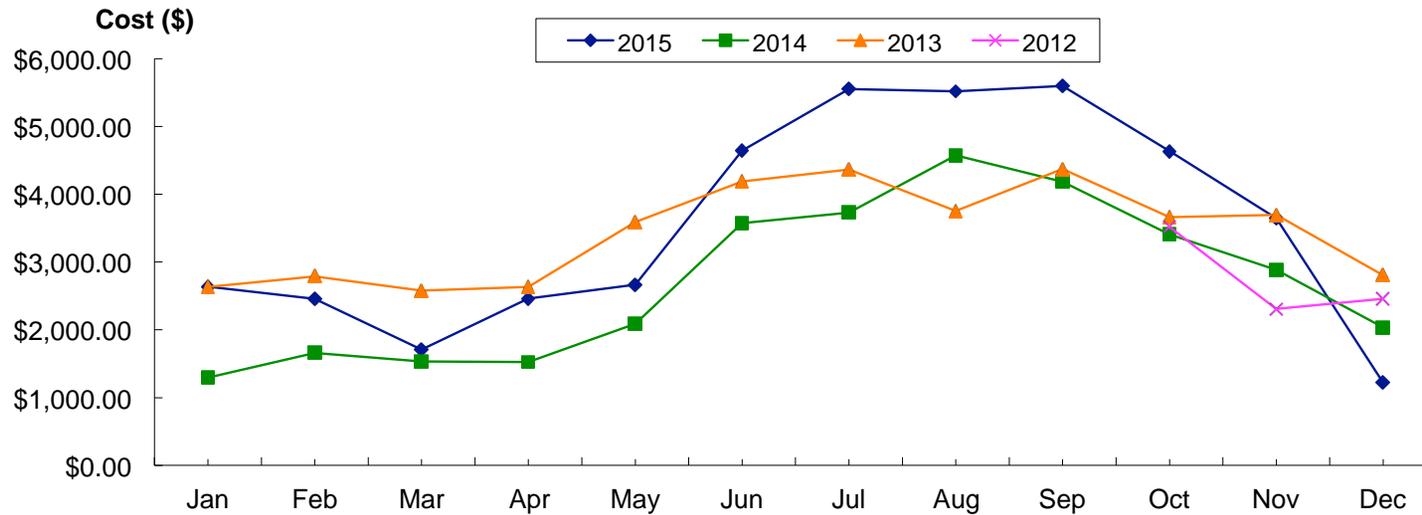


ELECTRIC Y-O-Y, Usage .....



	2015	2014	2013	2012	Total
Jan	18,200	8,100	19,400		
Feb	13,300	11,000	21,000		
Mar	8,700	10,000	18,700		
Apr	12,800	10,300	18,800		
May	14,000	14,300	26,400		
Jun	24,500	24,100	29,400		
Jul	29,500	25,100	30,600		
Aug	29,300	31,400	25,900		
Sep	29,700	28,600	30,600		
Oct	24,300	24,000	26,700	26,400	
Nov	19,600	20,100	27,000	16,500	
Dec	5,500	13,600	20,000	17,900	
<b>Total</b>	<b>229,400</b>	<b>220,600</b>	<b>294,500</b>	<b>60,800</b>	<b>805,300</b>

ELECTRIC Y-O-Y, Cost .....

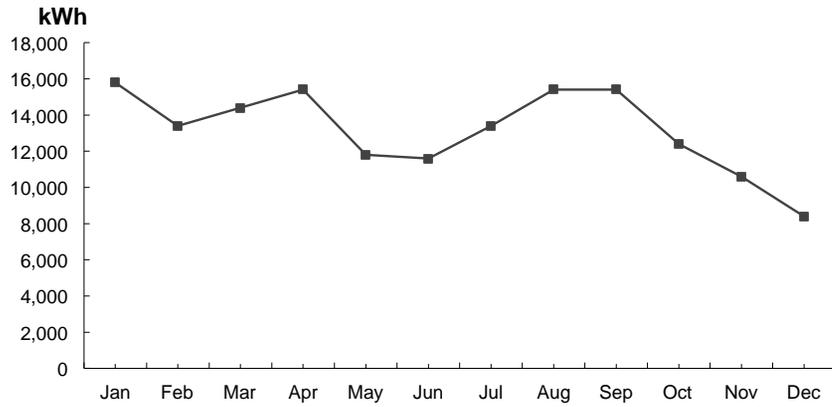


	2015	2014	2013	2012	Total
Jan	\$2,638.00	\$1,294.00	\$2,635.00		
Feb	\$2,458.00	\$1,661.00	\$2,789.00		
Mar	\$1,708.00	\$1,534.00	\$2,578.00		
Apr	\$2,460.00	\$1,526.00	\$2,633.00		
May	\$2,669.00	\$2,090.00	\$3,591.00		
Jun	\$4,646.00	\$3,573.00	\$4,190.00		
Jul	\$5,551.00	\$3,731.00	\$4,367.00		
Aug	\$5,521.00	\$4,575.00	\$3,753.00		
Sep	\$5,598.00	\$4,187.00	\$4,374.00		
Oct	\$4,635.13	\$3,409.00	\$3,662.00	\$3,522.00	
Nov	\$3,644.73	\$2,885.00	\$3,694.00	\$2,309.00	
Dec	\$1,220.20	\$2,035.00	\$2,807.00	\$2,456.00	
<b>Total</b>	<b>\$42,749.06</b>	<b>\$32,500.00</b>	<b>\$41,073.00</b>	<b>\$8,287.00</b>	<b>\$124,609</b>

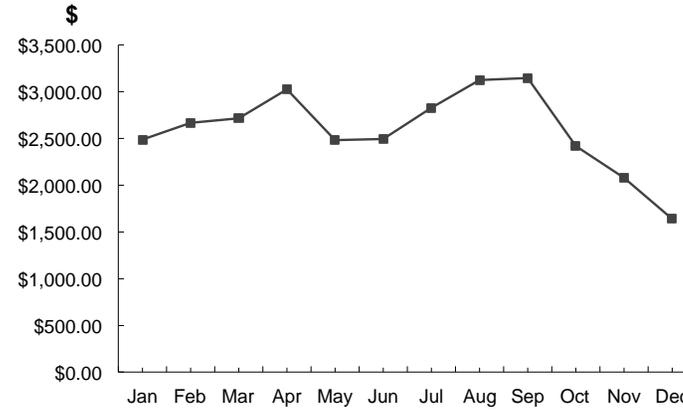


Account Location	Commodity	Start	Stop	Supplier	Price	Follow-Up Action
0 Sea Street, Sewer Dept. NG# 8783042006, G2	Electricity	12/1/14	11/30/16	Liberty Power	\$.10665 / kWh	none

*ELECTRIC 2015 YTD, Usage .....*

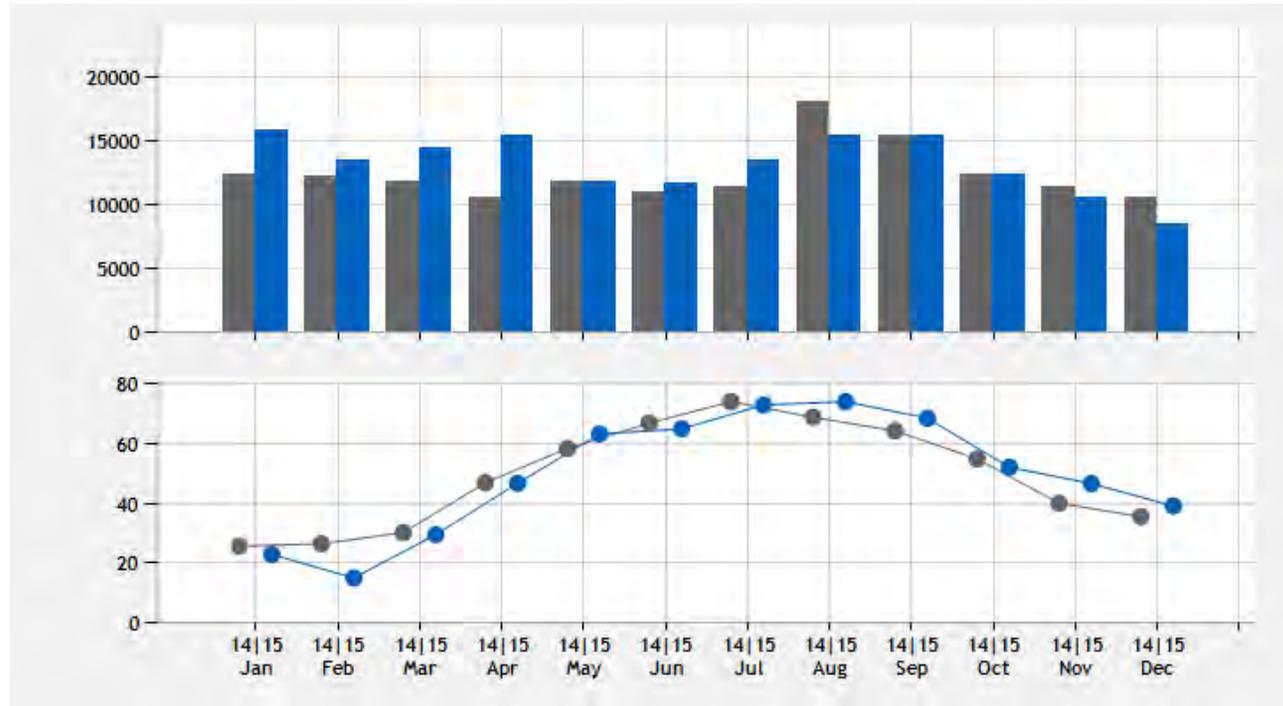


*ELECTRIC 2015 YTD, Dollars Spent .....*

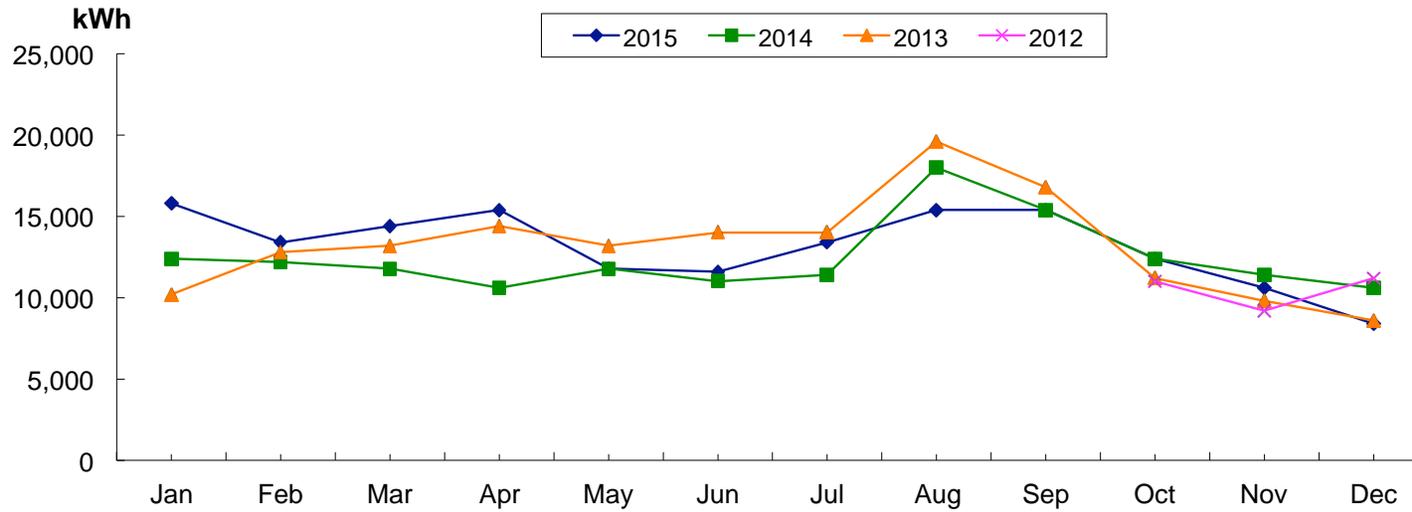


 **Electricity**  
Monthly usage (kWh)  
Current year  
Previous year

 **Temperature**  
Current year  
Previous year

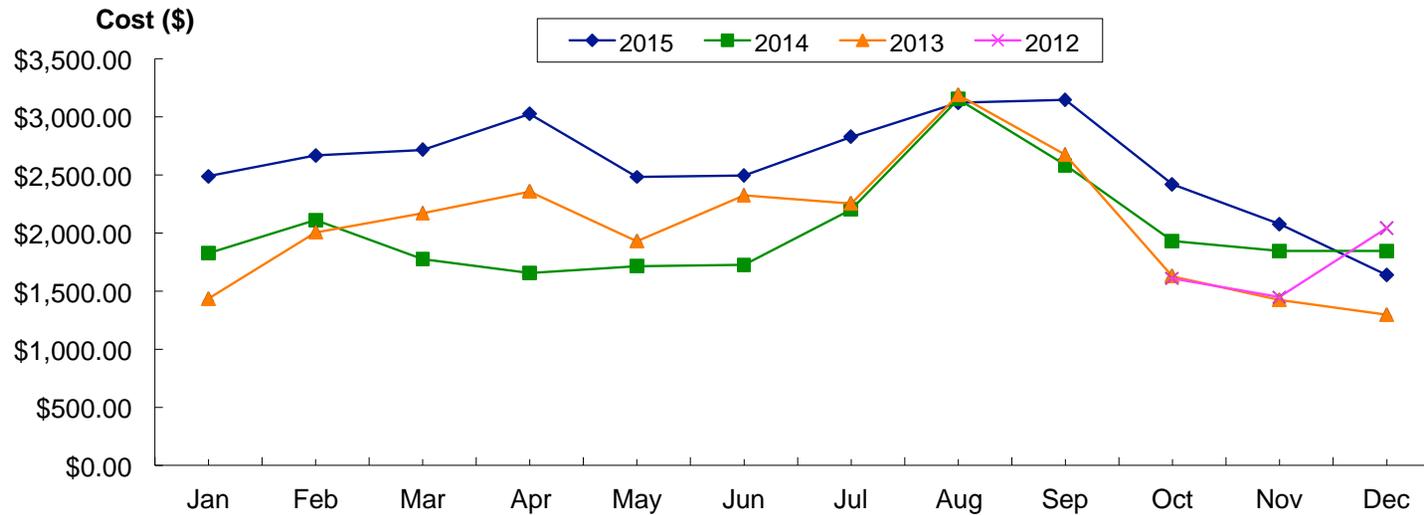


ELECTRIC Y-O-Y, Usage .....



	2015	2014	2013	2012	Total
Jan	15,800	12,400	10,200		
Feb	13,400	12,200	12,800		
Mar	14,400	11,800	13,200		
Apr	15,400	10,600	14,400		
May	11,800	11,800	13,200		
Jun	11,600	11,000	14,000		
Jul	13,400	11,400	14,000		
Aug	15,400	18,000	19,600		
Sep	15,400	15,400	16,800		
Oct	12,400	12,400	11,200	11,000	
Nov	10,600	11,400	9,800	9,200	
Dec	8,400	10,600	8,600	11,200	
<b>Total</b>	<b>158,000</b>	<b>149,000</b>	<b>157,800</b>	<b>31,400</b>	<b>496,200</b>

ELECTRIC Y-O-Y, Cost .....

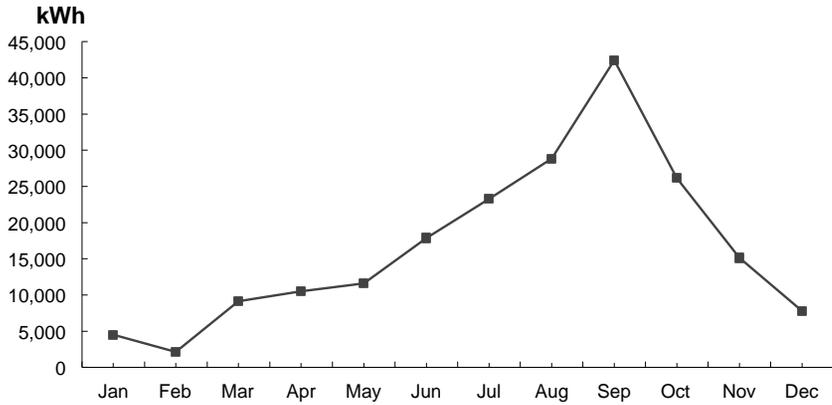


	2015	2014	2013	2012	Total
Jan	\$2,489.00	\$1,827.00	\$1,437.00		
Feb	\$2,667.00	\$2,113.00	\$2,005.00		
Mar	\$2,714.00	\$1,776.00	\$2,171.00		
Apr	\$3,024.00	\$1,656.00	\$2,356.00		
May	\$2,482.00	\$1,714.00	\$1,928.00		
Jun	\$2,494.00	\$1,726.00	\$2,323.00		
Jul	\$2,827.00	\$2,203.00	\$2,253.00		
Aug	\$3,123.00	\$3,152.00	\$3,188.00		
Sep	\$3,146.00	\$2,585.00	\$2,673.00		
Oct	\$2,419.03	\$1,931.00	\$1,627.00	\$1,609.00	
Nov	\$2,076.98	\$1,845.00	\$1,425.00	\$1,449.00	
Dec	\$1,637.95	\$1,846.00	\$1,297.00	\$2,040.00	
<b>Total</b>	<b>\$31,099.96</b>	<b>\$24,374.00</b>	<b>\$24,683.00</b>	<b>\$5,098.00</b>	<b>\$85,254.96</b>

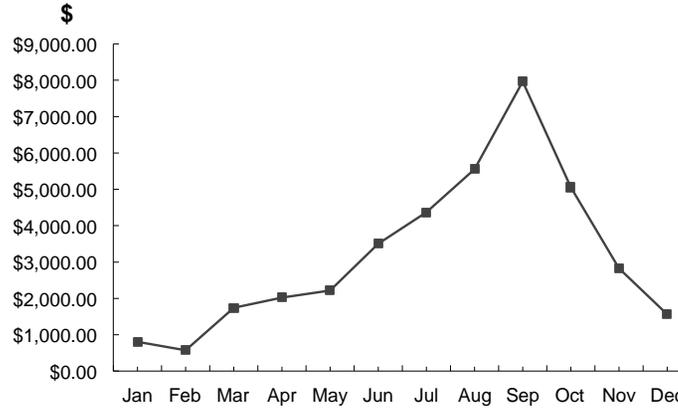


Account Location	Commodity	Start	Stop	Supplier	Price	Follow-Up Action
1 Milestone Road, Pump NG# 8930907009, G2	Electricity	12/1/14	11/30/16	Liberty Power	\$.10665 / kWh	none

*ELECTRIC 2015 YTD, Usage .....*



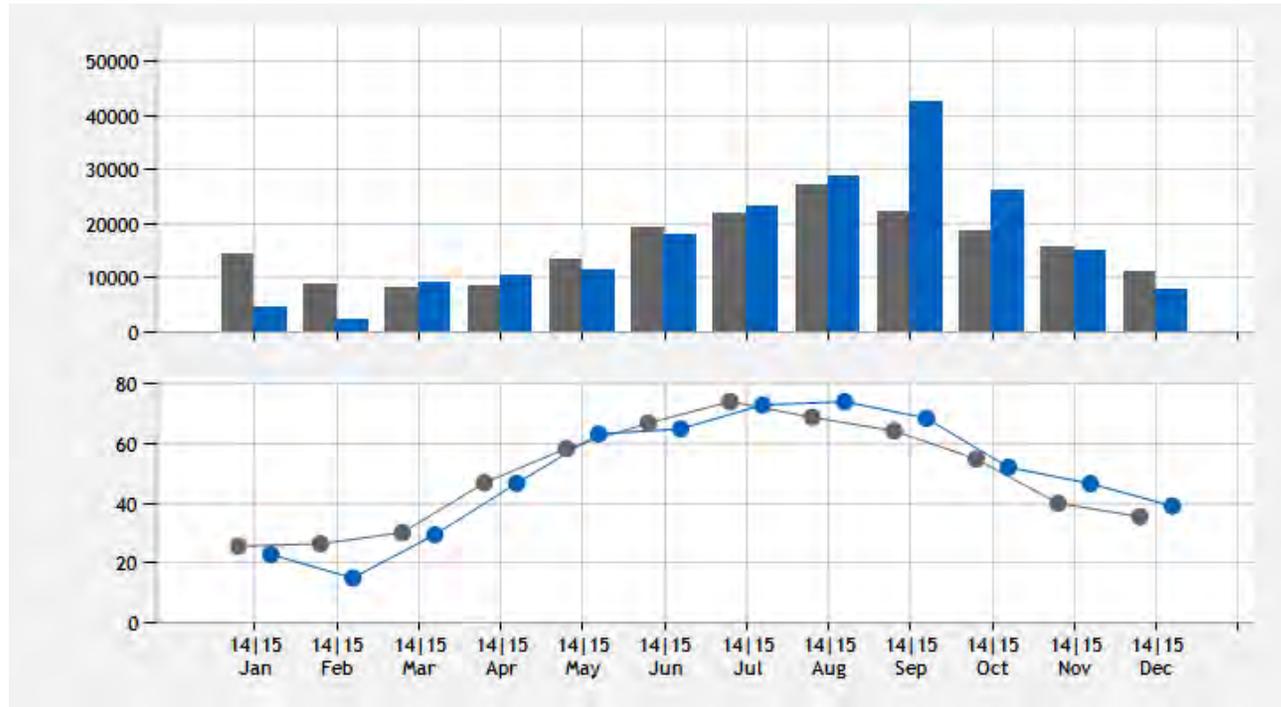
*ELECTRIC 2015 YTD, Dollars Spent .....*



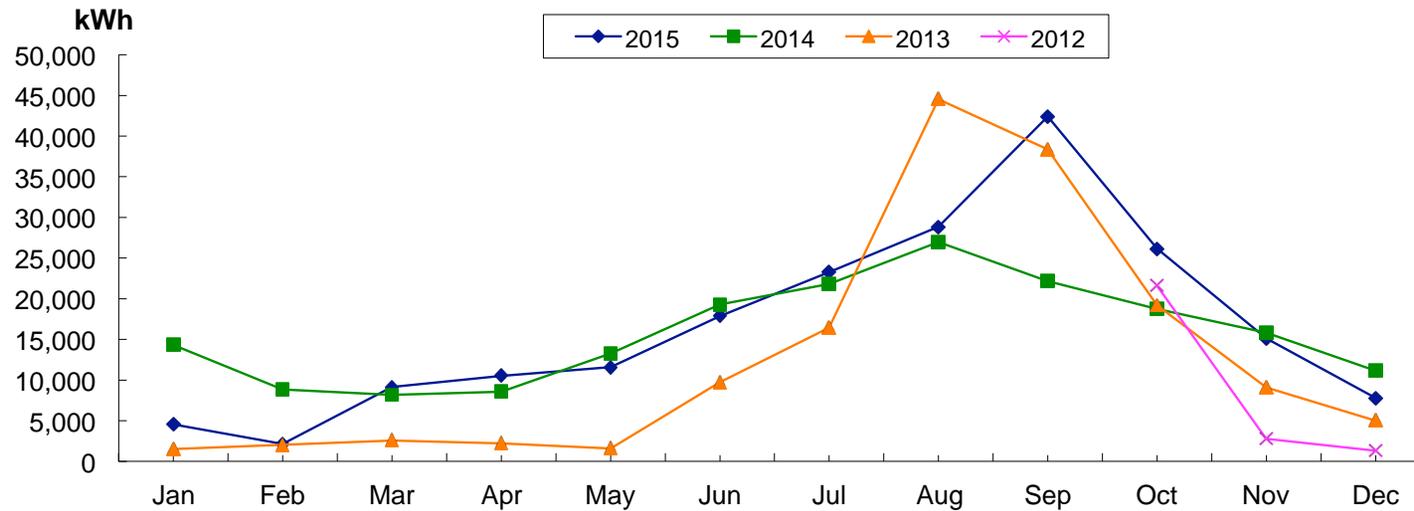
**Electricity**  
Monthly usage (kWh)  
Current year  
Previous year



**Temperature**  
Current year  
Previous year

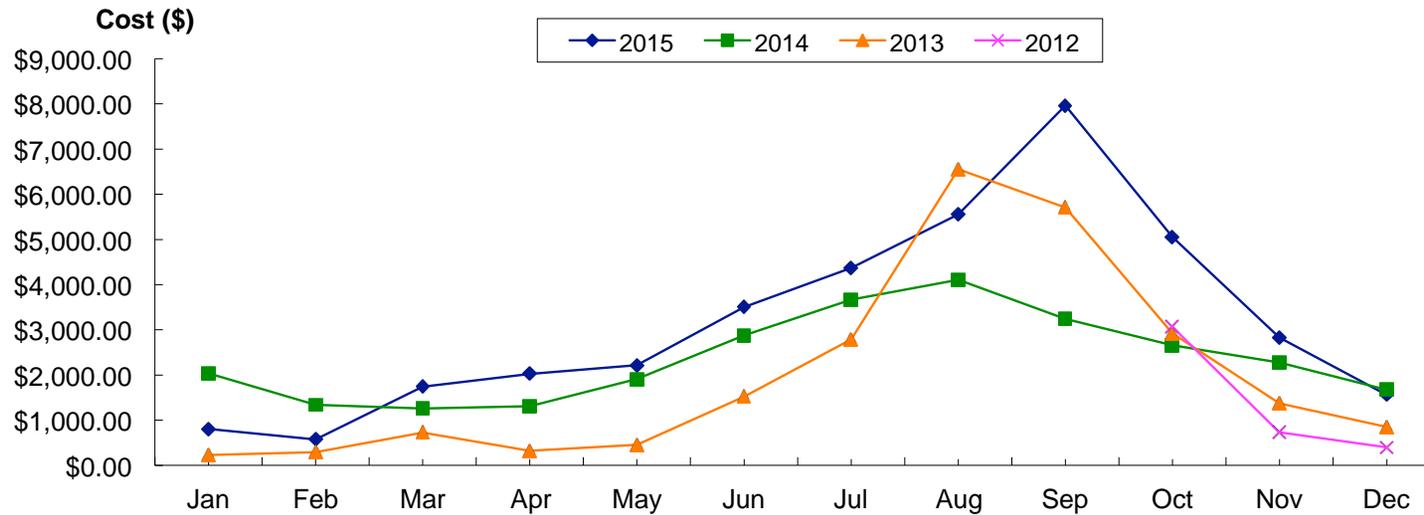


ELECTRIC Y-O-Y, Usage .....



	2015	2014	2013	2012	Total
Jan	4,538	14,310	1,507		
Feb	2,142	8,856	2,037		
Mar	9,155	8,175	2,561		
Apr	10,510	8,559	2,220		
May	11,609	13,264	1,609		
Jun	17,872	19,298	9,754		
Jul	23,273	21,812	16,449		
Aug	28,858	26,975	44,547		
Sep	42,407	22,143	38,347		
Oct	26,150	18,743	19,196	21,641	
Nov	15,129	15,800	9,077	2,775	
Dec	7,802	11,146	4,994	1,304	
<b>Total</b>	<b>199,445</b>	<b>189,081</b>	<b>152,298</b>	<b>25,720</b>	<b>566,544</b>

ELECTRIC Y-O-Y, Cost .....



	2015	2014	2013	2012	Total
Jan	\$810.00	\$2,036.00	\$229.00		
Feb	\$574.00	\$1,343.00	\$290.00		
Mar	\$1,741.00	\$1,257.00	\$725.00		
Apr	\$2,023.00	\$1,307.00	\$325.00		
May	\$2,217.00	\$1,914.00	\$456.00		
Jun	\$3,504.00	\$2,875.00	\$1,525.00		
Jul	\$4,373.00	\$3,669.00	\$2,787.00		
Aug	\$5,555.00	\$4,105.00	\$6,555.00		
Sep	\$7,963.00	\$3,241.00	\$5,705.00		
Oct	\$5,057.12	\$2,655.00	\$2,920.00	\$3,072.00	
Nov	\$2,825.56	\$2,278.00	\$1,370.00	\$735.00	
Dec	\$1,560.15	\$1,676.00	\$848.00	\$399.00	
<b>Total</b>	<b>\$38,202.83</b>	<b>\$28,356.00</b>	<b>\$23,735.00</b>	<b>\$4,206.00</b>	<b>\$94,499.83</b>

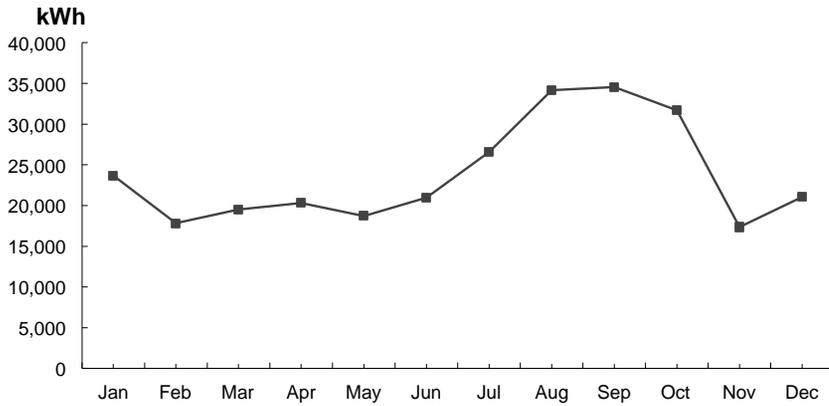
# TITAN ENERGY

Creative energy solutions

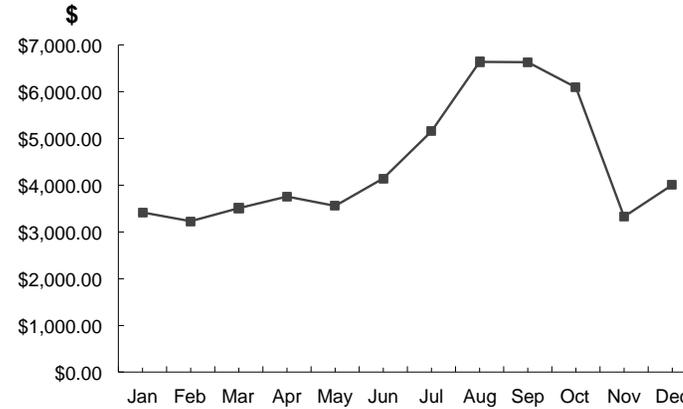


Account Location	Commodity	Start	Stop	Supplier	Price	Follow-Up Action
65 Low Beach Rd, SEWR NG# 3944052003, G2	Electricity	12/1/14	11/30/16	Liberty Power	\$.10665 / kWh	none

ELECTRIC 2015 YTD, Usage .....



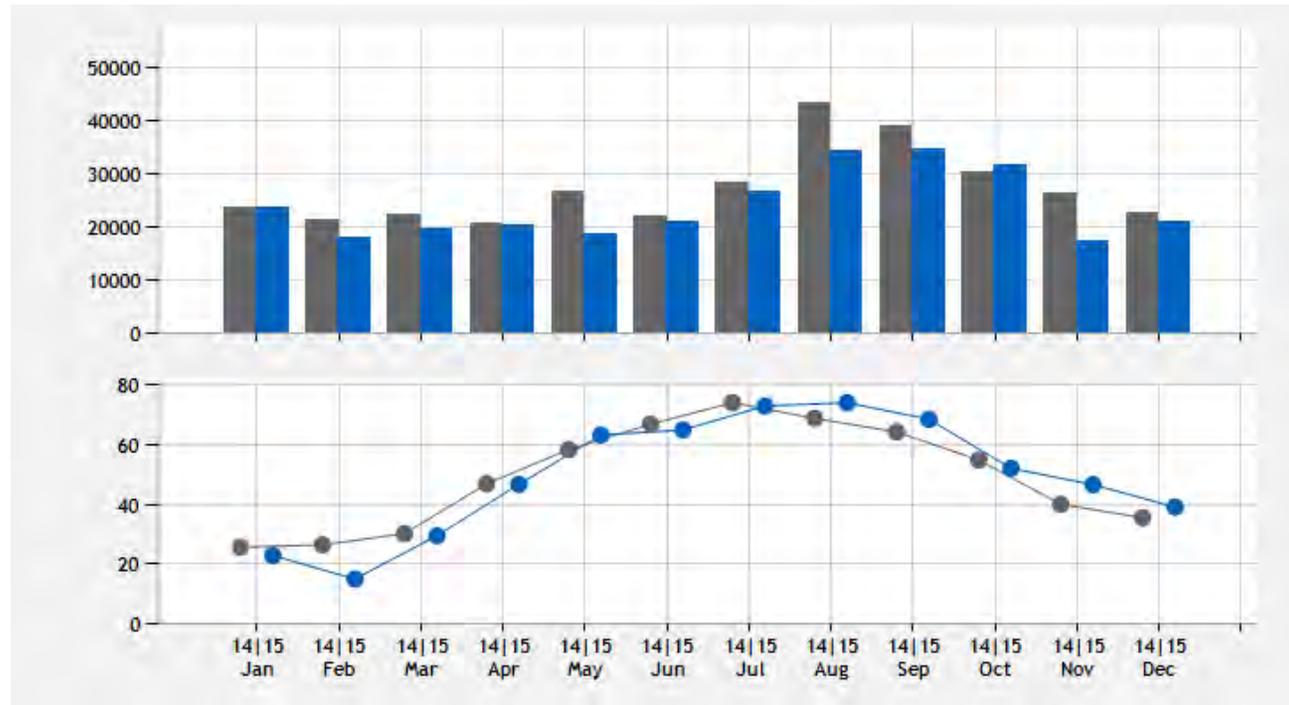
ELECTRIC 2015 YTD, Dollars Spent .....



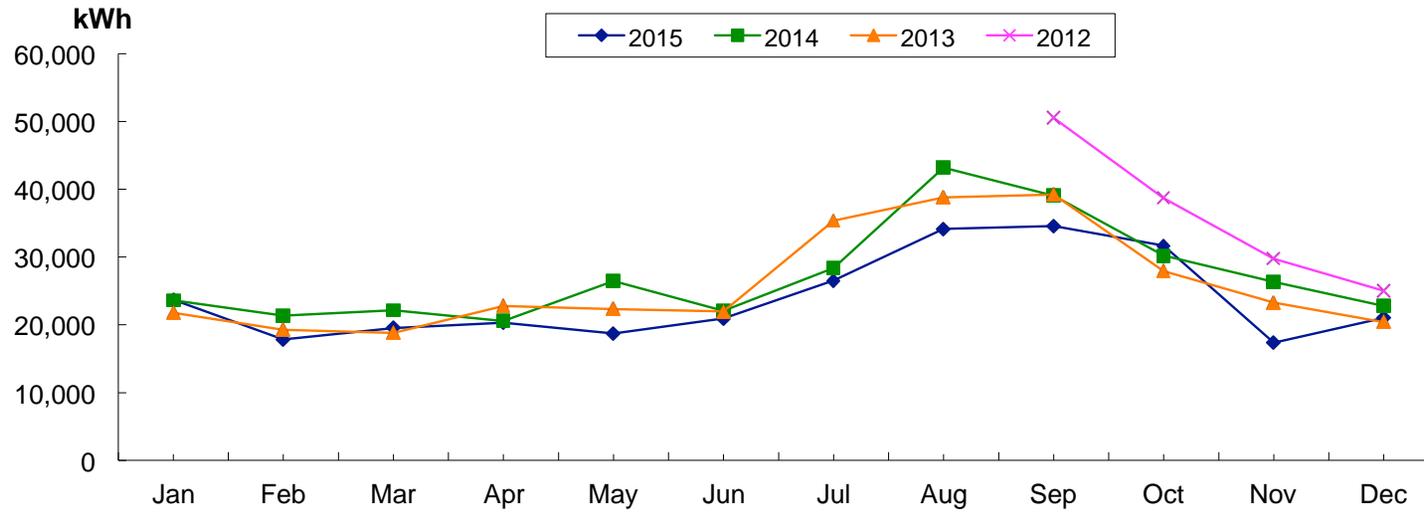
**Electricity**  
Monthly usage (kWh)  
Current year  
Previous year



**Temperature**  
Current year  
Previous year

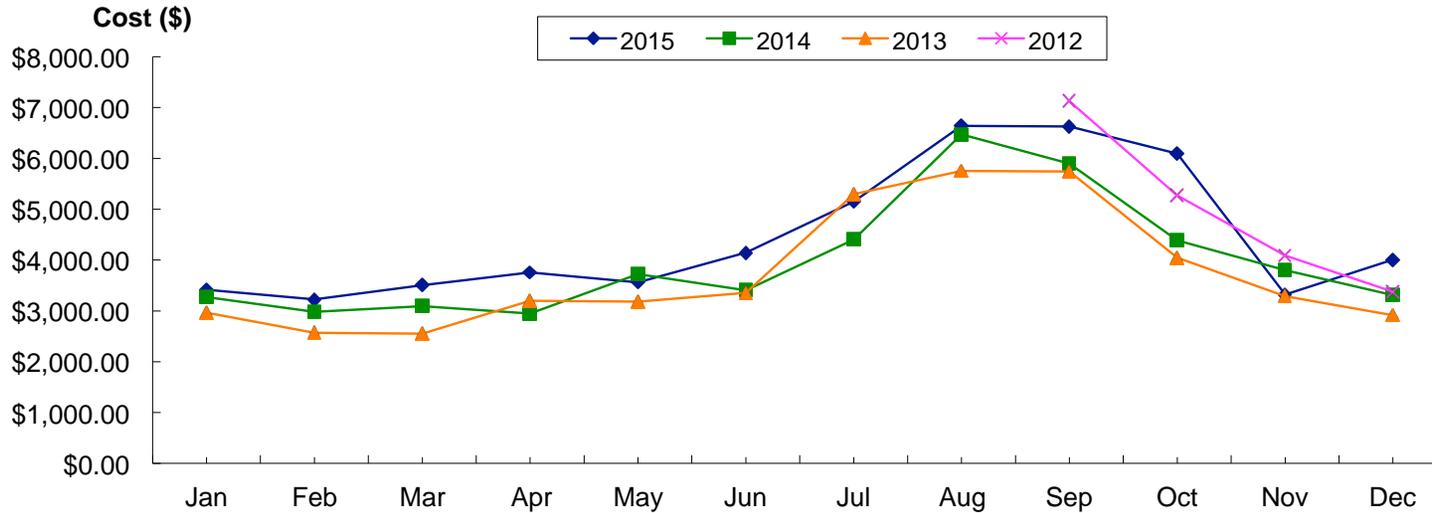


*ELECTRIC Y-O-Y, Usage* .....



	2015	2014	2013	2012	Total
Jan	23,680	23,600	21,760		
Feb	17,840	21,360	19,280		
Mar	19,520	22,160	18,800		
Apr	20,320	20,560	22,800		
May	18,720	26,480	22,320		
Jun	20,960	22,080	22,000		
Jul	26,560	28,400	35,360		
Aug	34,160	43,200	38,800		
Sep	34,560	39,040	39,200	50,560	
Oct	31,680	30,240	27,920	38,720	
Nov	17,360	26,320	23,280	29,760	
Dec	21,040	22,800	20,400	25,040	
<b>Total</b>	<b>286,400</b>	<b>326,240</b>	<b>311,920</b>	<b>144,080</b>	<b>1,068,640</b>

*ELECTRIC Y-O-Y, Cost* .....



	2015	2014	2013	2012	Total
Jan	\$3,414.00	\$3,269.00	\$2,963.00		
Feb	\$3,227.00	\$2,981.00	\$2,570.00		
Mar	\$3,507.00	\$3,091.00	\$2,551.00		
Apr	\$3,759.00	\$2,948.00	\$3,197.00		
May	\$3,559.00	\$3,722.00	\$3,182.00		
Jun	\$4,145.00	\$3,408.00	\$3,354.00		
Jul	\$5,150.00	\$4,401.00	\$5,295.00		
Aug	\$6,639.00	\$6,470.00	\$5,753.00		
Sep	\$6,630.00	\$5,899.00	\$5,742.00	\$7,130.00	
Oct	\$6,093.19	\$4,386.00	\$4,045.00	\$5,274.00	
Nov	\$3,324.09	\$3,800.00	\$3,291.00	\$4,090.00	
Dec	\$4,007.48	\$3,313.00	\$2,912.00	\$3,380.00	
<b>Total</b>	<b>\$53,454.76</b>	<b>\$47,688.00</b>	<b>\$44,855.00</b>	<b>\$19,874.00</b>	<b>\$165,871.76</b>

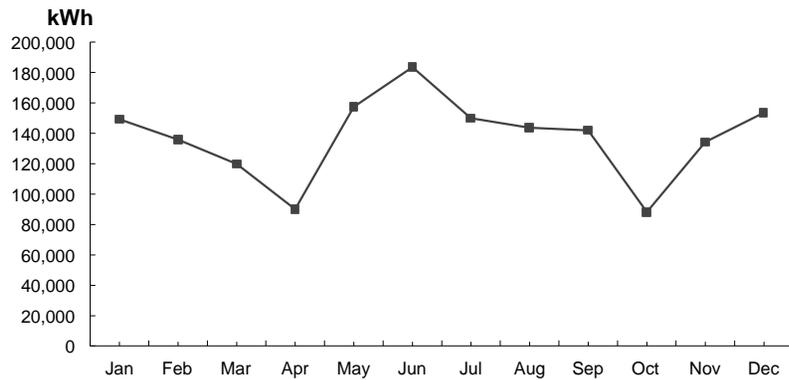
# TITAN ENERGY

Creative energy solutions

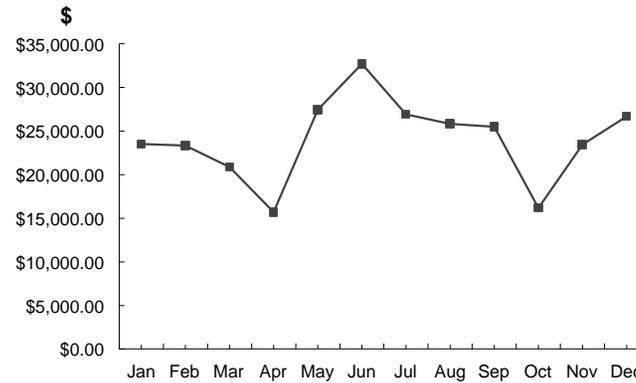


Account Location	Commodity	Start	Stop	Supplier	Price	Follow-Up Action
188 Madaket Rd, WSTOP NG# 1472387000, G3	Electricity	12/1/14	11/30/16	Liberty Power	\$.10665 / kWh	n/a

*ELECTRIC 2015 YTD, Usage .....*



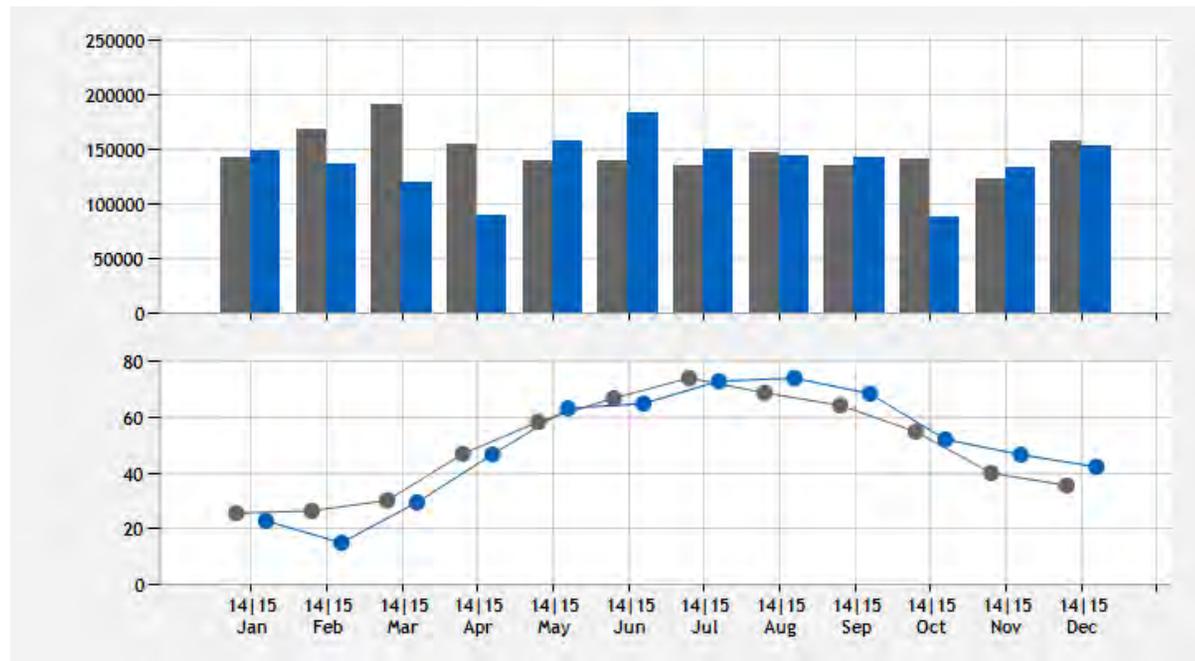
*ELECTRIC 2015 YTD, Dollars Spent .....*



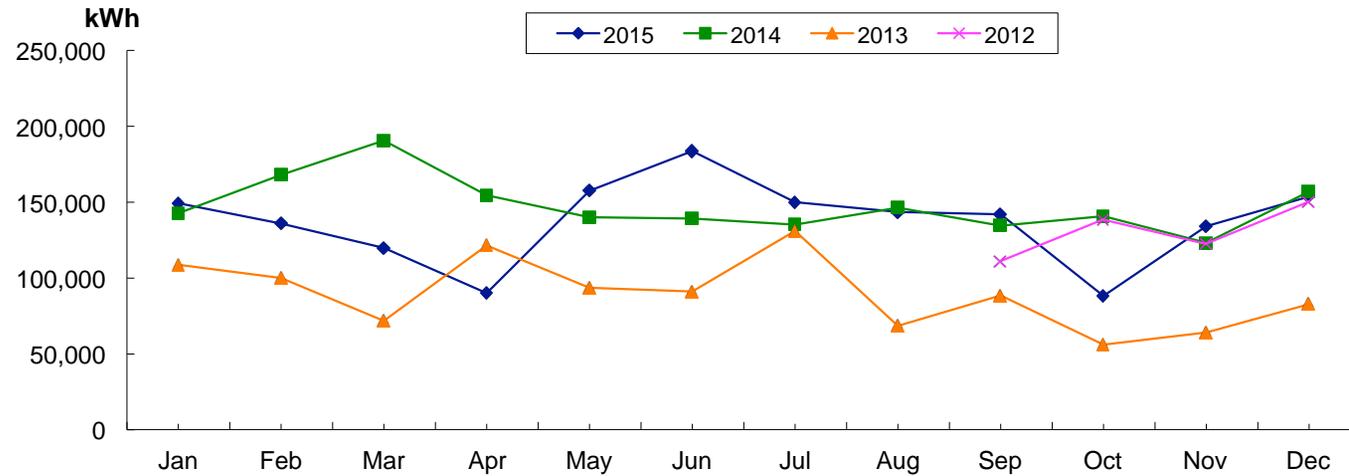
**Electricity**  
Monthly usage (kWh)  
Current year  
Previous year



**Temperature**  
Current year  
Previous year



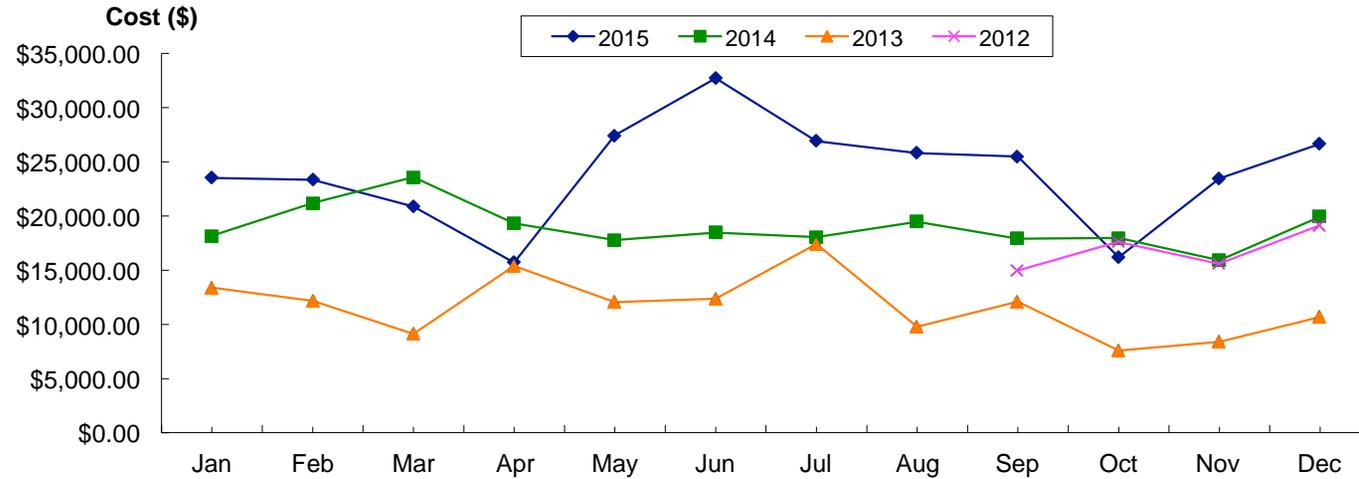
ELECTRIC Y-O-Y, Usage .....



	2015	2014	2013	2012	Total
Jan	149,200	142,600	108,600		
Feb	135,800	168,000	100,000		
Mar	119,800	190,600	71,800		
Apr	90,000	154,600	121,400		
May	157,400	140,000	93,600		
Jun	183,600	139,200	91,000		
Jul	150,000	135,200	131,000		
Aug	143,600	146,400	68,400		
Sep	142,000	134,400	88,400	111,000	
Oct	88,200	140,800	56,000	138,400	
Nov	134,200	123,200	64,000	122,400	
Dec	153,600	157,000	82,800	150,200	
<b>Total</b>	<b>1,647,400</b>	<b>1,772,000</b>	<b>1,077,000</b>	<b>522,000</b>	<b>5,018,400</b>



ELECTRIC Y-O-Y, Cost .....



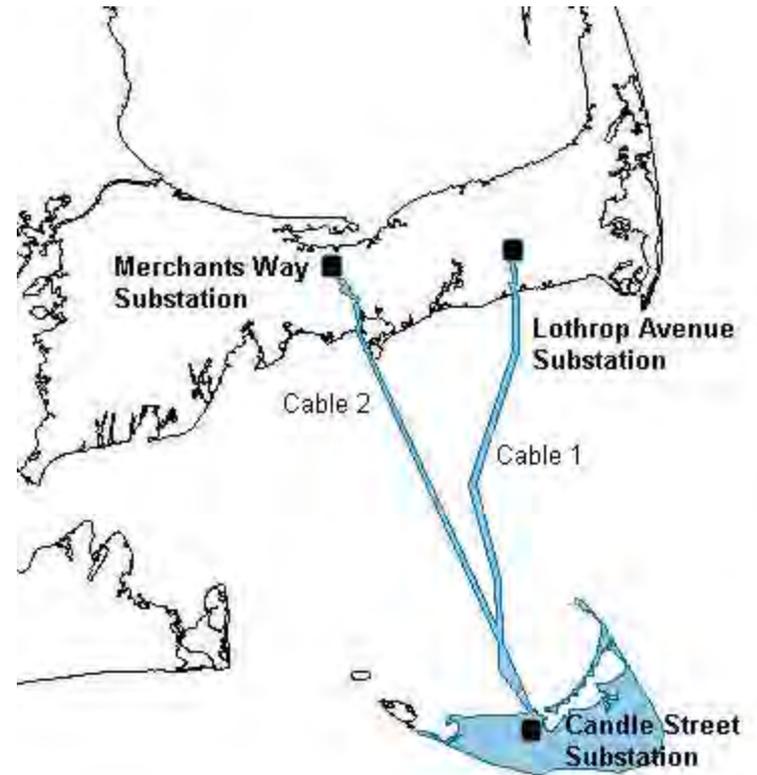
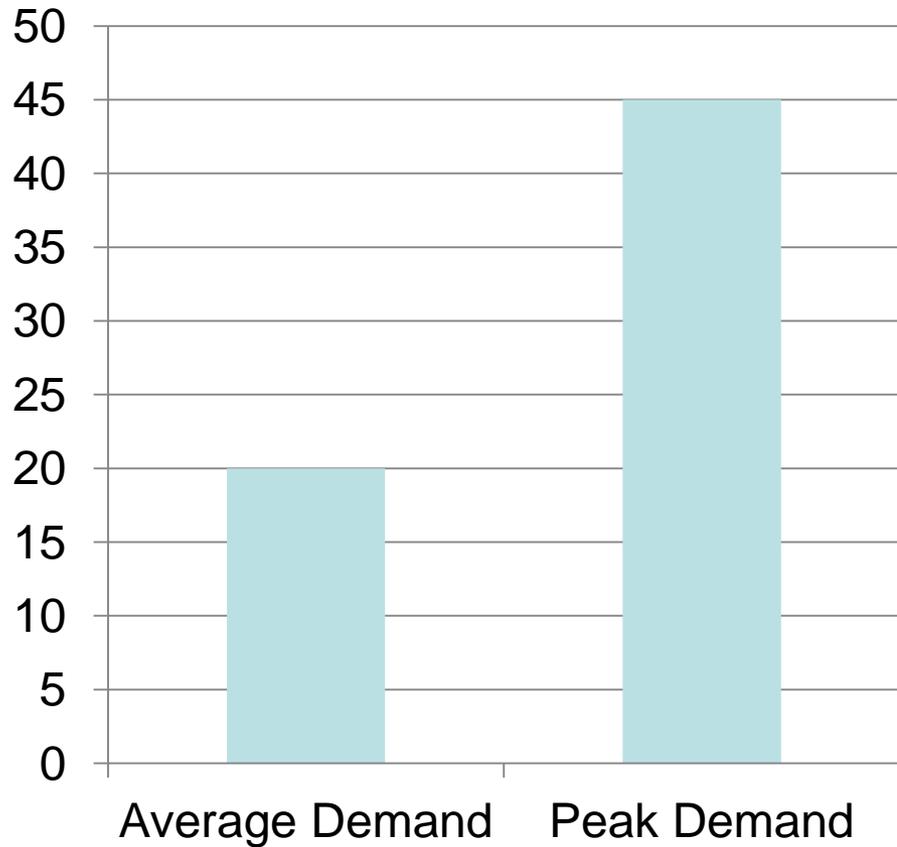
	2015	2014	2013	2012	Total
Jan	\$23,499.00	\$18,171.00	\$13,381.00		
Feb	\$23,332.00	\$21,204.00	\$12,169.00		
Mar	\$20,872.00	\$23,594.00	\$9,108.00		
Apr	\$15,705.00	\$19,326.00	\$15,396.00		
May	\$27,430.00	\$17,781.00	\$12,032.00		
Jun	\$32,710.00	\$18,456.00	\$12,369.00		
Jul	\$26,913.00	\$18,042.00	\$17,401.00		
Aug	\$25,808.00	\$19,450.00	\$9,784.00		
Sep	\$25,475.00	\$17,897.00	\$12,093.00	\$14,949.00	
Oct	\$16,189.00	\$17,968.00	\$7,571.00	\$17,612.00	
Nov	\$23,452.96	\$15,908.00	\$8,386.00	\$15,574.00	
Dec	\$26,659.97	\$19,920.00	\$10,681.00	\$19,113.00	
<b>Total</b>	<b>\$288,045.93</b>	<b>\$227,717.00</b>	<b>\$140,371.00</b>	<b>\$67,248.00</b>	<b>\$723,381.93</b>

# National Grid NWA Demonstration Project

January 6, 2016

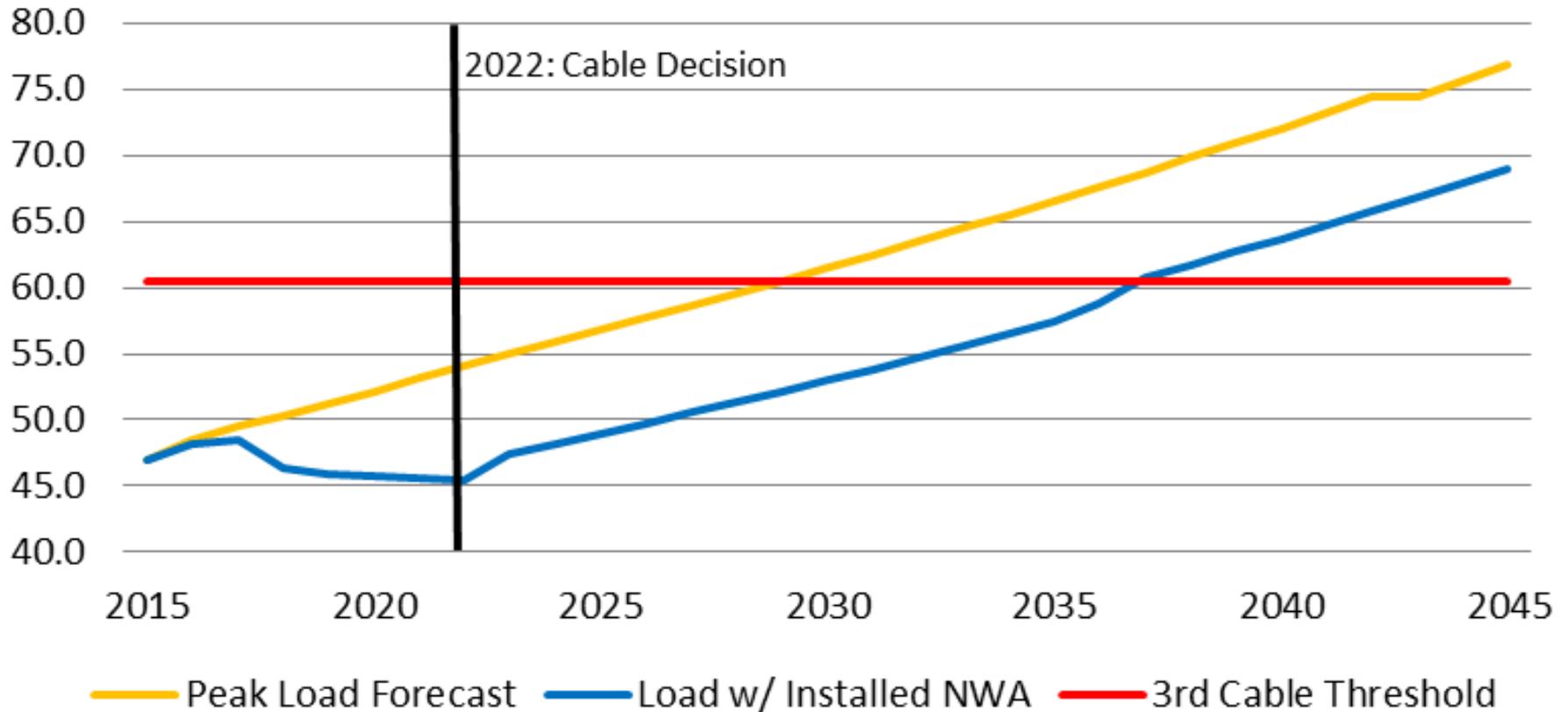
# Nantucket Electric Delivery Service

## Electricity Demand (MW)

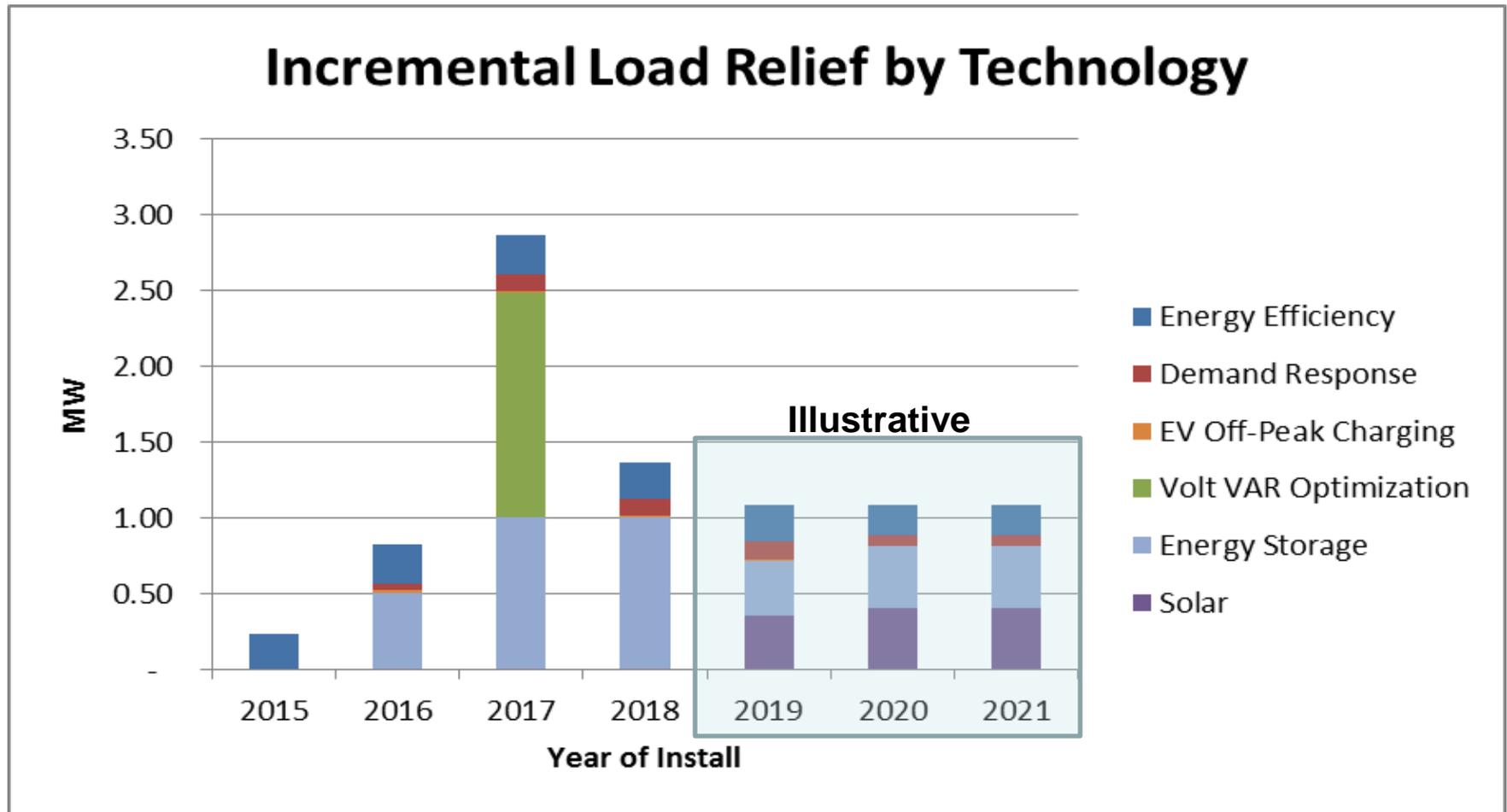


# The NWA Proposal

## Target NWA Project Impact on Load



# 2016 – 2021 Planned Initiatives



# Fertilizer Enforcement

Roberto Santamaría

Director of Health

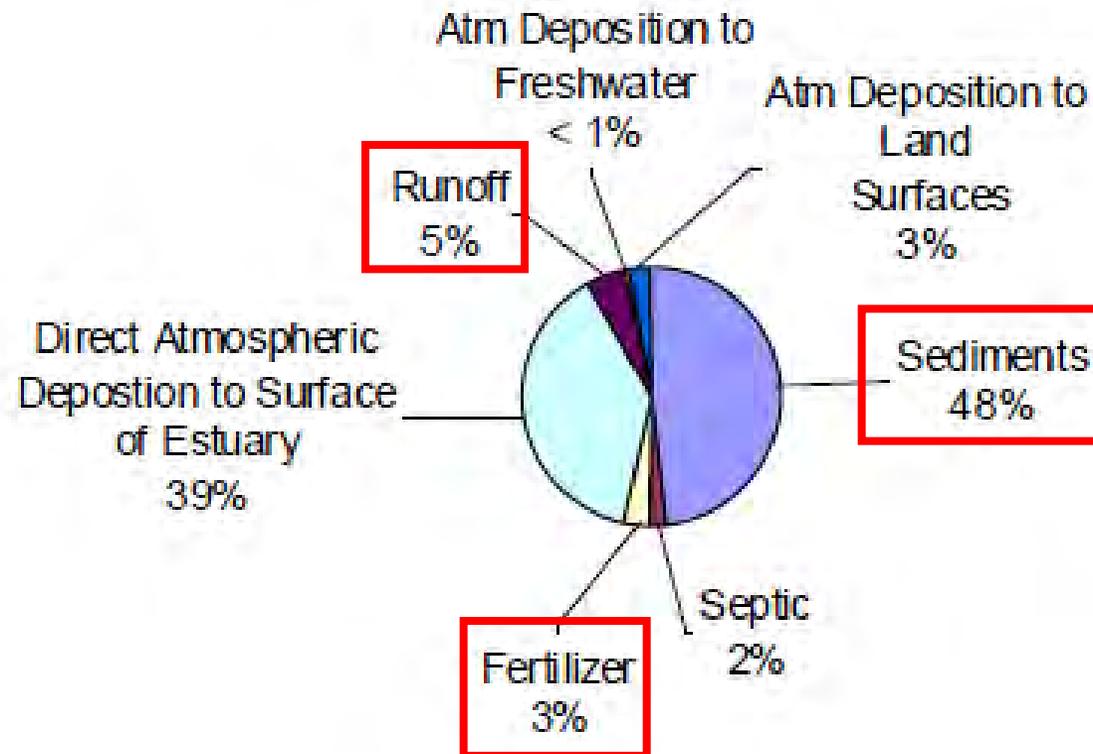
&

Jeff Carlson

Natural Resources Coordinator

# Nantucket Harbor Nitrogen

## Nantucket Harbor Embayment Percent Nutrient Loading



These are actual algae blooms on Nantucket Island  
from this past summer



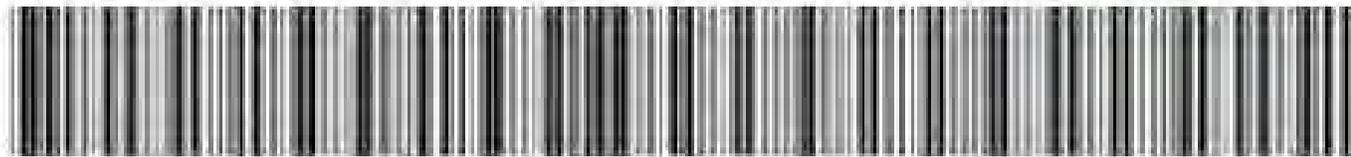
# Fertilizer Management

- Board of Health Regulation 75.00 “Fertilizer Regulations”
- Requires that all professional fertilizer application be performed by a licensed applicator.
- Each applicator must go through a fertilizer class and follow the “Fertilizer Best Management Practices”

# Fertilizer License

## **Town of Nantucket Commercial Fertilizer Applicators License**

Landscape Professional  
Company Name  
Expiration Date:



Landscape Professional

Must be carried by all fertilizer applicants at all times.

# Enforcement

- Fertilizer applicators are subject to inspection at any reasonable time, on any publicly owned property
- Violations of the Fertilizer Regulation is punishable by a \$300 fine per offense per day or license suspension and/or revocation by vote of the Board of Health
- Violations must be witnessed in order for fine to be issued

# Enforcement (cont'd)

- Enforcement Issues:
  - The regulation relies on “voluntary” compliance
    - Homeowners must voluntarily comply with a regulation when performing self application
    - Homeowners must voluntarily choose a licensed applicator
  - Due to the necessity of witnessing, it is exceedingly difficult to catch applicators in the act of a violation
  - Current Permit Requires a \$100 permit with a 6 hour training course in Geo-Science, and current applicators do not need or understand the 6 hour training course

# Possible Regulation Changes

- Current Permit Requires a \$100 permit with a 6 hour training course in Geo-Science
- Proposed changes would have a two-tiered permit approach:
  - Require only supervisors to take the 6 hour course and get a “Foreman Permit”
  - Applicators will go through a skills test rather than a geo-science course and get an “Applicator’s Permit”
- Homeowners would own some of the liability with application
  - If a homeowner uses an unlicensed applicator, the homeowner also gets a \$300 fine
- More use of permit suspensions as punishment for violations (similar to liquor licenses)

# Next Steps

- Amend regulation to reflect enforcement needs
- Bring in seasonal employees to focus on enforcement
- BOH adopted Natural Resources employees as agents for the purpose of fertilizer enforcement on 12/17/15
- Implement new training course and skills test

# Questions



TOWN OF NANTUCKET BOARD OF HEALTH REGULATIONS  
LOCAL REGULATION 75.00  
THE CONTENT AND APPLICATION OF FERTILIZER FOR USE ON  
NANTUCKET

SECTION 1. FINDINGS

1.1. There is sound scientific evidence to conclude that nitrogen and phosphorus in fertilizers are contaminants that negatively affect fresh and salt waters when present in excessive amounts. These excessive amounts of nitrogen and phosphorus contribute to undesirable algal and aquatic plant growth within all Nantucket water bodies. This undesirable algal and aquatic plant growth has an adverse affect on public health through the degradation of waters used for drinking water, shell fishing, and recreational swimming and boating.

1.2 With regard to the above, the Massachusetts Estuaries Program (MEP) has completed reports detailing the excessive nutrient loading of Nantucket's harbors, embayment's, salt ponds and coastal resources from multiple sources, including fertilizers. The MEP considers fertilizers as a "locally controllable source" of degradation to the water resources of Nantucket. As a result of the completed MEP Reports in Nantucket Harbor, Polpis Harbor, Madaket harbor, Long Pond and Sesechacha Pond, the Massachusetts Department of Environmental Protection (MassDEP) has issued Total Maximum Daily Loads (TMDLs) in these waters. These TMDLs are directives that the Town must meet with its water quality, which is enforced through the Federal Clean Water Act .Compliance with Regulation 75.00 will serve to reduce excessive nitrogen loadings to our water resources thus providing a partial solution to meet the TMDLs.

1.3. Nantucket has significant amounts of glacially deposited coarse, sandy soils that are subject to rapid water infiltration, percolation, and leaching of nutrients. These soil characteristics mean that normal agronomic practices of soil fertilization and amendment do not necessarily apply on Nantucket.

SECTION 2. PURPOSE

2.1. It is necessary to control by regulation in the Town and County of Nantucket the use of fertilizer that contains phosphorus and nitrogen so as to improve and restore the quality of its water resources.

2.2. This regulation provides for a reduction of nitrogen and phosphorus deposition into Nantucket's waters and wetlands by means of an organized system of education, licensure, and regulation of practice and should help Nantucket to achieve compliance with the embayment specific Total

Maximum Daily Loads (TMDLs) prescribed by the Commonwealth of Massachusetts for controllable nitrogen and phosphorus in its water resources.

### SECTION 3. AUTHORITY

3.1. This Regulation is adopted by the Town of Nantucket's Board of Health as authorized by Massachusetts General Laws, Chapter 111, Section 31.

SECTION 4. DEFINITIONS; for the purposes of this Regulation, the following words shall have the follow meanings unless the context clearly indicates a different meaning:

"Agriculture" means farming in all of its branches and the cultivation and tillage of the soil, the production, cultivation, growing, and harvesting of any agricultural, floricultural or horticultural commodities. For the purposes of this regulation, agriculture means the raising of crops for commercial sale, where the threshold of commercial is two thousand five hundred dollars (\$2500.00) or more of gross sales per calendar year, measured as an average over a five-year period. See also "Horticulture."

"Amendment" refers to the application of substances to soils and plantings; amendments include but are not limited to fertilizers and may include other soil conditioners such as lime, compost, and other organic materials.

"Applicator" means any person Who applies fertilizer to plants and soils.

"Best Management Practice," BMP, means a sequence of activities designed to limit a nonpoint pollution source. For the purposes of this regulation and pursuant to Section 5.1 of this regulation, BMP means the current edition of "Best Management Practices for Fertilizer Use on Lawn and Landscape Plantings on Nantucket, MA."

"Combination Products," sometimes known as "weed and feed," means any product that, in combination with fertilizer, contains weed killer, defoliant, crabgrass preventer, or any other chemical for restricting the growth of plants other than turf.

"Compost" is partially decomposed organic matter that is used as a soil amendment. Compost is considered a fertilizer for the purposes of this regulation.

"Compost tea" is a liquid infusion of compost that is used as a soil amendment or foliar fertilizer. Compost tea is considered a fertilizer for the purposes of this regulation.

"Continuing education hours" means elapsed or actual time spent in an educational, professional-development activity.

"Fast-acting nitrogen" means any water-soluble nitrogen that is immediately available to plants upon application.

"Fertilize, fertilizing, or fertilization" means the act of applying fertilizer to plants or soils.

"Fertilizer" means a substance that enriches the soil with elements essential for plant growth, such as nitrogen, phosphorus, or other substances; fertilizer does not include those nutrients that are normally excluded from fertilizer such as chemically part of dolomite, limestone, or lime. Fertilizer includes foliar fertilizers, as defined below.

"Foliar Fertilizer" means any fertilizer product designed for uptake into a plant through its leaves and which typically are sprayed directly onto a plant.

"Fertilizer License" means that documentation denoting an individual or corporate entity has demonstrated, by means of an examination, competency in applying fertilizer on properties within the Town & County of Nantucket.

"Health Agent" or "Health Director" signifies the individual who has direct oversight of the daily activities of the Nantucket Health Department.

"Horticulture" is a general term meaning plant science and plant products. For the purposes of this Regulation, horticulture means the raising of flowers, fruits, vegetables, berries, herbs, nuts, and other similar products for commercial sale, where the threshold of commercial is two thousand five hundred dollars (\$2500.00) of gross sales per calendar year measured as an average over a five year period. See also "Agriculture."

"Impervious surface" means a surface that has been compacted or covered with a layer of material so that it is highly resistant to infiltration by water.

"Landscape professional" means a person who, in exchange for money, goods, services, or other consideration, applies fertilizer to plants or soils.

"Landscaping" means establishment by sod, seeding, or transplanting, renovation, maintenance, or fertilization of turf and other plantings.

"Licensed applicator" means a person authorized by the Nantucket Board of Health or Health Agent to apply fertilizer for commercial purposes.

4

"Nantucket" encompasses the land and water of the Town and County of Nantucket including Tuckernuck and Muskeget.

"Nantucket Board of Health" means that local Board appointed by the Board of Selectmen to oversee public and environmental practices through the actions of its Health Department within the Town and County of Nantucket.

"Nantucket BMP" is the current edition of the "Best Management Practices for Fertilizer Use on Lawn and Landscape Plantings on Nantucket, MA." Pursuant to Section 5.1 of this Regulation, the Nantucket BMP is adopted by the Board of Health and is generally available to the public.

'Nantucket; Town and County of' means the bodies politic created by state statute (of the Commonwealth of Massachusetts General Court) to govern said lands and waters.

"'Nonpoint Pollution' means contamination which includes but is not limited to sediments, nutrients, pathogens, and pollutants that collect in water-bodies from storm water runoff." (301 CMR 26.03, "Definitions" in the "Coastal Pollutant Remediation Program")

"Nonpoint Pollution Source (NPS)" means any activity releasing pollution that is not deemed point-source pollution.

"Nutrient" means any of the following 16 elements needed for growth of a plant; the three (3) non-mineral elements: carbon, hydrogen, and oxygen; the six (6) macronutrients: nitrogen, phosphorus, potassium, calcium, magnesium, and sulphur; and the seven (7) micronutrients: boron, copper, iron, chloride, manganese, molybdenum, and zinc.

"Nutrient management" means systematic control of the application of nutrients.

"Plantings" means organized cultivation of plants for beneficial purposes.

"Plants" are biological organisms in the *Kingdom Plantae* that, for the purposes of this Regulation, are used domestically.

"Point-Source water pollution" comes from end of pipe stationary locations such as sewage treatment plants, factories, and ships and is subject to regulatory control under the Massachusetts Clean Water Act and the Federal Water Pollution Control Act, both as amended .

"Slow-release, controlled-release, timed-release, slowly available, or water insoluble nitrogen" means nitrogen in a form that delays its availability for plant uptake and use after application and is not rapidly available to turf and other plants.

"Soil" means the upper-most layer of the earth's surface, comprised of mineral and organic matter, which can host biological communities.

"Soil test" means a technical analysis of soil conducted by an accredited soil testing laboratory.

"Total Maximum Daily Load / TMDL" is a calculation of the maximum amount of a pollutant that a water body can receive and still safely meet water quality standards.

"Turf" means grass-covered soil held together by the roots of tire grass, also **known as 'sod' or 'lawn.'**

"Waters" or "Water-bodies" or "Water Resources" include but are not limited to, streams, including intermittent streams, creeks, rivers, freshwater and tidal wetlands, ponds, lakes, marine waters, canals, lagoons embayment's, and estuaries within the Town and County of Nantucket, including without limitation all waters defined in Massachusetts General Laws Chapter 131, Section 40 and Town of Nantucket Code Section 136 .

## SECTION 5. STANDARDS OF PERFORMANCE

### 5.1. Nantucket Best Management Practices

The Nantucket Board of Health shall adopt the document known as the Nantucket Best Management Practices ("Nantucket BMP"), which shall be incorporated into and be part of this Regulation. The initial version of the Nantucket BMP has been developed by a broad group of stakeholders representing diverse interests and has been reviewed by soil and turf scientists and educators. It is based on principles of soil science appropriate to Nantucket soils and climate. Therefore, notwithstanding the requirements of G.L. c. 111, §31, no amendment to the Nantucket BMP shall be adopted

until such time as the Nantucket Board of Health shall hold a public hearing thereon, notice of the time, place and subject matter of which, sufficient for identification, shall be given by publishing in a newspaper of general circulation in the Town and County once in each of two successive weeks, the first publication to be not less than fourteen days prior to the date set for such hearing. No such amendment shall be effective unless the proposed amendment has been reviewed and commented upon by soil and turf scientists and educators and it is passed by a four-fifths vote of the Nantucket Board of Health.

## 5.2. Performance Standards for Non-Licensed Applicators:

Applicators who do not hold Fertilizer Licenses issued in accordance with Section 6.2 of this Regulation shall comply with the following standards:

5.2.1. Applicators shall not apply fertilizer immediately before or during heavy rainfall, such as but not limited to thunderstorms, hurricanes, or north eastern storms, or when the soil is saturated due to intense or extended rainfall;

5.2.2. Applicators shall not apply fertilizer between October 16th and the following April 14<sup>th</sup>;

5.2.3. Applicators shall not apply, spill, or deposit fertilizer on any impervious surface and fail to remove the applied, spilled, or deposited fertilizer immediately, or to apply fertilizer in a manner that allows fertilizer to enter into storm drains or other man-made storm flowage receptacles and/or channels.

5.2.4. Applicators shall not apply fertilizer closer than 100 feet to any water-body as defined above unless a permit is obtained from the Nantucket Conservation Commission allowing such activity [This reflects current Nantucket Wetland Regulations];

5.2.5. Applicators shall not deposit grass clippings, leaves, or any other vegetative debris into or within 25 feet of water-bodies, retention and detention areas, drainage ditches or storm water drains, or onto impervious surfaces such as, but not limited to, roadways and sidewalks, except during scheduled clean-up programs.

5.2.6. The following restrictions shall apply to the content of fertilizer to

be applied to turf, other plants, or soil by such non-licensed Applicators.

5.2.6.1. An Applicator shall not apply more than 0.251b Nil 000 sq ft of fast-release nitrogen fertilizer in anyone application.

5.2.6.2. An Applicator shall not apply fertilizer that contains phosphorus, unless a soil test indicates a phosphorus deficiency and it is applied in conformance with the Nantucket BMP.

5.2.6.3. Applications of compost, which contain phosphorus, may only be applied in conformance with the Nantucket BMP.

5.2.7. A single application of nitrogen for turf shall not exceed 0.5 pounds of actual nitrogen per thousand square feet and the annual rate shall not exceed 3.0 pounds of actual nitrogen per thousand square feet; a single application for trees, shrubs, herbs and other ornamental plantings shall not exceed 0.5 pounds of actual nitrogen per thousand square feet and the annual rate shall not exceed 2.0 pounds of actual nitrogen per thousand square feet.

5.2.8. Applications of nitrogen shall be done at intervals of no less than two weeks until the annual maximum is reached.

5.2.9. The fertilizer application requirements of Section 5.2.7. shall apply without limitation to the application of combination products.

5.2.10. Foliar fertilizers shall be applied in compliance with the Nantucket BMP. The nitrogen application rate of foliar products shall be included when calculating the annual total nitrogen application rate.

5.2.11. Compost and compost tea shall be applied in compliance with the Nantucket BMP. The nitrogen and phosphate application rates of compost and compost tea shall be included when calculating the annual total fertilizer application rate.

### 5.3 Performance Standards for Licensed Applicators

5.3.1. Licensed Applicators shall be exempt from the performance standards set forth in Section 5.2 of this Regulation, provided that they comply with the requirements of Section 5.3.2 of this Regulation.

5.3.2. All applications of fertilizer by a Licensed Applicator shall be in

accordance with the Nantucket BMP, as amended, at the time of the application.

5.4. Exemptions. The following activities shall be exempt from Sections 5.2. and 5.3.

5.4.1. Application of phosphorus when establishing vegetation, after land disturbance, and when re-establishing or repairing turf after substantial damage, provided the application is in compliance with the Nantucket BMP. When applied within 100 ft of any water-body such application requires a permit from the Nantucket Conservation Commission [This reflects current Nantucket Wetland Regulations].

5.4.2. Application of fertilizer for agricultural and horticultural uses, including sod farms.

## SECTION 6. EDUCATION, LICENSURE, ENFORCEMENT, AND PENALTIES.

### 6.1. Education

6.1.1. The Town of Nantucket Board of Health SHALL maintain a program of fertilizer education that is based on the Nantucket BMP.

6.1.2. The Nantucket Board of Health SHALL administer an assessment to determine an individuals' proficiency with respect to the Nantucket BMP.

6.1.3. Summaries of fertilizer application requirements will be made readily available to the public by the Nantucket Board of Health.

### 6.2. Licensure

6.2.1. No Landscape Professional shall apply fertilizer in the Town and County of Nantucket without a License issued by the Nantucket Board of Health in accordance with this Regulation. Such License may be held but is not required by property owners who apply fertilizer on their own property.

6.2.2. Fertilizer Licenses shall be effective beginning on January 1st in the year of issue, and shall be in effect for three calendar years, unless previously revoked in accordance with Section 6.3 of this Regulation.

6.2.3. Fertilizer Licenses may be renewed on application. Renewal applications shall be submitted to the Nantucket Board of Health no later than December 1st of the year preceding the year for which renewal is sought.

6.2.4. Any application for a Fertilizer License or for renewal of a Fertilizer License shall be accompanied by a fee in the amount of \$100.00 and certification that the applicant has shown proficiency of the Nantucket BMP as determined by the Nantucket Board of Health, as set forth in Section 6.1.2 of this Regulation.

6.2.5. Any Landscape Professional licensed under this Regulation shall keep said License in his\her possession which shall be readily available for display. The License shall indicate the license number and shall include the Licensee's signature and date of the license expiration. The Licensee shall display such license when requested to do so by any officer of the Nantucket Police Department or Nantucket Board of Health.

### 6.3. Enforcement

#### 6.3.1. License Suspension or Revocation

The Nantucket Board of Health may suspend or revoke any license issued pursuant to this Regulation or any other applicable law. Such revocation or suspension may take place after a hearing held by the Nantucket Board of Health of which the license holder shall be given seven (7) days written notice. Such notice shall be deemed given upon certified return receipt mailing same to the address listed 011 the license application.

#### 6.3.2. Non-Criminal Disposition

This Regulation may be enforced by the Nantucket Health Director, Assistant Health Officer and/or any Police Officer of the Town of Nantucket. Whoever violates any provision of this Regulation may be penalized by a noncriminal disposition process as provided in Massachusetts General Laws c chapter .40, section 21D and the Town's non-criminal disposition by-law, Sections 1-2, 1-3, 1-4, 1-5, and 1-6 of the Code of the Town of Nantucket. If non criminal disposition is elected, then any person who violates any provision of this Regulation shall be subject to a penalty in the amount of three hundred dollars (\$300.00) per day for each day of violation, commencing ten days following day of receipt of written notice from the Nantucket Board of Health. Each day or portion thereof shall

constitute a separate offense. If more than one, each condition violated shall constitute a separate offense.

### 6.3.3. Other

Whoever violates any provision of this Regulation may be penalized by indictment or on complaint brought in the district court. Except as may be otherwise provided by law and as the district court may see fit to impose, the maximum penalty for each violation or offense shall be one thousand dollars (\$1,000). Each day or portion thereof shall constitute a separate offense. If more than one, each condition violated shall constitute a separate offense.

The Nantucket Board of Health may enforce this Regulation Of enjoin violations thereof through any lawful process, and the election of one remedy by the Nantucket Board of Health shall not preclude enforcement through any other lawful means.

## SECTION 7. SEVERABILITY CLAUSE

Should any section, part or provision of this Regulation be deemed invalid or unconstitutional, such decision shall not affect the validity of the remaining terms of this Regulation as a whole or any part thereof, other than the section, part Of provision held invalid or unconstitutional.

## SECTION 8. AMENDMENTS

This Regulation is based on the Nantucket BMP and was developed by a broad group of stake holders representing diverse interests and has been reviewed by soil and turf scientists and educators. Therefore, notwithstanding the requirements of G.L. c. 111, §31, no amendment to this Regulation shall be adopted until such time as the Nantucket Board of Health shall hold a public hearing thereon, notice of the time, place and subject matter of which, sufficient for identification, shall be given by publishing in a newspaper of general circulation in the Town and County once in each of two successive weeks, the first publication to be not less than fourteen days prior to the date set for such hearing. No such amendment shall be effective unless the proposed amendment has been reviewed and commented upon by soil and turf scientists and educators and it is passed by a four fifths vote of the Nantucket Board of Health.

## SECTION 9. EFFECTIVE DATE

This Regulation shall take effect on January 1<sup>st</sup> 2013 and upon publication pursuant to G.L. c. 111, §31.

## SECTION 10. INTERIM PROVISIONS

Landscape Professionals may apply fertilizer without a license during the interim period between the effective date of this Regulation and the development of a licensing program by the Nantucket Board of Health, provided that they comply with Section 5.3.2 of this Regulation.[printed: 2012-06-13]

## Board of Selectmen Minutes of the Meeting of November 4, 2015 at 6:00 PM

5. Review of Siasconset Beach Preservation Fund (SBPF) License Conditions for Sconset Bluff Erosion Control Project. Mr. Atherton said he feels the motion voted on by the Board at its September 23, 2015 meeting authorizing the Town Manager to sign a Notice of Intent for SBPF for a fourth Geotube tier had conditions and that it seems the project has begun and the conditions have not yet been met. Chairman DeCosta suggested giving SBPF 30 days to finalize the bluff walk language and 60 days to finalize the "One Big Beach" easement. Mr. Glidden moved that within 30 days the Board is to receive a survey and language for the bluff walk easement(s) and within 60 subsequent days the easements need to be signed and released to the Town; Mr. Fee seconded. So voted 4-1. Mr. Atherton abstained.

# HDC Appeal 13 C Street

**Law Offices of Peter D. Kyburg, P. C.**

18 Broad Street  
Nantucket, MA 02554  
Telephone (508) 228-2790  
Fax (508) 228-7852  
email: pkyburg@gmail.com

Peter D. Kyburg  
Also admitted in CT



November 2, 2015

Town Administrator  
Board of Selectmen of Nantucket  
16 Broad Street  
Nantucket, MA 02554

Re: 13 C Street, Madaket, Map 60.2.1, Parcel 76, HDC Cert. 64611

**APPEAL TO BOARD OF SELECTMEN  
OF DECISION OF THE HISTORIC DISTRICT COMMISSION**

Dear Board of Selectmen:

Please be on notice that I represent Joseph Freeman and Juliana and Theodore P. Lyman of 12 C Street, in the matter of their appeal of the above captioned HDC decision from October 13, 2015, filed with the Town Clerk on October 23, 2015 as Certificate of Approval 64611, (hereinafter "the Approval"), and that this is also a NOTICE OF APPEAL of the same.

I would ask that we be allowed to be heard at the hearing on the same so as to advocate for my clients' position against said Approval. I would suggest that the Approval does not comport with Building with Nantucket in Mind, the official design guidelines manual of the Nantucket Historic District Commission (hereinafter "the Guidelines").

Madaket is an important historical area on Nantucket as both a landing place for the early Native Americans from Marthas Vinyard, and as having the oldest English Settlement on Nantucket dated to 1659. Hither Creek and the bay between Madaket and Tuckernuck Island has always been used for boating, fishing, shellfish, shelter and many other marine uses. The Guidelines characterize Madaket as having three sections; the old part, as

described between Madaket Road and Hither Creek, the part westward to the

Smith's Point, and the Tistam's Landing part. The Applicant's structure lies squarely in the center of the old part of the Madaket Settlement, so called, and, for that reason, should receive the most careful consideration with respect to the application of the Guidelines to any proposed structure. In fact, the current structure on the locus was built in 1926. The Applicant's current structure demonstrates well the historical character of structures that were built in this part of Nantucket for hundreds of years. The Guidelines call this type of development:

*“a linear area developed in an old grid pattern of roads and lots. Its cottages are almost all 1- to 1 ½-stories and generally are rectangularly aligned and oriented to the water. The diversity of these buildings is unified by their consistent low profile, shingled exterior and vernacular simplicity. Many are sheltered in informal enclosures of introduced Japanese Black Pines. New construction should maintain these qualities, especially the building height and scale.”* Page 98. [Italics mine]

One can see that the Guidelines emphasize no less than three distinct times in one pithy paragraph that the structures in this area have always been single or one and one half story structures and with a low profile in height and scale. While we acknowledge that the area is not exclusively fishing cottages any more, per say, many do still exist in their traditional form, and many new and renovated houses have taken on that form and scale even though the use of the new structures are not related to the old and historic uses of structures in that area.

A simple view of the abutters' houses, and the neighborhood in general, still demonstrate the emphasis on "building height and scale". In fact, many of the immediately abutting structures were renovated recently and have observed the historic nature of the area by building low scale, low profile houses. Some abutters have even built down, instead of up, to gain more square footage of livable space while still observing the architectural vernacular of the area, which is again, according to the Guidelines: "*The diversity of these buildings is unified by their consistent low profile*". See the approvals for renovations and structure located at 12 C Street.

The locus is on the part of the Island hosting its first English settlers, followed by hundreds of years of subsistence living by those settlers on Hither Creek and the bay behind it. The form of the fishing cottage is a classic architectural manifestation of the social and economic life in Madaket for hundreds of years. See Photographs that were noted at the hearings both from the 1940s and presently.

The scale of the Applicant's proposed structure is massive given the directives of the Guidelines. It would measure seventy-five feet across, oriented the long way with respect to Hither Creek. It would be built from setback to setback with the mass of the building blocking every possible historic view from the public ways to Hither Creek and beyond, thus drastically changing the visual connection between the Creek and the neighborhood. Making the impact on the current neighborhood even more dramatic is that the proposed site for this large home is on the highest point of Madaket bluff, so called. The impact from the water will be equally damaging to those values specifically described in the Guidelines.

We would maintain that the structure is oversized, both in profile and

scale, and given the nature of the area in which it is proposed to be built, historically inaccurate in every way, other than it will be covered in shingles. This becomes more clear when considering the Guidelines statement that:

*“New construction should maintain these qualities, especially the building height and scale.”* Id., page 98.

In closing, we feel that the proposed structure is not allowed legally by the Guidelines and urge the Selectmen to order that the Decision of the Historic District Commission be overturned and that the matter be sent back to the HDC for revisions in order to make the proposed structure smaller, lower and in compliance with the Guidelines.

We are available at any Selectmen’s meeting.

Very Truly Yours,

A handwritten signature in blue ink, appearing to read 'Peter D. Kyburg', with a stylized, circular flourish at the end.

Peter D. Kyburg, Esq.  
Law Offices of Peter D. Kyburg, PC

CERTIFICATE NO: 64611

DATE ISSUED: 10/13/15

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a  
**CERTIFICATE OF APPROPRIATENESS**  
for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.  
NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

**PROPERTY DESCRIPTION**

TAX MAP N°: 60.2.1 PARCEL N°: 76  
Street & Number of Proposed Work: 13 C STREET  
Owner of record: Heather's Haven LLC  
Mailing Address: C/O Cohen & Cohen Law PC  
PO Box 786, Nantucket MA 02554  
Contact Phone #: 508 2290737 E-mail: steve@cohenlaw.net

**AGENT INFORMATION (if applicable)**

Name: STEVEN COHEN OR STEPHEN ECKMAN  
Mailing Address: SAME  
Contact Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

FOR OFFICE USE ONLY	
Date application received: <u>2/11/15</u>	Fee Paid: \$ <u>455.75</u>
Must be acted on by: <u>3/24/15 (4/7/15)</u>	
Extended to: <u>12/29/15</u>	
Approved: <u>[Signature]</u>	Disapproved: _____
Chairman: <u>[Signature]</u>	
Member: <u>[Signature]</u>	
Member: <u>[Signature]</u>	
Member: <u>[Signature]</u>	
Notes - Comments - Restrictions - Conditions <u>NE - 5 windows - on 1st floor</u> <u>in main man. - shys open</u> <u>to center</u>	

**DESCRIPTION OF WORK TO BE PERFORMED**

See reverse for required documentation.

New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed  
 Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. 53269  
 Pool (Zoning District \_\_\_\_\_)  Roof  Other Prior approval, not built  
Size of Structure or Addition: Length: 74.5' Sq. Footage 1st floor: 2385 Decks/Patio: Size: 21' x 26.5'  1st floor  2nd floor  
Width: 44.0' Sq. footage 2nd floor: 1255 Size: 7' x 18'  1st floor  2nd floor  
Sq. footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North -6" South -12" East 0" West 0"  
Height of ridge above final finish grade: North 25' South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

**Additional Remarks**

Historic Name: SANSsouci  
Original Date: by 1938  
Original Builder: \_\_\_\_\_  
Is there an HDC survey form for this building attached?  Yes  N/A  
REVISIONS: 1. East Elevation  
2. South Elevation  
3. West Elevation  
4. North Elevation

\*Cloud on drawings and submit photographs of existing elevations.

**DETAIL OF WORK TO BE PERFORMED**

Foundation: Height Exposed 6"  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
Roof Pitch: Main Mass 8/12 Secondary Mass 7/12 Dormer 489/12 Other: \_\_\_\_\_  
Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.)

Fence: Height: _____
Type: _____
Length: _____

Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Gutters:  Wood  Aluminum  Copper  Leaders (material) Copper

Leaders (material and size): Copper 3'-4"

Sidewall:  White cedar shingles 5" exp  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side  Other \_\_\_\_\_

Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_

B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_

C. Dimensions: Fascia 1x8 Rake 1x8 Soffit (Overhang) 0-6" Corner boards 1x6 Frieze 0

Window Casing 1x4 Door Frame 1x4 Columns/Posts: Round \_\_\_\_\_ Square 8"

Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_

True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer Mullin

Doors\* (type and material):  TDL  SDL Front wood Rear wood Side wood

Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_

Landscape materials: Driveways Crushed Shell Walkways \_\_\_\_\_ Walls \_\_\_\_\_

Note: Complete door and window schedules are required.

Sidewall	<u>NTW white Cedar</u>	Clapboard (if applicable)	<u>N/A</u>	Roof	<u>NTW</u>
Trim	<u>"</u>	Sash	<u>brown</u>	Doors	<u>Earliest Green</u>
Deck	<u>"</u>	Foundation	<u>Concrete, no paint</u>	Fence	<u>N/A</u>
				Shutters	<u>N/A</u>

Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

ATTEST: A TRUE COPY  
[Signature]  
NANTUCKET TOWN CLERK

Minutes for March 17, 2015, adopted Mar. 31

2. Heathers Heaven	13 C Street	Renovate existing house	60.2.1-76	Steve Cohen
Sitting	Williams, Hill-Holdgate, McLaughlin, Coombs, Pohl			
Alternates	Leonardo, Camp, Glazer			
Recused	None			
Documentation	File with associated plans, photos and required documentation.			
Representing	<b>Stephen Cohen</b> , Cohen & Cohen LP – Presented project. Realizes that this house needs revisions in the massing; asked for specific comments not relating to massing.			
Public	Jamic Feeley, Cottage and Castle Construction Peter Kyburg, for Ted Lyman & Joe Freeman, 12 C Street; Sonja and Andy O'Brien, 6 Tennessee Avenue; Susan and Lindsey White, 14 D Street; Bonnie Ray, 10 C Street; Pat & Roger Stolte, 19 Baltimore Street; Pam & Bob, Schaecher, 317 Madaket Road			
Concerns	(5:36) <b>Pohl</b> – Southeast and northwest elevation roof plane is essentially a 62 foot long 2-story mass. There are no single-story caves pulling the house down. Prior drawings contained 1-story masses. The high degree of formality of this house; it is almost exactly symmetrical which is antithetical to Madaket. <b>Coombs</b> – The 4-over-4 windows are inappropriate. Agree with Mr. Pohl. Too many windows on the northwest elevation. The middle can be 25-feet but it has to work down to the small houses around it. Porch over the front door needs to come down. N elevation, two windows come right into the corner. <b>Hill-Holdgate</b> – Previously we tried to keep a presence of the original building, which is obliterated by the 2 <sup>nd</sup> floor mass. S elevation, the double gables over the front door should be a shed and no deck over the front door; all the glass around the front door is too formal; shouldn't have French doors on the front. Side 2 <sup>nd</sup> floor deck has too many French doors. Needs to be lower massing. <b>McLaughlin</b> – The house compared to cottage around it, is in character to the neighborhood. <b>Williams</b> – There is nothing about this that is appropriate. We required the old house remain intact; there is nothing of that left. Need to start with keeping the old structure. This and the neighbor houses were all built as 1-story bungalows at the same time; this is on the highest point along Hither Creek and is in old Madaket. This has 2-story caves all the way around and too many French doors.			
Motion	<b>Motion to Hold for revisions. (Pohl)</b>			
Vote	Carried unanimously	<b>Certificate #</b>		
3. Amick, Robert	65 Orange Street	Hardscape, stonewall/fcn/arbr	55.4.1-78	Rita Higgins
Sitting	Williams, Hill-Holdgate, McLaughlin, Coombs, Pohl			
Alternates	Leonardo, Camp, Glazer			
Recused	None			
Documentation	File with associated plans, photos and required documentation.			
Representing	<b>Rita Higgins</b> – Presented project.			
Public	None			
Concerns	(5:57) No concerns.			
Motion	<b>Motion to Approve. (McLaughlin)</b>			
Vote	Carried unanimously	<b>Certificate #</b>	<b>63329</b>	
4. 14 Tennessee Ave. LLC	14 Tennessee Avenue	Hardscape: Pool/Fence	60.1.2-6	Val Oliver
Sitting	Williams, Hill-Holdgate, McLaughlin, Coombs, Glazer			
Alternates	Leonardo, Camp			
Recused	None			
Documentation	File with associated plans, photos and required documentation.			
Representing	<b>Val Oliver</b> – There was no separate application for the original pool; there is a stamped site plan. <b>Steven Cohen</b> , Cohen & Cohen Law PC – The Conservation Commission buffer limits the location of the pool. Asked if it could be flipped 90 degrees to be parallel to the back of the house.			
Public	None			
Concerns	(6:01) <b>Williams</b> – Prior concerns were the location and direction of the pool which is still a concern. In the original approval, it was felt the pool wasn't visible because it was in the deck. She believes it will be visible from Hither Creek. <b>Coombs</b> – It will be visible and privet isn't appropriate on the Creek in Madaket; it will be visible from Hither Creek, Town Parking, and the Marine. <b>Hill-Holdgate</b> – Would like to see natural plantings all around and a small section of picket fence and suggested a deck around it so it would look more boardwalk like. <b>Glazer</b> – Feels a precedent is being set and that contextually this is not at all appropriate along the harbor. There are no pools along this street anywhere. The effort to mitigate the site line of the pool is not sufficient. <b>McLaughlin</b> – The fence is atypical for Madaket. <b>Williams</b> – Gyration to mitigate visibility puts the pool out of context with the neighborhood. The prior approval of being in a deck is acceptable because you wouldn't see it. The size is excessive.			
Motion	<b>Motion to Hold for revisions. (McLaughlin)</b>			
Vote	Carried unanimously	<b>Certificate #</b>		

Minutes for March 31, 2015, adopted Apr. 14

28. Dick, David	52 Pleasant Street	Revisions to storage shed	55.4.1-97	Self
Sitting	Williams, McLaughlin, Coombs, Pohl, Camp			
Alternates	None			
Recused	None			
Documentation	File with associated plans, photos and required documentation.			
Representing	David Dick			
Public	None			
Concerns	(8:37) <b>Williams</b> – The west faces the road and the design is odd and is fully visible. Would like it moved closer to the house to screen from the road.			
Motion	<b>Motion to Approve through staff with the shed relocated closer to the house per Exhibit A. (McLaughlin)</b>			
Vote	Carried unanimously	<b>Certificate #</b>	<b>63437</b>	
29. Heathers Heaven	13 C Street	Reno/add to existing structure	60.2.1-76	Steve Cohen
Sitting	Williams, Hill-Holdgate, Coombs, Pohl, Glazer			
Alternates	Camp			
Recused	None			
Documentation	File with associated plans, photos and required documentation.			
Representing	<b>Steve Eckman</b> , Eckman Design Studio – Submitted options at the table. Jamie Feeley, Cottage and Castle Construction			
Public	Robert Waickowski, for Peter Kyberg – Concurs with the board's concerns.			
Concerns	(8:42) <b>Coombs</b> – It has hardly changed. The original structure has disappeared. This is an old house on a fragile piece of land. Likes where the original house is dotted in. Shouldn't go from setback to setback. <b>Pohl</b> – The building to the left is 2-stories but the one to the right is 1½ story with a lower eave and head-room gained by use of dormers. Discussion about the options; consensus is all suggestions are still too massive and formal for this site and obscure the original structure. <b>Williams</b> – All the options have high roofs and no additive massing.			
Motion	<b>Motion to Hold for revisions. (Pohl)</b>			
Vote	Carried unanimously	<b>Certificate #</b>		
30. Esposito, John	14 Eat Fire Spring	Revisions to an addition	20-61	Permits Plus
Sitting	Williams, McLaughlin, Pohl, Camp, Glazer			
Alternates	None			
Recused	None			
Documentation	File with associated plans, photos and required documentation.			
Representing	<b>Mark Poor</b> , Permits Plus – Presented a comparative study in regards to scale and massing.			
Public	None			
Concerns	(9:00) <b>Williams</b> – This is 88 feet across the top of the hill. This is an inappropriate scale. Thinks this should be viewed with these plans. <b>Glazer</b> – North elevation, the gable dormers are over sized and look top heavy. The perceived length is exceptionally long. The fenestration on the west elevation left needs to align; some sides are overly fenestrated and some don't have enough. East elevation, the 2 <sup>nd</sup> -floor porch is existing and is now being exacerbated. Thinks the three houses used in the comparison study are not good examples. <b>Camp</b> – Agrees. The original house was simpler in fenestration. <b>Williams</b> – The massing is chaotic. The connector eave height is higher than the original part. West elevation, the right addition is not working. The top of the chimney and clear-glass half rounds and casements in the dormer are all inappropriate. Clear light sliding glass doors with 6-over-1 windows are inappropriate. Massing is chaos. The back is visible coming from Quidnet. The porthole window is inappropriate. The connector should be only 1 story. She wants to see a redesign. The north is the least visible.			
Motion	<b>Motion to Hold for revisions. (Glazer)</b>			
Vote	Carried unanimously	<b>Certificate #</b>		

Minutes for May 26, 2015, adopted June 9

9. Wallace, Sally	15 Shimmo Pond Road	Hardscape: Pool, patio & fence	43-95	Rowland & Assoc
Sitting	Williams, Coombs, McLaughlin, Pohl, Glazer			
Alternates	Hill-Holdgate			
Recused	None			
Documentation	File with associated plans, photos and required documentation.			
Representing	Ben Normand, Rowland and Associates			
Public	None			
Concerns	(6:38) Discussion about the retaining wall under construction around the parking area and leveling of property. <b>Coombs</b> – Don't think the pool will be visible. The fence needs to come in closer; would like to see the topography. <b>Williams</b> – The pool patio is too large and shouldn't connect the pool to the shed; there is too much bluestone and the pool and fence will be visible if the fence isn't pulled in closer to the pool. The air-conditioning unit (A/C) can't be right on the road.			
Motion	<b>Motion to Hold for revisions. (Coombs)</b>			
Vote	Carried unanimously		Certificate #	
11. Heathers heaven LLC	13 C Street	Addition to dwelling	60.2.1-76	S. Cohen
Sitting	Williams, Coombs, Hill-Holdgate, Pohl, Glazer			
Alternates	None			
Recused	None			
Documentation	File with associated plans, photos and required documentation.			
Representing	<b>Steve Eckman</b> , Eckman Design Studio – Presented project. If the structure is flipped, it would not relate as well to the other structures. Expressed his belief they have met all stated concerns. Jamie Feeley, Cottage and Castle Construction <b>Steven Cohen</b> , Cohen & Cohen Law PC – View is not HDC prevue; what is before this board is if this is appropriate. Contends it is a modest house and “trophy home” is a gross mischaracterization.			
Public	<b>Peter Kyberg</b> , for Ted Lyman & Joe Freeman, 12 C Street; Sonja and Andy O'Brien, 6 Tennessee Avenue; Susan and Lindsey White, 14 D Street; Bonnie Ray, 10 C Street; Pat & Roger Stolte, 19 Baltimore Street; Pam & Bob, Schaecher, 317 Madaket Road – Modifications are minutia and don't address the abutters' concern about the scale; this doesn't fit in the neighborhood and is oppressive. The mass and height need to be reduced. <b>Ted Lyman</b> , trustee 12 C Street – In 2010 came before the board for a basement because there was no bathroom that would set a precedent of no outward changes in old Madaket. Every abutter and adjacent neighbors are opposed to this plan. Structures in this area are all small bungalow cottages. Abutters agree this building needs a small addition to make it useable but it does not need to be a “trophy home.” Asks the board to honor the history of old Madaket and keep this within the traditions of old Madaket. No one has a problem with the location.			
Concerns	(5:29) Staff – Do not have the new plans, the representative was going to bring them to the meeting. Steven Cohen, Cohen & Cohen Law PC – Asked to hold for Mr. Feeley's arrival. (6:48) Staff – Read previous concerns from May 19. <b>Hill-Holdgate</b> – Confirmed that the existing square footage (SF) is about 1200 SF and this proposal is 2200 SF. Most changes requested have been made. The double “1” windows are over sized on the northeast and northwest; would prefer they be 5. Agree about the front double posts. The chimney should not come out of the dormer. Likes that it is low and natural to weather. Appreciate changes made. <b>Glazer</b> – Okay with the chimney in the shed dormer; it's quirky. Northwest elevation, that chimney covers the shed window. The water side is still too contemporary for the area. Agree about the “1” windows. Some ganged windows should be separated. Think it could still be reduced some. <b>Coombs</b> – Agree with everything Ms Glazer said. The chimneys look very short; should be taller, especially the northwest rear. <b>Pohl</b> – Agree with Ms Glazer about the chimney in the dormer. Agree with logic about placement of columns on the front. Agree with Ms Hill-Holdgate about size of “1” windows. The courtyard chimney should be corbelled so that it doesn't all pop out. <b>Williams</b> – The overall length is 82 feet long; don't know if it is pushed back far enough or if some height out of the ridge would help. Concerned about moving this so far east on the lot. This has made a lot of progress. Not in favor of multiple posts. Agree about the Nr. “1” windows going to “5”. Northwest elevation, that chimney is not appropriate unless it goes completely inside and becomes 1 flue; Nr. “10” windows are large. This is a big house in an area that doesn't have big house. Agree a little more could be carved out of the center mass to reduce the scale. Check walls on all the dormers need to be pulled in. The main mass is okay at 38 feet long.			
Motion	<b>Motion to Hold for revisions. (Glazer)</b>			
Vote	Carried unanimously		Certificate #	

BREAK 7:37 to 7:46 p.m.

8. Heathers Heaven LLC 13 C Street, Madaket Add existing dwelling 60.2.1-76 Steve Cohen

Sitting Williams, Coombs, Hill-Holdgate, Pohl, Glazer

Alternates None

Recused None

Documentation File with associated plans, photos and required documentation.

Representing **Jamie Feeley**, Cottage and Castle Construction – Reviewed changes made per previous concerns by elevation. The windows either side of the northwest French doors should be Nr. 10s.

**Steven Cohen**, Cohen & Cohen Law PC – Believe that all the concerns have been addressed. The main mass is the same size as the prior approval, but it is shorter than the original approval. The 2<sup>nd</sup> floor is smaller than the original application. Reviewed all the changes that have been made since the first submission. Rebuttal to abutter comments: In 2008, this board approved a house that is larger than this; reiterated efforts to bring the scale in line with the area.

Public

**Peter Kyberg**, for Ted Lyman & Joe Freeman, 12 C Street; Sonja and Andy O'Brien, 6 Tennessee Avenue; Susan and Lindsey White, 14 D Street; Bonnie Ray, 10 C Street; Pat & Roger Stolte, 19 Baltimore Street; Pam & Bob, Schaecher, 317 Madaket Road – Contends that a number of commissioners have repeatedly stated that the structure is too big; the size is still the same as the 1<sup>st</sup> submission; many abutters share the same concern. Reiterated that this is located in one of the oldest settlements on Nantucket and sits on top of a bluff; it should be held to the same standards as the neighbors. This is not a small cottage in an area that is all small cottages. Submitted into the record a letter from David White formerly connected to 19 Baltimore Street at the table. Read into the record an email from Joe Freeman opposing the proposed addition.

**Colleen Whelden**, 14 Baltimore Street – Submitted context photos at the table. Spoke against the size of this structure. Cited *Building with Nantucket in Mind* and the goal to keep structures harmonious to their immediate area; this is not. Feels this will be visible from Tuckernuck and Eel Point. Really wants the view of the waterfront to stay the same.

**Lindsey "Peter" White**, 14 D Street – Submitted a letter and picture at the table; read the letter into the record: the central element is too large and the structure is wider than the norm.

**Bonny Ray**, 10 C Street – Concerned about the size in comparison to what is existing, small cottages. The view coming in the creek will be impacted by the size of this structure; is concerned this would set precedent. This proposal is three times the original structure. No other structures, in the immediate area, are that big or fancy.

**Patty Stolte**, 19 Baltimore Street – Repeated that the view coming in the creeks would be impacted and set a precedent. Stated her opinion that approving this is not in keeping with the intent of this board.

**Richard Grundler**, 9 Madaket Road – This house is a "monster" compared to what is around there. Concerned that the harmony and esthetics of Madaket would be altered.

**Suzie White**, 14 D Street – Stated that it is possible to have a large number of people in a small house and thus keep the small feel of Madaket.

Concerns

(6:23) **MAB** – All changes are an improvement; no problem.

**Williams** – Read a letter from Brad Fleming of the MAB contradicting the notes read at the table.

**Staff** – Read previous concerns from May 26.

**Williams** – The Nr. 1s on the northwest elevation are different than the rest of the Nr. 1s. The original approval was not the same overall length and did not have competing elements. If an appropriately scaled addition were proposed, asked if the abutters could accept that. (Yes.)

**Pohl** – He appreciates the direction this is going; it is more scaled down from the original. Looking at the floor plan, there is not much to the 2<sup>nd</sup>-floor program, but the 1<sup>st</sup> floor is all in a long bar; suggested looking at ways to bring the length down. Looking at the 1<sup>st</sup> floor, almost half the program is housed in the existing structure; the large elements of the 1<sup>st</sup> floor are in the stair, porch, and entry; that could be restructured to reduce the size. The central mass would normally house the living room, but this doesn't.

**Coombs** – The section that gives this its length is not primary and could be reduced. Looking at the view of the creeks, there are bigger buildings east and west; but this particular area is one of the oldest in Madaket and that needs to be kept under consideration. Would like to see further reduction in length.

**Glazer** – Agree with what's been said. The program can still be further reduced; it is still too big.

**Hill-Holdgate** – Appreciate the work that's been done. The scale is still too big especially the central mass; it is still too wide and there are interior elements that could be pared down or reorganized to reduce the size. HDC has to take into consideration the amount of neighborhood concerns. She has problems with the big exterior chimney; the dormer behind the chimney should be eliminated. The dormers on the old structure are inappropriate.

**Williams** – Agree with what's been said including reorganizing the interior program to decrease the scale. This needs more work. Do not move any of the 2<sup>nd</sup>-floor program over the back of the original structure.

Motion

**Motion to Hold for revisions. (Glazer)**

Vote

Carried unanimously

Certificate #

Break 7:21 to 7:31 p.m.

**V. OLD BUSINESS**

	1. Heathers Heaven LLC	13 C Street	Add existing dwelling	60.2.1-76	Steve Cohen
	Sitting	Williams, Coombs, Hill-Holdgate, Pohl, Glazer			
	Alternates	None			
	Recused	None			
	Documentation	File with associated plans, photos and required documentation.			
	Representing	<p><b>Steven Cohen</b>, Cohen &amp; Cohen Law PC – This structure is 24 feet tall, only 2,370 square feet (SF) on the 1<sup>st</sup> floor, 890 SF on the 2<sup>nd</sup> floor, and is neither the longest nor the tallest house along Hither Creek. In 2008, this same lot was approved for a larger structure. There is now nothing historically inappropriate to the neighborhood; it is textbook additive massing. Pointed out that this is one of the largest lots in the area and it is appropriately sized for the lot. Explained the reason for canting the cottage and how doing that alleviates the perception of length. They have been told in 5 or 6 meetings to be more like the previous approval, which they have done. Now they are being told to reduce the main mass, which has not been mentioned before.</p> <p><b>Jamie Feeley</b>, Cottage and Castle Construction – Reviewed changes made per previous concerns. This is 10 feet shorter than the last submission. This is 10 feet shorter than the previous submission.</p>			
Public		<p><b>Peter Kyberg</b>, for Ted Lyman &amp; Joe Freeman, 12 C Street; Sonja and Andy O'Brien, 6 Tennessee Avenue; Susan and Lindsey White, 14 D Street; Bonnie Ray, 10 C Street; Pat &amp; Roger Stolte, 19 Baltimore Street; Pam &amp; Bob, Schaeffer, 317 Madaket Road – These plans are almost exactly the same as the plans presented at the last hearing with minor changes. The only significant change is the orientation of one of the wings. Criticisms from the prior meeting have not been addressed. This house is historically inaccurate given the location. This area is historically significant with traditionally small structures on top of a bluff. The house from end to end is 72'8" feet long. The cottages in this area were fishing shacks turned into residences.</p> <p><b>Colleen Whelden</b>, 14 Baltimore Street – This has not changed from the last hearing. This is twice as long as her house and is sitting on top of the bluff. This will deteriorate that entire area. She does not see any material changes since the last hearing. Does not think the 2008 approval should have any bearing at this hearing.</p> <p><b>Lindsey "Peter" White</b>, 14 D Street – It looks like 1 foot came out of the screened porch and 1 foot out of the breeze way. The Washington Street side measures 74'8", plus the basement stairs. It is a good house but not for this location. Last week there was a lot of discussion about reducing the center section; that hasn't been reduced more than 2 feet.</p> <p><b>Bonnie Ray</b>, 10 C Street – This is out of proportion with the immediate neighborhood. There is a proposal to raise the grade. Approving this would set a precedence that would change the character of old Madaket.</p> <p><b>Suzie White</b>, 14 D Street – Her expectation after the last hearing was a reduction in the size; when she saw these plans there appeared to be minimal reduction in size. Noted that the structure approved in 2008 was abandoned because the owner found it to be inappropriately large for the area.</p>			
Concerns		<p>(5:15) <b>Williams</b> – Not enough has been done to this. The existing grade should not change at all. Asked commissioners to stick to massing issues. The 12/12 pitch can be changed to 10/12; the height would come down.</p> <p><b>Glazer</b> – Northwest elevation, The fenestration on the Nr. 5 windows have changed to be over vertical. Southeast elevation, the new shed dormer cheek walls need to come in. Northeast elevation, the half wall of the walk down is very long at 21.5 feet. East elevation, is under fenestrated for that size roof. In regards to massing, there has been very little program change so the size has not sufficiently changed; altering the shed dormer would reduce the ridge. This is very specific spot in Madaket and the original cottage should not be consumed or moved.</p> <p><b>Coombs</b> – The center piece looms over original cottage and detracts from the it; canting the cottage helps it stand out. The breezeway should be further reduced. Agrees with Ms Glazer about the southeast dormer.</p> <p><b>Hill-Holdgate</b> – Concerned about the large shed dormer on the front; a smaller one fits in better. Liked the way the canted front presented itself. There is a weird little bump out with a recess under a continuous eave line; it seems odd. She feels the board needs to provide better directions on how much to reduce the center mass.</p> <p><b>Pohl</b> – There has been a 10% reduction in the ridge length; the height is 8 inches under the Madaket height guidelines. Agree with Ms Glazer about the Nr. 5 windows. This has improved a lot. The center gable alone is a low 1 ½ story gable. The cant helps the design making is feel more added onto. Canting the original piece helps the design and gives it a more Madaket feel and added on. If it is at a diff angle, it signals the rest was added on.</p> <p><b>Williams</b> – This is not the right house for this site. The best way to see the impact is from the water, where the relation to east and west abutting structures is obvious. This has a competing gable facing the water; should be shorter in length. Compared this design to the 2008 approval. This is too close to Hither Creek. They need to depart from the internal program; it is driving the exterior. Suggested getting rid of the garage and move some of the 2<sup>nd</sup>-story program to the 1<sup>st</sup> floor. The dormer on the front can't have a chimney coming out of it and it is too wide. Dormers on the southwest &amp; water side are too big. Needs to have more Madaket vernacular and be sensitive to the original structure. The previous approval fit in better with Madaket in length, style, and simplicity. She is opposed to flipping the cottage.</p> <p>Discussion about whether or not to cant the original cottage. The cottage should not be consumed by the big house.</p>			
Motion		<b>Motion to Hold fro revisions. (Coombs)</b>			
Vote		Carried unanimously			Certificate #

1.	Heather Heaven LLC	13C Street	Reno/additions exist. dwelling	60.2.1-76	CNC
Sitting	Williams, Coombs, Hill-Holdgate, Pohl, Glazer				
Alternates	None				
Recused	None				
Documentation	File with associated plans, photos and required documentation.				
Representing	<b>Steve Eckman</b> , architect – This is a redesign; presented the new plan.				
(6:19)	<b>Heather Mulvihill</b> , owner – It is important to her that the neighbors find the house appropriate.				
	<b>Steven Cohen</b> , Cohen & Cohen Law PC – This preserves the original cottage, the historic siting, provides a natural & realistic additive mass, and scales down the apparent massing. He believes that this is at a point the board can approve it.				
Public	Jamic Feeley, Cottage and Castle Construction				
	<b>Peter Kyberg</b> , for Ted Lyman & Joe Freeman, 12C Street; Sonja & Andy O'Brien, 6 Tennessee Avenue; Pam & Bob, Schaecher, 317 Madaket Road – The guidebook addresses the old part of Madaket and Hither Creek stating that new construction should maintain the 1½-story cottage look and low profile of the area. They have seen a lot of progress; but his clients feel it has further to go. The north elevation is still slightly large for what his clients feel meets the character of the neighborhood. Asked the board to carefully consider the 78 feet along the water.				
	<b>Bonnie Ray</b> , 10 C Street – This is a much better plan. Her concern is the length and how it will appear coming in Hither Creek. She doesn't want to see something that will change the feel of Madaket. Her husband's family built the house and she realizes the cottage needs renovation.				
	<b>Lindsey "Pete" White</b> , 14 D Street – The link along Hither Creek, including the deck, is 78 feet, which is very long. The left mass is too big and doesn't come across as two cottages joined by a breezeway; it feels like an unbalanced single mass.				
	<b>Julianna Lyman</b> , 12 C Street – Doesn't feel this structure matches up. There is a sense of place with a cottage, not a large house; feels it is within reason to expect them to scale it down some more. Once a precedent starts, there is no turning back. Asked to keep in mind the 1½-story guideline for Madaket old village.				
	<b>Colleen Whelden</b> , 14 Baltimore Avenue – They have put a lot of work into this, but it is this board's mission to protect the existential beauty of this Island and this area. Something of such a grand mass would look too "Great Gatsby" plunked into the middle of small cottages.				
	<b>Susan White</b> , 14 D Street – Concurs that 84 feet is long and that the end is massive. The importance is neighborhood. She would like to see this get smaller to maintain the neighborhood.				
	<b>Patricia Stolte</b> , 19 Baltimore Avenue – Agrees that the length along the water is excessive. The plan itself is good but they have to build along the water to maximize the program.				
Concerns	Ellen Harde, 83 Eel Point Road				
	<b>Williams</b> – Stated she and Ms Glazer went out on the water with the owner and Mr. Feeley and took photos from Hither Creek. Appreciates what has been given up for this design. Contends that above grade it is 58 feet facing the water not 78 feet.				
	Discussion about the pergola.				
	<b>Hill-Holdgate</b> – Appreciates the changes. There is still a fair amount of program in this house, but it is much closer to approval. Appreciates the natural to weather trim. Would prefer the basement walk down to be moved north away from the road. Would prefer the pergola details be eliminated. The shower should move to the back of the garage. The way the front presents itself, she would like to see it stay more a cottage and the door centered; the chimney should be interior; in two dimension it looks massive along the water. Appreciated getting back to no dormers and no bump outs. Believes the chimney is a very modern feature that will be visible coming out of Hither Creek on the water.				
	<b>Pohl</b> – He feels the house is very "cottagey". Part of the reason for the length of the southeast elevation is the angle adds a perceived length of about 6 feet; the angling of the house breaks it up and helps it feel like two structures. Agrees with some things Ms Hill-Holdgate said. Some of the 2 <sup>nd</sup> -floor dormers are relatively narrow and could afford to get a little wider. Agrees about the shed dormers and awning windows on the original cottage.				
	<b>Coombs</b> – Appreciates the changes. Agrees the shower should move. The northeast courtyard modern chimney needs corbelling brought down a little and the height could come down maybe 8 inches. Agrees with what's been said. If the breezeway were smaller, that might reduce the size some.				
	<b>Glazer</b> – Agree with everything that's been said and appreciates the design. That outdoor shower has to move. The roof over the southwest side door should be shorter and less important. The northeast shed dormer should be centered in the mass. She's okay with the little shed dormers on the original cottage and the windows being awning.				
	<b>Williams</b> – Agree with most that's been said. Not in favor of narrowing the connector and pulling the two pieces closer together. The height has been brought down so that this is now lower than the structures left and right. Some details need to be cleaned up now. The piece that comes out should break and move the windows out; the window and door are banged up against there and should flip. A 3D model would be very helpful.				
Motion	<b>Motion to Hold for revisions. (Pohl)</b>				
Vote	Carried unanimously			Certificate #	

7.	Heather's Heaven	13 C Street	Reno & additions exist. dwelling	60.2.1-76	CNC
Sitting	Williams, Coombs, Hill-Holdgate, Pohl, Glazer				
Alternates	None				
Recused	None				
Documentation	Associated site and elevation plans, photos, correspondence, and required historical documentation.				
Representing	<b>Stephen Cohen</b> , Cohen & Cohen LP – Stated that a page has been swapped out since it was submitted. <b>Steve Eckman</b> , architect – Reviewed changes made per previous concerns. Jamie Feeley, Cottage and Castle Inc				
Public	<b>Peter Kyberg</b> , for Ted Lyman & Joe Freeman, 12C Street; Sonja & Andy O'Brien, 6 Tennessee Avenue; Pam & Bob, Schaecher, 317 Madaket Road – Asked this be held over for one week to allow off-island abutters time to review the plans. At the table, submitted a letter of objections into the record. Noted that this does not meeting the HDC guidelines for a small cottage in keeping with this area of Madaket. Noted that this lot is in the most visible area in the oldest part of Madaket. <b>Colleen Whelden</b> , 14 Baltimore Avenue – At the table, submitted a photo of this area of Hither Creek noting the visibility of this structure. <b>Patricia Stolte</b> , 19 Baltimore Avenue – Madaket is a quaint fishing village; if this goes through, other properties will want to follow and the feel of Madaket will be lost.				
Concerns (59:22)	<b>Hill-Holdgate</b> – Asked what is happening to the screened middle section during the off season. Expressed disappointment that some of her comments were not taken into consideration. She does not want the poles being cut. There are two giant dormers (on the southwest) that she feels should be smaller. The two-flue exterior fireplace will be visible. The front door should be moved over. The pergola should be centered. <b>Pohl</b> – There is very little for him to object to. <b>Coombs</b> – Agrees with Mr. Pohl. This has changed a lot; she is bothered that it doesn't follow the guidelines for Madaket and the old fishing cottages. If it were possible to reduce it further, that would fit yet better. However, what is here works well architecturally. <b>Glazer</b> – Appreciates the changes made. She feels the southwest dormers are appropriate. Also okay with the off-center front door. The exterior fireplace in the northeast courtyard should be eliminated; it's not contextually appropriate. <b>Williams</b> – Northeast elevation, the five 1 <sup>st</sup> -floor off-center windows should align with the dormers; left window shouldn't be crowded up to the corner board. She has no concerns about the exterior fireplace because it is small, set back, and in the courtyard. Don't normally approve bridges. The front pergola isn't a huge problem as it is small though it is weird on the front. This structure can't be driven down any lower; the original part is 18 feet and change; the new part is 22 feet and change. It looks quirky and looks additive. Will have to come back for changes to the screened porch. Brick chimney is too formal for this house; it should be pargetted.				
Motion	<b>Motion to Approve through staff with the five windows on the northeast moved to be centered on the wall.</b> (Pohl)				
Vote	Carried 4-0//Hill-Holdgate abstain		Certificate #	64611	
	<b>Hill-Holdgate</b> – Officially announced her resignation from the HDC. <b>Motion to Send Ms Hill-Holdgate a thank-you card signed by the Chair and all commissioners.</b> (Coombs) Carried unanimously				
8.	Harborside Cottages	80 Washington Street	Bulkhead revisions	42.2.3-20	Rowland/Mercaldi
Sitting	Williams, Coombs, Pohl, Camp, Oliver				
Alternates	Glazer				
Recused	None				
Documentation	Associated site and elevation plans, photos, correspondence, and required historical documentation.				
Representing	Ben Normand, Rowland & Associates				
Public	None				
Concerns (1:31:36)	<b>Williams</b> – Stated that Dave Mercaldi informed her the manufacturer could do one shade darker than the mock-up. This will not be up against raw wood; it will all be the same material. Discussion about the color.				
Motion	<b>Motion to Approve through staff with vertical wood inserted and one shade darker than Nr. 12, per Exhibit A.</b> (Oliver)				
Vote	Carried unanimously		Certificate #	64612	

## Erika Mooney

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**From:** Mark Voigt  
**Sent:** Monday, November 16, 2015 11:48 AM  
**To:** Erika Mooney; Andrew Vorce; Leslie Snell; Linda F. Williams (CZARINALINDA@COMCAST.NET); George Pucci; John Giorgio  
**Subject:** RE: HDC appeal - 13 C Street  
**Attachments:** determination plans minutes etc.pdf; extensions abutters lst.pdf; Revisions.pdf

Erika,

Please see the attached pdf documents from the HDC file for 13 C Street as per Your request.

Good Luck with the appeal.

*Mark W. Voigt*, AICP

Administrator, Nantucket Historic District Commission - PLUS

2 Fairgrounds Road  
Nantucket, MA 02554

(508) 325-PLUS (7587) ext. 7023

Fax(508) 228-7298

*Celebrating over 50 years of Preserving History*

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**From:** Erika Mooney  
**Sent:** Monday, November 02, 2015 2:25 PM  
**To:** Andrew Vorce; Leslie Snell; Mark Voigt; Linda F. Williams (CZARINALINDA@COMCAST.NET); George Pucci; John Giorgio  
**Subject:** HDC appeal - 13 C Street  
**Importance:** High

Attached is an HDC appeal received today re: 13 C Street. Is anyone available on 11/18? Or would 12/2 work better?

Mark:

Please send me the associated HDC file. Thanks.

Erika

Erika D. Mooney  
Project Administrator  
Town of Nantucket  
16 Broad Street  
Nantucket MA 02554  
508-228-7266  
508-228-7272 Fax

CERTIFICATE NO: 64611

DATE ISSUED: 10/13/15

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a **CERTIFICATE OF APPROPRIATENESS** for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

**PROPERTY DESCRIPTION**

TAX MAP N<sup>o</sup>: 60.2.1 PARCEL N<sup>o</sup>: 76  
Street & Number of Proposed Work: 13C Street  
Owner of record: Heather's Heaven LLC  
Mailing Address: C/O Cohen & Cohen Law PC  
P.O. Box 786, Nantucket MA 02554  
Contact Phone #: 508 2280337 E-mail: Steven@chenlegal.net

**AGENT INFORMATION (if applicable)**

Name: Steven Chen or Stephen Eckman  
Mailing Address: same  
Contact Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

FOR OFFICE USE ONLY	
Date application received: <u>2/11/15</u>	CR# <u>2297</u>
Must be acted on by: <u>3/24/15</u>	Fee Paid: \$ <u>455.75</u>
Extended to: <u>12/22/15</u>	
Approved: <u>[Signature]</u>	Disapproved: _____
Chairman: <u>[Signature]</u>	
Member: <u>[Signature]</u>	
Member: <u>[Signature]</u>	
Member: <u>[Signature]</u>	
Member: <u>[Signature]</u>	
Notes - Comments - Restrictions - Conditions <u>NE - 5 windows - on 1st floor</u> <u>in main mass. - shop right</u> <u>to center</u>	

**DESCRIPTION OF WORK TO BE PERFORMED**  
See reverse for required documentation.

New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed  
 Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. 53269  
 Pool (Zoning District \_\_\_\_\_)  Roof  Other prior approval, not built

Size of Structure or Addition: Length: 74.5' Sq. Footage 1st floor: 2385 Decks/Patio: Size: 21' x 20.5'  1st floor  2nd floor  
Width: 44.0' Sq. Footage 2nd floor: 1255 Size: 7x18  1st floor  2nd floor  
Sq. Footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North -6" South -12" East 0" West 0"  
Height of ridge above final finish grade: North 25' South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

**Additional Remarks**

Historic Name: Santsovici REVISIONS\* 1. East Elevation  
Original Date: by 1938 (describe) 2. South Elevation  
Original Builder: \_\_\_\_\_ 3. West Elevation  
Is there an HDC survey form for this building attached?  Yes  N/A 4. North Elevation

\*Cloud on drawings and submit photographs of existing elevations.

**DETAIL OF WORK TO BE PERFORMED**

Foundation: Height Exposed 6"  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
Roof Pitch: Main Mass 8/12 Secondary Mass 7/12 Dormer 489/12 Other \_\_\_\_\_  
Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.)  
Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Gutters:  Wood  Aluminum  Copper  Leaders (material) copper  
Leaders (material and size): Copper 3" x 4"  
Sidewall:  White cedar shingles 5" exp.  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side  Other \_\_\_\_\_  
Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_  
C. Dimensions: Fascia 1x8 Rake 1x8 Soffit (Overhang) 0-6" Corner boards 1x6 Frieze 0  
Window Casing 1x4 Door Frame 1x4 Columns/Posts: Round \_\_\_\_\_ Square 8"  
Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer Marvin  
Doors\* (type and material):  TDL  SDL Front wood Rear wood Side wood  
Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_  
Hardscape materials: Driveways Crushed shell Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

**COLORS**

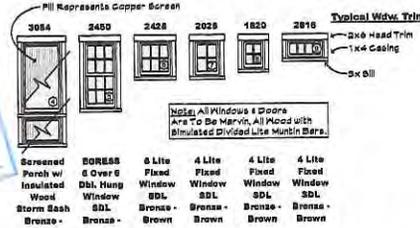
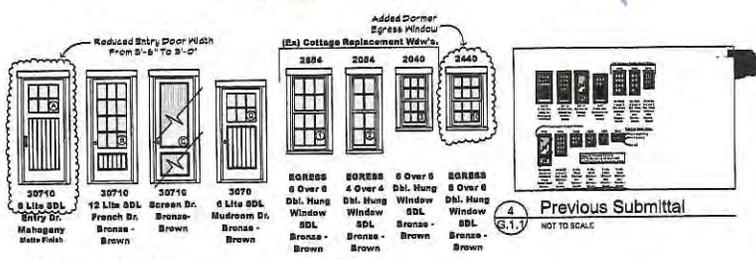
Sidewall NTW white cedar Clapboard (if applicable) N/A Roof NTW  
Trim " Sash brown Doors Forest Green  
Deck " Foundation Cement, no paint Fence N/A Shutters N/A

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.  
Date 2/10/15 Signature of owner of record [Signature] Signed under penalties of perjury  
Steven Chen, Esq. Attorney

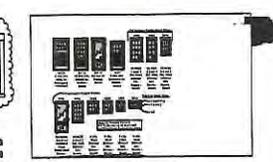
Rec'd 10/13/15 - Save to 10/1/15

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BY



2 House Door and Window Schedule  
SCALE: 1/4" = 1'-0"

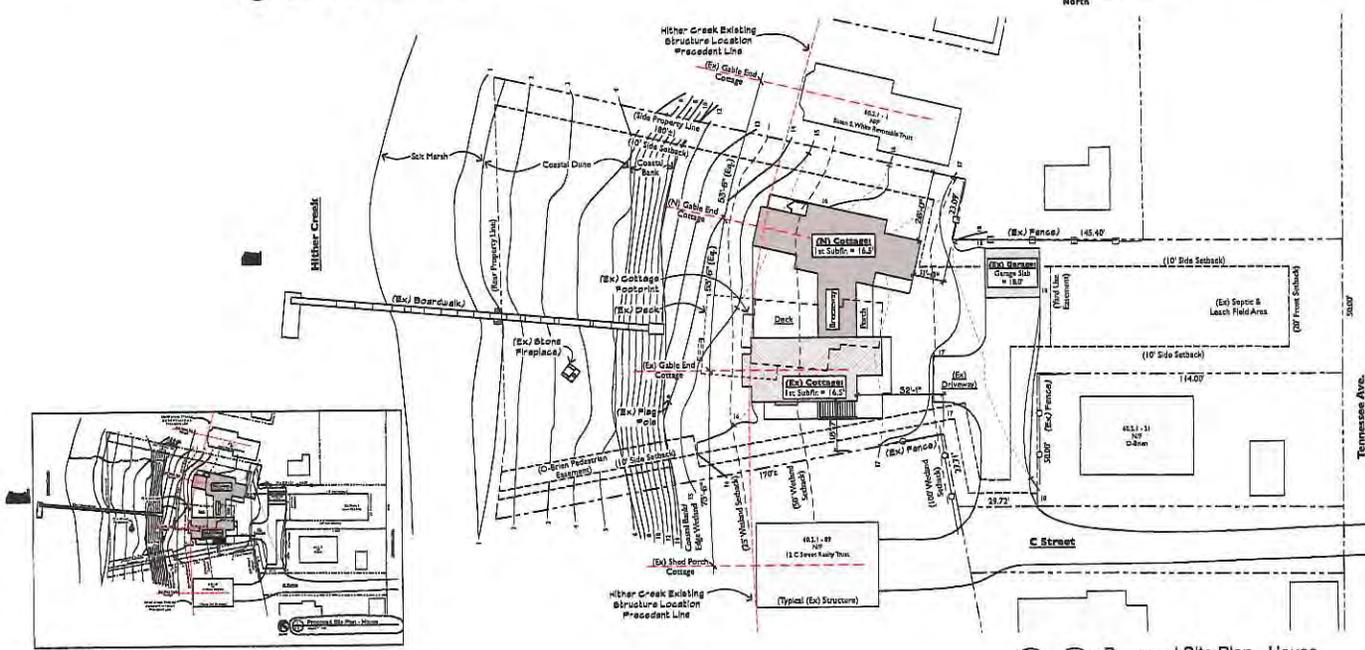
Screened Porch w/ Insulated Storm Sash	6 Over 6 Dbl. Hung Window SBL Bronze - Brown	6 Lite Fixed Window SBL Bronze - Brown	4 Lite Fixed Window SBL Bronze - Brown	4 Lite Fixed Window SBL Bronze - Brown	4 Lite Fixed Window SBL Bronze - Brown
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4 Previous Submittal  
SCALE: 1/8" = 1'-0"



3 Locus Map  
SCALE: 1/8" = 1'-0"



5 Previous Submittal  
SCALE: 1/8" = 1'-0"

1 Proposed Site Plan - House  
SCALE: 1/8" = 1'-0"

**Project Directory**

**Architect:** Elms Design Studio  
Stephen P. Elms, AIA  
330 East 8th Avenue  
Denver CO 80203  
(w) 303.732.2727  
(e) Steve@elmsdesign.com

**General Contractor:** Cottage & Cove, Inc.  
Janis Foley  
37 Old South Road, Lot #6  
Nantucket, MA 02554  
(w) 508.228.4622  
(e) Janis@cottageandcove.com

**Real Estate Attorney:** Reckmann, Sewer & Brewster  
Brian Henry  
160 Federal Street  
Boston, MA 02110  
(w) 617.551.1107  
(e) bhenry@reckmann.com

**Real Estate Attorney:** Cohen & Cohen Law PC  
Joseph L. Cohen  
34 Main Street, 2nd Floor  
Nantucket, MA 02554  
(w) 508.228.0337  
(e) Steve@cohenlaw.com

**Interior Designer:** Donna Eile Interior Design  
Donna Eile  
9 Nobska Way  
Nantucket, MA 02554  
(w) 508.228.4514  
(e) donna@donnaeile.com

**Surveyor:** Blackwell & Associates, Inc.  
Arthur Galtieri  
20 Tossale Circle  
Nantucket, MA 02554  
(w) 508.228.9026  
(e) Art@blackwellsurvey.com

**Landscaper/Designer:** The Garden Design Co.  
Julie Jordan  
P.O. Box 3153  
Nantucket, MA 02584  
(w) 508.223.4082  
(e) julie@thegarden.com

**Sheet Index**  
G.1.1 House Site Plan, Dr./View, Schedule, Locust Map

**Plan:**  
A.0.1 - Selective Demo Plan  
A.1.1 - Proposed House Basement Storage Plan  
A.1.2 - Proposed House First Floor Plan  
A.1.3 - Proposed House Second Floor Plan  
A.1.4 - Proposed House Roof Plan

**Elevation:**  
A.1.1 - Proposed House Elevations 01  
A.1.2 - Proposed House Elevations 02  
A.1.3 - Previous Submission Companion

**Site Plan Info.**  
Owner: Heather's Heaven LLC  
Cert. #: 32398  
LCC 3079-B, Lot 28 & 41  
LCC 3079-C, Lot 92 C  
LCC 3079-D, Lot 43  
Assessor's Map: 023.1 - Parcel: 76  
Con Comm Approval: HHS/DFP File No. SE4B-2187, Approved 12/17/14 (Pending Re-Amendment)

Zoning: VAR/Village Heights Overlay District (VHOD)  
Minimum Footprint: 100 ft  
Front Setback: 20 ft  
Side Setback: 10 ft  
Minimum Building Ht.: 2' (VHOD - § 139-12.K)

Minimum Lot Size: 20,000 sq ft  
Lot Size: 30,974 sq ft  
Allowable Ground Coverage: 3,093 sq ft (10%)  
Existing Ground Coverage: 1,429 sq ft (4.6%)  
Proposed Ground Coverage: 3,088 sq ft (9.98%)  
Proposed Building Square Footage: 3,409 sq ft (first floor: 2,448 sq ft; second floor: 961 sq ft)

**Site Plan Legend**  
Shaded Area Of Proposed (N) Building Footprint  
Shaded Area Of Proposed Relocated (Ex) Building Footprint  
Shaded Area Of (Ex) Building Footprint In Current Loc. (Garage)  
Shaded Area Of (Ex) Neighboring Footprints In Current Loc.  
Setback Lines  
Property Lines  
(Ex) Topography  
(Ex) Topo To Change  
Proposed (N) Topography

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H.D.C. Set. Rev. 1 - 3/31/15  
H.D.C. Set. Rev. 2 - 5/11/15  
H.D.C. Set. Rev. 3 - 5/26/15  
H.D.C. Set. Rev. 4 - 6/21/15  
H.D.C. Set. Rev. 5 - 6/16/15  
H.D.C. Set. Rev. 6 - 9/22/15  
H.D.C. Set. Rev. 7 - 10/6/15

Redesign

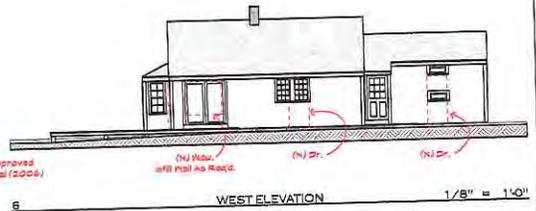
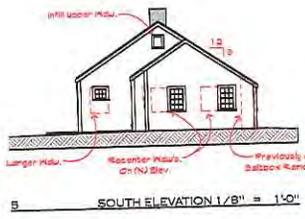
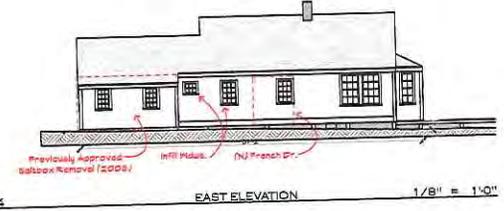
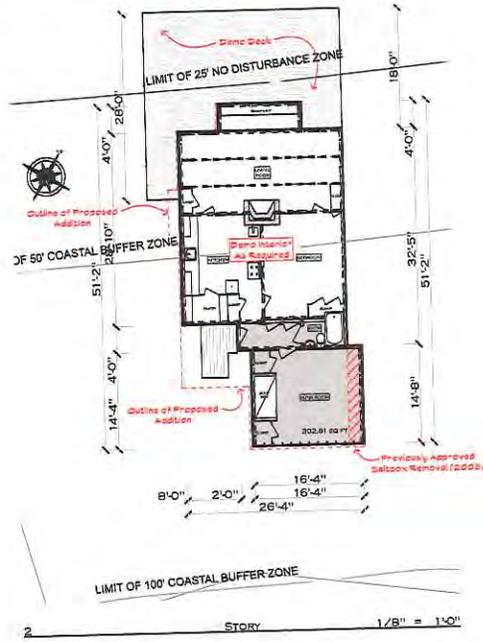
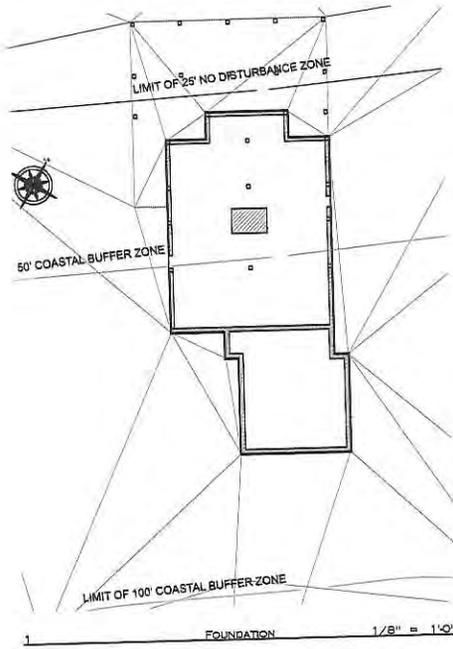
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**Heather's Heaven, LLC**  
A Custom Cottage for Heather Muhrill

SHEET:  
**G.1.1**  
DATE: 9/30/15

# Existing Cottage As Built Drawings

Selective Demolition Plan



NOTE: Plans & Elevations used with permission from Botticelli and Pohl Architects

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- H.D.C. Set - 2/17/15
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- H.D.C. Set Rev. 2 - 3/19/15
- H.D.C. Set Rev. 3 - 3/26/15
- H.D.C. Set Rev. 4 - 6/21/15
- H.D.C. Set Rev. 5 - 6/16/15
- H.D.C. Set Rev. 6 - 9/22/15
- H.D.C. Set Rev. 7 - 10/16/15

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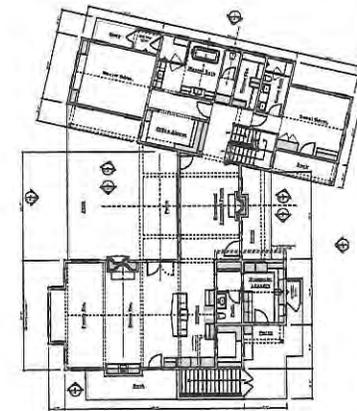
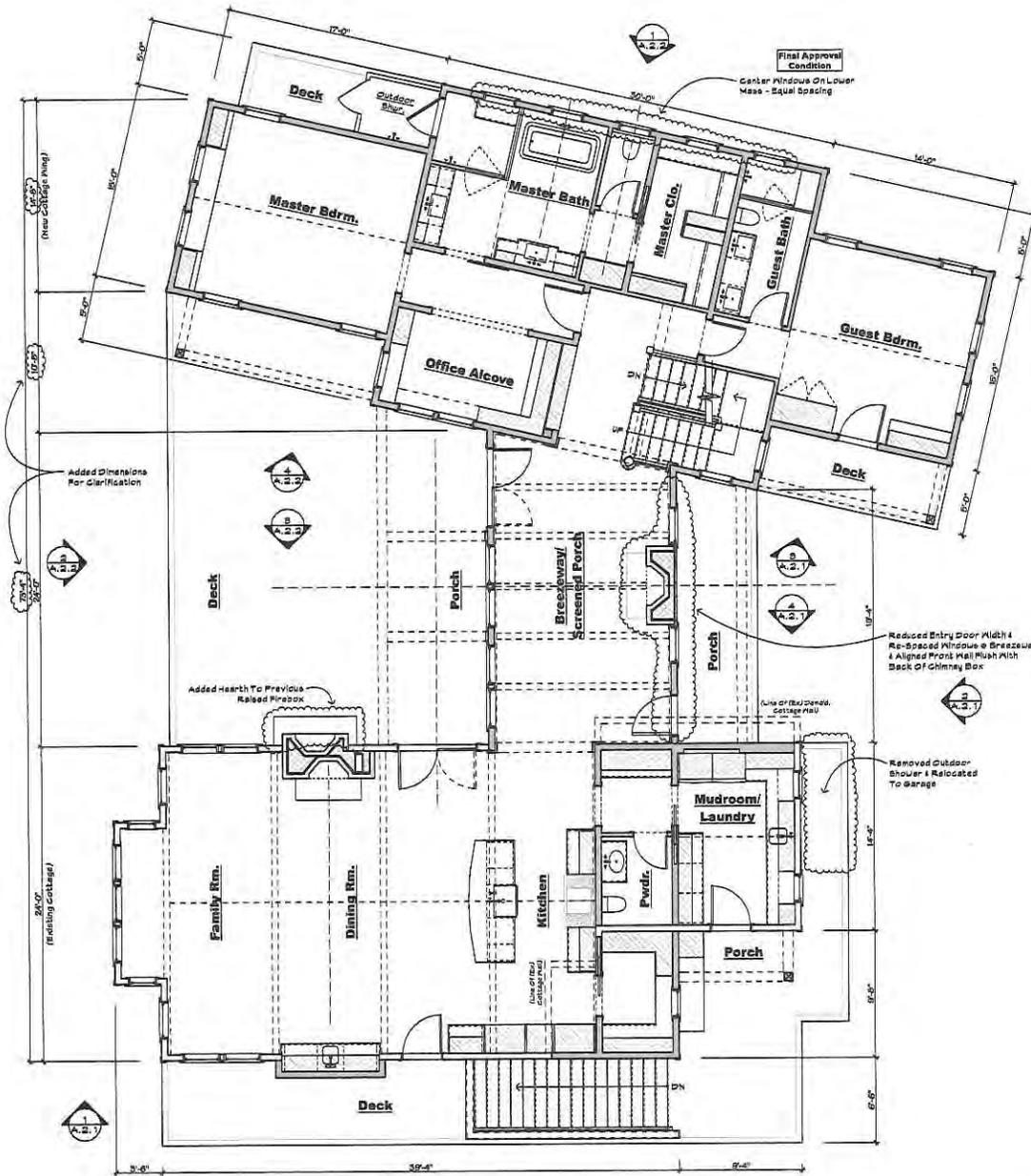
**Heather's Heaven, LLC**  
A Custom Cottage for Heather Muhill

SHEET:  
**A.0.1**  
DATE: 9/20/15

/Volumes/Draw Files/Project-10/Project-10-CADD/Posters/Arch/Posters-10-A-C-1/00001/00001-10-A-C-1-00001.dwg

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2 Previous Submittal  
NOT TO SCALE

**CONSTRUCTION LEGEND:**

(B) Wood Frame Wall	▬▬▬
(N) Wood Frame Wall	▬▬▬
(N) CMU/Brick (Fireplace)	▬▬▬



1 Proposed First Floor Plan  
SCALE: 1/4" = 1'-0"

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Custom Residential • Renovation • Historic Preservation

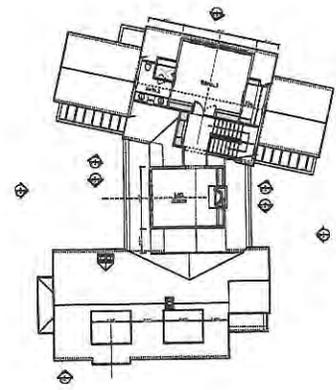
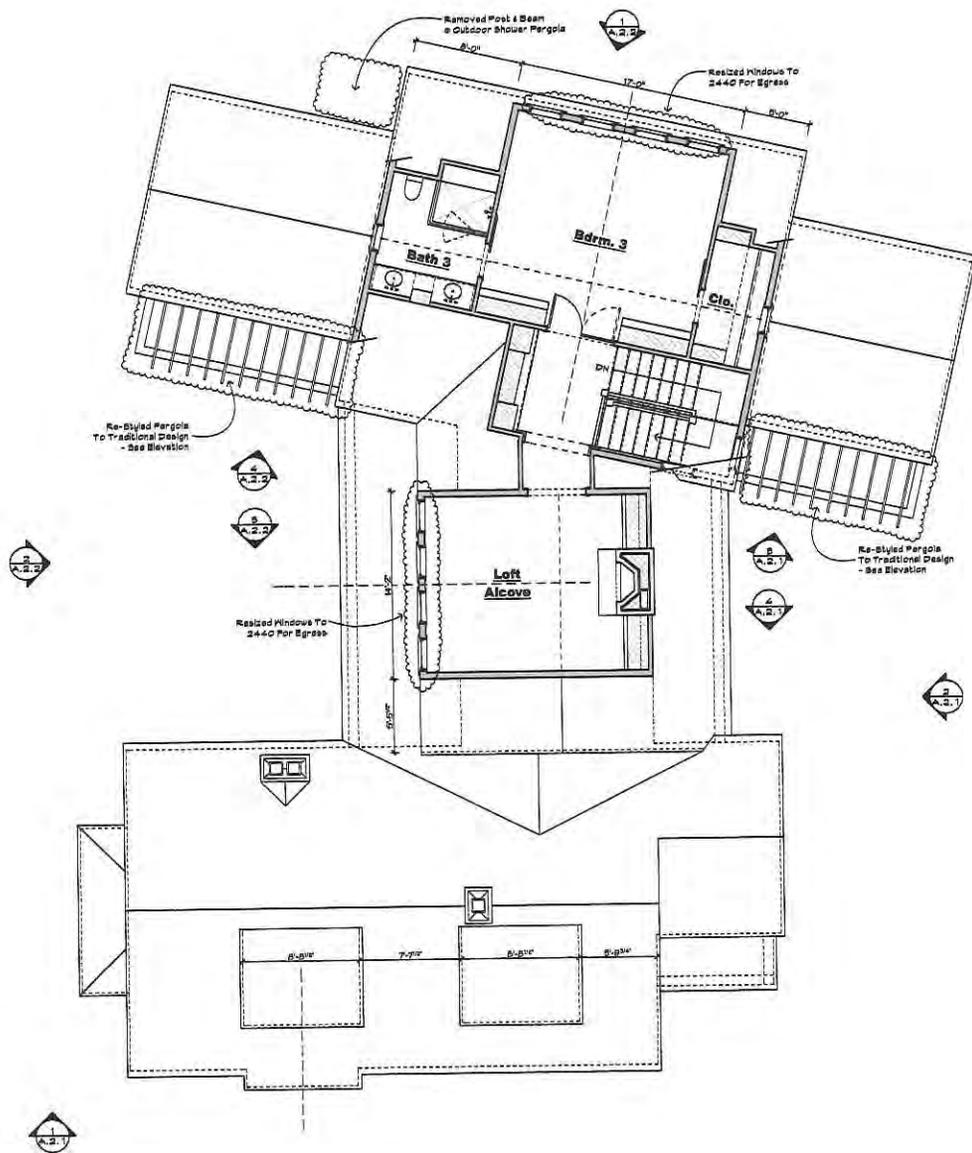
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H.D.C. Set Rev. 5 - 6/16/15  
H.D.C. Set Rev. 6 - 9/22/15  
H.D.C. Set Rev. 7 - 10/6/15  
Final Approval Condition - 10/14/15

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**Heather's Heaven, LLC**  
A Custom Cottage for Heather Mulvihill

SHEET:  
**A.1.2**  
DATE: 10/14/15

100% of Contract 50% Fee - Minimum Monthly A.I.S. Payment After Final Permitting. Design, Renderings and 50% After 10/15/15



2 Previous Submittal  
A.1.3 NOT TO SCALE

**CONSTRUCTION LEGEND:**

(E) Wood Frame Wall	▬▬▬
(N) Wood Frame Wall	▬▬▬
(N) CMU w/ Brick (Fireplace)	▬▬▬

1 Proposed Second Floor Plan  
A.1.3 SCALE: 1/4" = 1'-0"

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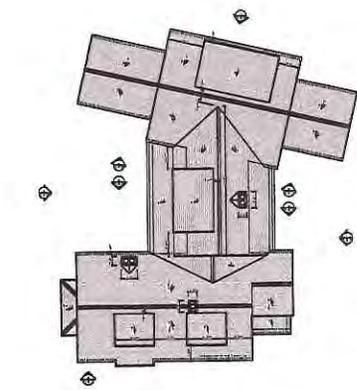
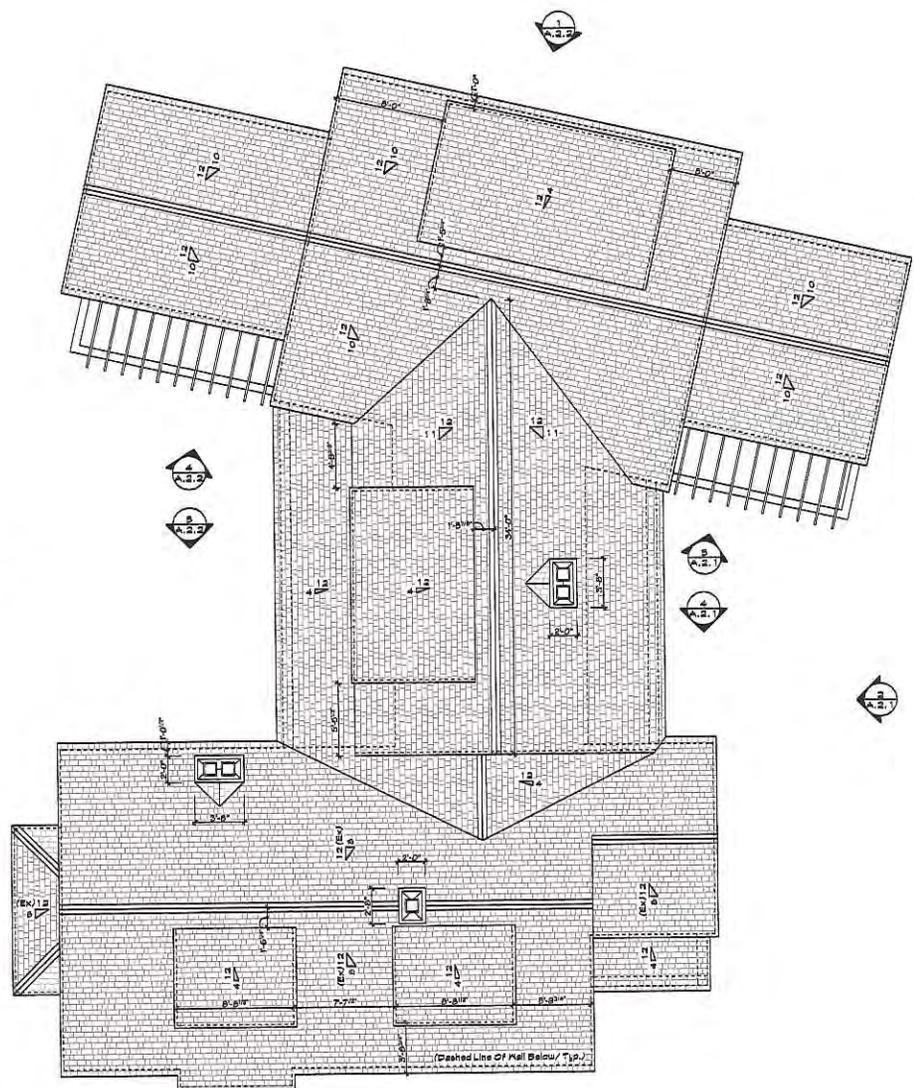
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- H.D.C. Set Rev. 5 - 6/16/15
- H.D.C. Set Rev. 6 - 9/22/15
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**Heather's Heaven, LLC**  
A Custom Cottage for Heather Mainhill

SHEET:  
**A.1.3**  
DATE: 9/30/15

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2 Previous Submittal  
A.1.4 NOT TO SCALE

**CONSTRUCTION LEGEND:**  
(N) Roof / Cedar Shingle's

1 Proposed Roof Plan  
A.1.4 SCALE: 1/4" = 1'-0"

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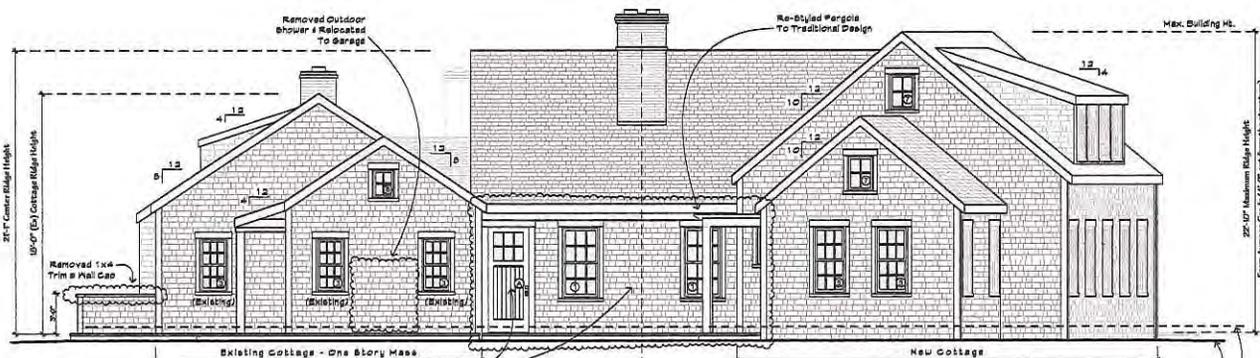
**Heather's Heaven, LLC**  
A Custom Cottage for Heather Mulvihill

SHEET:  
**A.1.4**  
DATE: 9/30/15

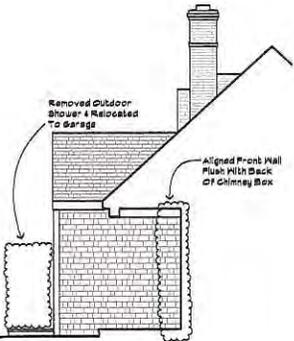
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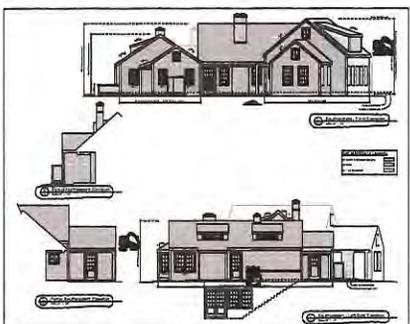
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2 Southeastern - Front Elevation  
SCALE: 1/4" = 1'-0"



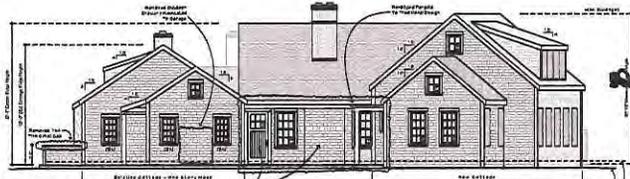
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SCALE: 1/4" = 1'-0"



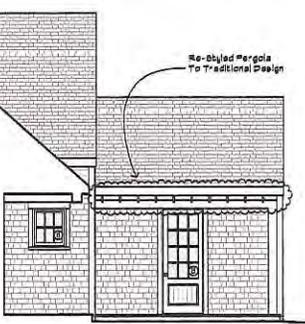
6 Previous Submittal  
NOT TO SCALE

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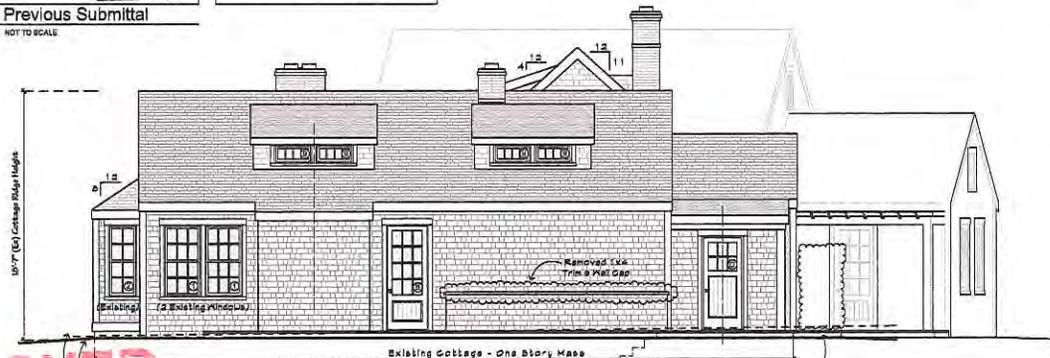
- (N) Roof / Mail Cedar Shingles
- (N) Brick
- (N) 1x4 Wood T&G



5 Southeastern - Front Porch Option A  
SCALE: 1/8" = 1'-0"



3 Partial Southwestern Elevation  
SCALE: 1/4" = 1'-0"



1 Southwestern - Left Side Elevation  
SCALE: 1/4" = 1'-0"

**APPROVED**  
OCT 13 2015 #64611  
NO EXTERIOR CHANGES  
WITHOUT HDC APPROVAL

**EKMAN DESIGN STUDIO**  
ARCHITECTURE  
Custom Residential • Renovation • Historic Preservation

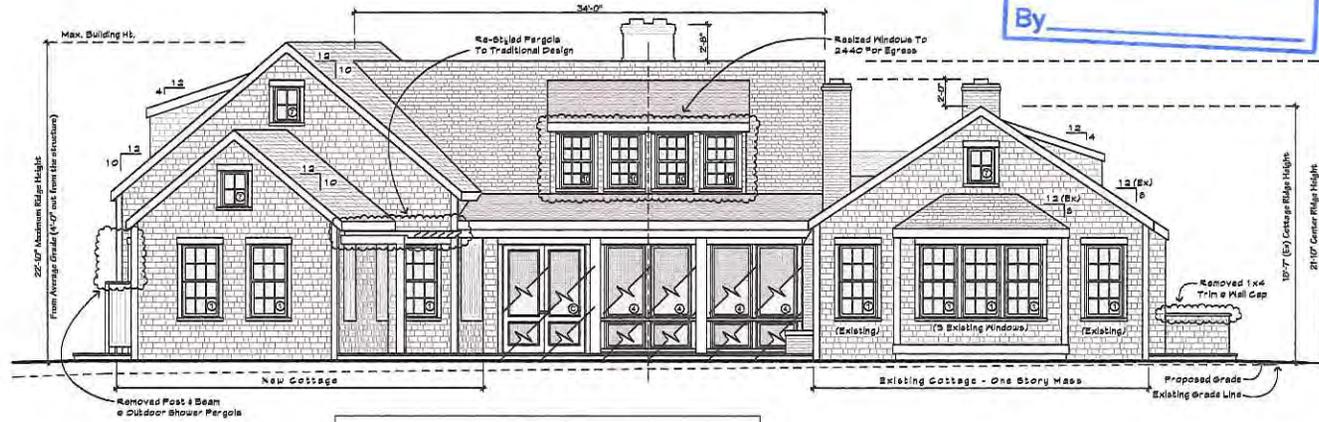
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**Heather's Heaven, LLC**  
A Custom Cottage for Heather McWhill

SHEET:  
**A.2.1**  
DATE: 9/30/15

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 OCT 19 2015  
 By \_\_\_\_\_



2 Northwestern - Rear Elevation  
 Higher Creek Elevation  
 SCALE: 1/4" = 1'-0"

**EXT. MATERIALS LEGEND:**

(N) Roof / Mail Cedar Shingles	
(N) Brick	
(N) 1x4 Wood T&G	

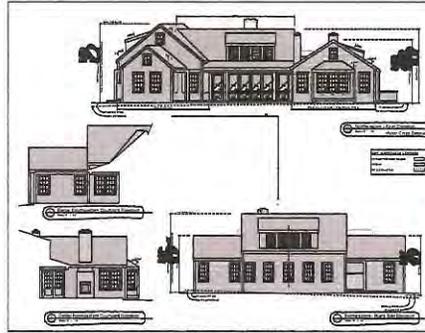
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 H.D.C. Set Rev. 6 - 9/22/15  
 H.D.C. Set Rev. 7 - 10/6/15  
 Final Approval Condition - 10/14/15

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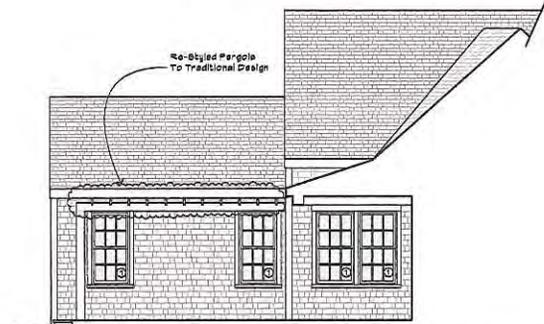
**Heather's Heaven, LLC**  
 A Custom Cottage for Heather McWhill

SHEET: **A.2.2**  
 DATE: 10/14/15

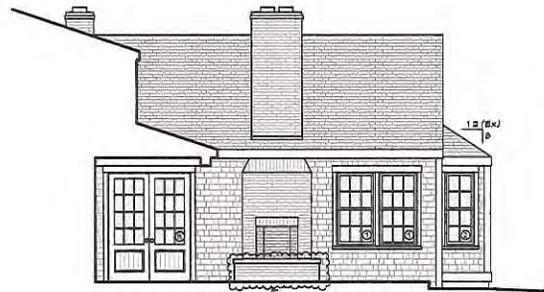


5 Previous Submittal  
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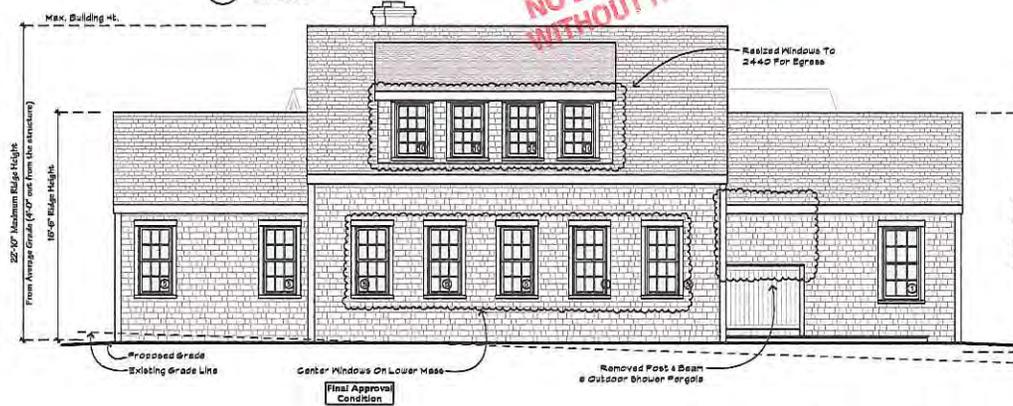
**APPROVED**  
 OCT 13 2015 #64611  
 NO EXTERIOR CHANGES  
 WITHOUT HDC APPROVAL



4 Partial Southwestern Courtyard Elevation  
 SCALE: 1/4" = 1'-0"



3 Partial Northeastern Courtyard Elevation  
 SCALE: 1/4" = 1'-0"



1 Northeastern - Right Side Elevation  
 SCALE: 1/4" = 1'-0"

# Northwestern - Hither Creek Elevations

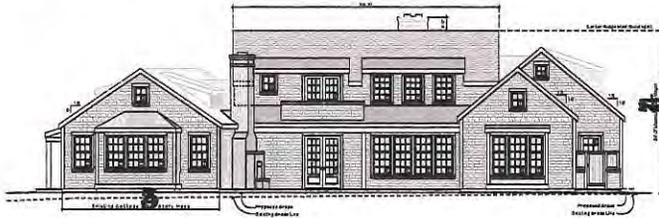
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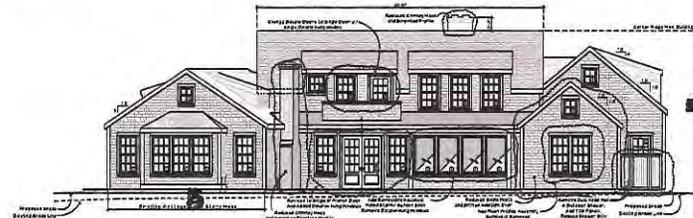
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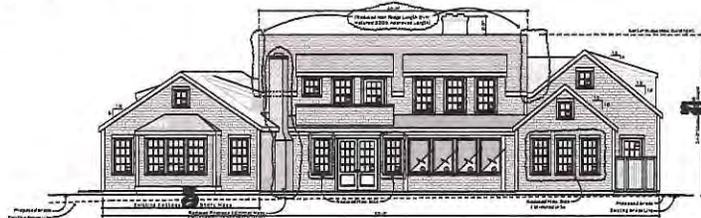
2 HDC Set Rev. 1 (3/31/15)  
SCALE: 1/8" = 1'-0"



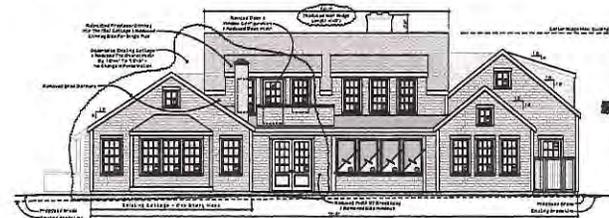
3 HDC Set Rev. 2 (5/19/15)  
SCALE: 1/8" = 1'-0"



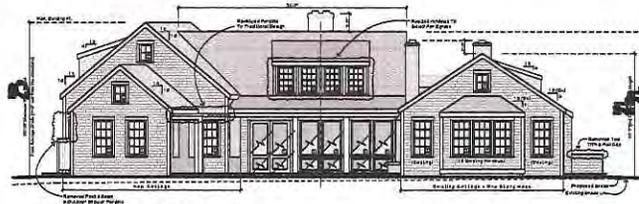
4 HDC Set Rev. 3 (5/26/15)  
SCALE: 1/8" = 1'-0"



5 HDC Set Rev. 4 (6/2/15)  
SCALE: 1/8" = 1'-0"



6 HDC Set Rev. 5 (6/16/15)  
SCALE: 1/8" = 1'-0"



7 HDC Set Rev. 7 - Current (10/6/15)  
SCALE: 1/8" = 1'-0"

**APPROVED**

OCT 13 2015 #64611

NO EXTERIOR CHANGES  
WITHOUT HDC APPROVAL

**EKM DESIGN STUDIO**  
ARCHITECTURE  
Custom Residential • Renovation • Historic Preservation

H.D.C. Set - 2/17/15  
H.D.C. Set Rev. 1 - 3/31/15  
H.D.C. Set Rev. 2 - 5/19/15  
H.D.C. Set Rev. 3 - 5/26/15  
H.D.C. Set Rev. 4 - 6/2/15  
H.D.C. Set Rev. 5 - 6/16/15  
H.D.C. Set Rev. 6 - 9/22/15  
H.D.C. Set Rev. 7 - 10/6/15

H.D.C. Submission Only - NOT FOR CONSTRUCTION

**Heather's Heaven, LLC**  
A Custom Cottage for Heather Mulvihill

SHEET:  
**A.2.3**  
DATE: 9/30/15

BUILDING/STRUCTURE INVENTORY FORM  
NANTUCKET ISLAND ARCHITECTURAL  
AND CULTURAL RESOURCES SURVEY  
NANTUCKET HISTORIC DISTRICT COMMISSION  
NANTUCKET, MASSACHUSETTS

SURVEY/ M4-26  
FILM ROLL #: 6024-091  
MAP/PARCEL#:

Recorded by: WAS

Date: 09/13/89

Organization: AGS

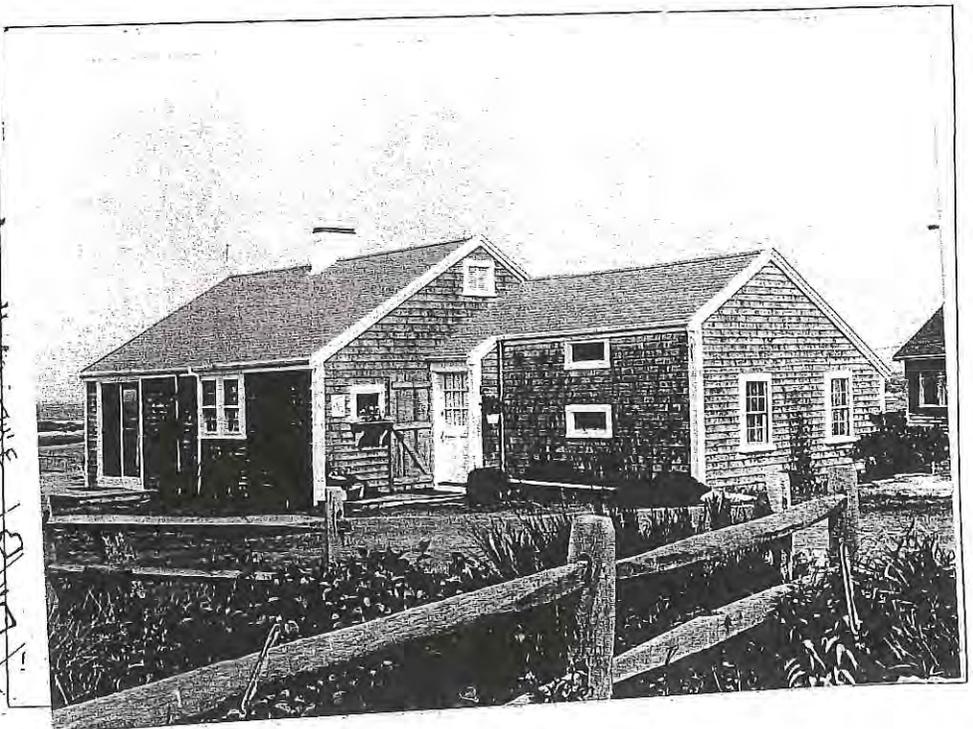
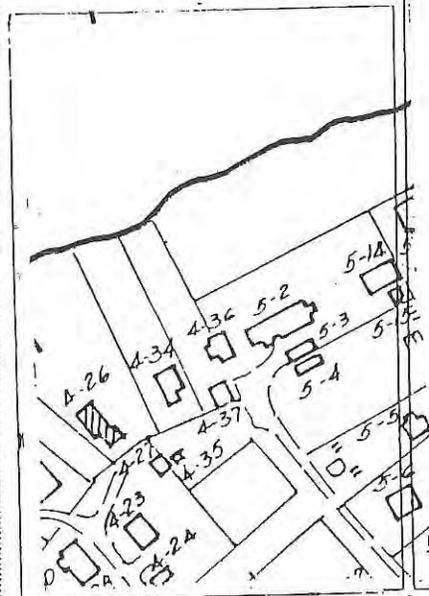
IDENTIFICATION

1. Street Name & No.: 15 C STREET
2. Building Name: SANS SOUCI
3. Ownership: Private
4. Present Owner: RAY, ROBERT
5. Ownership History:  
Unknown

6. Use: Original: Dwelling Present: Dwelling  
Seasonal/Year-Round: Seasonal

7. Accessibility to Public: Visible from Public Road? Yes  
Interior: N/A

8. MAP -- 3 X 2"



## GENERAL SETTING AND ORIENTATION OF BUILDING

10. Lot Size: N/A
11. Approximate Frontage (ft.): N/A
12. Setback from Street (ft.): 30 feet
13. Orientation to Street Address: Gabled
14. Surroundings: Scattered Buildings, Residential
15. Related Outbuildings and Property: Garage, Fence,  
M4-27
16. Other Notable Features:  
N/A

## DESCRIPTION

17. Foundation: Brick
18. Structural System: Woodframe
19. Exterior Wall Material, Front Facade: Shingles-Weathered
20. Exterior Wall Material, Side Elevations: Shingles-Weathered
21. Exterior Wall Material, Rear Elevation: Shingles-Weathered
22. Number of Stories: 1
23. Roof Shape: Gable
24. Roofing Material: Composition Shingle
25. Roof Features: N/A
26. Dormer Roof(s): N/A
27. Chimney Material: Brick-painted
28. Chimney Position: Center
29. Number of Chimneys: 1
30. Chimney Features: Corbelling
31. Front/Primary Door Location: Off Center
32. Front/Primary Door Frame Features: Flush Frame
33. Number of Bays: N/A
34. Window Frame Type: Flush
35. Window Sash Type(s) - Front Facade: 6/6
  
36. Porch: N/A
37. Signage: N/A
38. Details: Corner boards-plain
39. Condition: Good
40. Integrity: N/A
41. Alterations:  
N/A

RECEIVED

BY: \_\_\_\_\_

SIGNIFICANCE

- 42. Role the Building Plays: National Register: Contributing
- 43. Date of Initial Construction: By 1938  
Source: Aerial Photo 1938  
Architect: Unknown Builder: Unknown
- 44. Building Type: Additive, Shed Addition
- 45. Architectural Style: N/A
- 46. Historical and Architectural Importance:  
Unknown
  
- 47. Sources: N/A

Madaket Advisory Board  
Meeting Memorandum

Date: 6/1/2015 Time: 2:00

To: Historic District Commission  
From: Madaket Advisory Board

MAB Members Present: (Please Circle)

Debbi Deeley Culbertson  
Rick Norton

Tom Erichsen  
Brad Fleming

Ken Giles  
Bob Olson

Applicant: HEATHER HEARD

Address: 13 C MADAKET

Comments: \_\_\_\_\_

~~AS~~ ALL CHANGES ARE AN IMPROVEMENT  
AND HAVE NO PROBLEM  
★ SEE COMMENTS BY DEBBIE DEELEY

OF NOTE:  
WOULD NOT HAVE APPROVED INITIAL BLG.  
AS NOT APPROPRIATE TO MADAKET DUE TO  
SIZE & SCALE

Signed (three members for a quorum): \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

# Staff

Proposed Minutes for October 13, 2015

7. Heather's Heaven 13 C Street Reno & additions exist. dwelling 60.2.1-76 CNC

Sitting Williams, Coombs, Hill-Holdgate, Pohl, Glazer  
Alternates None  
Recused None  
Documentation Associated site and elevation plans, photos, correspondence, and required historical documentation.  
Representing **Stephen Cohen**, Cohen & Cohen LP – Stated that a page has been swapped out since it was submitted.  
**Steve Eckman**, architect – Reviewed changes made per previous concerns.  
Jamie Feeley, Cottage and Castle Inc

Public **Peter Kyberg**, for Ted Lyman & Joe Freeman, 12C Street; Sonja & Andy O'Brien, 6 Tennessee Avenue; Pam & Bob, Schaecher, 317 Madaket Road – Asked this be held over for one week to allow off-island abutters time to review the plans. At the table, submitted a letter of objections into the record. Noted that this does not meeting the HDC guidelines for a small cottage in keeping with this area of Madaket. Noted that this lot is in the most visible area in the oldest part of Madaket.  
**Colleen Whelden**, 14 Baltimore Avenue – At the table, submitted a photo of this area of Hither Creeke noting the visibility of this structure.  
**Patricia Stolte**, 19 Baltimore Avenue – Madaket is a quaint fishing village; if this goes through, other properties will want to follow and the feel of Madaket will be lost.

Concerns (59:22) **Hill-Holdgate** – Asked what is happening to the screened middle section during the off season. Expressed disappointment that some of her comments were not taken into consideration. She does not want the poles being cut. There are two giant dormers (on the southwest) that she feels should be smaller. The two-flute exterior fireplace will be visible. The front door should be moved over. The pergola should be centered.  
**Pohl** – There is very little for him to object to.  
**Coombs** – Agrees with Mr. Pohl. This has changed a lot; she is bothered that it doesn't follow the guidelines for Madaket and the old fishing cottages. If it were possible to reduce it further, that would fit yet better. However, what is here works well architecturally.  
**Glazer** – Appreciates the changes made. She feels the southwest dormers are appropriate. Also okay with the off-center front door. The exterior fireplace in the northeast courtyard should be eliminated; it's not contextually appropriate.  
**Williams** – Northeast elevation, the five 1<sup>st</sup>-floor off-center windows should align with the dormers; left window shouldn't be crowded up to the corner board. She has no concerns about the exterior fireplace because it is small, set back, and in the courtyard. Don't normally approve bridges. The front pergola isn't a huge problem as it is small though it is weird on the front. This structure can't be driven down any lower; the original part is 18 feet and change; the new part is 22 feet and change. It looks quirky and looks additive. Will have to come back for changes to the screened porch. Brick chimney is too formal for this house; it should be pargetted.

Motion **Motion to Approve through staff with the five windows on the northeast moved to be centered on the wall.**  
(Pohl)

Vote Carried 4-0//Hill-Holdgate abstain Certificate # 64611

**Hill-Holdgate** – Officially announced her resignation from the HDC.

**Motion to Send Ms Hill-Holdgate a thank-you card signed by the Chair and all commissioners.** (Coombs)

Carried unanimously

8. Harborside Cottages 80 Washington Street Bulkhead revisions 42.2.3-20 Rowland/Mercaldi

Sitting Williams, Coombs, Pohl, Camp, Oliver  
Alternates Glazer  
Recused None  
Documentation Associated site and elevation plans, photos, correspondence, and required historical documentation.  
Representing Ben Normand, Rowland & Associates  
Public None

Concerns (1:31:36) **Williams** – Stated that Dave Mercaldi informed her the manufacturer could do one shade darker than the mock-up. This will not be up against raw wood; it will all be the same material.  
Discussion about the color.

Motion **Motion to Approve through staff with vertical wood inserted and one shade darker than Nr. 12, per Exhibit A.**  
(Oliver)

Vote Carried unanimously Certificate # 64612



Proposed Minutes for September 22, 2015

Hither Creek  
Hollow  
12/29/15

1. Heather Heaven LLC 13C Street Reno/additions exist. dwelling 60.2.1-76 CNC

Sitting Williams, Coombs, Hill-Holdgate, Pohl, Glazer

Alternates None

Recused None

Documentation File with associated plans, photos and required documentation.

Representing Steve Eckman, architect – This is a redesign; presented the new plan.  
(6:19) Heather Mulvihill, owner – It is important to her that the neighbors find the house appropriate.  
Steven Cohen, Cohen & Cohen Law PC – This preserves the original cottage, the historic siting, provides a natural & realistic additive mass, and scales down the apparent massing. He believes that this is at a point the board can approve it.  
Jamie Feeley, Cottage and Castle Construction

Public (6:44) Peter Kyberg, for Ted Lyman & Joe Freeman, 12C Street; Sonja & Andy O'Brien, 6 Tennessee Avenue; Ram & Bob, Schaecher, 317 Madaket Road – The guidebook addresses the old part of Madaket and Hither Creek stating that new construction should maintain the 1½-story cottage look and low profile of the area. They have seen a lot of progress, but his clients feel it has further to go. The north elevation is still slightly large for what his clients feel meets the character of the neighborhood. Asked the board to carefully consider the 78 feet along the water.  
Bonnie Ray, 10 C Street – This is a much better plan. Her concern is the length and how it will appear coming in Hither Creek. She doesn't want to see something that will change the feel of Madaket. Her husband's family built the house and she realizes the cottage needs renovation.  
Lindsey "Pete" White, 14 D Street – The link along Hither Creek, including the deck, is 78 feet, which is very long. The left mass is too big and doesn't come across as two cottages joined by a breezeway; it feels like an unbalanced single mass.  
Julianna Lyman, 12 C Street – Doesn't feel this structure matches up. There is a sense of place with a cottage, not a large house; feels it is within reason to expect them to scale it down some more. Once a precedent starts, there is no turning back. Asked to keep in mind the 1½-story guideline for Madaket old village.  
Colleen Whelden, 14 Baltimore Avenue – They have put a lot of work into this, but it is this board's mission to protect the existential beauty of this Island and this area. Something of such a grand mass would look too "Great Gatsby" plunked into the middle of small cottages.  
Susan White, 14 D Street – Concur that 84 feet is long and that the end is massive. The importance is neighborhood. She would like to see this get smaller to maintain the neighborhood.  
Patricia Stolte, 19 Baltimore Avenue – Agrees that the length along the water is excessive. The plan itself is good but they have to build along the water to maximize the program.  
Ellen Harde, 83 Eel Point Road

Concerns (6:56) Williams – Stated she and Ms Glazer went out on the water with the owner and Mr. Feeley and took photos from Hither Creek. Appreciates what has been given up for this design. Contends that above grade it is 58 feet facing the water not 78 feet.  
Discussion about the pergola.  
Hill-Holdgate – Appreciates the changes. There is still a fair amount of program in this house, but it is much closer to approval. Appreciates the natural to weather trim. Would prefer the basement walk down to be moved north away from the road. Would prefer the pergola details be eliminated. The shower should move to the back of the garage. She says the front presents itself, she would like to see it stay more a cottage and the door centered; the chimney should be interior; in two dimension it looks massive along the water. Appreciated getting back to no dormers and no bump outs. Believes the chimney is a very modern feature that will be visible coming out of Hither Creek on the water.  
Pohl – He feels the house is very "cottagey". Part of the reason for the length of the southeast elevation is the angle and a perceived length of about 6 feet; the angling of the house breaks it up and helps it feel like two structures. Agrees with some things Ms Hill-Holdgate said. Some of the 2nd-floor dormers are relatively narrow and could afford to get a little wider. Agrees about the shed dormers and awning windows on the original cottage.  
Coombs – Appreciates the changes. Agrees the shower should move. The northeast courtyard modern chimney needs corbelling brought down a little and the height could come down maybe 8 inches. Agrees with what's been said. If the breezeway were smaller, that might reduce the size some.  
Glazer – Agree with everything that's been said and appreciates the design. That outdoor shower has to move. The roof over the southwest side door should be shorter and less important. The northeast shed dormer should be centered in the mass. She's okay with the little shed dormers on the original cottage and the windows being awning.  
Williams – Agree with most that's been said. Not in favor of narrowing the connector and pulling the two pieces together. The height has been brought down so that this is now lower than the structures left and right. Some details need to be cleaned up now. The piece that comes out should break and move the windows out; the window and door are banged up against there and should flip. A 3D model would be very helpful.

Motion Motion to Hold for revisions. (Pohl)

Vote Carried unanimously

Certificate #

01d

V. OLD BUSINESS

1.	Heathers Heaven LLC	13 C Street	Add existing dwelling	60.2.1-76	Steve Cohen
Sitting	Williams, Coombs, Hill-Holdgate, Pohl, Glazer				
Alternates	None				
Recused	None				
Documentation	File with associated plans, photos and required documentation.				
Representing	<p><b>Steven Cohen</b>, Cohen &amp; Cohen Law PC – This structure is 24 feet tall, only 2,370 square feet (SF) on the 1<sup>st</sup> floor, 890 SF on the 2<sup>nd</sup> floor, and is neither the longest nor the tallest house along Hither Creek. In 2008, this same lot was approved for a larger structure. There is now nothing historically inappropriate to the neighborhood; it is textbook additive massing. Pointed out that this is one of the largest lots in the area and it is appropriately sized for the lot. Explained the reason for canting the cottage and how doing that alleviates the perception of length. They have been told in 5 or 6 meetings to be more like the previous approval, which they have done. Now they are being told to reduce the main mass, which has not been mentioned before.</p> <p><b>Jamie Feeley</b>, Cottage and Castle Construction – Reviewed changes made per previous concerns. This is 10 feet shorter than the last submission. This is 10 feet shorter than the previous submission.</p>				
Public	<p><b>Peter Kyberg</b>, for Ted Lyman &amp; Joe Freeman, 12 C Street; Sonja and Andy O'Brien, 6 Tennessee Avenue; Susan and Lindsey White, 14 D Street; Bonnie Ray, 10 C Street; Pat &amp; Roger Stolte, 19 Baltimore Street; Pam &amp; Bob, Schaecher, 317 Madaket Road – These plans are almost exactly the same as the plans presented at the last hearing with minor changes. The only significant change is the orientation of one of the wings. Criticisms from the prior meeting have not been addressed. This house is historically inaccurate given the location. This area is historically significant with traditionally small structures on top of a bluff. The house from end to end is 72'8" feet long. The cottages in this area were fishing shacks turned into residences.</p> <p><b>Colleen Whelden</b>, 14 Baltimore Street – This has not changed from the last hearing. This is twice as long as her house and is sitting on top of the bluff. This will deteriorate that entire area. She does not see any material changes since the last hearing. Does not think the 2008 approval should have any bearing at this hearing.</p> <p><b>Lindsey "Peter" White</b>, 14 D Street – It looks like 1 foot came out of the screened porch and 1 foot out of the breeze way. The Washington Street side measures 74'8", plus the basement stairs. It is a good house but not for this location. Last week there was a lot of discussion about reducing the center section; that hasn't been reduced more than 2 feet.</p> <p><b>Bonnie Ray</b>, 10 C Street – This is out of proportion with the immediate neighborhood. There is a proposal to raise the grade. Approving this would set a precedence that would change the character of old Madaket.</p> <p><b>Suzie White</b>, 14 D Street – Her expectation after the last hearing was a reduction in the size; when she saw these plans there appeared to be minimal reduction in size. Noted that the structure approved in 2008 was abandoned because the owner found it to be inappropriately large for the area.</p>				
Concerns	<p>(5:15) <b>Williams</b> – Not enough has been done to this. The existing grade should not change at all. Asked commissioners to stick to massing issues. The 12/12 pitch can be changed to 10/12; the height would come down.</p> <p><b>Glazer</b> – Northwest elevation, The fenestration on the Nr. 5 windows have changed to be over vertical. Southeast elevation, the new shed dormer cheek walls need to come in. Northeast elevation, the half wall of the walk down is very long at 21.5 feet. East elevation, is under fenestrated for that size roof. In regards to massing, there has been very little program change so the size has not sufficiently changed: altering the shed dormer would reduce the ridge. This is very specific spot in Madaket and the original cottage should not be consumed or moved.</p> <p><b>Coombs</b> – The center piece looms over original cottage and detracts from the it; canting the cottage helps it stand out. The breezeway should be further reduced. Agrees with Ms Glazer about the southeast dormer.</p> <p><b>Hill-Holdgate</b> – Concerned about the large shed dormer on the front; a smaller one fits in better. Liked the way the canted front presented itself. There is a weird little bump out with a recess under a continuous eave line; it seems odd. She feels the board needs to provide better directions on how much to reduce the center mass.</p> <p><b>Pohl</b> – There has been a 10% reduction in the ridge length; the height is 8 inches under the Madaket height guidelines. Agree with Ms Glazer about the Nr. 5 windows. This has improved a lot. The center gable alone is a low 1½ story gable. The cant helps the design making is feel more added onto. Canting the original piece helps the design and gives it a more Madaket feel and added on. If it is at a diff angle, it signals the rest was added on.</p> <p><b>Williams</b> – This is not the right house for this site. The best way to see the impact is from the water, where the relation to east and west abutting structures is obvious. This has a competing gable facing the water; should be shorter in length. Compared this design to the 2008 approval. This is too close to Hither Creek. They need to depart from the internal program; it is driving the exterior. Suggested getting rid of the garage and move some of the 2<sup>nd</sup>-story program to the 1<sup>st</sup> floor. The dormer on the front can't have a chimney coming out of it and it is too wide. Dormers on the southwest &amp; water side are too big. Needs to have more Madaket vernacular and be sensitive to the original structure. The previous approval fit in better with Madaket in length, style, and simplicity. She is opposed to flipping the cottage.</p> <p>Discussion about whether or not to cant the original cottage. The cottage should not be consumed by the big house.</p>				
Motion	<b>Motion to Hold fro revisions. (Coombs)</b>				
Vote	Carried unanimously			Certificate #	



**V. OLD BUSINESS**

1.	Heathers Heaven LLC	13 C Street	Add existing dwelling	60.2.1-76	Steve Cohen
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Alternates	None				
Recused	None				
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This is 10 feet shorter than the previous submission.</p> <p><b>Peter Kyberg</b>, for Ted Lyman &amp; Joe Freeman, 12 C Street; Sonja and Andy O'Brien, 6 Tennessee Avenue; Susan and Lindsey White, 14 D Street; Bonnie Ray, 10 C Street; Pat &amp; Roger Stolte, 19 Baltimore Street; Pam &amp; Bob Schaecher, 317 Madaket Road – These plans are almost exactly the same as the plans presented at the last hearing with minor changes. The only significant change is the orientation of one of the wings. Criticisms from the previous hearing have not been addressed. This house is historically inaccurate given the location. This area is historically significant with traditionally small structures on top of a bluff. The house from end to end is 72'8" feet long. The cottages in this area were fishing shacks turned into residences.</p> <p><b>Colleen Whelden</b>, 14 Baltimore Street – This has not changed from the last hearing. This is twice as long as her house and is sitting on top of the bluff. 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Noted that the structure approved in 2008 was abandoned because the owner found it to be inappropriately large for the area.</p> <p>(5:15) <b>Williams</b> – Not enough has been done to this. The existing grade should not change at all. Asked commissioners to stick to massing issues. The 12/12 pitch can be changed to 10/12; the height would come down.</p> <p><b>Glazer</b> – Northwest elevation, The fenestration on the Nr. 5 windows have changed to be over vertical. Southeast elevation, the new shed dormer cheek walls need to come in. Northeast elevation, the half wall of the wall down is very long at 21.5 feet. East elevation, is under fenestrated for that size roof. In regards to massing, there has been very little program change so the size has not sufficiently changed: altering the shed dormer would reduce the ridge. 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Canting the original piece helps the design and gives it a more Madaket feel and added on. If it is at a diff angle, it signals the rest was added on.</p> <p><b>Williams</b> – This is not the right house for this site. The best way to see the impact is from the water, where the relation to east and west abutting structures is obvious. This has a competing gable facing the water; should be shorter in length. Compared this design to the 2008 approval. This is too close to Hither Creek. They need to depart from the internal program; it is driving the exterior. Suggested getting rid of the garage and move some of the 2<sup>nd</sup> story program to the 1<sup>st</sup> floor. The dormer on the front can't have a chimney coming out of it and it is too wide. Dormer on the southwest &amp; water side are too big. Needs to have more Madaket vernacular and be sensitive to the original structure. The previous approval fit in better with Madaket in length, style, and simplicity. She is opposed to flipping the cottage. Discussion about whether or not to cant the original cottage. The cottage should not be consumed by the big house.</p>				
Public					
Comments	<p><b>Motion to Hold fro revisions. (Coombs)</b> Carried unanimously</p>				
Motion					
Vote	Certificate #				

APPROVED  
 6/15/15

8 Heathers Heaven LLC 13 C Street, Madaket Add existing dwelling 60.2.1-76 Steve Cohen

Sitting Williams, Coombs, Hill-Holdgate, Pohl, Glazer

Alternates None

Recused None

Documentation File with associated plans, photos and required documentation.

Representing Jamie Feeley, Cottage and Castle Construction - Reviewed changes made per previous concerns by elevation. The windows either side of the northwest French doors should be Nr. 10s.

Public Steven Cohen, Cohen & Cohen Law PC - Believe that all the concerns have been addressed. The main mass is the same size as the prior approval, but it is shorter than the original approval. The 2nd floor is smaller than the original application.

Reviewed all the changes that have been made since the first submission. Rebuttal to abutter comments: In 2008, this board approved a house that is larger than this; reiterated efforts to bring the scale in line with the area.

Peter Kyberg, for Ted Lyman & Joe Freeman, 12 C Street; Sonja and Andy O'Brien, 6 Tennessee Avenue; Susan and Lindsey White, 14 D Street; Bonnie Ray, 10 C Street; Pat & Roger Stolte, 19 Baltimore Street; Pam & Bob, Schaecher, 317 Madaket Road - Contends that a number of commissioners have repeatedly stated that the structure is too big; the size is still the same as the 1st submission; many abutters share the same concern. Reiterated that this is located in one of the oldest settlements on Nantucket and sits on top of a bluff; it should be held to the same standards as the neighbors.

This is not a small cottage in an area that is all small cottages. Submitted into the record a letter from David White formerly connected to 19 Baltimore Street at the table. Read into the record an email from Joe Freeman opposing the proposed addition.

Colleen Whelden, 14 Baltimore Street - Submitted context photos at the table. Spoke against the size of this structure. Cited Building with Nantucket in Mind and the goal to keep structures harmonious to their immediate area; this is not. Feeley this will be visible from Tuckernuck and Eel Point. Really wants the view of the waterfront to stay the same.

Lindsey "Peter" White, 14 D Street - Submitted a letter and picture at the table; read the letter into the record: the central element is too large and the structure is wider than the norm.

Bonny Ray, 10 C Street - Concerned about the size in comparison to what is existing, small cottages. The view coming in the creek will be impacted by the size of this structure; is concerned this would set precedent. This proposal is three times the original structure. No other structures, in the immediate area, are that big or fancy.

Patty Stolte, 19 Baltimore Street - Repeated that the view coming in the creeks would be impacted and set a precedent. Stated her opinion that approving this is not in keeping with the intent of this board.

Richard Grundler, 9 Madaket Road - This house is a "monster" compared to what is around there. Concerned that the harmony and esthetics of Madaket would be altered.

Suzie White, 14 D Street - Stated that it is possible to have a large number of people in a small house and thus keep the small feel of Madaket.

Concerns (6:23) MAB - All changes are an improvement; no problem.

Williams - Read a letter from Brad Fleming of the MAB contradicting the notes read at the table.

Staff - Read previous concerns from May 26.

Williams - The Nr. 1s on the northwest elevation are different than the rest of the Nr. 1s. The original approval was not the same overall length and did not have competing elements. If an appropriately scaled addition were proposed, asked if the abutters could accept that. (Yes.)

Pohl - He appreciates the direction this is going; it is more scaled down from the original. Looking at the floor plan, there is not much to the 2nd-floor program, but the 1st floor is all in a long bar; suggested looking at ways to bring the length down. Looking at the 1st floor, almost half the program is housed in the existing structure; the large elements of the 1st floor are in the stair, porch, and entry; that could be restructured to reduce the size. The central mass would normally house the living room, but this doesn't.

Coombs - The section that gives this its length is not primary and could be reduced. Looking at the view of the creeks, there are bigger buildings east and west; but this particular area is one of the oldest in Madaket and that needs to be kept under consideration. Would like to see further reduction in length.

Glazer - Agree with what's been said. The program can still be further reduced; it is still too big.

Hill-Holdgate - Appreciate the work that's been done. The scale is still too big especially the central mass; it is still too wide and there are interior elements that could be pared down or reorganized to reduce the size. HDC has to take into consideration the amount of neighborhood concerns. She has problems with the big exterior chimney; the dormer behind the chimney should be eliminated. The dormers on the old structure are inappropriate.

Williams - Agree with what's been said including reorganizing the interior program to decrease the scale. This needs more work. Do not move any of the 2nd-floor program over the back of the original structure.

Motion Motion to Hold for revisions. (Glazer) Certificate #  
Vote Carried unanimously

Break 7:21 to 7:31 p.m.

Heathers Heaven

9129115

Proposed Minutes for May 26, 2015

9. Wallace, Sally 15 Shimmno Pond Road Hardscape: Pool, patio & fence 43-95 Rowland & Assoc  
 Sitting Williams, Coombs, McLaughlin, Pohl, Glazer  
 Alternates Hill-Holdgate  
 Recused None  
 Documentation File with associated plans, photos and required documentation.  
 Representing Ben Normand, Rowland and Associates  
 Public None  
 Concerns (6:38) Discussion about the retaining wall under construction around the parking area and leveling of property.

**Coombs** – Don't think the pool will be visible. The fence needs to come in closer; would like to see the topography.  
**Williams** – The pool patio is too large and shouldn't connect the pool to the shed; there is too much bluestone and the pool and fence will be visible if the fence isn't pulled in closer to the pool. The air-conditioning unit (A/C) can't be right on the road.

Motion **Motion to Hold for revisions. (Coombs)**  
 Vote Carried unanimously

Certificate #

11. Heathers heaven LLC 13 C Street Addition to dwelling 60.2.1-76 S. Cohen

Sitting Williams, Coombs, Hill-Holdgate, Pohl, Glazer  
 Alternates None  
 Recused None  
 Documentation File with associated plans, photos and required documentation.  
 Representing Steve Eckman, Eckman Design Studio – Presented project. If the structure is flipped, it would not relate as well to the other structures. Expressed his belief they have met all stated concerns.

Jamie Feeley, Cottage and Castle Construction  
**Steven Cohen**, Cohen & Cohen Law PC – View is not HDC prevue; what is before this board is if this is appropriate. Contends it is a modest house and "trophy home" is a gross mischaracterization.

Public **Peter Kyberg**, for Ted Lyman & Joe Freeman, 12 C Street; Sonja and Andy O'Brien, 6 Tennessee Avenue; Susan and Lindsey White, 14 D Street; Bonnie Ray, 10 C Street; Pat & Roger Stolte, 19 Baltimore Street; Pam & Bob, Schaecher, 317 Madaket Road – Modifications are minutia and don't address the abutters' concern about the scale; this doesn't fit in the neighborhood and is oppressive. The mass and height need to be reduced.  
**Ted Lyman**, trustee 12 C Street – In 2010 came before the board for a basement because there was no bathroom that would set a precedent of no outward changes in old Madaket. Every abutter and adjacent neighbors are opposed to this plan. Structures in this area are all small bungalow cottages. Abutters agree this building needs a small addition to make it useable but it does not need to be a "trophy home." Asks the board to honor the history of old Madaket and keep this within the traditions of old Madaket. No one has a problem with the location.

Concerns (5:29) Staff – Do not have the new plans, the representative was going to bring them to the meeting.  
 Steven Cohen, Cohen & Cohen Law PC – Asked to hold for Mr. Feeley's arrival.  
 (6:48) Staff – Read previous concerns from May 19.

**Hill-Holdgate** – Confirmed that the existing square footage (SF) is about 1200 SF and this proposal is 2200 SF. Most changes requested have been made. The double "1" windows are over sized on the northeast and northwest; would prefer they be 5. Agree about the front double posts. The chimney should not come out of the dormer. Likes that it is low and natural to weather. Appreciate changes made.

**Glazer** – Okay with the chimney in the shed dormer; it's quirky. Northwest elevation, that chimney covers the shed window. The water side is still too contemporary for the area. Agree about the "1" windows. Some ganged windows should be separated. Think it could still be reduced some.

**Coombs** – Agree with everything Ms Glazer said. The chimneys look very short; should be taller, especially the northwest rear.

**Pohl** – Agree with Ms Glazer about the chimney in the dormer. Agree with logic about placement of columns on the front. Agree with Ms Hill-Holdgate about size of "1" windows. The courtyard chimney should be corbelled so that it doesn't all pop out.

**Williams** – The overall length is 82 feet long; don't know if it is pushed back far enough or if some height out of the ridge would help. Concerned about moving this so far east on the lot. This has made a lot of progress. Not in favor of multiple posts. Agree about the Nr. "1" windows going to "5". Northwest elevation, that chimney is not appropriate unless it goes completely inside and becomes 1 flue; Nr. "10" windows are large. This is a big house in an area that doesn't have big house. Agree a little more could be carved out of the center mass to reduce the scale. Cheek walls on all the dormers need to be pulled in. The main mass is okay at 38 feet long.

Motion **Motion to Hold for revisions. (Glazer)**  
 Vote Carried unanimously

Certificate #

BREAK 7:37 to 7:46 p.m.

HEATHER HEAVEN 9:24-15

6. Heathers Heaven LLC 13 C Street Add existing dwelling 60.2.1-76 Steve Cohen

Sitting Williams, Hill-Holdgate, Coombs, Pohl, Glazer  
 Alternates Camp  
 Recused None

Documentation File with associated plans, photos and required documentation. Revised plans submitted at the table.  
 Representing Steve Eckman, Eckman Design Studio – Presented the redesign resulting from previous concerns.  
 Steven Cohen, Cohen & Cohen Law PC

Public Jamie Feeley, Cottage and Castle Construction  
 Peter Kyberg, for Ted Lyman & Joe Freeman, 12 C Street; Sonja and Andy O'Brien, 6 Tennessee Avenue; Susan and Lindsey White, 14 D Street; Bonnie Ray, 10 C Street; Pat & Roger Stolte, 19 Baltimore Street; Pam & Bob, Schaecher, 317 Madaket Road – This is a tight neighborhood and this will change the view from the streets of Hither Creek and from Hither Creek landward. They have taken away the gable end toward the street. Buildings here have always been 1 story cottages. Asked the board to keep pressure on to keep this small especially here on the point of the bluff. It should be more modest, lower, and less visible. There is also a garage shown on the plans that must be 1 story.

Concerns (6:46) Williams – It should be sited in alignment with the bluff.

Coombs – The front door with double side lights doesn't match the simplicity; it is too formal. Southwest elevation left, the Nr 3 windows in the dormer need to be more vertical. Southeast elevation, Nr 10 windows are also the wrong size and shape. Southwest courtyard elevation, the chimney is too wide.

Pohl – This is a vast improvement in size and change to shed dormers. The chimney through the dormer is a concern but the fix would be worse. Southeast elevation, the dormer over the front door and the other dormer should be the same size and have the same weight. Agree with Ms Coombs about the articulation of the front door; it is atypical to Madaket.

Hill-Holdgate – If the chimney moved it would help. Southeast elevation left, the double gable isn't ideal; right now it is a 4-foot bump that isn't adequate additive massing. Southwest the 2-1-2 window pattern should be two double-hung windows. All 4-over-4 windows should be eliminated. Agrees the front door should not have sidelights. The outdoor shower should be traditional; it is visible from the water. Northeast elevation, the basement access should be an open stairwell; the outdoor fire place on the water is much too prominent; suggested going to screening in the porch, the four ganged windows are not appropriate; mixed feelings about the 2<sup>nd</sup>-floor deck again it is very prominent from the water. Natural to weather trim would help. The gable with the off-set gable coming forward will read as one roof and is a very modern treatment. No concerns about the bay.

Glazer – Agrees with what's been said. The two sheds on the front with the chimney are inappropriate. Northeast elevation, the basement stairs need to be reoriented.

Williams – Southwest courtyard, the chimney needs to be as narrow as possible and not through the dormer. She feels the bay on the northwest is inappropriate. The treatment of the basement walkdown is inappropriate. Southeast elevation, can't do extra pieces of roof coming out, that's not additive massing; dormers need work and the chimney is inappropriately located and too large; the front door should not have sidelights. Southwest elevation, the outdoor shower is an issue; French doors should be 7-foot doors and should be 12-light with panels; agree about the 2<sup>nd</sup>-floor deck. This shouldn't have corner boards and the top rail is too heavy; fenestration should be reduced to a single door and 2 window. The porch windows are too heavy. The bay is inappropriate. Northeast elevation, remove the roof over the walkdown and the entrance can't face the water. Would like the height of the 2<sup>nd</sup> floor lowered or the double gable to go away. The original structure needs to maintain its prominence on the bluff. This has been held down to 24 feet.

Motion Motion to Hold for revisions. (Glazer)

Vote Carried unanimously

Certificate #

Break 7:25 to 7:34 p.m.

**I. ELECTIONS OF OFFICER**

Sitting Williams, Hill-Holdgate, McLaughlin, Coombs, Pohl  
 Alternates Camp, Glazer

1. Nominations for Chair:

Pohl nominate Ms Williams. Carried 4-0/McLaughlin abstain

2. Nominations for Vice Chair:

McLaughlin nominate Ms Coombs. Carried unanimously

HEATHERS HEAVEN 5 HEAVEN 9-29-15

Minutes for March 31, 2015, adopted Apr. 14

28. Dick, David	52 Pleasant Street	Revisions to storage shed	55.4.1-97	Self
Sitting	Williams, McLaughlin, Coombs, Pohl, Camp			
Alternates	None			
Recused	None			
Documentation	File with associated plans, photos and required documentation.			
Representing	David Dick			
Public	None			
Concerns	(8:37) <b>Williams</b> – The west faces the road and the design is odd and is fully visible. Would like it moved closer to the house to screen from the road.			
Motion	<b>Motion to Approve through staff with the shed relocated closer to the house per Exhibit A. (McLaughlin)</b>			
Vote	Carried unanimously	Certificate #	63437	
29. Heathers Heaven	13 C Street	Reno/add to existing structure	60.2.1-76	Steve Cohen
Sitting	Williams, Hill-Holdgate, Coombs, Pohl, Glazer			
Alternates	Camp			
Recused	None			
Documentation	File with associated plans, photos and required documentation.			
Representing	<b>Steve Eckman</b> , Eckman Design Studio – Submitted options at the table. Jamie Feeley, Cottage and Castle Construction			
Public	Robert Waickowski, for Peter Kyberg – Concurs with the board's concerns.			
Concerns	(8:42) <b>Coombs</b> – It has hardly changed. The original structure has disappeared. This is an old house on a fragile piece of land. Likes where the original house is dotted in. Shouldn't go from setback to setback. <b>Pohl</b> – The building to the left is 2-stories but the one to the right is 1 1/2 story with a lower eave and head-room gained by use of dormers. Discussion about the options; consensus is all suggestions are still too massive and formal for this site and obscure the original structure. <b>Williams</b> – All the options have high roofs and no additive massing.			
Motion	<b>Motion to Hold for revisions. (Pohl)</b>			
Vote	Carried unanimously	Certificate #		
30. Esposito, John	14 Eat Fire Spring	Revisions to an addition	20-61	Permits Plus
Sitting	Williams, McLaughlin, Pohl, Camp, Glazer			
Alternates	None			
Recused	None			
Documentation	File with associated plans, photos and required documentation.			
Representing	<b>Mark Poor</b> , Permits Plus – Presented a comparative study in regards to scale and massing.			
Public	None			
Concerns	(9:00) <b>Williams</b> – This is 88 feet across the top of the hill. This is an inappropriate scale. Thinks this should be viewed with these plans. <b>Glazer</b> – North elevation, the gable dormers are over sized and look top heavy. The perceived length is exceptionally long. The fenestration on the west elevation left needs to align; some sides are overly fenestrated and some don't have enough. East elevation, the 2 <sup>nd</sup> -floor porch is existing and is now being exacerbated. Thinks the three houses used in the comparison study are not good examples. <b>Camp</b> – Agrees. The original house was simpler in fenestration. <b>Williams</b> – The massing is chaotic. The connector eave height is higher than the original part. West elevation, the right addition is not working. The top of the chimney and clear-glass half rounds and casements in the dormer are all inappropriate. Clear light sliding glass doors with 6-over-1 windows are inappropriate. Massing is chaos. The back is visible coming from Quidnet. The porthole window is inappropriate. The connector should be only 1 story. She wants to see a redesign. The north is the least visible.			
Motion	<b>Motion to Hold for revisions. (Glazer)</b>			
Vote	Carried unanimously	Certificate #		

RECEIVED  
MAY 13 2015  
BY: \_\_\_\_\_

2.	Heathers Heaven	13 C Street	Renovate existing house	60.2.1-76	Steve Cohen
Sitting	Williams, Hill-Holdgate, McLaughlin, Coombs, Pohl				
Alternates	Leonardo, Camp, Glazer				
Recused	None				
Documentation	File with associated plans, photos and required documentation.				
Representing	<p><b>Stephen Cohen</b>, Cohen &amp; Cohen LP – Presented project. Realizes that this house needs revisions in the massing; asked for specific comments not relating to massing.</p> <p>Jamie Feeley, Cottage and Castle Construction</p>				
Public	<p>Peter Kyburg, for Ted Lyman &amp; Joe Freeman, 12 C Street; Sonja and Andy O'Brien, 6 Tennessee Avenue; Susan and Lindsey White, 14 D Street; Bonnie Ray, 10 C Street; Pat &amp; Roger Stolte, 19 Baltimore Street; Pam &amp; Bob, Schaecher, 317 Madaket Road</p>				
Concerns	<p>(5:36) <b>Pohl</b> – Southeast and northwest elevation roof plane is essentially a 62 foot long 2-story mass. There are no single-story eaves pulling the house down. Prior drawings contained 1-story masses. The high degree of formality of this house is almost exactly symmetrical which is antithetical to Madaket.</p> <p><b>Coombs</b> – The 4-over-4 windows are inappropriate. Agree with Mr. Pohl. Too many windows on the northwest elevation. The middle can be 25-feet but it has to work down to the small houses around it. Porch over the front door needs to come down. N elevation, two windows come right into the corner.</p> <p><b>Hill-Holdgate</b> – Previously we tried to keep a presence of the original building, which is obliterated by the 2<sup>nd</sup> floor mass. S elevation, the double gables over the front door should be a shed and no deck over the front door; all the glass around the front door is too formal; shouldn't have French doors on the front. Side 2<sup>nd</sup> floor deck has too many French doors. Needs to be lower massing.</p> <p><b>McLaughlin</b> – The house compared to cottage around it, is in character to the neighborhood.</p> <p><b>Williams</b> – There is nothing about this that is appropriate. We required the old house remain intact; there is nothing of that left. Need to start with keeping the old structure. This and the neighbor houses were all built as 1-story bungalows at the same time; this is on the highest point along Hither Creek and is in old Madaket. This has 2-story eaves all the way around and too many French doors.</p>				
Motion	<b>Motion to Hold for revisions. (Pohl)</b>				
Vote	Carried unanimously		<b>Certificate #</b>		
3.	Amick, Robert	65 Orange Street	Hardscape, stonewall/fen/arbr	55.4.1-78	Rita Higgins
Sitting	Williams, Hill-Holdgate, McLaughlin, Coombs, Pohl				
Alternates	Leonardo, Camp, Glazer				
Recused	None				
Documentation	File with associated plans, photos and required documentation.				
Representing	<b>Rita Higgins</b> – Presented project.				
Public	None				
Concerns	(5:57) No concerns.				
Motion	<b>Motion to Approve. (McLaughlin)</b>				
Vote	Carried unanimously		<b>Certificate #</b>	63329	
4.	14 Tennessee Ave. LLC	14 Tennessee Avenue	Hardscape: Pool/Fence	60.1.2-6	Val Oliver
Sitting	Williams, Hill-Holdgate, McLaughlin, Coombs, Glazer				
Alternates	Leonardo, Camp				
Recused	None				
Documentation	File with associated plans, photos and required documentation.				
Representing	<p><b>Val Oliver</b> – There was no separate application for the original pool; there is a stamped site plan.</p> <p><b>Steven Cohen</b>, Cohen &amp; Cohen Law PC – The Conservation Commission buffer limits the location of the pool. Asked if it could be flipped 90 degrees to be parallel to the back of the house.</p>				
Public	None				
Concerns	<p>(6:01) <b>Williams</b> – Prior concerns were the location and direction of the pool which is still a concern. In the original approval, it was felt the pool wasn't visible because it was in the deck. She believes it will be visible from Hither Creek.</p> <p><b>Coombs</b> – It will be visible and privet isn't appropriate on the Creek in Madaket; it will be visible from Hither Creek, Town Parking, and the Marine.</p> <p><b>Hill-Holdgate</b> – Would like to see natural plantings all around and a small section of picket fence and suggested a deck around it so it would look more boardwalk like.</p> <p><b>Glazer</b> – Feels a precedent is being set and that contextually this is not at all appropriate along the harbor. There are no pools along this street anywhere. The effort to mitigate the site line of the pool is not sufficient.</p> <p><b>McLaughlin</b> – The fence is atypical for Madaket.</p> <p><b>Williams</b> – Gyration to mitigate visibility puts the pool out of context with the neighborhood. The prior approval of being in a deck is acceptable because you wouldn't see it. The size is excessive.</p>				
Motion	<b>Motion to Hold for revisions. (McLaughlin)</b>				
Vote	Carried unanimously		<b>Certificate #</b>		

HEATHERS

HEAVEN

9-29-15

**Anne Barrett**

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**From:** Linda Williams [czarinalinda@comcast.net]  
**Sent:** Tuesday, February 24, 2015 7:03 PM  
**To:** Anne Barrett  
**Subject:** FW: HDC AGENDA 02.19.2015 NEW BIZ

Here is the email saying Steve wanted C Street on for the 10<sup>th</sup>. It will be back on view list. LW

---

**From:** Steven Cohen [mailto:steven@cohenlegal.net]  
**Sent:** Wednesday, February 18, 2015 9:30 AM  
**To:** Linda Williams  
**Subject:** RE: HDC AGENDA 02.19.2015 NEW BIZ

Sorry, 3/10, that was a type-o

**From:** Linda Williams [mailto:czarinalinda@comcast.net]  
**Sent:** Wednesday, February 18, 2015 9:01 AM  
**To:** Steven Cohen  
**Subject:** RE: HDC AGENDA 02.19.2015 NEW BIZ

It would not normally be on the 10 as that is new biz meeting.

---

**From:** Steven Cohen [mailto:steven@cohenlegal.net]  
**Sent:** Wednesday, February 18, 2015 8:37 AM  
**To:** Linda Williams  
**Subject:** RE: HDC AGENDA 02.19.2015 NEW BIZ

I sent YOU this email on 2/11 and we talked about it after.

I just filed HDC plans for this property. I know that you weighed in on it and that you think it needs work. This email is just about scheduling. The Architect cannot make the 2/17 meeting and then I am on vacation, so I would like this scheduled for the 3/10 meeting. Since we are way ahead of the filing for that, I would like to be first or early in the agenda, since the Architect will be flying in for it.

To avoid delays, please put it on the view list in advance and let me know if we should do ridge poles.

Steven

**From:** Linda Williams [mailto:czarinalinda@comcast.net]  
**Sent:** Wednesday, February 18, 2015 8:30 AM  
**To:** Steven Cohen  
**Subject:** RE: HDC AGENDA 02.19.2015 NEW BIZ

I am doing the agenda for tomorrow and unless I know what your previous email was it will stay on. I am the one in charge of the agenda, no one else. Lw

---

**From:** Steven Cohen [<mailto:steven@cohenlegal.net>]

**Sent:** Tuesday, February 17, 2015 11:12 PM

**To:** Linda Williams

**Subject:** RE: HDC AGENDA 02.19.2015 NEW BIZ

Please move 13 C Street as per my prior email.

**From:** Linda Williams [<mailto:czarinalinda@comcast.net>]

**Sent:** Tuesday, February 17, 2015 10:44 PM

**To:** [steve@nantucketarchitecture.com](mailto:steve@nantucketarchitecture.com); [bill@nantucketarchitecture.com](mailto:bill@nantucketarchitecture.com); TJ Waterson; [sophiemetz@gmail.com](mailto:sophiemetz@gmail.com);

[mbellerjeau@jggarchitects.com](mailto:mbellerjeau@jggarchitects.com); [link02554@gmail.com](mailto:link02554@gmail.com); Petite Travelers Nantucket; [lombardiboys@gmail.com](mailto:lombardiboys@gmail.com);

[joe@bpc-architecture.com](mailto:joe@bpc-architecture.com); 'Mark Cutone'; [doug@bpc-architecture.com](mailto:doug@bpc-architecture.com); 'Mark W. Poor';

[alex@emeritusdevelopment.com](mailto:alex@emeritusdevelopment.com); [matt@emeritusdevelopment.com](mailto:matt@emeritusdevelopment.com); 'Luke Thornewill'; [ackval62@gmail.com](mailto:ackval62@gmail.com);

[lindsay@atlanticlandscapinginc.com](mailto:lindsay@atlanticlandscapinginc.com); Steven Cohen; [sfa@sfapc.com](mailto:sfa@sfapc.com)

**Subject:** HDC AGENDA 02.19.2015 NEW BIZ

No virus found in this message.

Checked by AVG - [www.avg.com](http://www.avg.com)

Version: 2014.0.4800 / Virus Database: 4257/9133 - Release Date: 02/17/15

No virus found in this message.

Checked by AVG - [www.avg.com](http://www.avg.com)

Version: 2014.0.4800 / Virus Database: 4257/9133 - Release Date: 02/17/15

No virus found in this message.

Checked by AVG - [www.avg.com](http://www.avg.com)

Version: 2014.0.4800 / Virus Database: 4257/9137 - Release Date: 02/18/15

Proposed Minutes for February 17, 2015

IX. VIEWS TO BE	HEARD TIME	PERMITTING		
1. Oak Hill Investment	6 Harborview Way	New dwelling	43-20	Emeritus
2. Oak Hill Investments	5 Harborview Way	New guest house	43-100	Emeritus
4. Lonergan, Dan	23 Union Street	Alterations/partial demo	42.3.2-201	Val Oliver
5. Raith, Jonathon	2 Goldstar Drive	Alter/add/rem chim exist dwell	55-190	Permits Plus
6. Heathers Haven LLC	13 C Street	Renovate existing house	60.2.1-76	Cohen/Eckman
Sitting	Williams, Coombs, Pohl, Leonardo, Camp			
Alternates	None			
Recused	None			
Documentation	File with associated plans, photos and required documentation.			
Representing	None			
Public	None			
Concerns	No comments at this time.			
Motion	<b>Motion to Hold for Thursday February 19. (Coombs)</b>			
Vote	Carried Unanimously		<b>Certificate #</b>	
3. Counihan, Carol	21 Kimball Avenue	Hardscape	30-28	Andrew Wing
Sitting	Williams, Coombs, Pohl, Leonardo, Camp			
Alternates	None			
Recused	None			
Documentation	File with associated plans, photos and required documentation.			
Representing	<b>Andrew Wing</b> , Wingworks – Presented project. Reviewed context photos.			
Public	None			
Concerns	<p><b>Williams</b> – The walls and the property lines are not shown on the site plan and need the topography. Would prefer more slope to the grade to minimize the number and height of the walls; don't want a platform for planting beds.</p> <p><b>Camp</b> – Would prefer rounded stone rather than the squared off. It is very sharp and harsh for that environment.</p> <p><b>Coombs</b> – South elevation, there is a straight wall when the natural slope goes to the second wall; the first wall should be eliminated. The landscaping should follow the slope of the land.</p> <p><b>Williams</b> – In the previous approval, it was represented that there would be no vehicular access to the garage that it was solely for storage; not willing to approve a wall beyond the parking area. Need to feather around the parking area more.</p> <p><b>Pohl</b> – Remembers the assertion that the garage was not to be used for cars.</p> <p><b>Leonardo</b> – Kimball is still a relative wild area; the walls are inappropriate.</p>			
Motion	<b>Motion to Hold for revisions. (Coombs)</b>			
Vote	Carried unanimously		<b>Certificate #</b>	
7. Ram Island LLC	4 Barstow Lane	New dwelling	40-47	Botticelli & Pohl
Sitting	Williams, Coombs, Leonardo, Camp			
Alternates	None			
Recused	Pohl			
Documentation	File with associated plans, photos and required documentation.			
Representing	<b>Lisa Botticelli</b> , Botticelli & Pohl – Presented project. Contends limited visibility.			
Public	None			
Concerns	<p><b>Williams</b> – This is 105 feet long.</p> <p><b>Coombs</b> – Would like to view again with height poles. The "F" and "C" windows are too square.</p>			
Motion	<b>Motion to View with 3 poles, 2 at each end and one in the middle. (Coombs)</b>			
Vote	Carried unanimously		<b>Certificate #</b>	



# Planning and Land Use Services (PLUS) HISTORIC DISTRICT COMMISSION

established 1955

2 Fairgrounds Road  
Nantucket, Massachusetts 02554

Telephone: 508.325.7587

Fax: 508.228.7298

## COMMISSIONERS

Linda Williams  
Chairman

Dawn Holdgate  
Vice-Chairman

Ray Pohl

Diane Coombs

John McLaughlin

## ASSOCIATE COMMISSIONERS

Abigail Camp

Kristine Glazer

Val Oliver

## STAFF

Mark W. Voigt  
Administrator  
[mvoigt@nantucket-ma.gov](mailto:mvoigt@nantucket-ma.gov)

### EXTENSION AGREEMENT

Date Signed: 9/22/15

Map: 60.2.1 Parcel 76

Address of Property: 13 C Street

Applicant(s)/Owner(s)/Representative(s) Name:

\_\_\_\_\_

\_\_\_\_\_

Scope of Work: New dwelling

\_\_\_\_\_

\_\_\_\_\_

A voluntary extension of the Nantucket Historic District Commission's ("HDC") action deadline on the above noted Application has been granted to the HDC by the above named Applicant(s)/Owner(s)/Representative(s) up to and including the following date:

December 22, 2015

Month/day/year of extension termination

Steven Coka  
Signature of Applicant/Owner/Representative

Steven Coka, Attorney  
Please print name of signatory



**Planning and Land Use Services (PLUS)  
HISTORIC DISTRICT COMMISSION**

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Vice-Chairman

Ray Pohl

Diane Coombs

John McLaughlin

**ASSOCIATE  
COMMISSIONERS**

Jascin Leonardo-Finger

Abigail Camp

Kristine Glazer

**STAFF**

Mark W. Voigt  
Administrator  
mvoigt@town.nantucket.net

**EXTENSION AGREEMENT**

Date Signed: March 9, 2015

Map: 60, 2, 1 Parcel 76

Address of Property: 13 C Street

Applicant(s)/Owner(s)/Representative(s) Name:

Heathers Haven LLC

Scope of Work: Renovate Dwelling

A voluntary extension of the Nantucket Historic District Commission's ("HDC") action deadline on the above noted Application has been granted to the HDC by the above named Applicant(s)/Owner(s)/Representative(s) up to and including the following date:

September 29, 2015  
Month/day/year of extension termination

Steven Cohen  
Signature of Applicant/Owner/Representative

Steven Cohen, as attorney  
Please print name of signatory

HEATHERS HAVEN  
9/29/15

\$ 5.00

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FEB 06 2015

TOWN OF  
NANTUCKET, MA

TOWN OF NANTUCKET  
HISTORIC DISTRICT COMMISSION

LIST OF PARTIES IN INTEREST IN THE MATTER OF THE PETITION OF:

PROPERTY OWNER Heather's Heaven LLC  
MAILING ADDRESS 518 Seventeenth St. Ste 1700 Denver, CO 80202  
PROPERTY LOCATION 13 C St.  
ASSESSORS MAP/PARCEL 60.2.1 76  
SUBMITTED BY: Cohen + Cohen Law P.C. Vanessa

SEE ATTACHED PAGES

I certify that the foregoing is a list of persons who are owners of land directly adjacent to the subject property or directly opposite the subject property on any public or private street or way, all as they appear on the most recent applicable tax list.

Feb. 9, 2015  
DATE

Patricia Giles  
ASSESSOR'S OFFICE  
TOWN OF NANTUCKET

ABBUTTERS LISTING  
NANTUCKET, MA

Map	Lot	Un	Owner-s Name	Co Owner-s Name	Address	City	ST	Zip	Parcel Location
6021	1		WHITE SUSAN S & LINDSAY		12 BLANCHARD RD ✓	CAMBRIDGE	MA	02138	14 D ST
6021	21		O'BRIEN ANDREW & SONJA		212 POISSANT JOE2K0 ✓	SUTTON	QC ✓		6 TENNESSEE AV
6021	25		JEMISON SUSAN C ETAL		615 WYOMING AVE	WYOMISSING	PA	19610	5 C ST
6021	28		ROGERS STEPHEN H	C/O ARTHUR PASE-HEMINGWAY & BARNES	60 STATE ST ✓	BOSTON	MA	02109	6 D ST
6024	89		LYMAN THEODORE P TRST ETAL	CHOATE HALL STEWART LLP	P O BOX 961989 ✓	BOSTON	MA	02196-1989	12 C ST
6024	93		RAY BONNIE S		10 C ST ✓	NANTUCKET	MA	02554	10 C ST

ABBUTERS LISTING  
NANTUCKET, MA

Map	Lot	Un	Owner's Name	Co Owner's Name	Address	City	ST	Zip	Parcel Locati
6021	1		WHITE SUSAN S & LINDSAY		12 BLANCHARD RD	CAMBRIDGE	MA	02138	14 D ST
6021	21		OSHLER ANDREW E SONJA		212 FOLSBAMT	SUTTON	QC		6 TENNESSEE AV
6021	25		JEMISON SUSAN C ETAL		615 WYOMING AVE	WYOMISSING	PA	19610	5 C ST
6021	28		ROGERS STEPHEN E	C/O ARTHUR BAKE-HEMINGWAY & BARNES	60 STATE ST	BOSTON	MA	02109	5 D ST
6024	09		LYMAN THEODORE F TRST ETAL	CHICATE HALL STEWART LLP	P O BOX 961989	BOSTON	MA	02196-1989	12 C ST
6024	93		RAY BONNIE S		10 C ST	NANTUCKET	MA	02554	10 C ST

2/ 9/201 8:18:43AM



# HISTORIC DISTRICT COMMISSION

2 Fairgrounds Road

Nantucket, Massachusetts 02554

Telephone: 508.325.7587

Fax: 508.228.7298

## NOTICE OF HDC APPLICATION

### ABUTTERS AND INTERESTED PARTIES

Please be informed that the Nantucket Historic District Commission will be considering the following proposal:

Address of Proposed Work: 13 C St

Tax Map Number: 60.2.1 Parcel Number: 76

Owner of Record: Heather Heaven LLC

Description of Proposal: renovate existing house

Anticipated HDC Submission Date: 2/11/15

You have been identified either as an abutter or interested party to the above property and are being notified in accordance with the Town Bylaw. Please note that the above submission date is an estimate only; the actual meeting date will be determined once the HDC staff has established that a complete application has been submitted. Please contact the HDC office to verify the date. Please note that notification is only required at the time of initial submission of an application, not for each time an application goes before the Commission. Abutters are responsible for monitoring the status of applications.

If you wish to comment on the above proposal, you are encouraged to submit your comments in writing to the HDC office. If you wish to testify at a Commission meeting please be aware that your testimony may be limited by the Commission in accordance with Commission policies, which are included on the back of this form. Due to the large sizes of most applications, the HDC office may not be able to send faxed copies of the plans. Off-island abutters wishing more detailed information may enlist an on-island representative to view the plans in the HDC office.

If you have any questions, please contact the HDC office at 508.325.7587.

2297

**COHEN & COHEN LAW PC**

P.O. BOX 786  
NANTUCKET, MA 02554  
(508) 228-0337

CAPE COD FIVE  
ORLEANS, MA 02653 166  
53-7107-2113

2/11/2015

PAY TO THE  
ORDER OF Town of Nantucket

\$ \*\*455.75

DOLLARS

Four Hundred Fifty-Five and 75/100\*\*\*\*\*

Town of Nantucket

  
AUTHORIZED SIGNATURE

MEMO

Mulvihill - Heather's Heaven - HDC

⑈002297⑈ ⑆211371078⑆ 86 7007718⑈

Security features. Details on back.

**COHEN & COHEN LAW PC**

Town of Nantucket

Mulvihill - Heather's Heaven - HDC

2/11/2015

455.75

2297

Operating - CC5

Mulvihill - Heather's Heaven - HDC

455.75

**COHEN & COHEN LAW PC**

Town of Nantucket

Mulvihill - Heather's Heaven - HDC

2/11/2015

455.75

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Operating - CC5

Mulvihill - Heather's Heaven - HDC

455.75

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FEB 06 2015

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CKET

MISSION

TER OF THE PETITION OF:

LLC  
St. Ste 1700 Denver, CO 80202

Sent To

Susan Jemison, ETAL  
615 Wyoming Ave.  
Wyomissing, PA 19610

PS Form

uctions

To Be Collected At All Entries Marked TO

*Suzanne O'Malley*  
212 Pleasant  
JOEAKO  
Sutton, DC

PS Form 3806, Receipt for Registered Mail Copy 1 - Customer  
May 2007 (7530-02-000-9051) (See Information on Reverse)  
For domestic delivery information, visit our website at [www.usps.com](http://www.usps.com)

PROPERTY LOCATION.....

ASSESSORS MAP/PARCEL *60.2.1 76*.....

SUBMITTED BY: *Cohen + Cohen Law P.C. Venessa*

SEE ATTACHED PAGES

I certify that the foregoing is a list of persons who are owners of land directly adjacent to the subject property or directly opposite the subject property on any public or private street or way, all as they appear on the most recent applicable tax list.

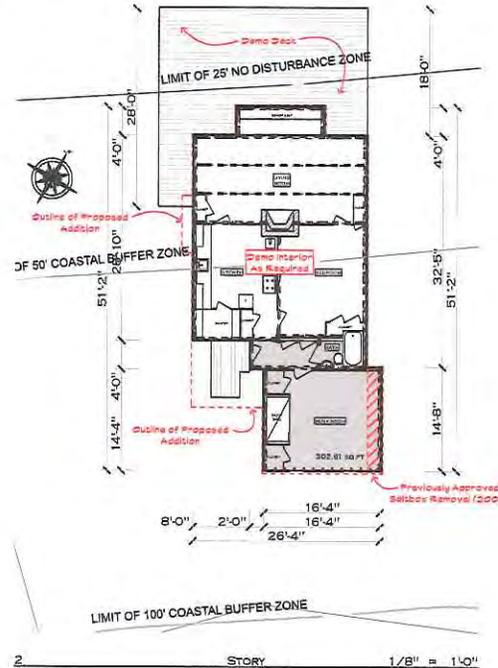
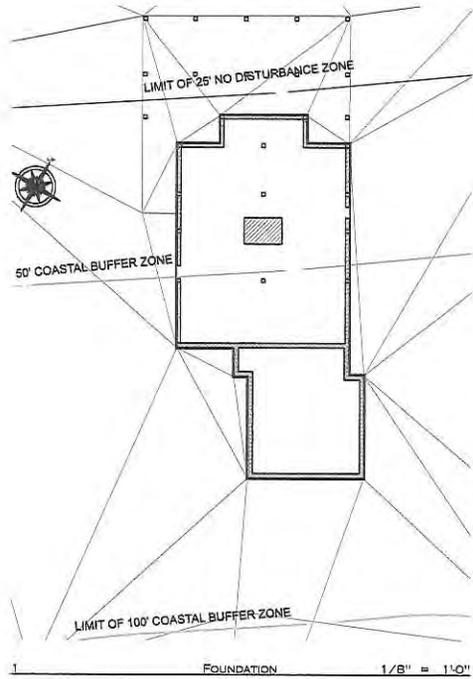
*Feb. 9, 2015*  
DATE

*Patricia Giles*  
ASSESSOR'S OFFICE  
TOWN OF NANTUCKET



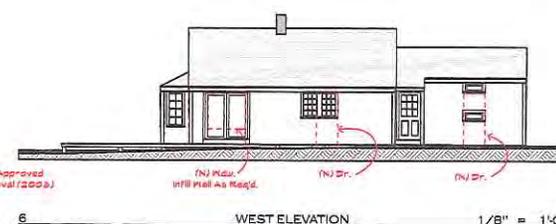
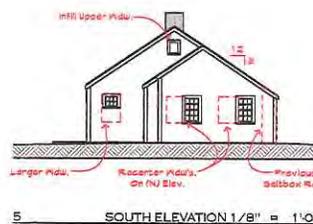
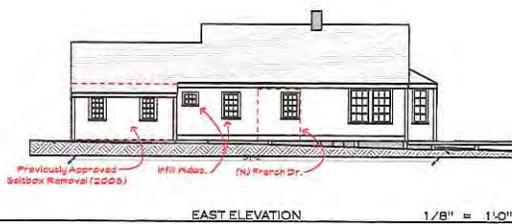
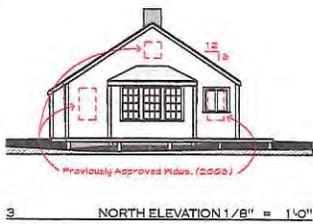
# Existing Cottage As Built Drawings

## Selective Demolition Plan



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**ARCHITECTURE**  
 Custom Residential • Renovation • Historic Preservation

H.D.C. Set - 2/17/15
H.D.C. Set Rev. 1 - 3/23/15
H.D.C. Set Rev. 2 - 5/19/15
H.D.C. Set Rev. 3 - 5/26/15
H.D.C. Set Rev. 4 - 6/21/15
H.D.C. Set Rev. 5 - 6/16/15
H.D.C. Set Rev. 6 - 9/22/15
H.D.C. Set Rev. 7 - 10/16/15



NOTE: Plans & Elevations used with permission from Berticelli and Pohl Architects

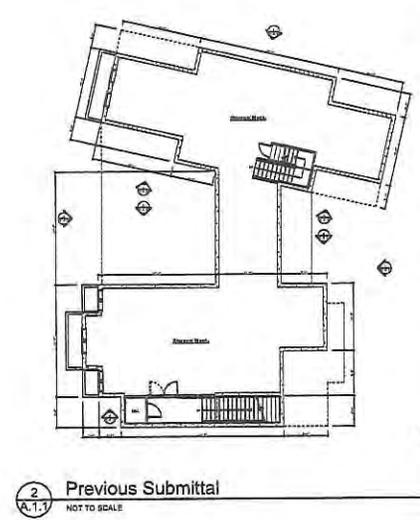
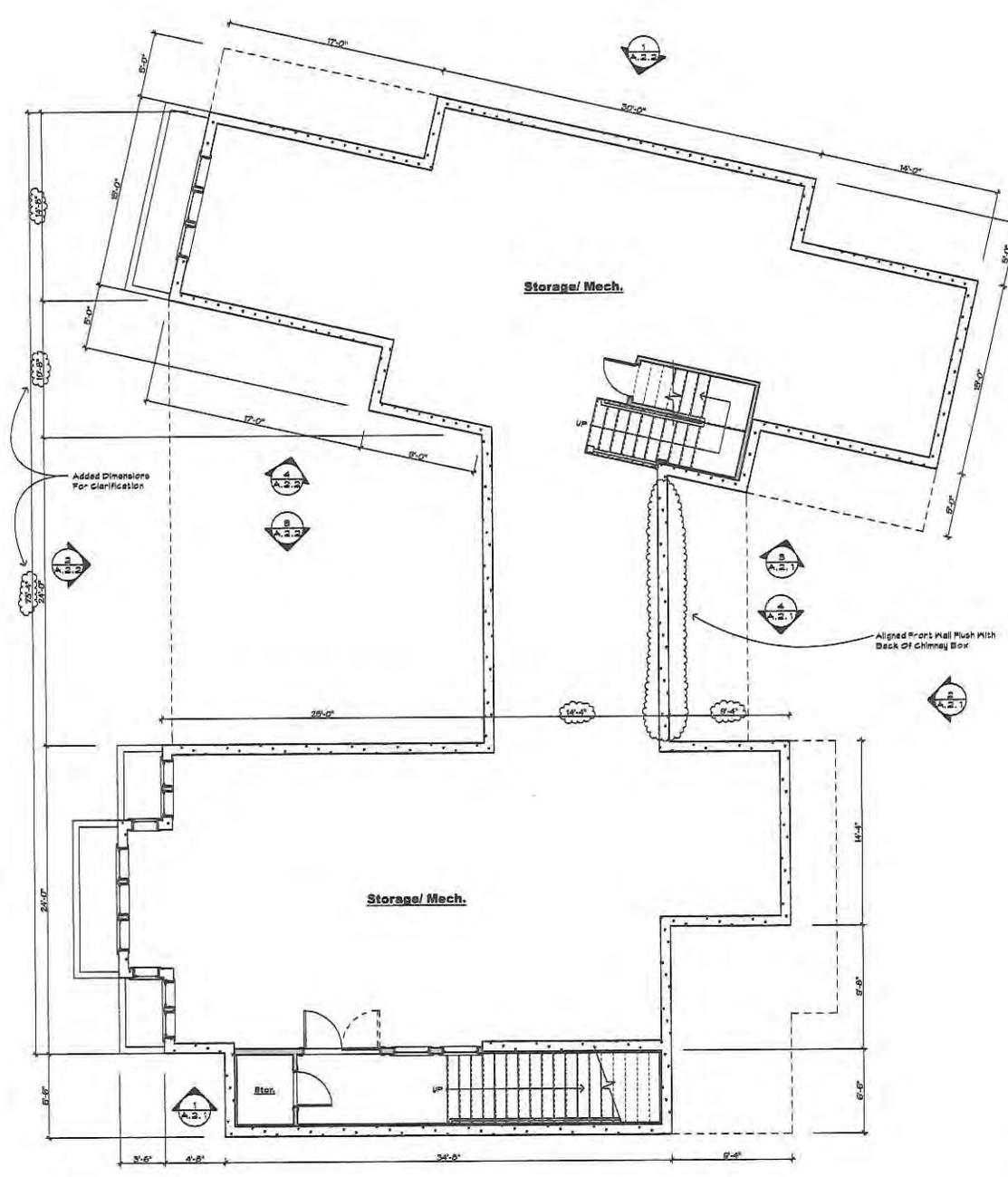
H.D.C. Submission Only - NOT FOR CONSTRUCTION

**Heather's Heaven, LLC**  
 A Custom Cottage for Heather McMillin

SHEET:  
**A.0.I**  
 DATE: 9/30/15

/Volumes/Draw Files/Projects/01/Porter-01-CADD/Porter-01-AV/01C/Porter-01-AC-Cover/01/Porter-01-CON/01.plt

100 West Campus #200, Newark, NJ 07102 • 973.261.1111 • www.ekmanstudio.com



2 Previous Submittal  
A.1.1 NOT TO SCALE

**CONSTRUCTION LEGEND:**

(N) Conc. Fdr. Wall	
(N) Wood Frame Wall	
(N) CMU w/ Brick (Fireplace)	



1 Proposed Basement Plan  
A.1.1 SCALE: 1/4" = 1'-0"

**EKMAN DESIGN STUDIO**  
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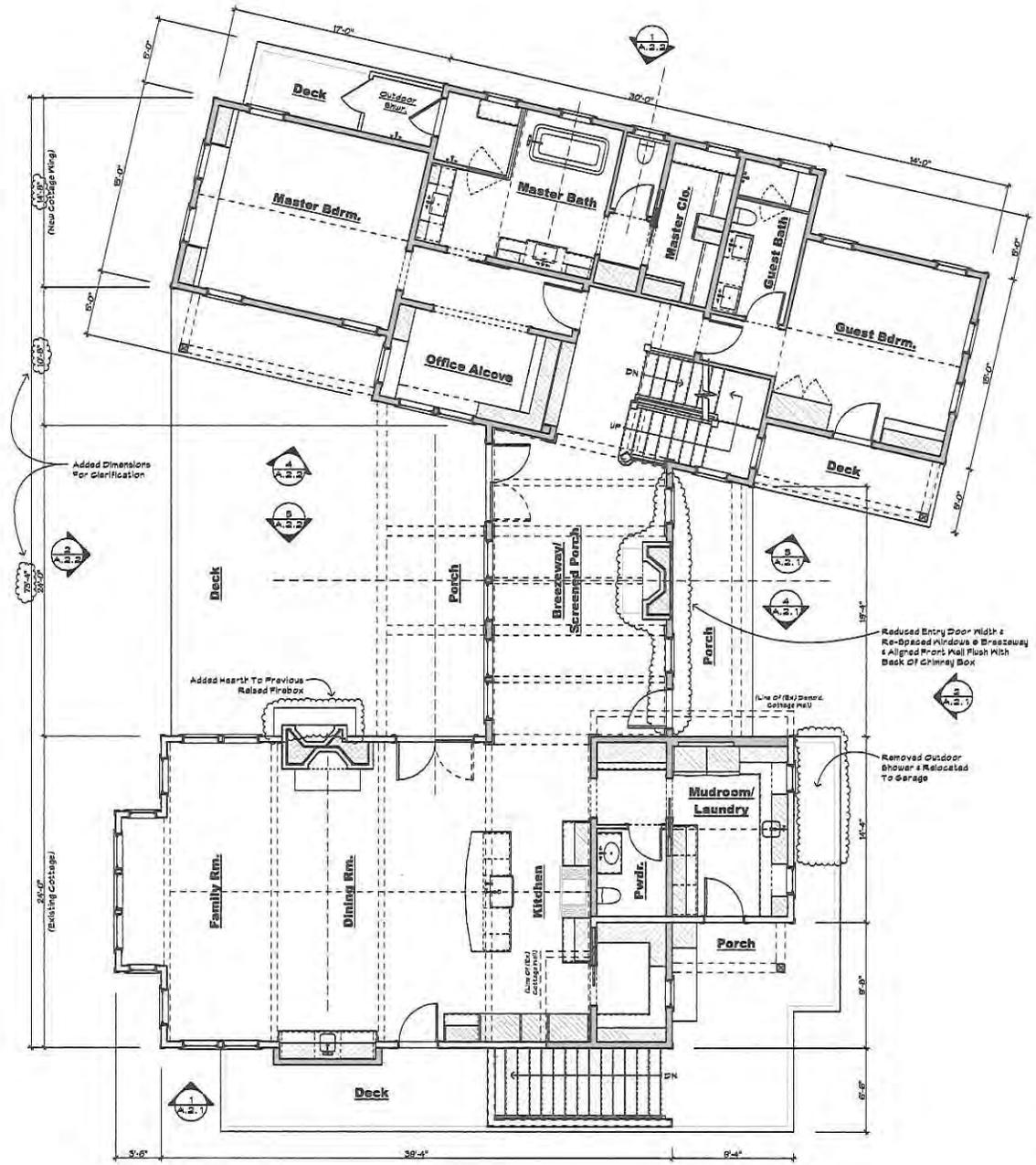
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- H.D.C. Set Rev. 1 - 3/3/15
- H.D.C. Set Rev. 2 - 5/11/15
- H.D.C. Set Rev. 3 - 5/26/15
- H.D.C. Set Rev. 4 - 6/2/15
- H.D.C. Set Rev. 5 - 6/16/15
- H.D.C. Set Rev. 6 - 9/22/15
- H.D.C. Set Rev. 7 - 10/6/15

H.D.C. Submission Only - NOT FOR CONSTRUCTION

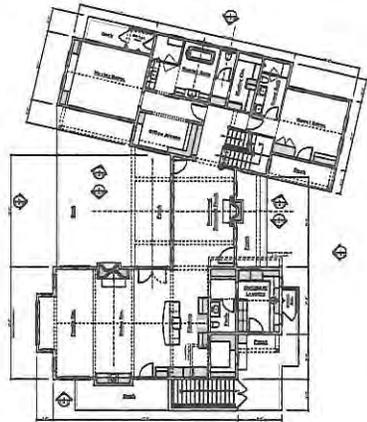
**Heather's Heaven, LLC**  
 A Custom Cottage for Heather Mulvihill

SHEET:  
**A.1.1**  
 DATE: 9/30/15

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2 Previous Submittal  
NOT TO SCALE



**CONSTRUCTION LEGEND:**

(EK) Wood Frame Wall	▬▬▬
(N) Wood Frame Wall	▬▬▬
(N) CMU w/ Brick (Fireplace)	▬▬▬

1 Proposed First Floor Plan  
SCALE: 1/4" = 1'-0"

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ARCHITECTURE  
Custom Residential • Renovation • Historic Preservation

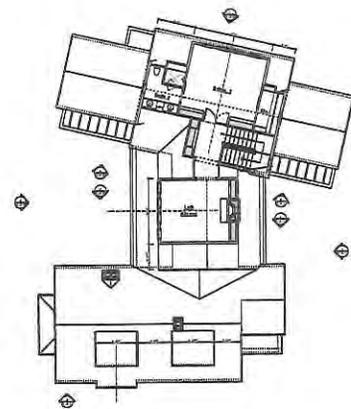
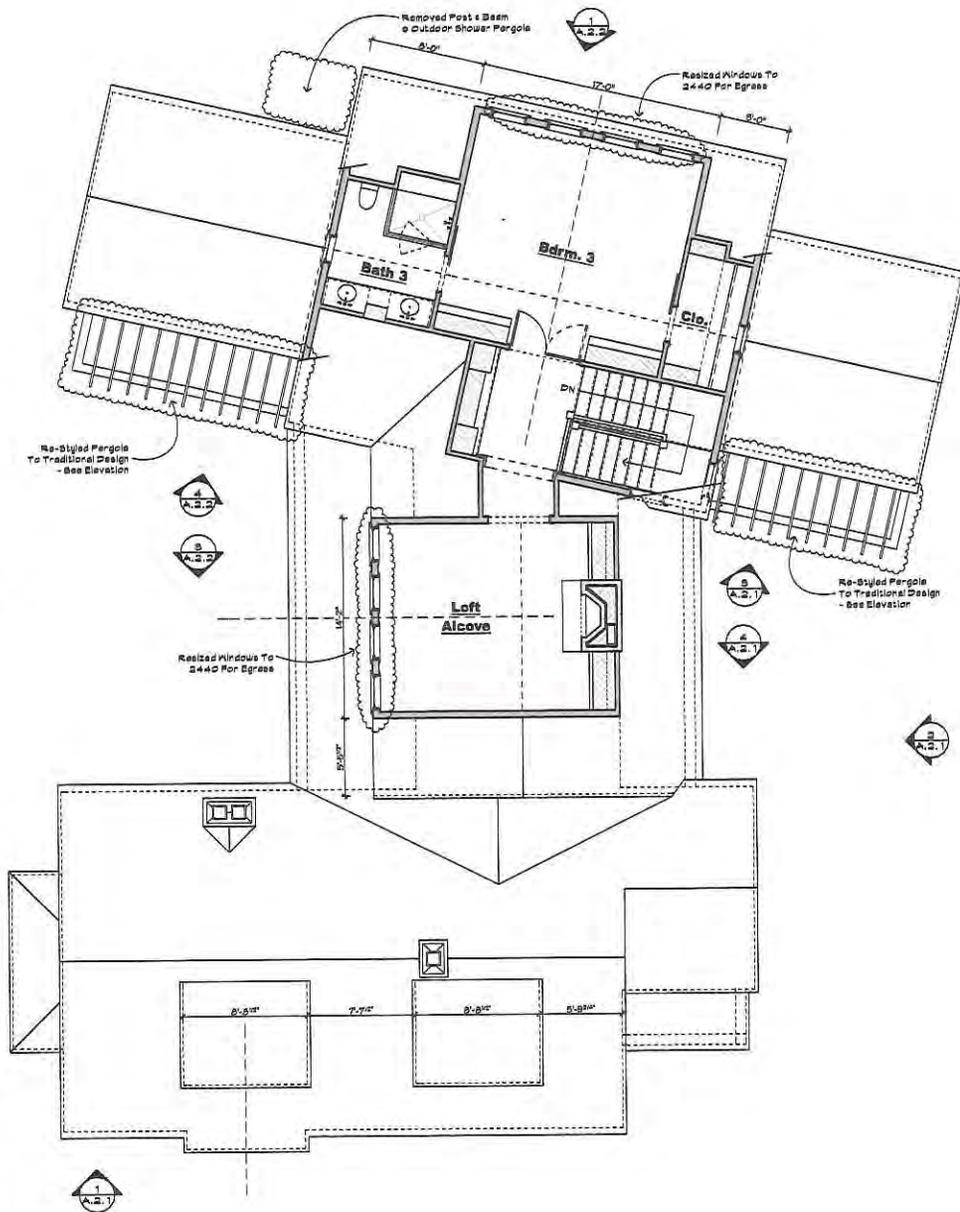
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- H.D.C. Set Rev. 2 - 5/19/15
- H.D.C. Set Rev. 3 - 5/26/15
- H.D.C. Set Rev. 4 - 6/2/15
- H.D.C. Set Rev. 5 - 6/16/15
- H.D.C. Set Rev. 6 - 9/22/15
- H.D.C. Set Rev. 7 - 10/6/15

H.D.C. Submission Only - NOT FOR CONSTRUCTION

**Heather's Heaven, LLC**  
A Custom Cottage for Heather Mulvihill

SHEET:  
**A.1.2**  
DATE: 9/30/15

© 2015 Heather's Heaven, LLC. All rights reserved. This drawing is the property of EKMANDESIGNSTUDIO.



2 Previous Submittal  
A.1.3 NOT TO SCALE

**CONSTRUCTION LEGEND:**

(Ex) Wood Frame Wall	▬▬▬
(N) Wood Frame Wall	▬▬▬
(N) CMU w/ Brick (Fireplace)	▬▬▬



1  
A.1.3

Proposed Second Floor Plan  
SCALE: 1/4" = 1'-0"

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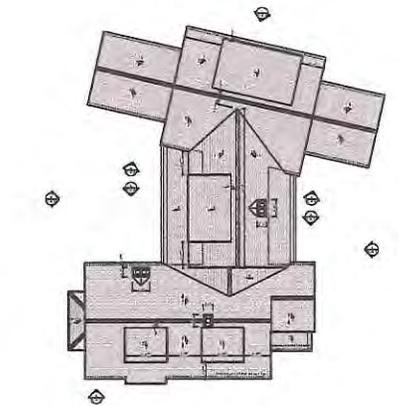
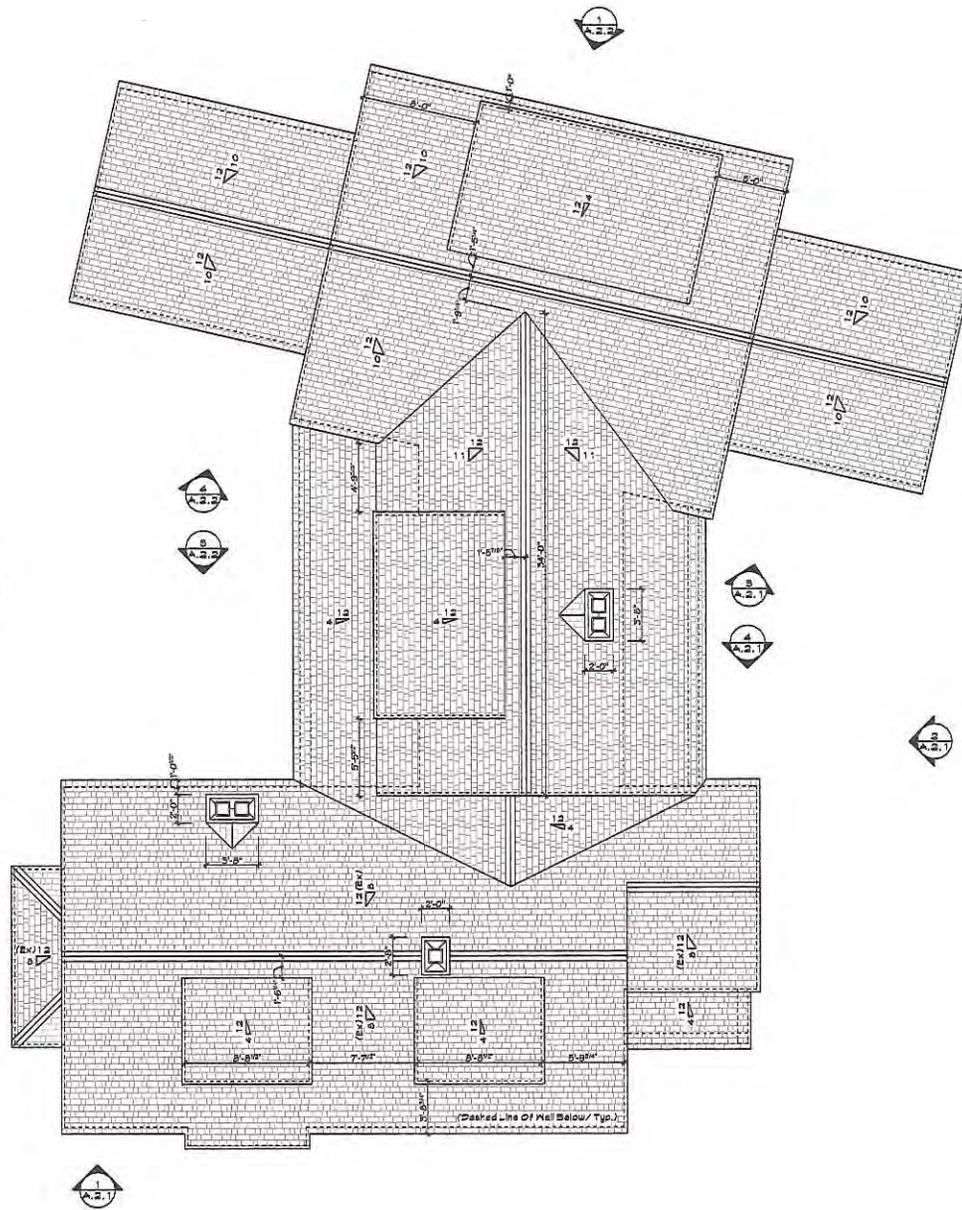
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- H.D.C. Set Rev. 4 - 6/21/15
- H.D.C. Set Rev. 5 - 6/11/15
- H.D.C. Set Rev. 6 - 9/22/15
- H.D.C. Set Rev. 7 - 10/6/15

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**Heather's Heaven, LLC**  
A Custom Cottage for Heather Muhlhill

SHEET:  
**A.1.3**  
DATE: 9/30/15

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2 Previous Submittal  
A.1.4 NOT TO SCALE

**CONSTRUCTION LEGEND:**  
(N) Roof/ Cedar shingle

1 Proposed Roof Plan  
A.1.4 SCALE: 1/4" = 1'-0"

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**ARCHITECTURE**  
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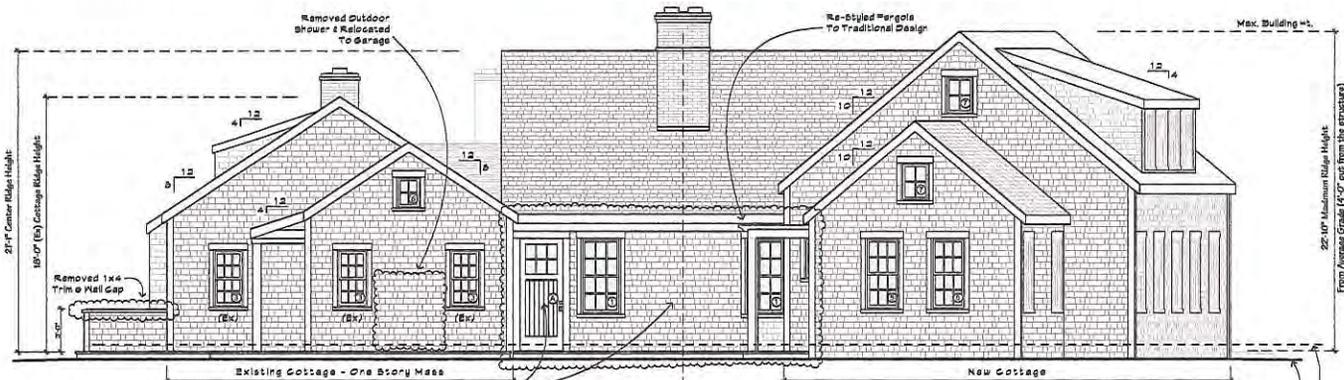
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H.D.C. Set Rev. 3 - 5/26/15  
H.D.C. Set Rev. 4 - 6/21/15  
H.D.C. Set Rev. 5 - 6/16/15  
H.D.C. Set Rev. 6 - 9/22/15  
H.D.C. Set Rev. 7 - 10/6/15

H.D.C. Submission Only - NOT FOR CONSTRUCTION

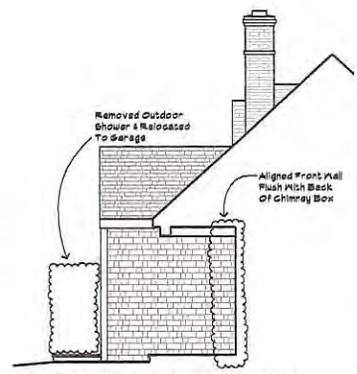
**Heather's Heaven, LLC**  
A Custom Cottage for Heather Mulvihill

SHEET:  
**A.1.4**  
DATE: 9/30/15

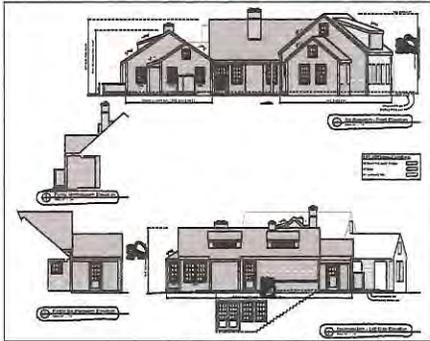
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2 Southeastern - Front Elevation  
SCALE: 1/4" = 1'-0"

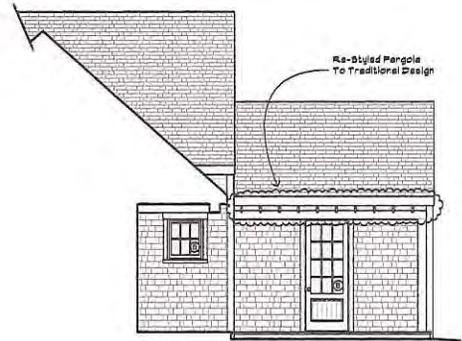
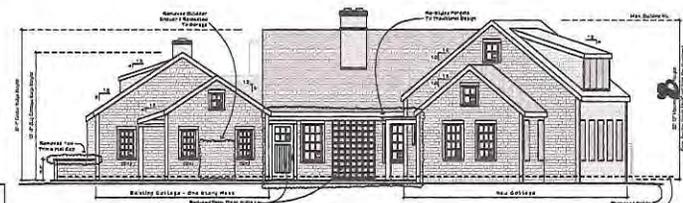


4 Partial Northeastern Elevation  
SCALE: 1/4" = 1'-0"



**EXT. MATERIALS LEGEND:**

(N) Roof/ Wall Cedar Shingles	
(N) Brick	
(N) 1 x4 Wood T&G	



3 Partial Southwestern Elevation  
SCALE: 1/4" = 1'-0"



1 Southwestern - Left Side Elevation  
SCALE: 1/4" = 1'-0"

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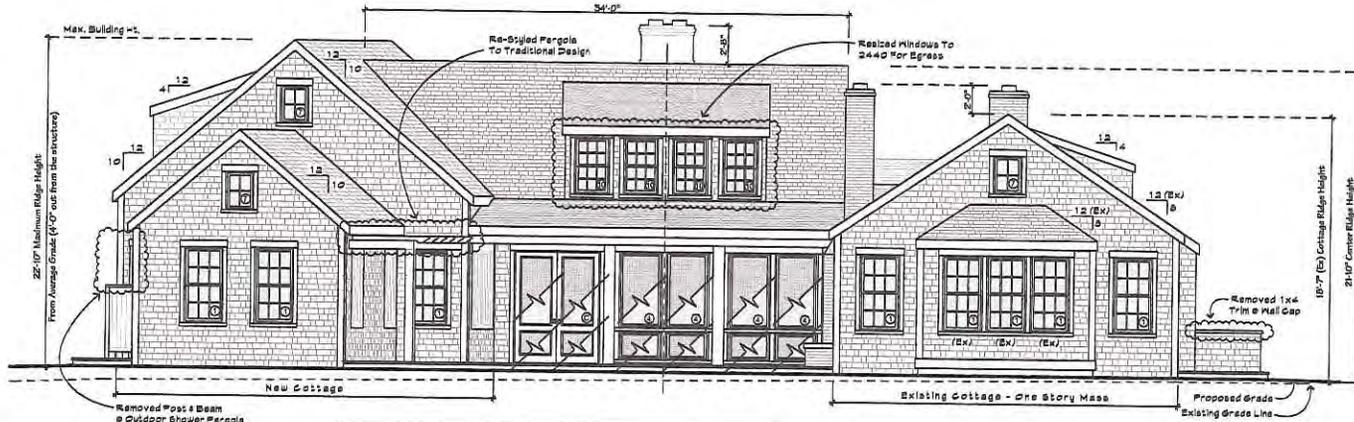
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H.D.C. Set - 2/17/15  
H.D.C. Set Rev. 1 - 3/31/15  
H.D.C. Set Rev. 2 - 5/19/15  
H.D.C. Set Rev. 3 - 5/26/15  
H.D.C. Set Rev. 4 - 6/2/15  
H.D.C. Set Rev. 5 - 6/16/15  
H.D.C. Set Rev. 6 - 9/22/15  
H.D.C. Set Rev. 7 - 10/6/15

H.D.C. Submission Only - NOT FOR CONSTRUCTION

**Heather's Heaven, LLC**  
A Custom Cottage for Heather Mulvihill

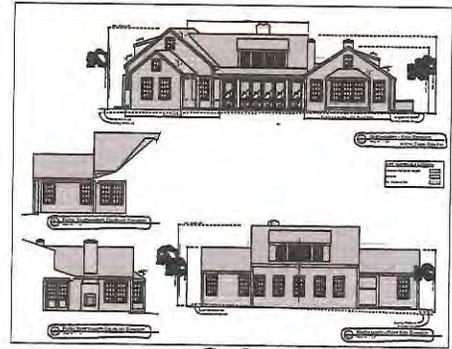
SHEET:  
**A.2.1**  
DATE 9/30/15



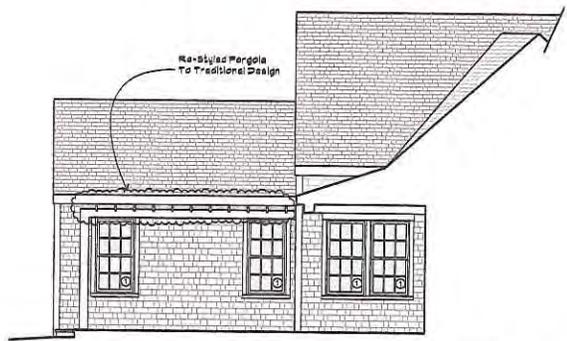
2 Northwestern - Rear Elevation  
 Hither Creek Elevation  
 SCALE: 1/4" = 1'-0"

**EXT. MATERIALS LEGEND:**

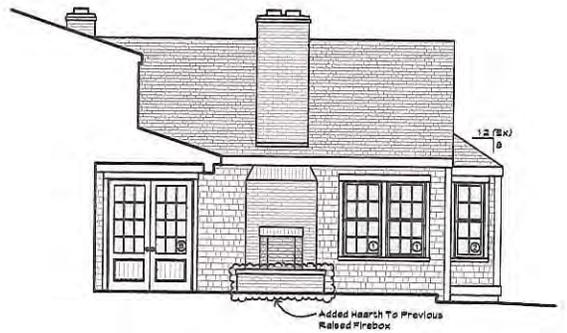
(N) Roof/ Mail Cedar shingles	
(N) Brick	
(N) 1x4 Wood Trim	



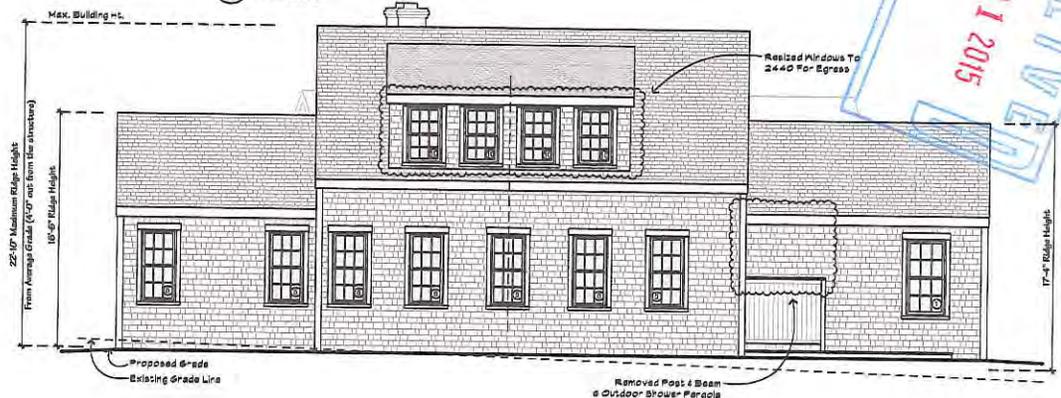
5 Previous Submittal  
 NOT TO SCALE



4 Partial Southwestern Courtyard Elevation  
 SCALE: 1/4" = 1'-0"



3 Partial Northeastern Courtyard Elevation  
 SCALE: 1/4" = 1'-0"



1 Northeastern - Right Side Elevation  
 SCALE: 1/4" = 1'-0"

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- H.D.C. Set Rev. 6 - 9/22/15
- H.D.C. Set Rev. 7 - 10/6/15

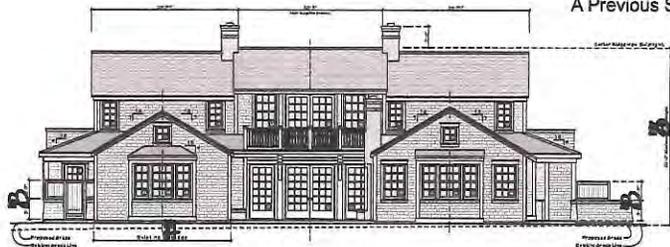
H.D.C. Submission Only - NOT FOR CONSTRUCTION

**Heather's Heaven, LLC**  
 A Custom Cottage for Heather Malhotra

SHEET:  
**A.2.2**  
 DATE: 9/30/15

# Northwestern - Hither Creek Elevations

A Previous Submission Comparison



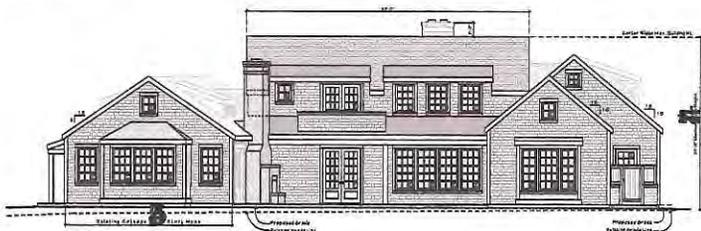
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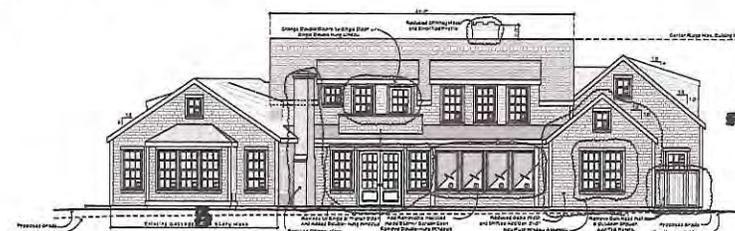
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SCALE: 1/8" = 1'-0"



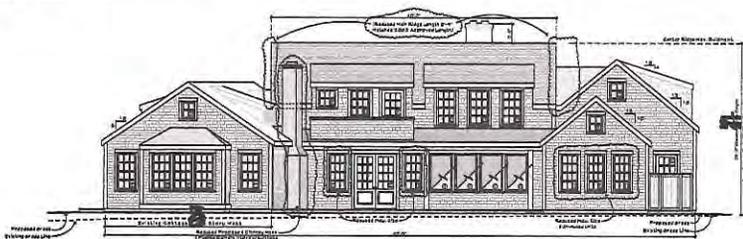
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SCALE: 1/8" = 1'-0"



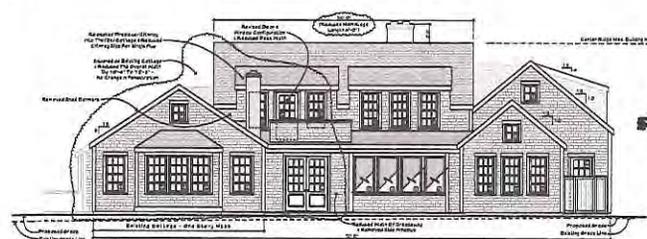
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SCALE: 1/8" = 1'-0"



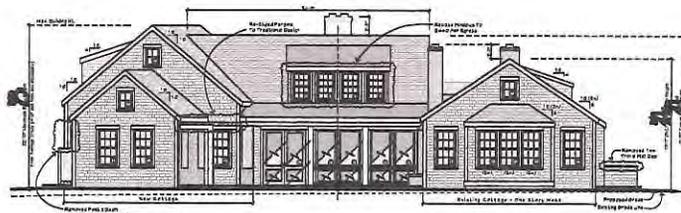
5 HDC Set Rev. 4 (6/2/15)

SCALE: 1/8" = 1'-0"



6 HDC Set Rev. 5 (6/16/15)

SCALE: 1/8" = 1'-0"



7 HDC Set Rev. 7 - Current (10/6/15)

SCALE: 1/8" = 1'-0"

**EKMAN DESIGN STUDIO**  
**ARCHITECTURE**  
 Custom Residential • Renovation • Historic Preservation

- H.D.C. Set - 2/17/15
- H.D.C. Set Rev. 1 - 3/31/15
- H.D.C. Set Rev. 2 - 5/19/15
- H.D.C. Set Rev. 3 - 5/26/15
- H.D.C. Set Rev. 4 - 6/2/15
- H.D.C. Set Rev. 5 - 6/16/15
- H.D.C. Set Rev. 6 - 9/22/15
- H.D.C. Set Rev. 7 - 10/6/15

H.D.C. Submission Only - NOT FOR CONSTRUCTION

**Heather's Heaven, LLC**  
 A Custom Cottage for Heather Muhlhill

SHEET:  
**A.2.3**  
 DATE: 9/30/15



Rec'd JH.  
9/22/15

(Ex) Cottage Replacement Wdw's

38710 8 Lite SDL Entry Dr. Mahogany Mans Pann	30710 12 Lite SDL French Dr. Bronze - Brown	30710 Screen Dr. Bronze - Brown	3070 8 Lite SDL Mudroom Dr. Bronze - Brown	EGRESS 6 Over 6 Dbl. Hung SDL Bronze - Brown	EGRESS 4 Over 4 Dbl. Hung SDL Bronze - Brown	EGRESS 6 Over 6 Dbl. Hung SDL Bronze - Brown

Fill Represents Copper Screen

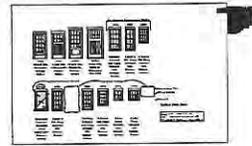
3054 Screened Porch w/ Storm Sash Bronze - Brown	2450 EGRESS 5 Over 6 Window Wood SDL Bronze - Brown	2428 6 Lite Fixed Window SDL Bronze - Brown	2028 4 Lite Fixed Window SDL Bronze - Brown	1620 4 Lite Fixed Window SDL Bronze - Brown	2216 4 Lite Fixed Window SDL Bronze - Brown

Typical Wdw. Trim:  
2x6 Head Trim  
1x4 Casing  
3x4 sill

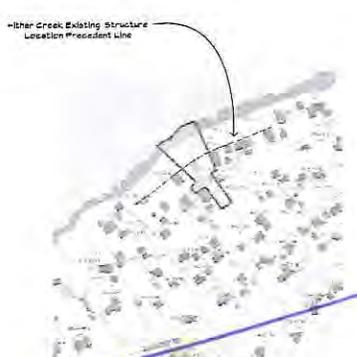
Note: All Windows & Doors  
Are To Be Mervin. All Mulls with  
Simulated Divided Lite Muller Bars

Screened Porch w/ Storm Sash Bronze - Brown	EGRESS 5 Over 6 Window Wood SDL Bronze - Brown	6 Lite Fixed Window SDL Bronze - Brown	4 Lite Fixed Window SDL Bronze - Brown	4 Lite Fixed Window SDL Bronze - Brown	4 Lite Fixed Window SDL Bronze - Brown
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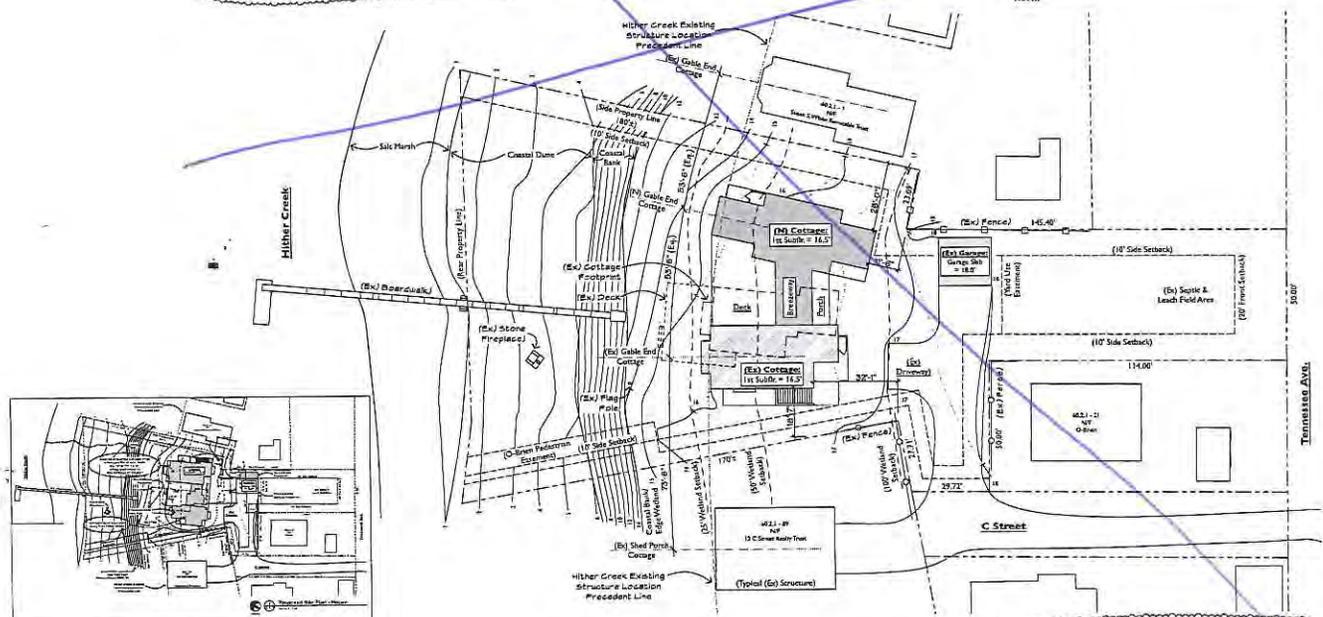
2  
6.1.1  
House Door and Window Schedule  
SCALE: 1/4" = 1'-0"



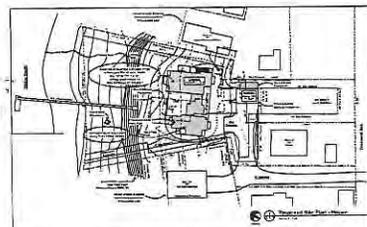
4  
6.1.1  
Previous Submittal  
NOT TO SCALE



2  
6.1.1  
Locus Map  
NOT TO SCALE



1  
6.1.1  
Proposed Site Plan - House  
SCALE: 1" = 20'



6  
6.1.1  
Previous Submittal  
NOT TO SCALE

**Project Directory**

**Architect:** Ekman Design Studio  
Stephen P. Ekman, AIA  
332 East 8th Avenue  
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(w) 303.730.2757  
(e) Steve@ekmandesign.com

**General Contractor:** Cottage & Castle, Inc.  
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(e) Ar@blackwellinc.com

**Landscaping Designer:** The Garden Design Co.  
Julie Jordan  
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(w) 508.223.4939  
(e) julie@juliejordan.com

**Sheet Index**

**General:**  
G.1.1 House Site Plan, Dr./Wdw Schedule, Locus Map

**Plans:**  
A.0.1 - Site/Scope Design Plan  
A.1.1 - Proposed House Basement Storage Plan  
A.1.2 - Proposed House First Floor Plan  
A.1.3 - Proposed House Second Floor Plan  
A.1.4 - Proposed House Roof Plan

**Structural Sections:**  
A.2.1 - Proposed House Sections 01  
A.2.2 - Proposed House Sections 02

**Site Plan Info.**

**Owner:** Heather's Heaven LLC  
Curr. #: 25399  
1.C.C. 3092-A, Lot 68 & 93  
1.C.C. 3092-1, Lot 92 C  
1.C.C. 3092-39, Lot 455  
Accession Map: 46.2.1 - Parcel: 74  
Com. Contn. Approval: Mass DEP File No. 5646-2187, Approved 12/31/14

**Zoning:** V-1 Village Height Overlay District (VHOD)  
Maximum Footprint: 100 ft.  
Front Setback: 20 ft.  
Side Setback: 10 ft.  
Maximum Building Ht.: 25' (VHOD - (139'-1.2X))  
Minimum Lot Size: 20,000 sq ft.  
Lot Size: 30,934 sq ft.  
Allowable Ground Coverage: 3.093 of (10%)  
Existing Ground Coverage: 1.429 of (4.6%)  
Proposed Ground Coverage: 3.081 of (9.95%)

**Notes:** Information for this Site Plan was taken from a Site Plan prepared by Blackwell & Associates, Inc. dated 1/12/14. This drawing does not constitute a registered survey. All site work including Ground Coverage & Max. Building Ht. are to be verified by Blackwell & Associates, Inc. prior to and during construction.

**Site Plan Legend**

- Shaded Area Of Proposed (N) Building Footprint
- Shaded Area Of Proposed Release/Ex (Ex) Building Footprint
- Shaded Area Of (Ex) Building Footprint in Current Lot, (Garage)
- Shaded Area Of (Ex) Neighboring Footprint in Current Lot.
- Setback Lines
- Property Lines
- (Ex) Topography
- (Ex) Topes To Change
- Proposed (N) Topography

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H.D.C. Set - 2/17/15  
H.D.C. Set Rev. 1 - 3/31/15  
H.D.C. Set Rev. 2 - 5/11/15  
H.D.C. Set Rev. 3 - 5/26/15  
H.D.C. Set Rev. 4 - 6/21/15  
H.D.C. Set Rev. 5 - 6/16/15  
H.D.C. Set Rev. 6 - 9/22/15

Redesign

H.D.C. Submission Only - NOT FOR CONSTRUCTION

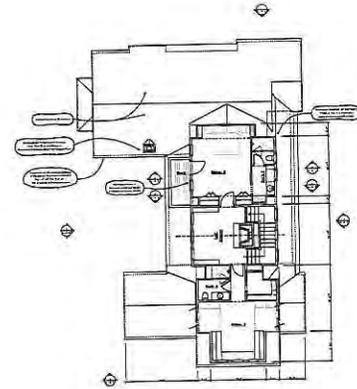
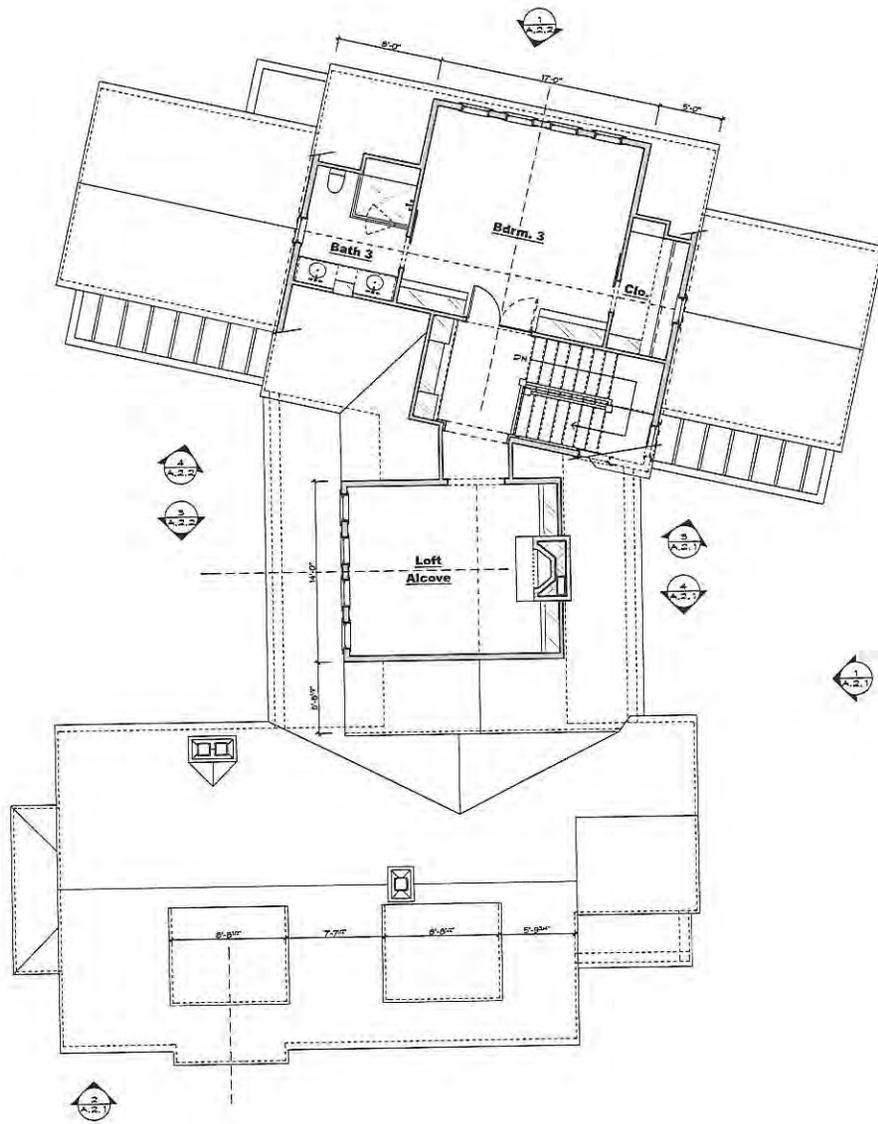
**Heather's Heaven, LLC**  
A Custom Cottage for Heather (Mabhill)

SHEET:  
**G.1.1**  
DATE: 9/21/15









2 Previous Submittal  
A.1.3 NOT TO SCALE

**CONSTRUCTION LEGEND:**

- (Ex) Wood Frame Wall
- (N) Wood Frame Wall
- (N) CMU w/ Brick (Fireplace)

1 Proposed Second Floor Plan  
A.1.3 SCALE: 1/4" = 1'-0"

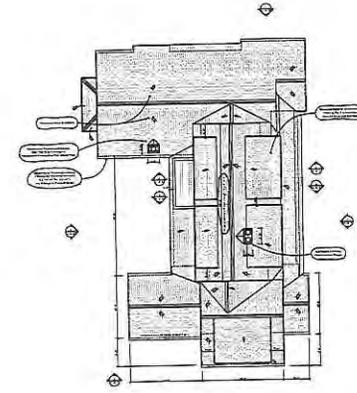
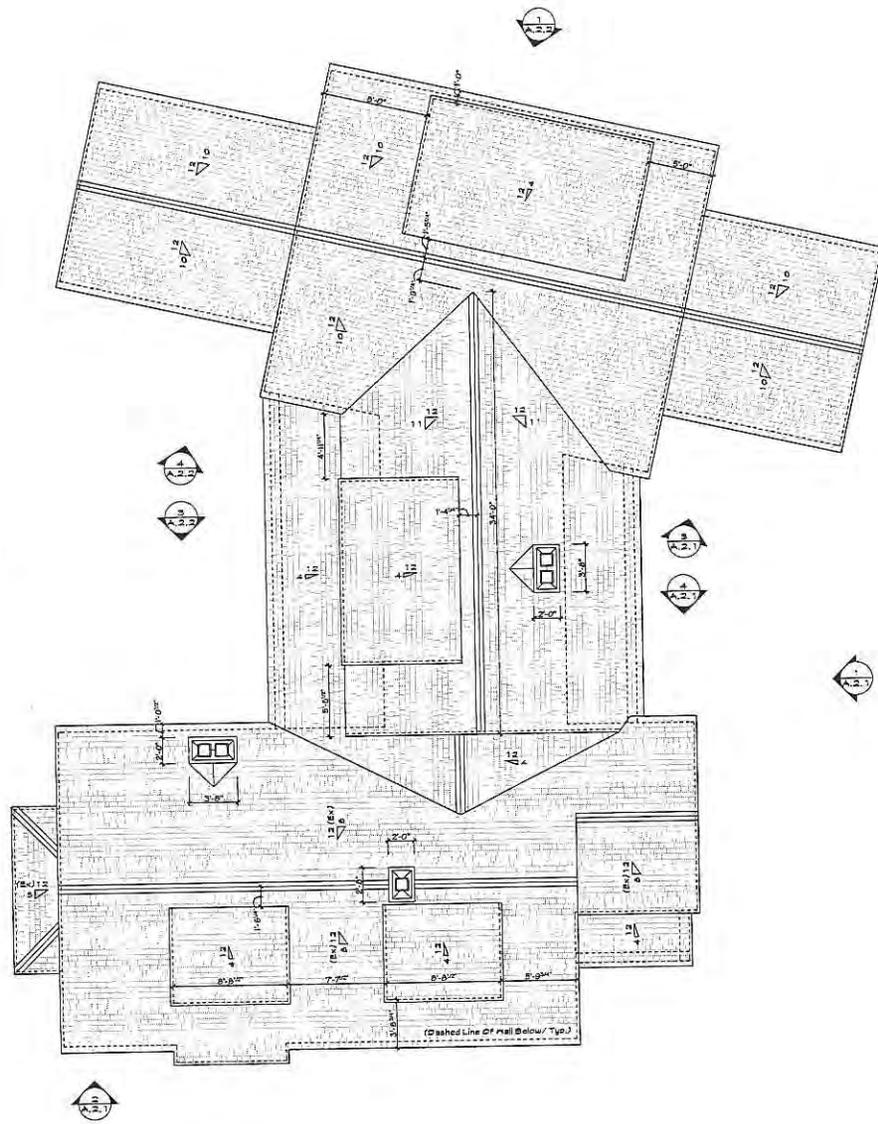
H.D.C. Submission Only - NOT FOR CONSTRUCTION

**Heather's Heaven, LLC**  
A Custom Cottage for Heather Mukhill

SHEET:  
**A.1.3**  
DATE: 9/21/15

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H.D.C. Set - 2/17/15
H.D.C. Set Rev. 1 - 3/21/15
H.D.C. Set Rev. 2 - 5/19/15
H.D.C. Set Rev. 3 - 5/26/15
H.D.C. Set Rev. 4 - 6/21/15
H.D.C. Set Rev. 5 - 6/11/15
H.D.C. Set Rev. 6 - 9/22/15



2 Previous Submittal  
A.1.4 NOT TO SCALE

**CONSTRUCTION LEGEND:**  
 (N) Roof Cedar Shingle

1 Proposed Roof Plan  
 A.1.4 SCALE: 1/4" = 1'-0"

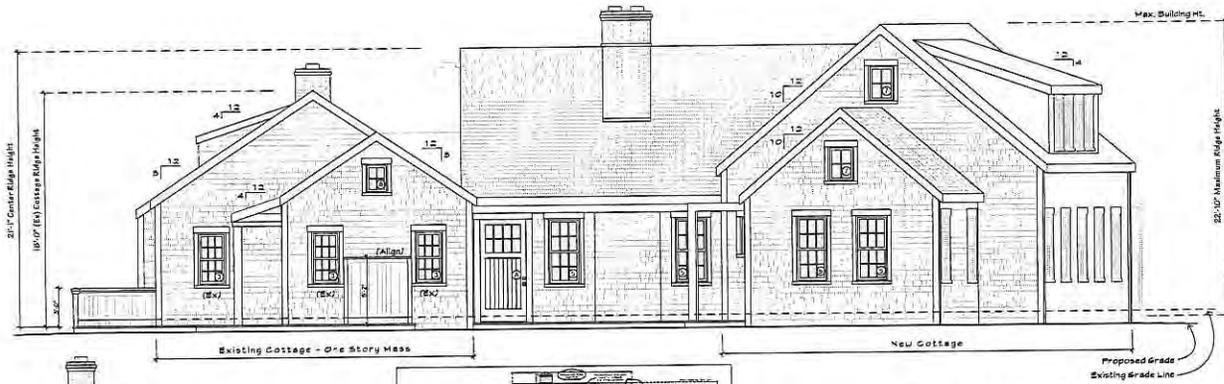
H.D.C. Submission Only - NOT FOR CONSTRUCTION

**Heather's Heaven, LLC**  
 A Custom Cottage for Heather Mulvihill

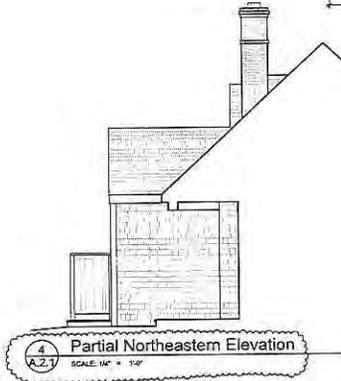
SHEET:  
**A.1.4**  
 DATE: 9/21/15

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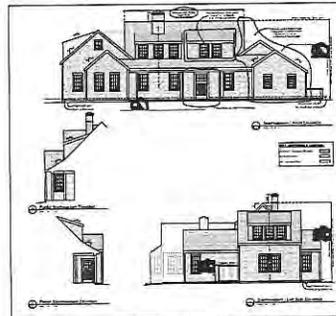
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- H.D.C. Set Rev 1 - 3/31/15
- H.D.C. Set Rev 2 - 5/19/15
- H.D.C. Set Rev 3 - 5/26/15
- H.D.C. Set Rev 4 - 6/21/15
- H.D.C. Set Rev 5 - 6/16/15
- H.D.C. Set Rev 6 - 9/22/15



1 Southeastern - Front Elevation  
SCALE: 1/4" = 1'-0"



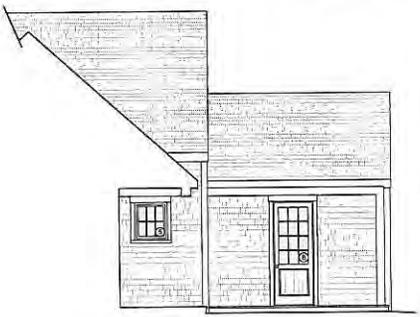
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SCALE: 1/4" = 1'-0"



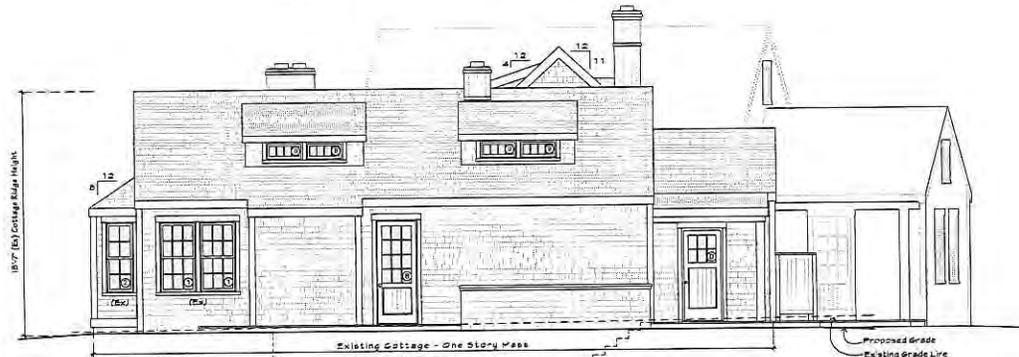
5 Previous Submittal  
NOT TO SCALE

**EXT. MATERIALS LEGEND:**

(N) Roof/ All Cedar Shingles	
(N) Brick	
(N) 1x4 PICO ST46	



3 Partial Southwestern Elevation  
SCALE: 1/4" = 1'-0"



2 Southwestern - Left Side Elevation  
SCALE: 1/4" = 1'-0"

H.D.C. Submission Only - NOT FOR CONSTRUCTION

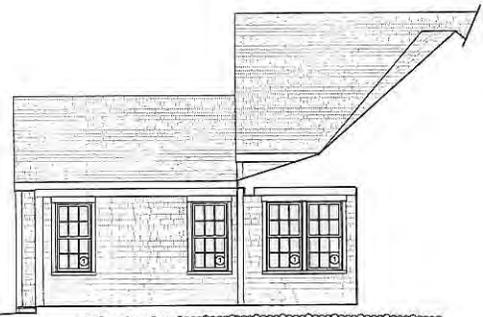
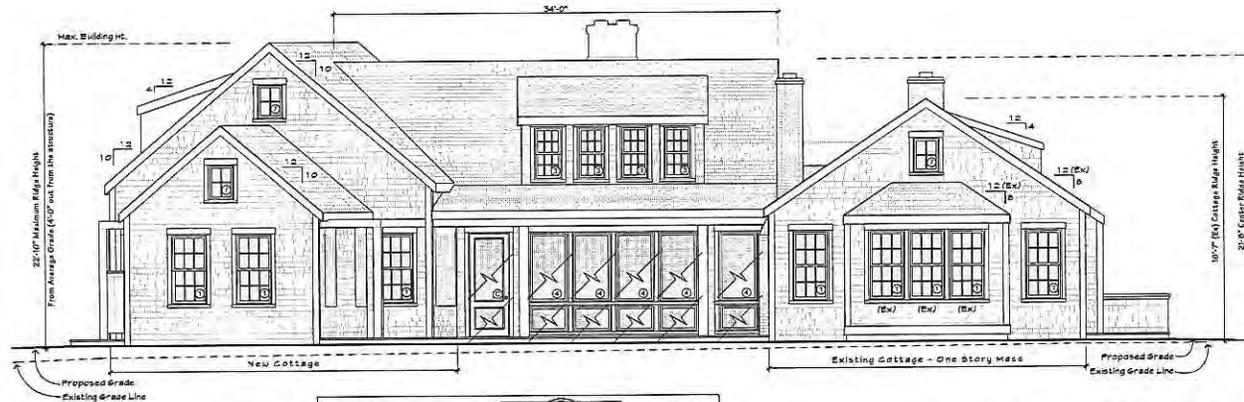
**Heather's Heaven, LLC**  
A Custom Cottage for Heather Mulvihill

SHEET:  
**A.2.1**  
DATE: 9/21/15

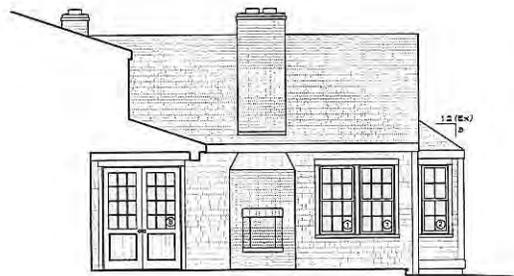
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485 E. Green, 8th Floor, Denver, Colorado 80202, USA | Phone: (303) 733-4444 | Website: ekmandesign.com

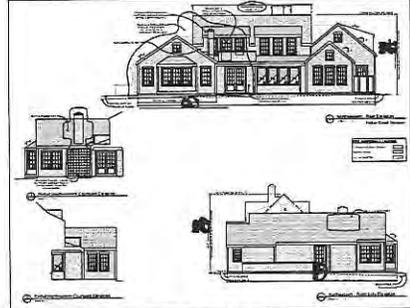
© 2015 Ekman Design Studio



4  
A.2.2  
Partial Southwestern Courtyard Elevation  
SCALE 1/4" = 1'-0"



3  
A.2.2  
Partial Northeastern Courtyard Elevation  
SCALE 1/4" = 1'-0"

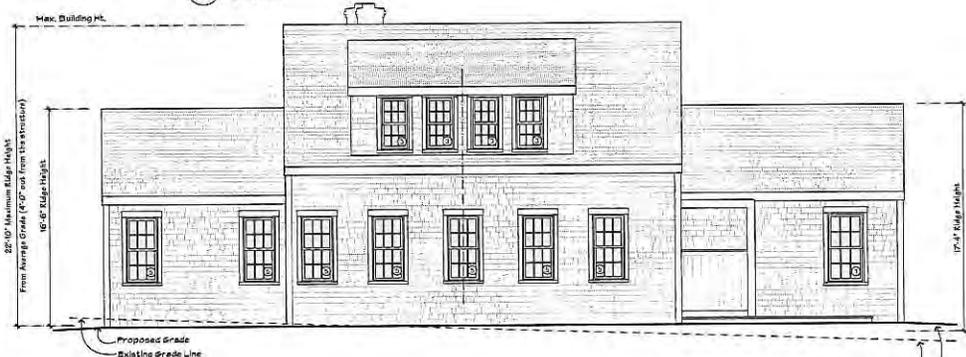


5  
A.2.2  
Previous Submittal  
NOT TO SCALE

2  
A.2.2  
Northwestern - Rear Elevation  
Hither Creek Elevation  
SCALE 1/4" = 1'-0"

**EXT. MATERIALS LEGEND:**

(N) Roof/ Wall Cedar Shingles	
(N) Brick	
(N) 1x4 Aztec T&G	



1  
A.2.2  
Northeastern - Right Side Elevation  
SCALE 1/4" = 1'-0"

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H.D.C. Set Rev. 1 - 3/3/15  
H.D.C. Set Rev. 2 - 5/19/15  
H.D.C. Set Rev. 3 - 5/26/15  
H.D.C. Set Rev. 4 - 6/2/15  
H.D.C. Set Rev. 5 - 6/16/15  
H.D.C. Set Rev. 6 - 9/22/15

H.D.C. Submission Only - NOT FOR CONSTRUCTION

**Heather's Heaven, LLC**  
A Custom Cottage for Heather Mulvihill

SHEET:  
**A.2.2**  
DATE: 9/21/15

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# Northwestern - Hither Creek Elevations

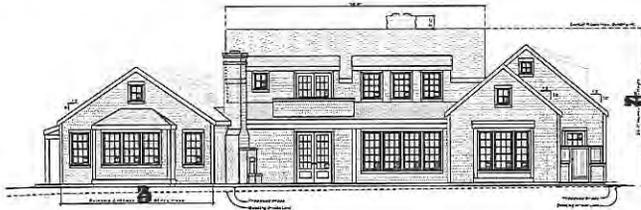
A Previous Submission Comparison



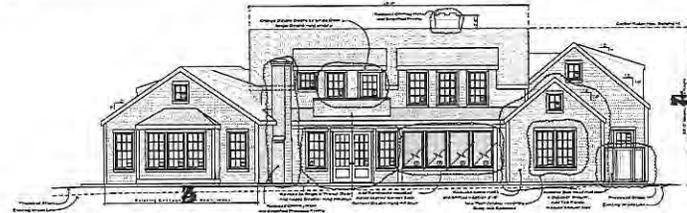
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SCALE: 1/8" = 1'-0"



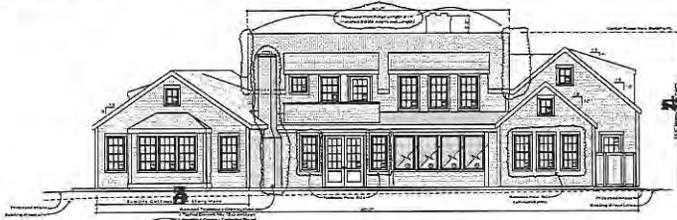
2 HDC Set Rev. 1 (3/31/15)  
SCALE: 1/8" = 1'-0"



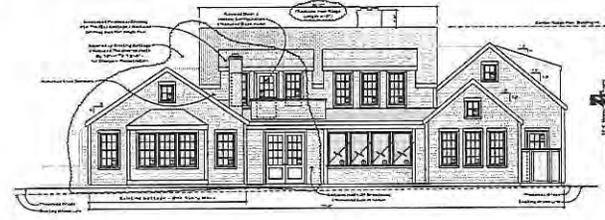
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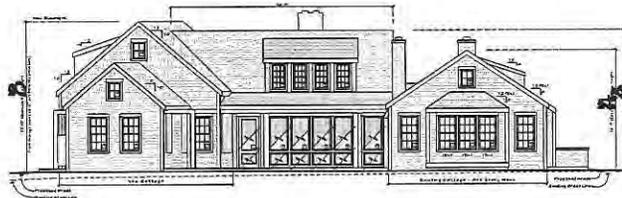
4 HDC Set Rev. 3 (5/26/15)  
SCALE: 1/8" = 1'-0"



5 HDC Set Rev. 4 (6/2/15)  
SCALE: 1/8" = 1'-0"



6 HDC Set Rev. 5 (6/16/15)  
SCALE: 1/8" = 1'-0"



7 HDC Set Rev. 6 - Current (9/22/15)  
SCALE: 1/8" = 1'-0"

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HDC Set - 2/17/15  
HDC Set Rev. 1 - 3/31/15  
HDC Set Rev. 2 - 5/19/15  
HDC Set Rev. 3 - 5/26/15  
HDC Set Rev. 4 - 6/2/15  
HDC Set Rev. 5 - 6/16/15  
HDC Set Rev. 6 - 9/22/15

H.D.C. Submission Only - NOT FOR CONSTRUCTION

**Heather's Heaven, LLC**  
A Custom Cottage for Heather Mulvihill

SHEET:  
**A.2.3**  
DATE: 9/21/15

OLD

**(E) Cottage Replacement Win's**

30710 8 Lite SDL Entry Dr. Mahogany Half Point	30710 12 Lite SDL French Dr. Bronze - Brown	30710 Screen Dr. Bronze - Brown	30710 8 Lite SDL Mudroom Dr. Bronze - Brown	3084 8 Over 6 Dbl. Hung Window SDL Bronze - Brown	3084 8 Over 6 Dbl. Hung Window SDL Bronze - Brown	3040 8 Over 6 Dbl. Hung Window SDL Bronze - Brown
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**(R) Represents Copper Beaten**

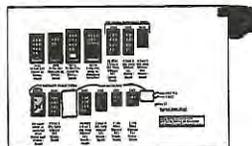
3084	3480	3420	3088	1920	2016

**Typical Window Trim**  
2x6 Head Trim  
1x6 Casing  
6x6 Sill

**Note: All Windows 1 Doors  
Are To Be Made All Round with  
Simulated Divided Lite Mullion Bars.**

Screened Porch w/ Insulated Wood Storm Sash Bronze - Brown	8 Over 6 Dbl. Hung Window SDL Bronze - Brown	6 Lite Window SDL Bronze - Brown	4 Lite Fixed Window SDL Bronze - Brown	4 Lite Fixed Window SDL Bronze - Brown	4 Lite Fixed Window SDL Bronze - Brown
--	---	--	---	---	---

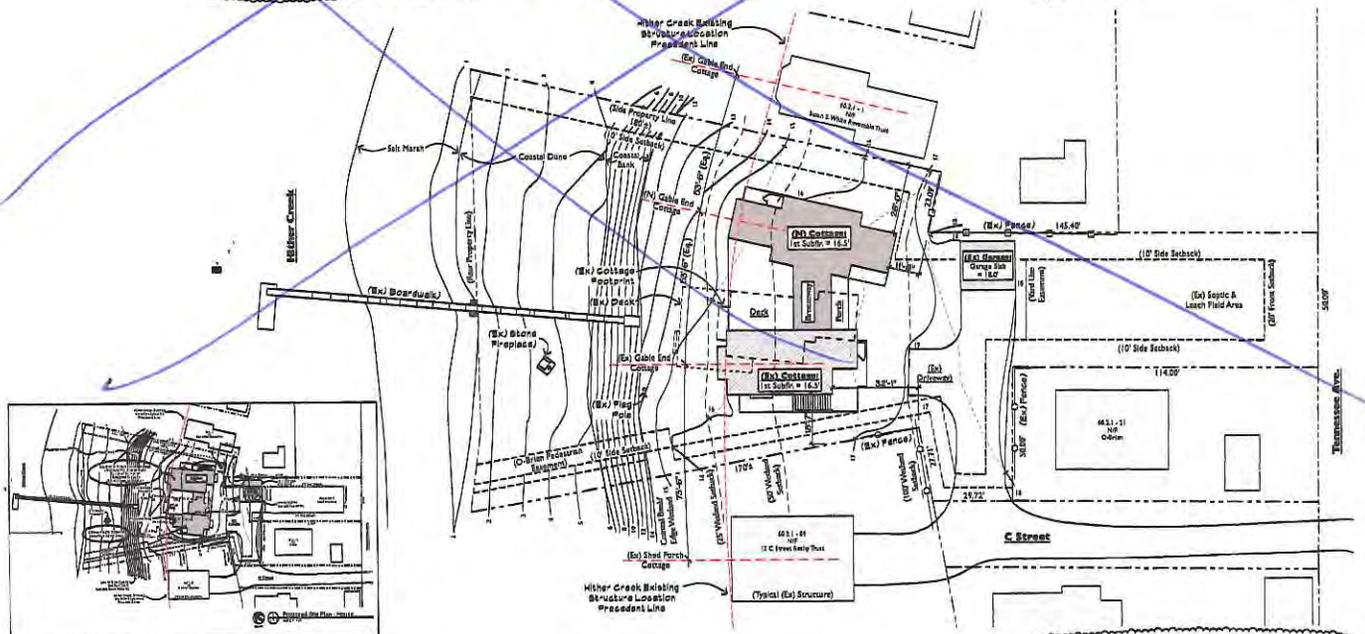
**2 House Door and Window Schedule**  
SCALE: 1/8" = 1'-0"



**4 Previous Submittal**  
SCALE: 1/8" = 1'-0"



**2 Locus Map**  
SCALE: 1/8" = 1'-0"



**1 Proposed Site Plan - House**  
SCALE: 1" = 30'

**6 Previous Submittal**  
SCALE: 1/8" = 1'-0"

**Project Directory**

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(c) Steve@eamandesign.com

**General Contractor:** Cottage & Cattle, Inc.  
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**Real Estate Advisors:** Cohen & Cohen Law PC  
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(c) Steven@cohenlaw.com

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(c) denise@deniseid.com

**Surveyor:** Blackwell & Associates, Inc.  
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(w) 508.328.9234  
(c) Art@blackwellurvey.com

**Landscaping Designer:** The Garden Design Co.  
Jillie Jarvin  
702 Ave. 313  
Newmarket, MA 02354  
(w) 508.323.4080  
(c) jjarvin@tdgarden.com

**Sheet Index**

**General:**  
G.1.1 House Site Plan, Dr/Win/Schedule, Locus Map

**Plan:**  
A.0.1 - Selective Demo Plan  
A.1.1 - Proposed House Basement Storage Plan  
A.1.2 - Proposed House First Floor Plan  
A.1.3 - Proposed House Second Floor Plan  
A.1.4 - Proposed House Roof Plan

**Elevation/Elevation:**  
A.2.1 - Proposed House Elevations 01  
A.2.2 - Proposed House Elevations 02

**Site Plan Info.**

**Owner:** Heather's Heaven LLC  
Comm. #: 23378  
LCC 2092-R, Lot 88 & 93  
LCC 2092-L, Lot 93 C  
LCC 2092-38, Lot 435  
Assessor's Map: 40.2.1 - Parcel: 74  
Com Comm Approval: MassDEP File No. 30448-21/07, Approved: 12/17/14

**Zoning:** VA-Village Height Overlay District (VHOD)  
Minimum Frontage: 100 ft  
Front Setback: 20 ft  
Side Setback: 10 ft  
Maximum Building Ht: 35' (VHOD - §131-12.6)

**Minimum Lot Size:** 30,000 sq ft  
**Lot Size:** 30,924 sq ft  
**Allowable Ground Coverage:** 3,093 sq ft (10%)  
**Existing Ground Coverage:** 1,423 sq ft (4.6%)  
**Proposed Ground Coverage:** 3,281 sq ft (10.6%)

**Notes:** Information for this Site Plan was taken from a Site Plan prepared by Blackwell & Associates, Inc. dated 11/23/14. This drawing does not constitute a registered survey. All site work including Ground Coverage & Mass Building Ht. are to be verified by Blackwell & Associates, Inc. prior to and during construction.

**Site Plan Legend**

- Shaded Area Of Proposed (N) Building Footprint
- Shaded Area Of Proposed Retained (E) Building Footprint
- Shaded Area Of (E) Building Footprints In Current Loc (Garage)
- Shaded Area Of (E) Neighbors Footprints In Current Loc.
- Setback Lines
- Property Lines
- (E) Topography
- (E) Topo To Change
- Proposed (N) Topography

H.D.C. Submission Only - NOT FOR CONSTRUCTION

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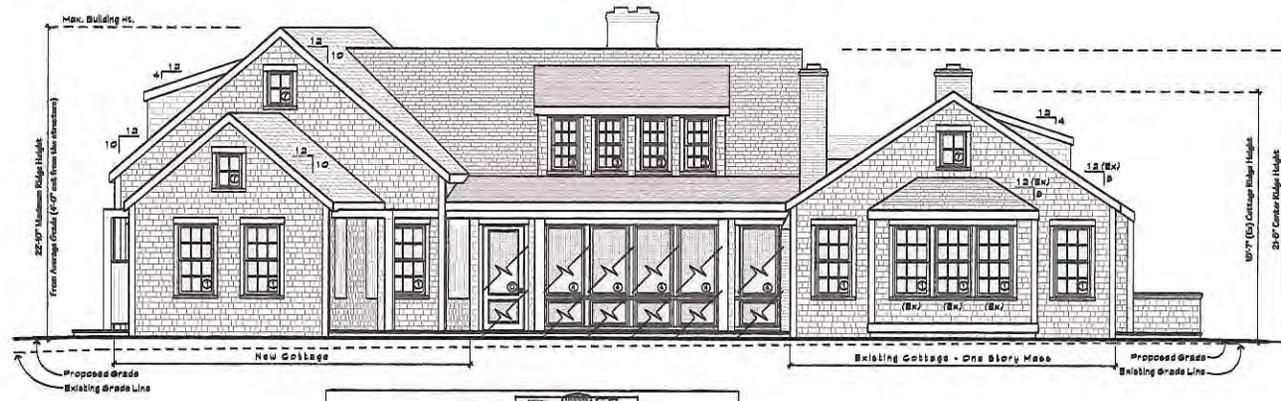
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H.D.C. Set Rev. 1 - 3/11/15  
H.D.C. Set Rev. 2 - 5/19/15  
H.D.C. Set Rev. 3 - 5/24/15  
H.D.C. Set Rev. 4 - 6/21/15  
H.D.C. Set Rev. 5 - 6/16/15  
H.D.C. Set Rev. 6 - 9/22/15

**Heather's Heaven, LLC**  
A Custom Cottage for Heather Mahhill

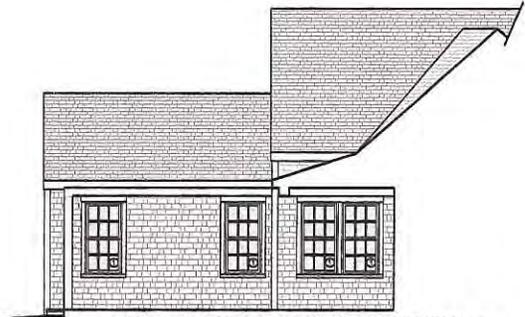
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DATE: 9/17/15



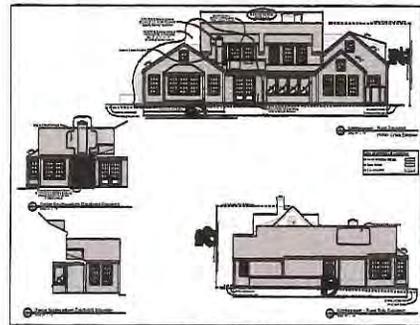




2  
A.2.2  
Northwestern - Rear Elevation  
SCALE: 1/4" = 1'-0"  
Hither Creek Elevation



4  
A.2.2  
Partial Southwestern Courtyard Elevation  
SCALE: 1/4" = 1'-0"

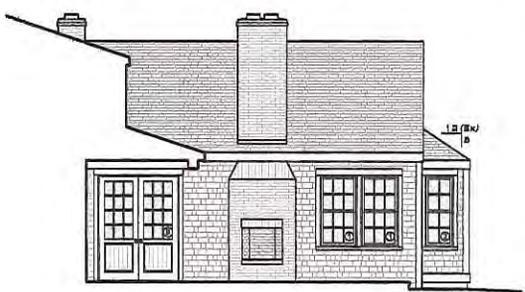


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A.2.2  
Previous Submittal  
NOT TO SCALE

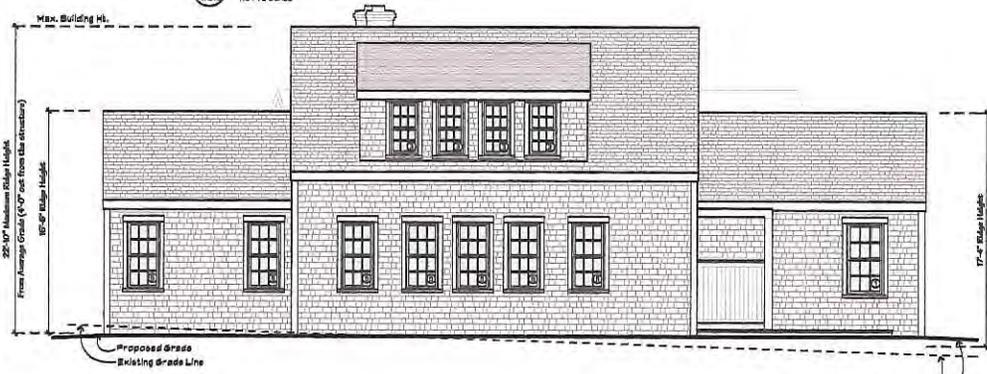
RE  
SEP 12 2015  
BY: \_\_\_\_\_

**EXT. MATERIALS LEGEND:**

(N) Roof/ Mail Cedar Shingles	
(N) Brick	
(N) 1x4 Wood T&G	



3  
A.2.2  
Partial Northeastern Courtyard Elevation  
SCALE: 1/4" = 1'-0"



1  
A.2.2  
Northeastern - Right Side Elevation  
SCALE: 1/4" = 1'-0"

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ARCHITECTURE  
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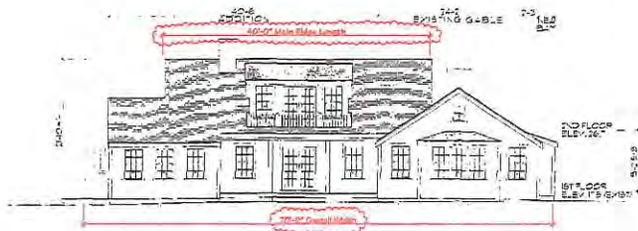
H.D.C. Set - 2/11/15  
H.D.C. Set Rev. 1 - 3/13/15  
H.D.C. Set Rev. 2 - 5/19/15  
H.D.C. Set Rev. 3 - 5/26/15  
H.D.C. Set Rev. 4 - 6/21/15  
H.D.C. Set Rev. 5 - 6/16/15  
H.D.C. Set Rev. 6 - 9/22/15

H.D.C. Submission Only - NOT FOR CONSTRUCTION

**Heather's Heaven, LLC**  
A Custom Cottage for Heather Mulvihill

SHEET:  
**A.2.2**  
DATE: 9/17/15





8 Previously Approved Northwestern Elevation (Hither Creek Elevation)

SCALE: 1/8" = 1'-0"



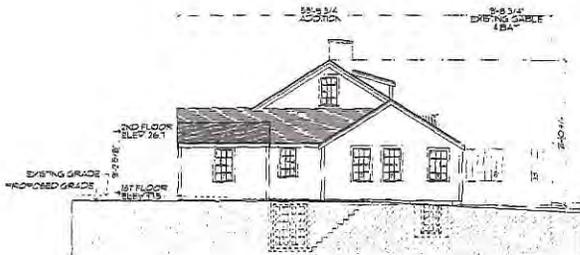
5 Previously Approved Southeastern Elevation

SCALE: 1/8" = 1'-0"



2 Previously Approved First Floor Plan (Comparison)

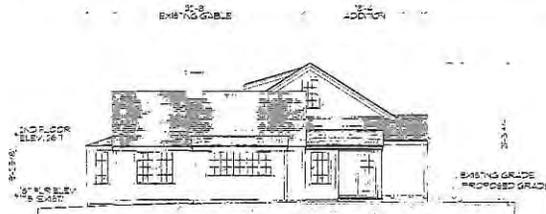
SCALE: 1/8" = 1'-0"



4 Previously Approved Northeastern Elevation (Massing & Siting Comparison)

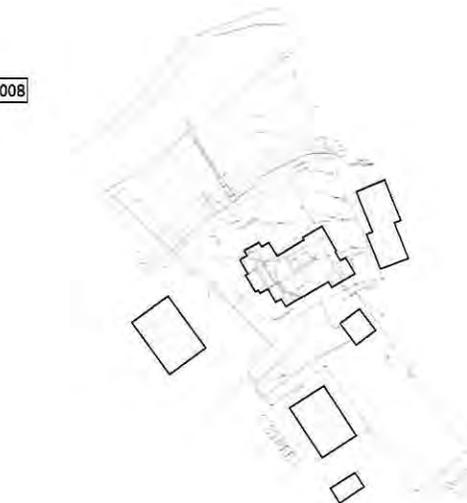
SCALE: 1/8" = 1'-0"

NOTE: Plans were previously approved in 2008



3 Previously Approved Southwestern Elevation (Massing & Siting Comparison)

SCALE: 1/8" = 1'-0"



1 Previously Approved Site Plan (Comparison)

SCALE: 1" = 40'

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H.D.C. Set Rev. 1 - 3/13/11/15  
H.D.C. Set Rev. 2 - 5/19/11/15  
H.D.C. Set Rev. 3 - 5/26/11/15  
H.D.C. Set Rev. 4 - 6/12/11/15  
H.D.C. Set Rev. 5 - 6/16/11/15

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**Heather's Heaven, LLC**  
A Custom Cottage for Heather Mulvihill

SHEET:  
**A.0.2**  
DATE: 6/16/15

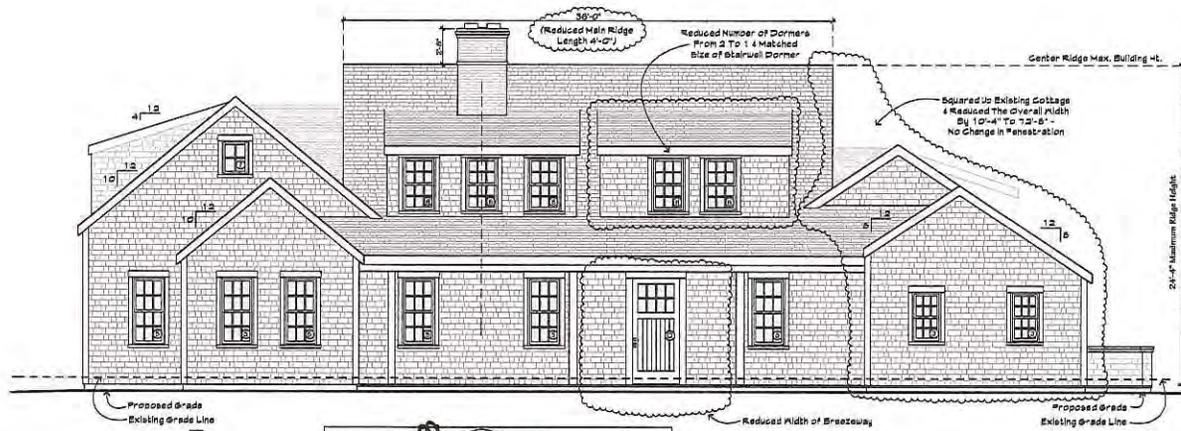
Architectural drawings created by EKM Design Studio. All rights reserved. No part of this drawing may be reproduced without the written permission of EKM Design Studio.







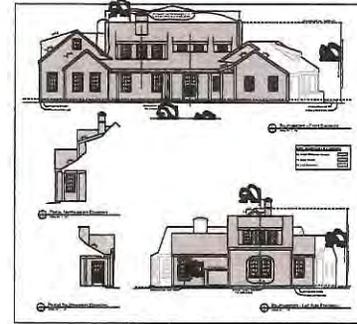




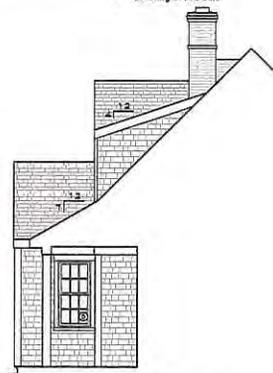
1 Southeastern - Front Elevation  
SCALE: 1/4" = 1'-0"

**EXT. MATERIALS LEGEND:**

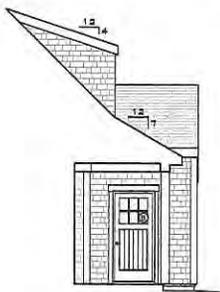
(N) Roof/ Wall Cedar Shingles	
(N) Brick Veneer	
(N) 1x4 Wood T&G	



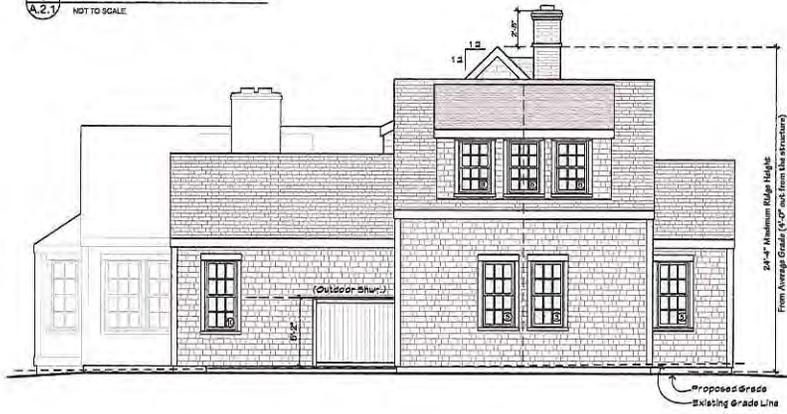
5 Previous Submittal  
NOT TO SCALE



4 Partial Northeastern Elevation  
SCALE: 1/4" = 1'-0"



3 Partial Southwestern Elevation  
SCALE: 1/4" = 1'-0"



2 Southwestern - Left Side Elevation  
SCALE: 1/4" = 1'-0"

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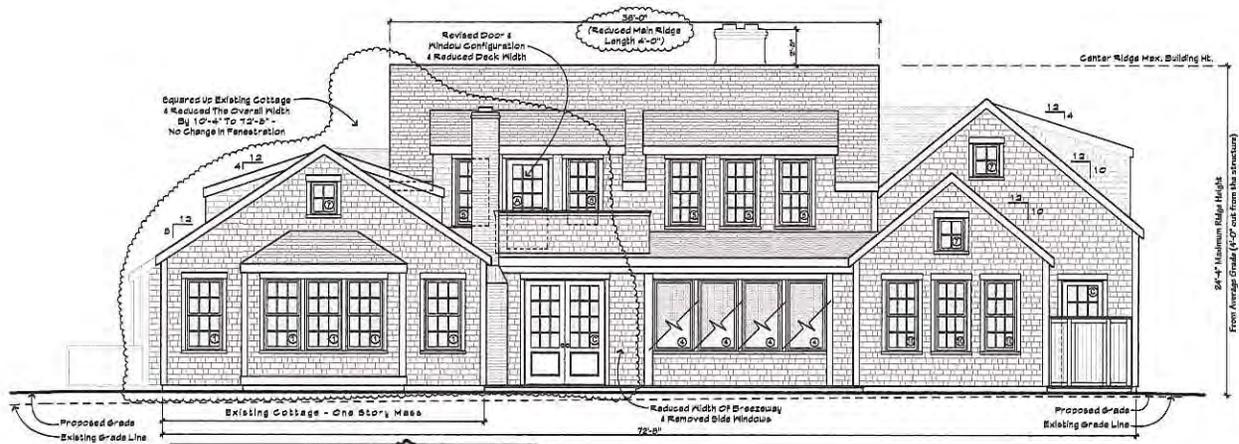
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H.D.C. Set Rev. 1 - 3/13/15  
H.D.C. Set Rev. 2 - 5/19/15  
H.D.C. Set Rev. 3 - 5/26/15  
H.D.C. Set Rev. 4 - 6/21/15  
H.D.C. Set Rev. 5 - 6/16/15

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**Heather's Heaven, LLC**  
A Custom Cottage for Heather Mulvihill

SHEET:  
**A.2.1**  
DATE: 6/16/15

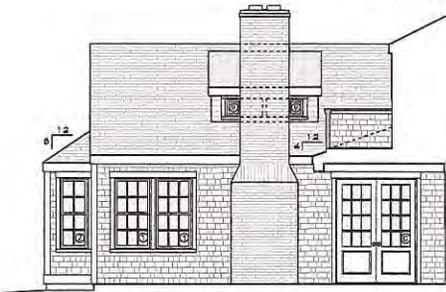
© 2015 Ekman Design Studio. All Rights Reserved. All Photos, Exterior Elevations provided by Heather Mulvihill. 6/16/15



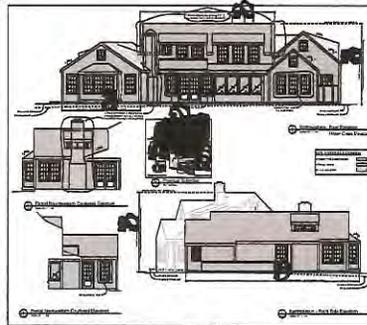
2 Northwestern - Rear Elevation  
 Hither Creek Elevation  
 SCALE: 1/4" = 1'-0"

**EXT. MATERIALS LEGEND:**

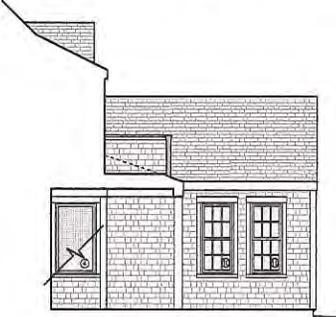
(N) Roof/ Mail Cedar Shingles	
(N) Brick Veneer	
(N) 1x4 Wood T&G	



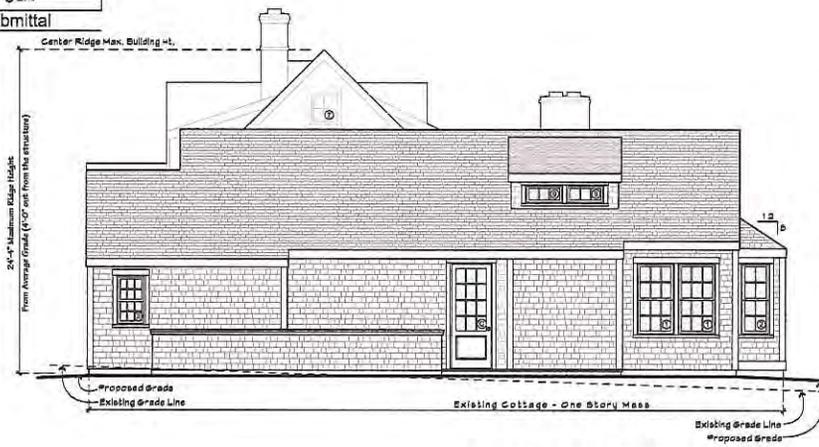
4 Partial Southwestern Courtyard Elevation  
 SCALE: 1/4" = 1'-0"



5 Previous Submittal  
 NOT TO SCALE



3 Partial Northeastern Courtyard Elevation  
 SCALE: 1/4" = 1'-0"



1 Northeastern - Right Side Elevation  
 SCALE: 1/4" = 1'-0"

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 H.D.C. Set Rev. 2 - 5/19/15  
 H.D.C. Set Rev. 3 - 5/26/15  
 H.D.C. Set Rev. 4 - 6/21/15  
 H.D.C. Set Rev. 5 - 6/16/15

H.D.C. Submission Only - NOT FOR CONSTRUCTION

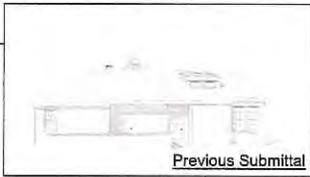
**Heather's Heaven, LLC**  
 A Custom Cottage for Heather Mulvihill

SHEET:  
**A.2.2**  
 DATE: 6/16/15

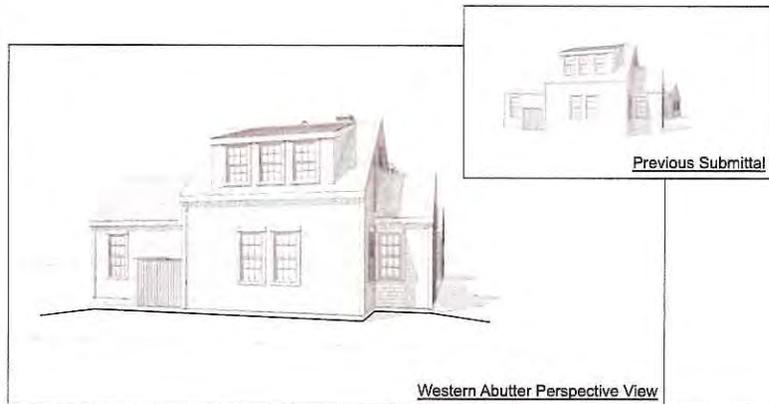
1515 North Cottage Square, Suite 200, Nantuxet, Rhode Island 02884 • Phone: (401) 885-8888 • Fax: (401) 885-8889 • Email: ekman@ekmandesignstudio.com



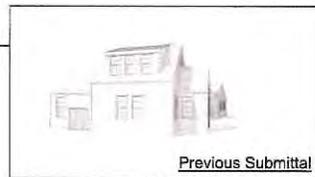
Eastern Abutter Perspective View



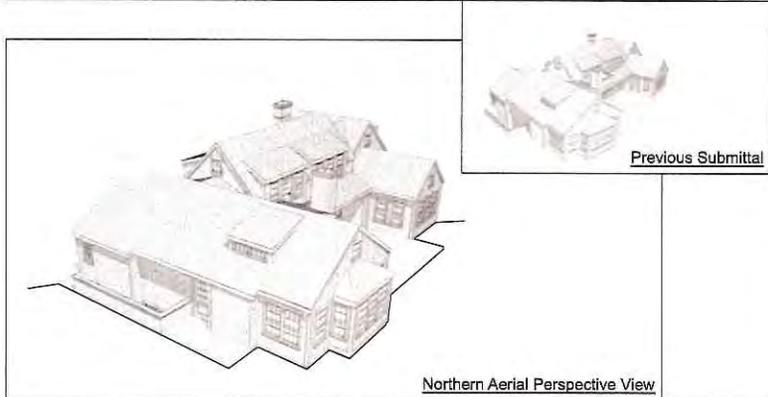
Previous Submittal



Western Abutter Perspective View



Previous Submittal



Northern Aerial Perspective View



Previous Submittal



Southern Aerial Perspective View



Previous Submittal



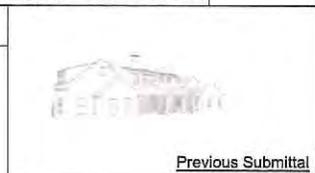
Northwest Hither Creek Perspective View



Previous Submittal



Southeast Perspective View



Previous Submittal

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 H.D.C. Set Rev. 1 - 3/31/15  
 H.D.C. Set Rev. 2 - 5/19/15  
 H.D.C. Set Rev. 3 - 5/26/15  
 H.D.C. Set Rev. 4 - 6/21/15  
 H.D.C. Set Rev. 5 - 6/16/15

H.D.C. Submission Only - NOT FOR CONSTRUCTION

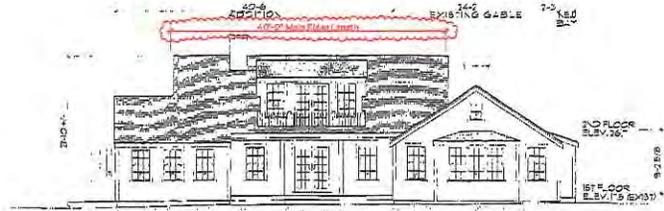
**Heather's Heaven, LLC**  
 A Custom Cottage for Heather Mulvihill

SHEET:  
**A.9.1**  
 DATE: 6/16/15

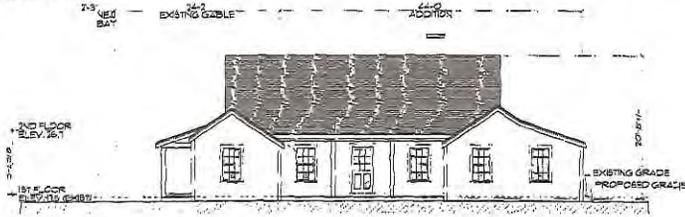
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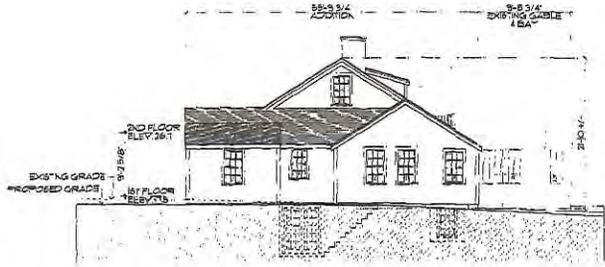




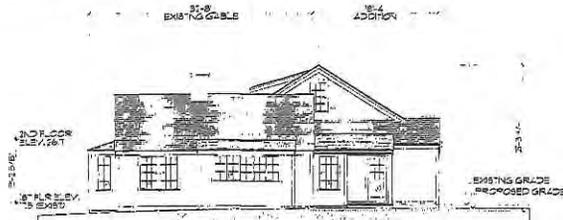
6 Previously Approved Northwestern Elevation (Hither Creek Elevation)  
 SCALE: 1/8" = 1'-0"  
 A.O.2



5 Previously Approved Southeastern Elevation  
 SCALE: 1/8" = 1'-0"  
 A.O.2



4 Previously Approved Northeastern Elevation (Massing & Siting Comparison)  
 SCALE: 1/8" = 1'-0"  
 A.O.2

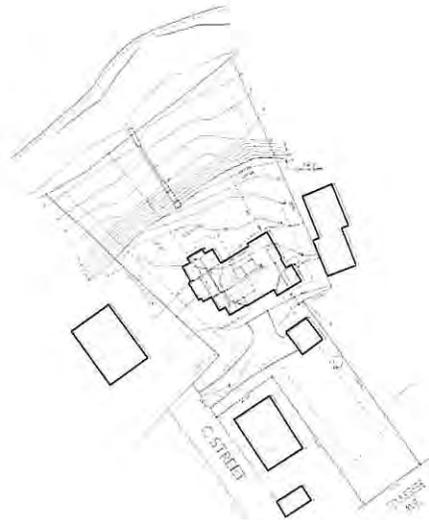


3 Previously Approved Southwestern Elevation (Massing & Siting Comparison)  
 SCALE: 1/8" = 1'-0"  
 A.O.2



2 Previously Approved First Floor Plan (Comparison)  
 SCALE: 1/8" = 1'-0"  
 North

NOTE: Plans were previously approved in 2008



1 Previously Approved Site Plan (Comparison)  
 SCALE: 1" = 40'  
 North

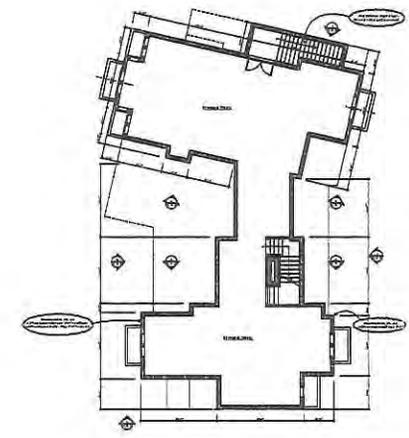
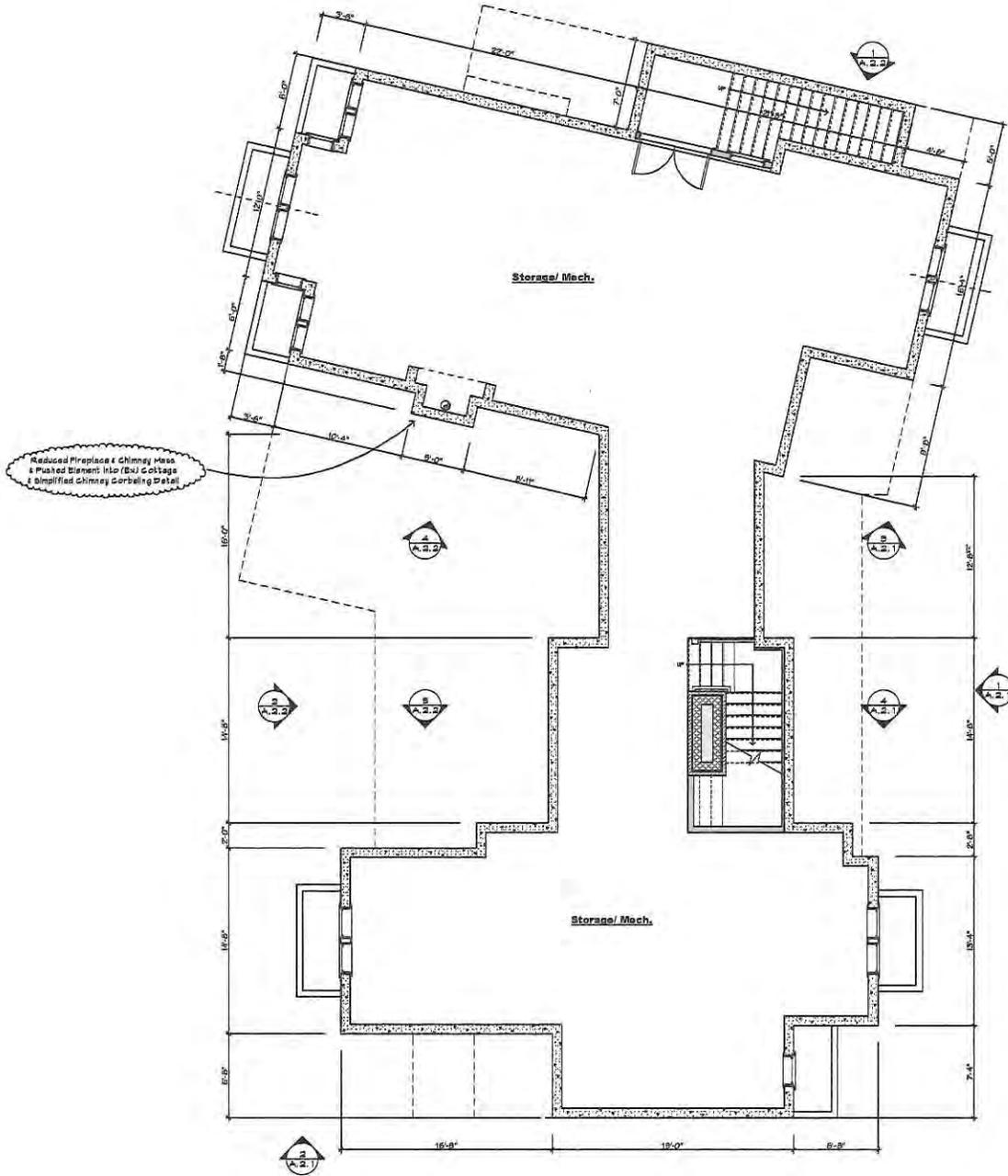
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H.D.C. Set - 2/11/15  
 H.D.C. Set Rev. 1 - 3/31/15  
 H.D.C. Set Rev. 2 - 5/19/15  
 H.D.C. Set Rev. 3 - 5/26/15  
 H.D.C. Set Rev. 4 - 6/21/15

H.D.C. Submission Only - NOT FOR CONSTRUCTION

**Heather's Heaven, LLC**  
 A Custom Cottage for Heather Muhrhill

SHEET:  
**A.O.2**  
 DATE: 6/4/15



2  
A.1.1 Previous Submittal  
NOT TO SCALE

**CONSTRUCTION LEGEND:**

(N) Conc. Fdn. Wall	
(N) CMU Pds. Wall	
(EK) Wood Frame Wall	
(N) Wood Frame Wall	
(N) CMU w/ Brick Veneer	
(N) Roof/ Cedar Shingles	

1  
A.1.1 Proposed Basement Plan  
SCALE 1/4" = 1'-0"

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H.D.C. Set 2/11/15  
H.D.C. Set Rev. 1 - 3/11/15  
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H.D.C. Set Rev. 3 - 5/26/15  
H.D.C. Set Rev. 4 - 6/2/15

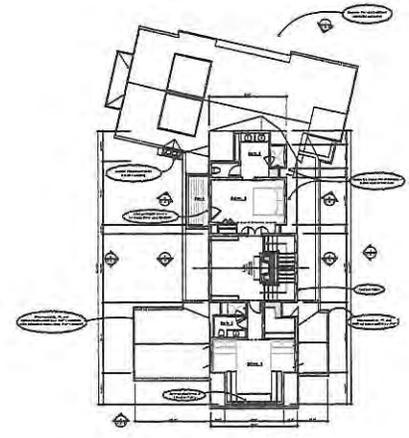
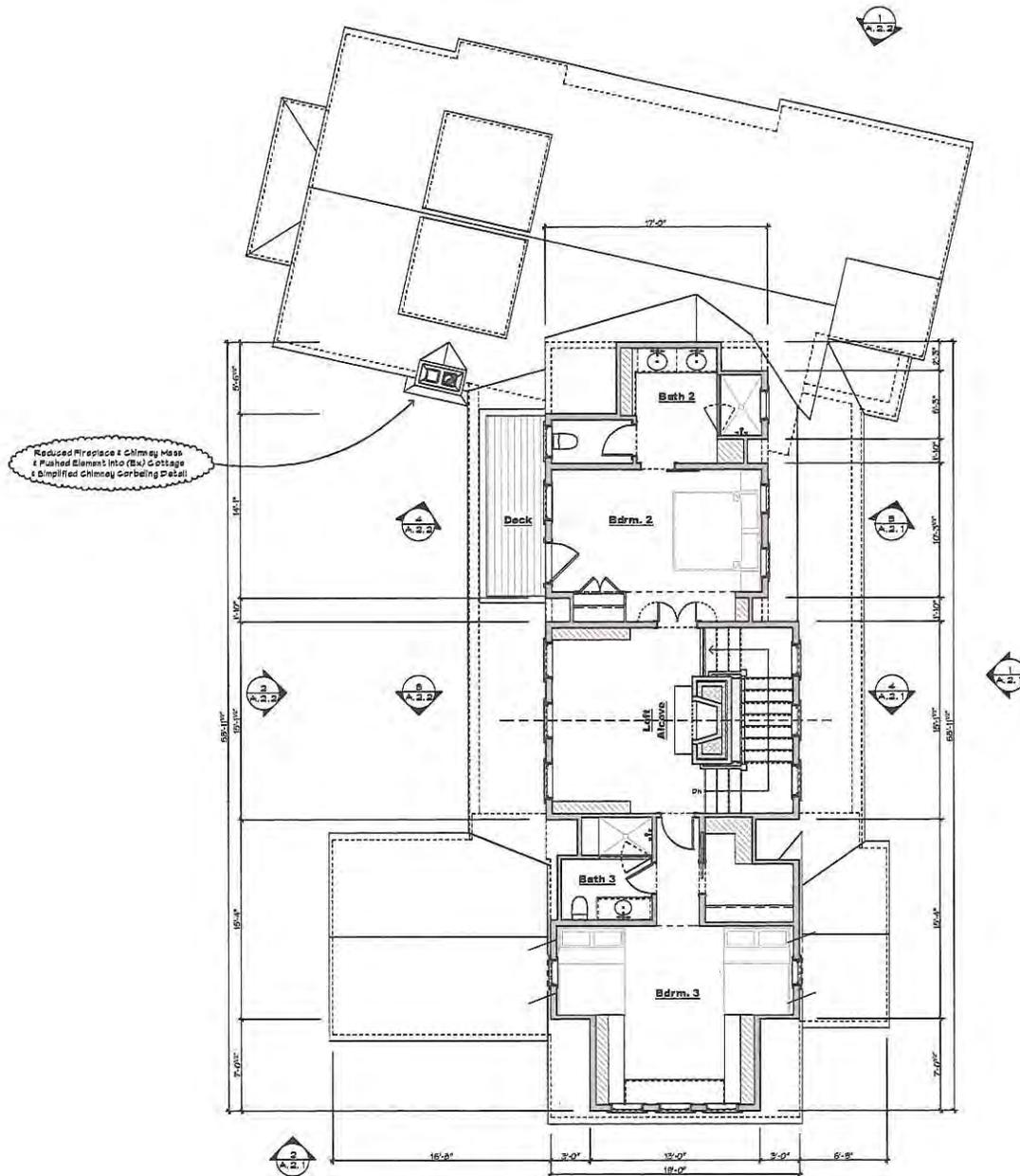
H.D.C. Submission Only - NOT FOR CONSTRUCTION

**Heather's Heaven, LLC**  
A Custom Cottage for Heather Playbill

SHEET:  
**A.1.1**  
DATE: 6/4/15

Architect: Ekman Design Studio, 2020 University Avenue, Suite 100, Berkeley, CA 94704. Phone: 415.863.1111. Fax: 415.863.1112. Email: info@ekmanstudio.com





2 Previous Submittal  
A.1.3 NOT TO SCALE

**CONSTRUCTION LEGEND:**

(N) Conc. Fdr. Wall	
(N) CMU Fdn. Wall	
(E) Wood Frame Wall	
(N) Wood Frame Wall	
(N) CMU w/ Brick Veneer	
(N) Roof/ Cedar Sillings	

1 Proposed Second Floor Plan  
A.1.3 SCALE 1/4" = 1'-0"

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H.D.C. Set - 2/11/15  
H.D.C. Set Rev. 1 - 3/11/15  
H.D.C. Set Rev. 2 - 5/11/15  
H.D.C. Set Rev. 3 - 5/26/15  
H.D.C. Set Rev. 4 - 6/2/15

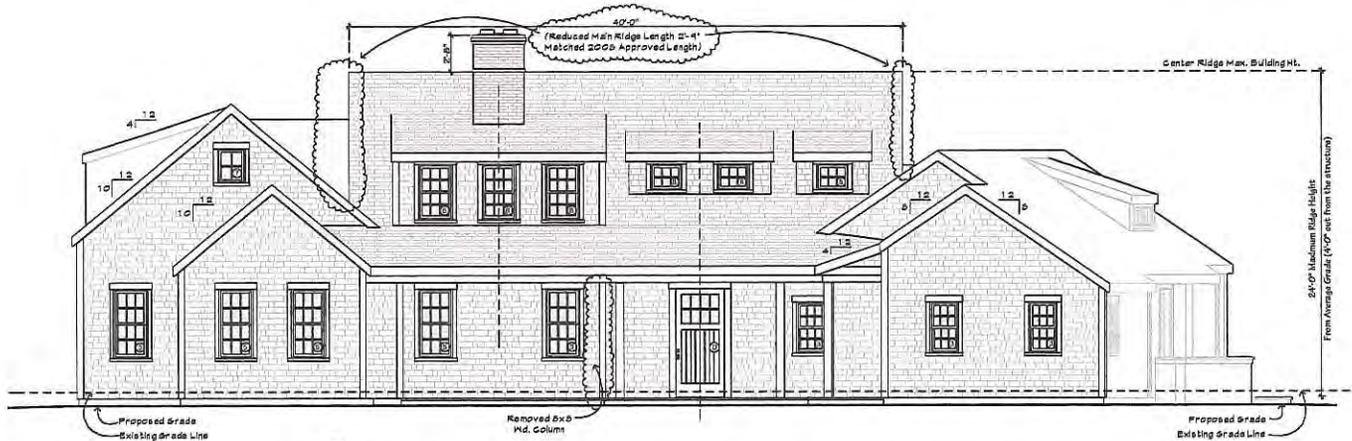
H.D.C. Submission Only - NOT FOR CONSTRUCTION

**Heather's Heaven, LLC**  
A Custom Cottage for Heather Mulvihill

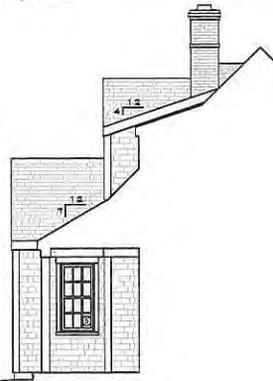
SHEET:  
**A.1.3**  
DATE: 6/4/15

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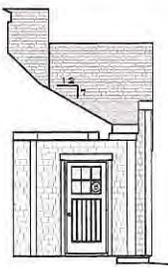




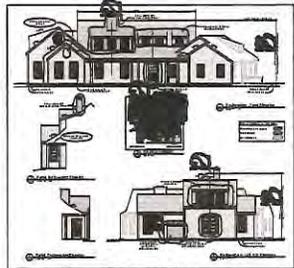
1 Southeastern - Front Elevation  
SCALE: 1/4" = 1'-0"



4 Partial Northeastern Elevation  
SCALE: 1/4" = 1'-0"



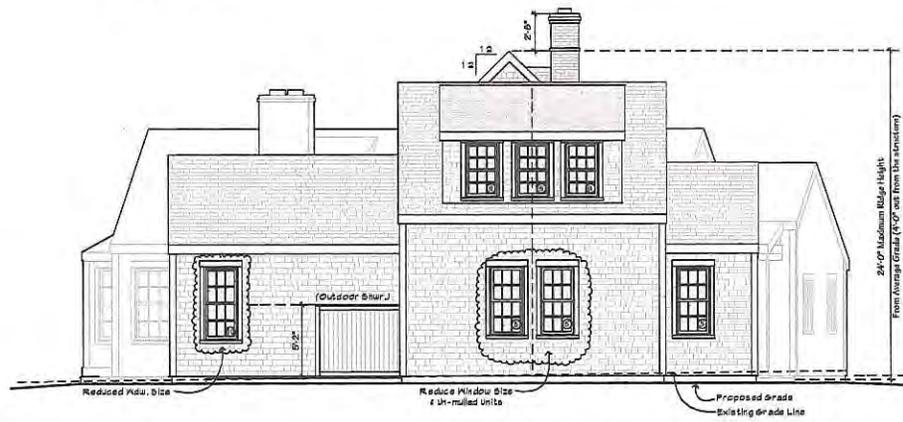
3 Partial Southwestern Elevation  
SCALE: 1/4" = 1'-0"



5 Previous Submittal  
NOT TO SCALE

**EXT. MATERIALS LEGEND:**

(N) Roof / Wal Cedar Shingles	
(N) Brick Veneer	
(N) 1x4 Wood T&B	



2 Southwestern - Left Side Elevation  
SCALE: 1/4" = 1'-0"

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H.D.C. Set Rev. 1 - 3/11/15  
H.D.C. Set Rev. 2 - 5/11/15  
H.D.C. Set Rev. 3 - 5/26/15  
H.D.C. Set Rev. 4 - 6/21/15

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**Heather's Heaven, LLC**  
A Custom Cottage for Heather Muirhill

SHEET:  
**A.2.1**  
DATE: 6/4/15

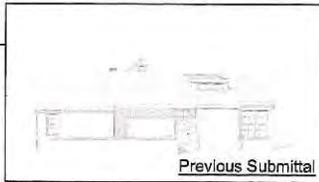
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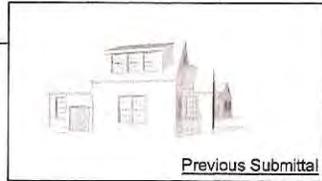
Eastern Abutter Perspective View



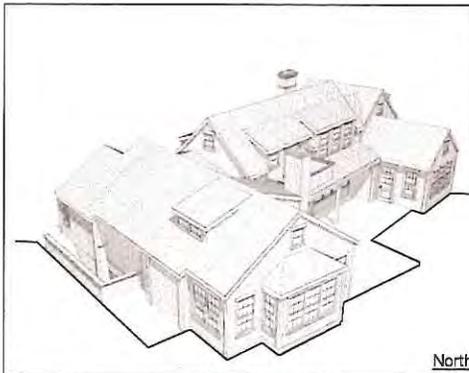
Previous Submittal



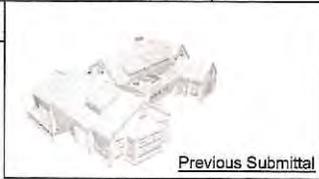
Western Abutter Perspective View



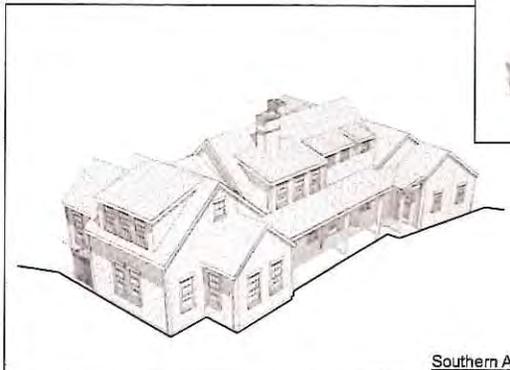
Previous Submittal



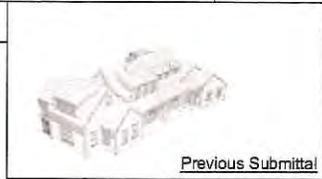
Northern Aerial Perspective View



Previous Submittal



Southern Aerial Perspective View



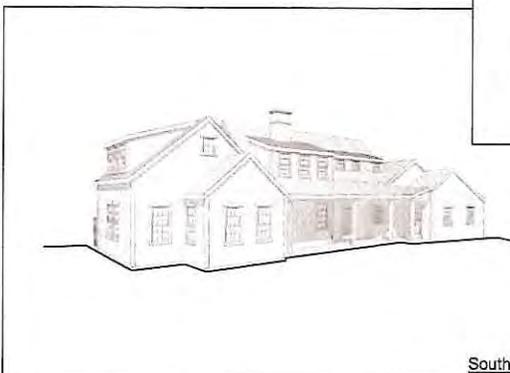
Previous Submittal



Western Hither Creek Perspective View



Previous Submittal



Southeast Perspective View



Previous Submittal

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H.D.C. Set Rev. 2 - 5/19/15  
H.D.C. Set Rev. 3 - 5/26/15  
H.D.C. Set Rev. 4 - 6/21/15

H.D.C. Submission Only - NOT FOR CONSTRUCTION

**Heather's Heaven, LLC**  
A Custom Cottage for Heather Mulvihill

SHEET:  
**A.9.1**  
DATE: 6/4/15

# New Proposed Panoramic View & Existing Photos

Existing Cottage & Abutter Photos



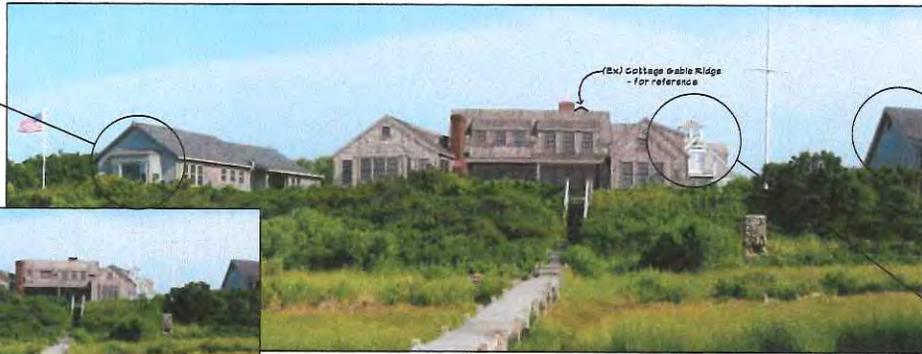
Proposed Hither Creek Panorama



Previous Submittal - Proposed Hither Creek Panorama



Eastern Abutter - 14 D Street



Proposed Hither Creek Abutter Panorama



Western Abutter - 12 C Street



Previous Submittal - Proposed Hither Creek Abutter Panorama



(Ex.) Southeastern Cottage View



(Ex.) Northeastern Cottage View



(Ex.) Northwestern Cottage View



(Ex.) Southwestern Cottage View



Southern Abutter 6 Tennessee

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**A R C H I T E C T U R E**  
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H.D.C. Sec. - 2/11/15  
 H.D.C. Sec Rev. 1 - 3/01/15  
 H.D.C. Sec Rev. 2 - 5/19/15  
 H.D.C. Sec Rev. 3 - 5/26/15  
 H.D.C. Sec Rev. 4 - 6/21/15

H.D.C. Submission Only - NOT FOR CONSTRUCTION

**Heather's Heaven, LLC**  
 A Custom Cottage for Heather Mulvihill

SHEET:  
**A.9.3**  
 DATE: 6/4/15



# Madaket Property Comparison Study



**A** 14 Baltimore Street  
 1 3/4 Story House: Approx. 28' Overall Ht.  
 2 Story Garage/Boathouse: Approx. 25' Overall Ht.



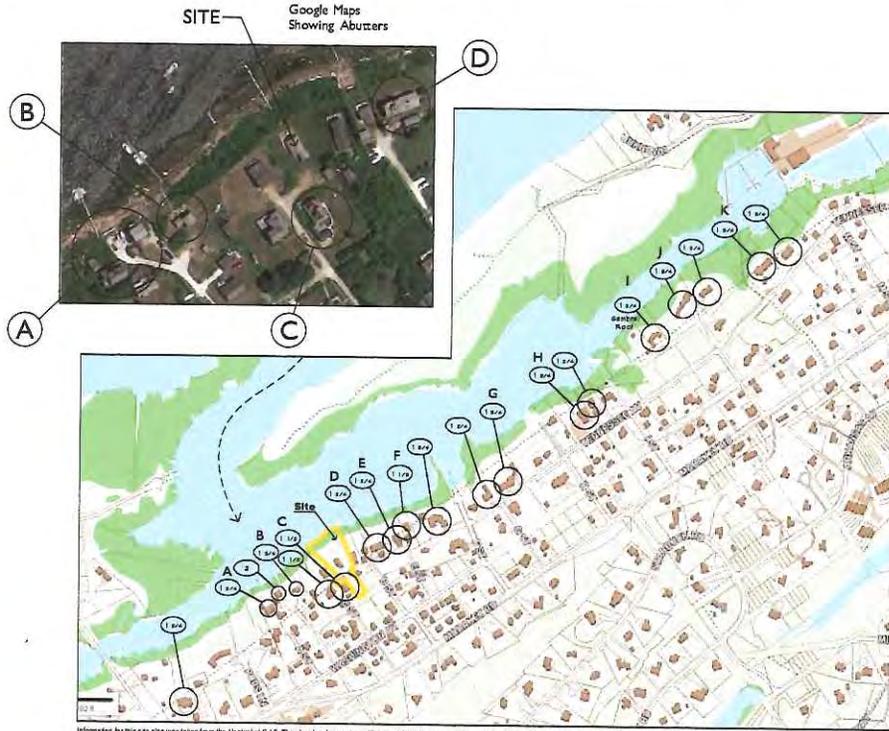
**B** 19 Baltimore Street  
 1 3/4 Story House: Approx. 23'-9" Overall Ht.



**C** 6 Tennessee Avenue  
 1 1/2 Story House: Approx. 27' Overall Ht.  
 Life Saving Style



**D** 11 E Street  
 1 3/4 Story House: Approx. 25' Overall Ht.  
 1920 Period Home



**E** 8 E Street  
 1 3/4 Story House: Approx. 26' Overall Ht.



**F** 9 E Street Approved October 2013  
 1 1/2 Story House: 26'-3" Overall Height



**G** 14 Tennessee Avenue Rear Elev.  
 1 3/4 Story House: 25'-0" Overall Height  
 80'-9" Overall Length



**K** 44 Tennessee Avenue  
 1 3/4 Story House: 26'-0" Overall Height  
 92'-6" Overall Length



**J** 12 Oakland Street  
 1 3/4 Story House: 25'-0" Overall Height  
 142'-0" Overall Length



**I** 36 Tennessee Avenue  
 1 3/4 Story House: 26'-0" Overall Height  
 (Gambrel Roof) 60'-0" Overall Length



**H** 24 Tennessee Avenue  
 1 3/4 Story House: 24'-0" Overall Height  
 49'-4" Overall Length

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 H.D.C. Set Rev. 2 - 5/1/15  
 H.D.C. Set Rev. 3 - 5/26/15  
 H.D.C. Set Rev. 4 - 6/21/15

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**Heather's Heaven, LLC**  
 A Custom Cottage for Heather Mulvihill

SHEET:  
**A.9.5**  
 DATE: 6/4/15

**(B) Cottage Replacement Wdw's**

3068	3070	30710	30716	E0888	4 Over 4	6 Over 6
12 Lite SDL	6 Lite SDL	12 Lite SDL	16 Lite SDL	4 Over 4	6 Over 6	6 Over 6
French Dr.	Mudroom Dr.	French Dr.	Entry Dr.	Dbl. Hung	Dbl. Hung	Dbl. Hung
Bronze - Brown	Bronze - Brown	Bronze - Brown	Bronze - Brown	Window SDL	Window SDL	Window SDL

2038	2090	2030	2038	2090	2030
4 Over 4	6 Over 6				
Dbl. Hung					
Window SDL					

**Will Represent Copper Screen**

2328	2080	2490	2028	2028	2016
2x6 Head Trim	1x4 Casing	6x8 Sill	2x6 Head Trim	1x4 Casing	6x8 Sill

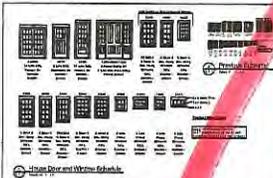
  

**Typical Wdw. Trim:**

1	2	3	4	5	6
3 Lite					
Fixed	Fixed	Fixed	Fixed	Fixed	Fixed
Window SDL					

**Note: All Windows & Doors Are To Be Marvin. All Wood will Simulated Divides Like within Plans.**

**3 House Door and Window Schedule**  
SCALE: 1/4" = 1'-0"



Hilber Creek Existing Structure Location Precedent Line

**2 Locus Map**  
SCALE: NOT TO SCALE

**Project Directory**

**Architect:** Edman Design Studio  
Stephen P. Edman, AIA  
550 East 8th Avenue  
Dover, CO 80203  
(w) 303.730.2577  
(e) Steve@edmandesign.com

**General Contractor:** Cottage & Carole, Inc.  
Janie Peery  
37 Old South Road, Unit #6  
Nantuxet, MA 02554  
(w) 508.825.8825  
(e) Janie@cottageandcarole.com

**Real Estate Advisor:** Cohen & Cohen Law PC  
Steven L. Cohen  
34 Main Street, 2nd Floor  
Nantuxet, MA 02554  
(w) 508.228.0377  
(e) Steven@cohenlaw.com

**Interior Designer:** Donna Elle Interior Design  
Donna Elle  
9 Nobska Way  
Nantuxet, MA 02554  
(w) 508.228.4561  
(e) donna@donnaelle.com

**Screening:** Blackwell & Associates, Inc.  
Arthur Gestara  
20 Teasdale Circle  
Nantuxet, MA 02554  
(w) 508.228.9026  
(e) Art@blackwell-screen.com

**Landscape Designer:** The Garden Design Co.  
Julie Jordan  
PO Box 3113  
Nantuxet, MA 02584  
(w) 508.235.4080  
(e) julie@thegarden.com

**Sheet Index**

**General:**

- G.1.1 House Site Plan, Dr./Wdw. Schedule, Locus Map

**Plan:**

- A.0.1 - Existing Cottage As-Built Plans
- A.0.2 - Proposed As-Proposed 2008 Plans
- A.1.1 - Proposed House Basement Storage Plan
- A.1.2 - Proposed House First Floor Plan
- A.1.3 - Proposed House Second Floor Plan
- A.1.4 - Proposed House Roof Plan

**Elevation:**

- A.2.1 - Proposed House Elevation 01
- A.2.2 - Proposed House Elevation 02

**3D Representation:**

- A.3.1 - Proposed House 3D Sketch Views
- A.3.2 - Previous Applicant Building Footprints Photos
- A.3.4 - Mid-Rise House Detail Precedent Photos
- A.3.5 - Habitat House Comparison Sheet

**Site Plan Info.**

Owner: Heather's Heaven LLC  
Care # 25398  
LCC 2092-A, Loc 88 & 93  
LCC 3093-B, Loc 92 C  
LCC 2092-39, Loc 451  
Assessor Map: 09.2.1 - Parcel: 76  
Com. Conn. Approval: Mass DEP File No. 5848-2187, Approved 12/17/14.

Zoning: V4/Village Height Overlay District (VHOD)  
Minimum Frontage: 100 ft  
Front Setback: 20 ft  
Side Setback: 10 ft  
Maximum Building Ht.: 35' (VHOD - 113'-12.6")

Minimum Lot Size: 20,000 sq ft  
Lot Size: 30,574 sq ft  
Allowable Ground Coverage: 3.0% of (10%)  
Setback Ground Coverage: 4.2% of (4.4%)  
Proposed Ground Coverage: 3.0% of (3.0%)

**Note:** Information for this Site Plan was taken from a Site Plan prepared by Blackwell & Associates, Inc. dated 11/25/14. This drawing does not constitute a registered survey. All site work including Ground Coverage & Max. Building Ht. are to be verified by Blackwell & Associates, Inc. prior to and during construction.

**Site Plan Legend**

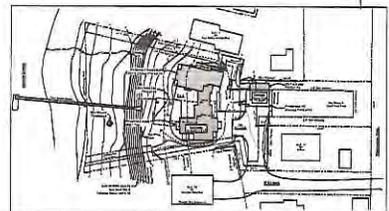
- Shaded Area Of Proposed (N) Building Footprint
- Shaded Area Of Proposed Restored (Ex) Building Footprint
- Shaded Area Of (Ex) Building Footprint in Current Loc.
- Shaded Area Of (Ex) Neighbors Footprint in Current Loc.
- Setback Lines
- Property Lines
- (Ex) Topography
- (Ex) Topos To Change
- Proposed (N) Topography

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A Custom Cottage for Heather Mulvihill

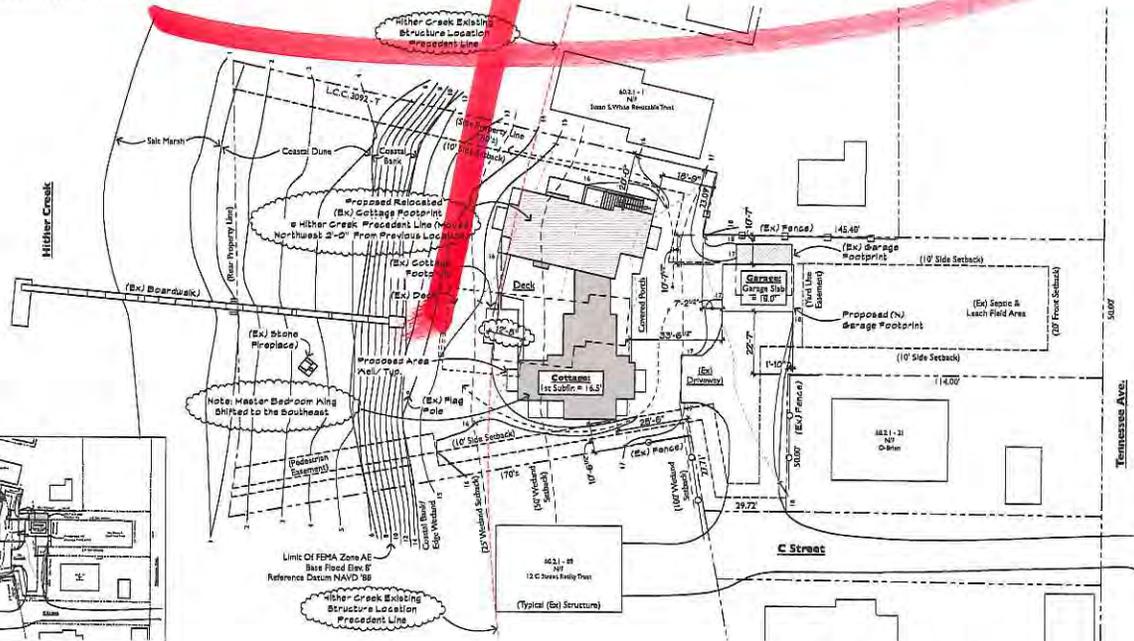
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DATE: 5/26/15

BY: \_\_\_\_\_  
**RECEIVED**  
MAY 26 2015

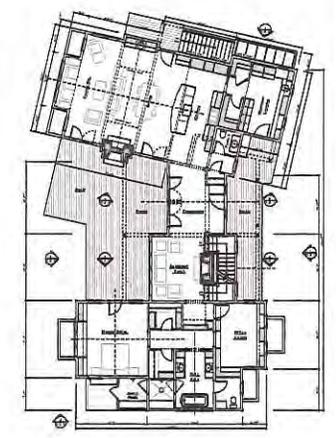
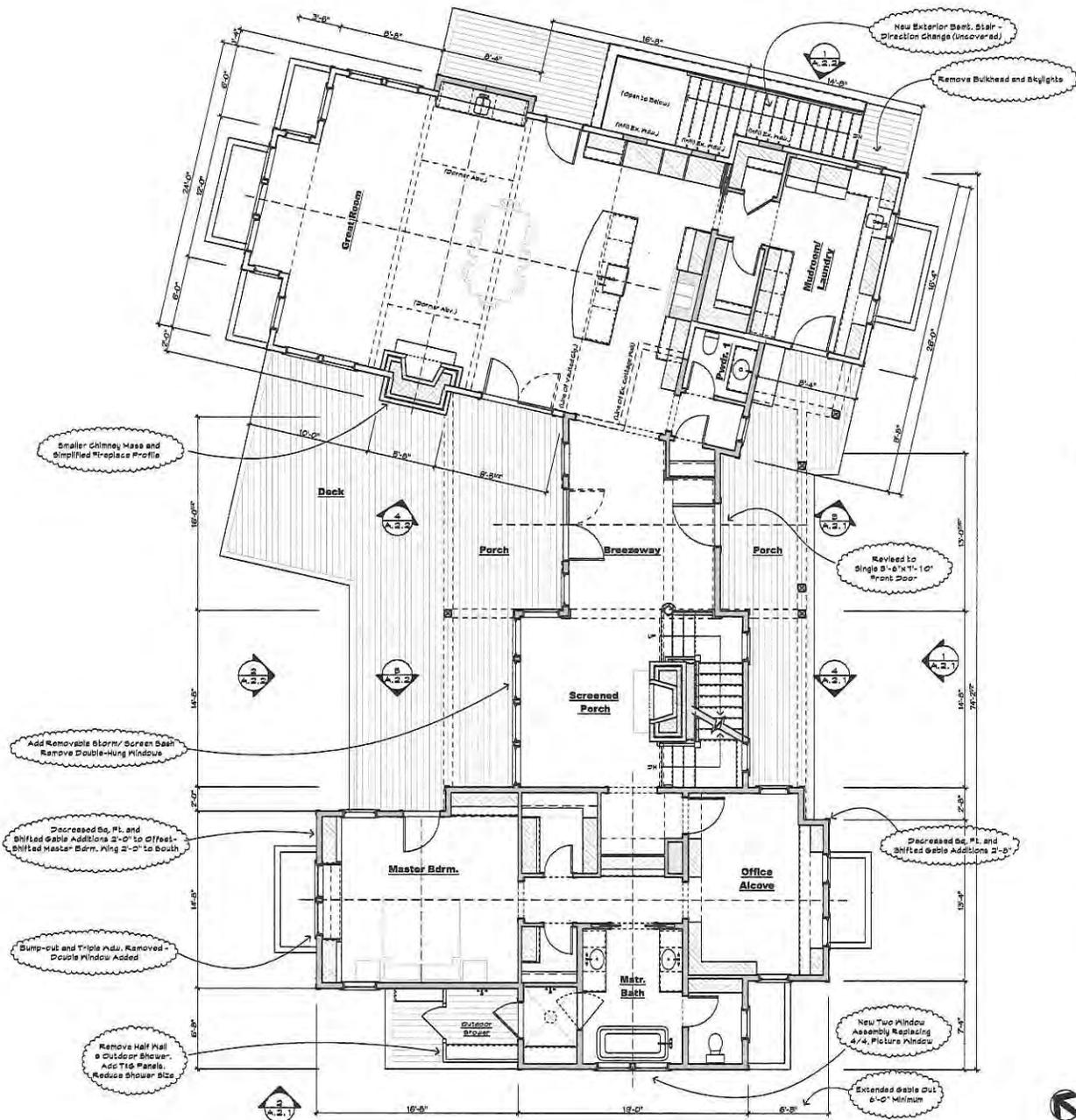


**5 Previous Submittal**  
SCALE: NOT TO SCALE

**1 Proposed Site Plan - House**  
SCALE: 1" = 20'







2  
A.1.2 Previous Submittal  
NOT TO SCALE

**CONSTRUCTION LEGEND:**

- (N) Conc. Wdn. Hall
- (N) CMU Wdn. Hall
- (BK) Wood Frame Hall
- (N) Wood Frame Hall
- (N) CMU w/ Brick Veneer
- (N) Roof Cedar Shingle



1  
A.1.2 Proposed First Floor Plan  
SCALE: 1/4" = 1'-0"

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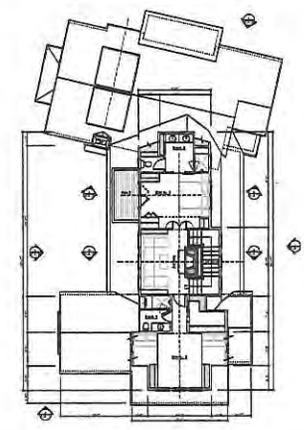
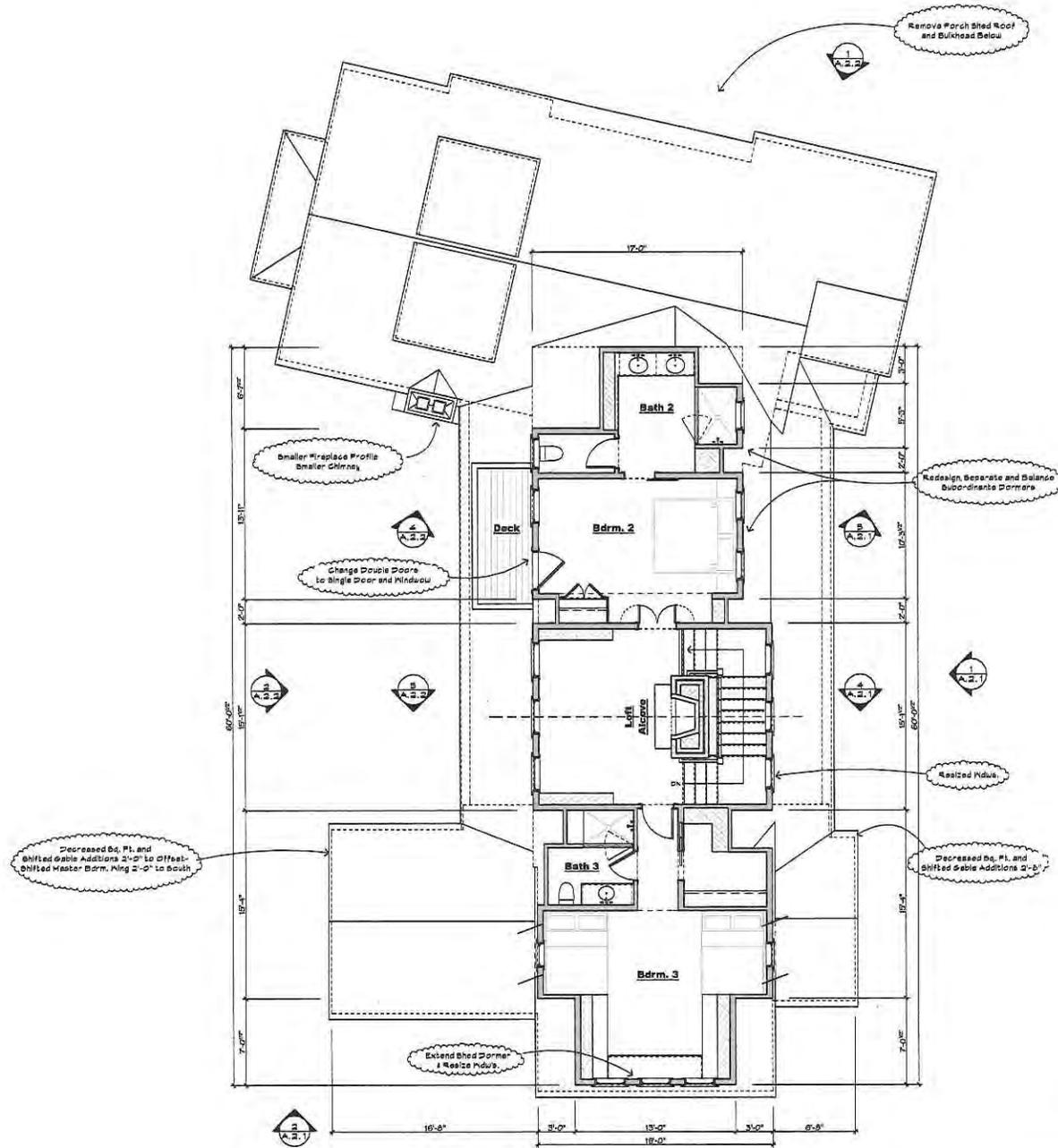
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SHEET  
**A.1.2**  
DATE: 5/26/15

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2 Previous Submittal  
A.1.3 NOT TO SCALE

**CONSTRUCTION LEGEND:**

(N) Cons. #gh. Wall	[Symbol]
(N) CMU Pdn. Wall	[Symbol]
(EK) Wood Frame Wall	[Symbol]
(N) Wood Frame Wall	[Symbol]
(N) CMU w/ Brick Veneer	[Symbol]
(N) Roof/ Cedar Shingle	[Symbol]

1 Proposed Second Floor Plan  
A.1.3 SCALE: 1/4" = 1'-0"

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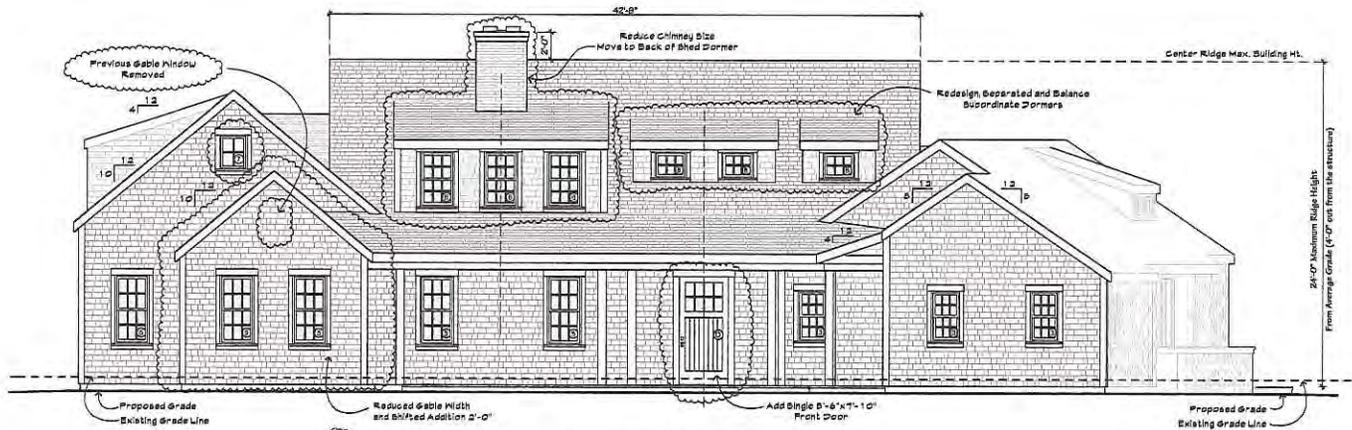
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H.D.C. Set Rev. 3 - 5/26/15

H.D.C. Submission Only - NOT FOR CONSTRUCTION

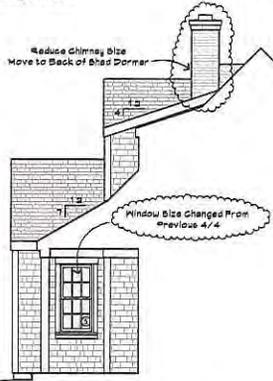
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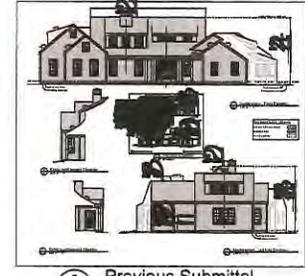
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1 Southeastern - Front Elevation  
SCALE: 1/4" = 1'-0"



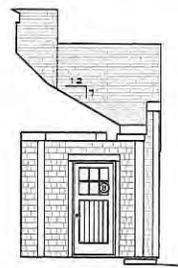
4 Partial Northeastern Elevation  
SCALE: 1/4" = 1'-0"



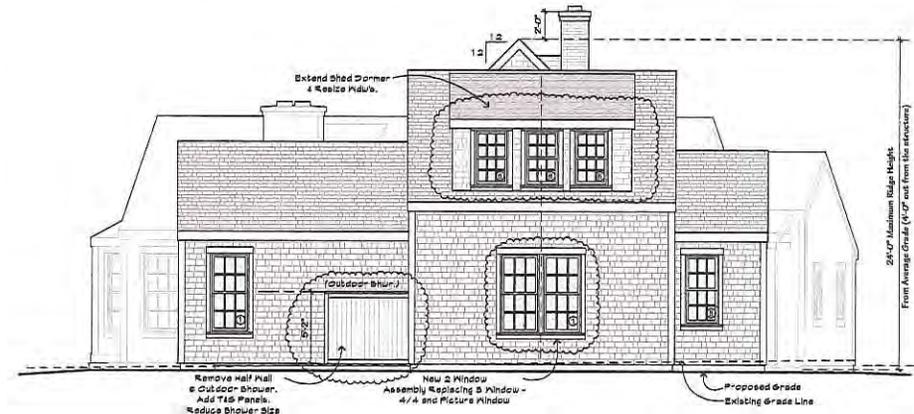
5 Previous Submittal  
NOT TO SCALE

**EXT. MATERIALS LEGEND:**

(N) Roof/Wall Cedar Shingles	
(N) Brick Veneer	
(N) 1x4 Wood T&G	



3 Partial Southwestern Elevation  
SCALE: 1/4" = 1'-0"



2 Southwestern - Left Side Elevation  
SCALE: 1/4" = 1'-0"

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H.D.C. Set Rev. 3 - 5/26/15

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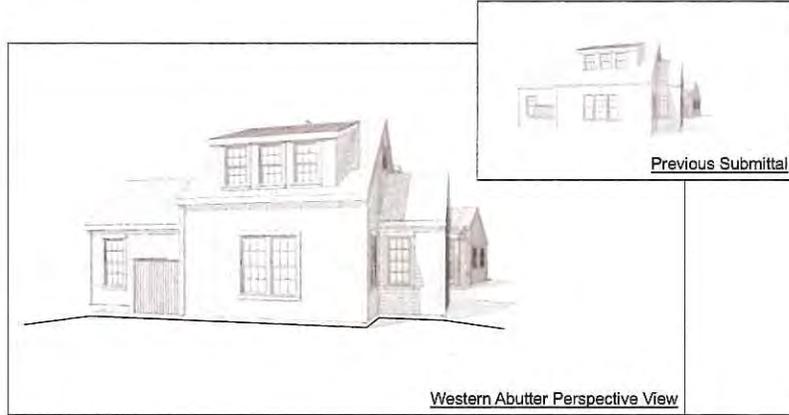
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DATE: 5/26/15

Architect: Ekman Design Studio, 2001 Franklin Street, Suite 100, Raleigh, NC 27601. Phone: 919.833.1111. Website: ekmandesignstudio.com. Project: Heather's Heaven, LLC. Drawing: A.2.1. Date: 5/26/15.

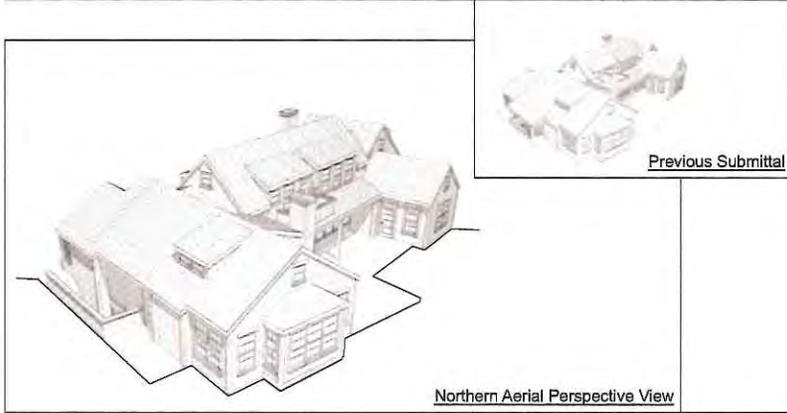




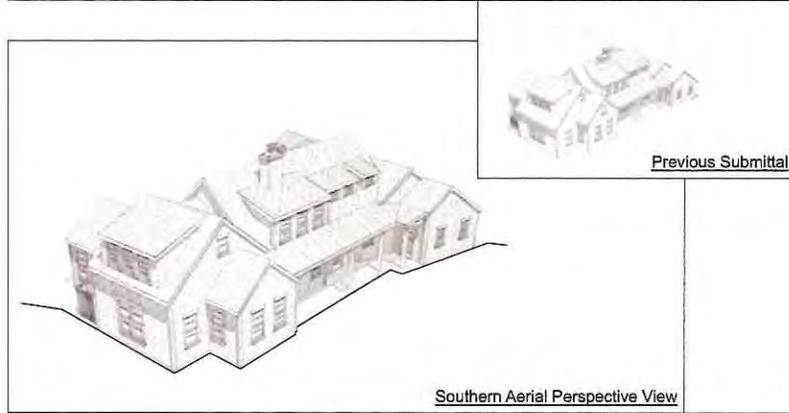
Eastern Abutter Perspective View



Western Abutter Perspective View



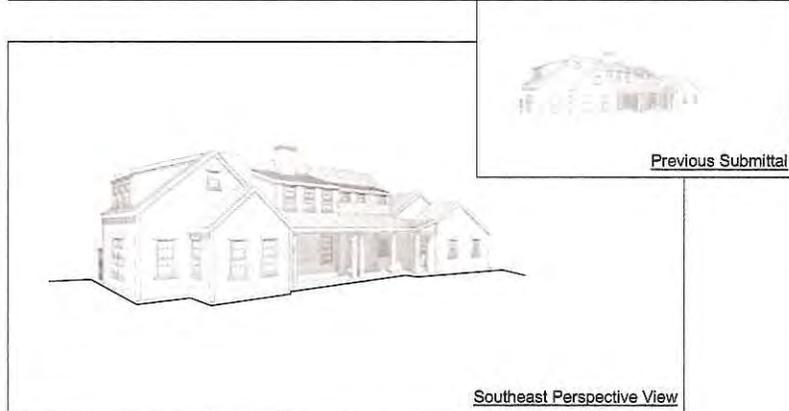
Northern Aerial Perspective View



Southern Aerial Perspective View



Western Hither Creek Perspective View



Southeast Perspective View

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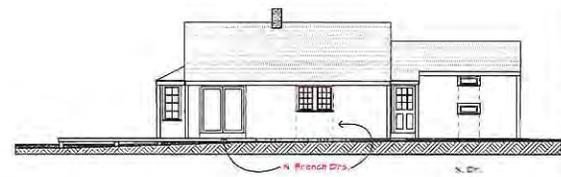
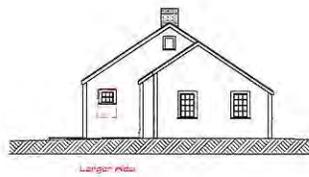
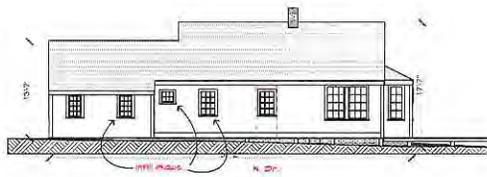
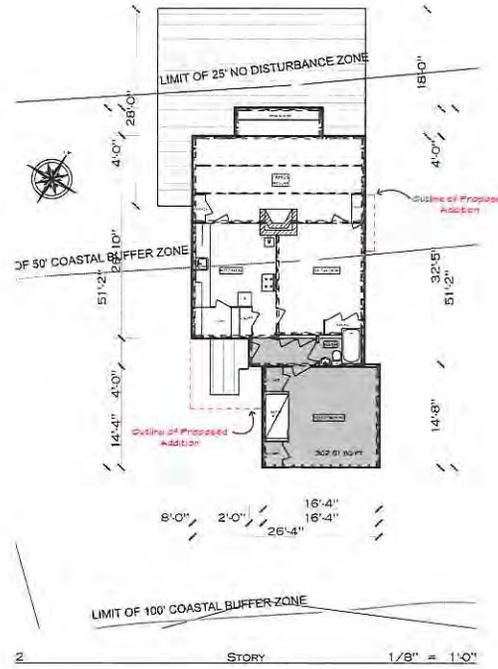
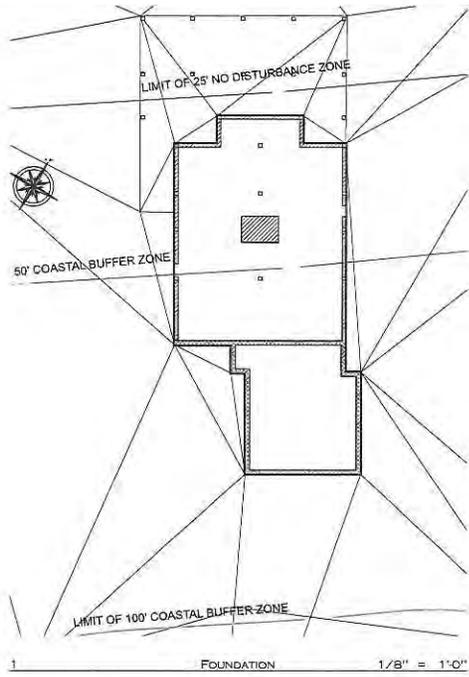
**Heather's Heaven, LLC**  
 A Custom Cottage for Heather Mulvihill

SHEET:  
**A.9.1**  
 DATE: 5/26/15

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# Existing Cottage As Built Drawings



NOTE: Plans & Elevations used with permission from Batticelli and Pohn Architects

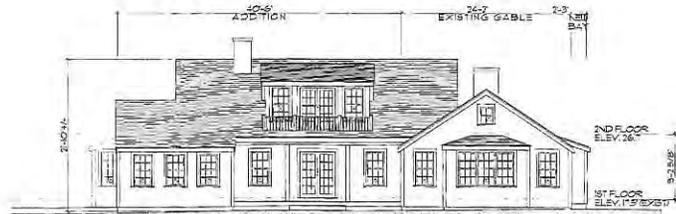
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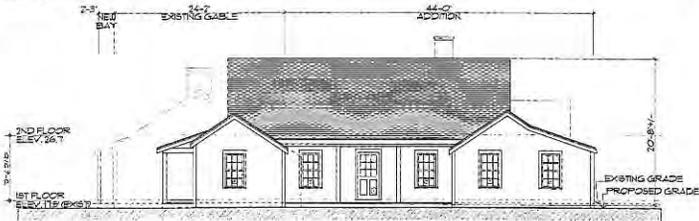
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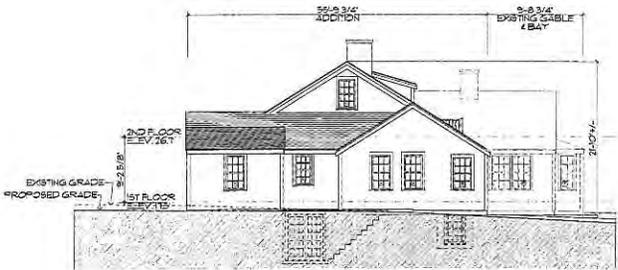
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**A.0.1**  
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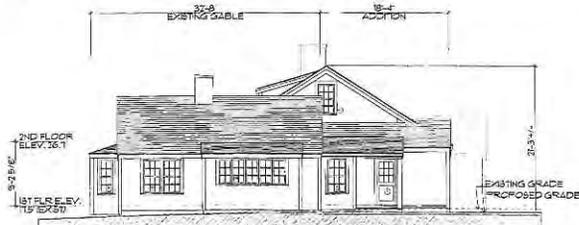
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 A.0.2 SCALE 1/8" = 1'-0"



5 Previously Approved Southeastern Elevation  
 A.0.2 SCALE 1/8" = 1'-0"



4 Previously Approved Northeastern Elevation (Massing & Siting Comparison)  
 A.0.2 SCALE 1/8" = 1'-0"

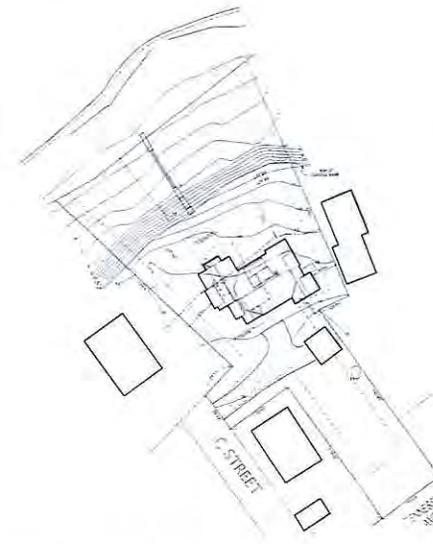


3 Previously Approved Southwestern Elevation (Massing & Siting Comparison)  
 A.0.2 SCALE 1/8" = 1'-0"

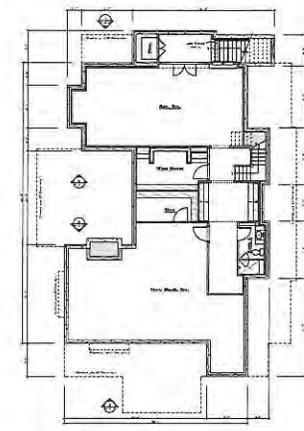
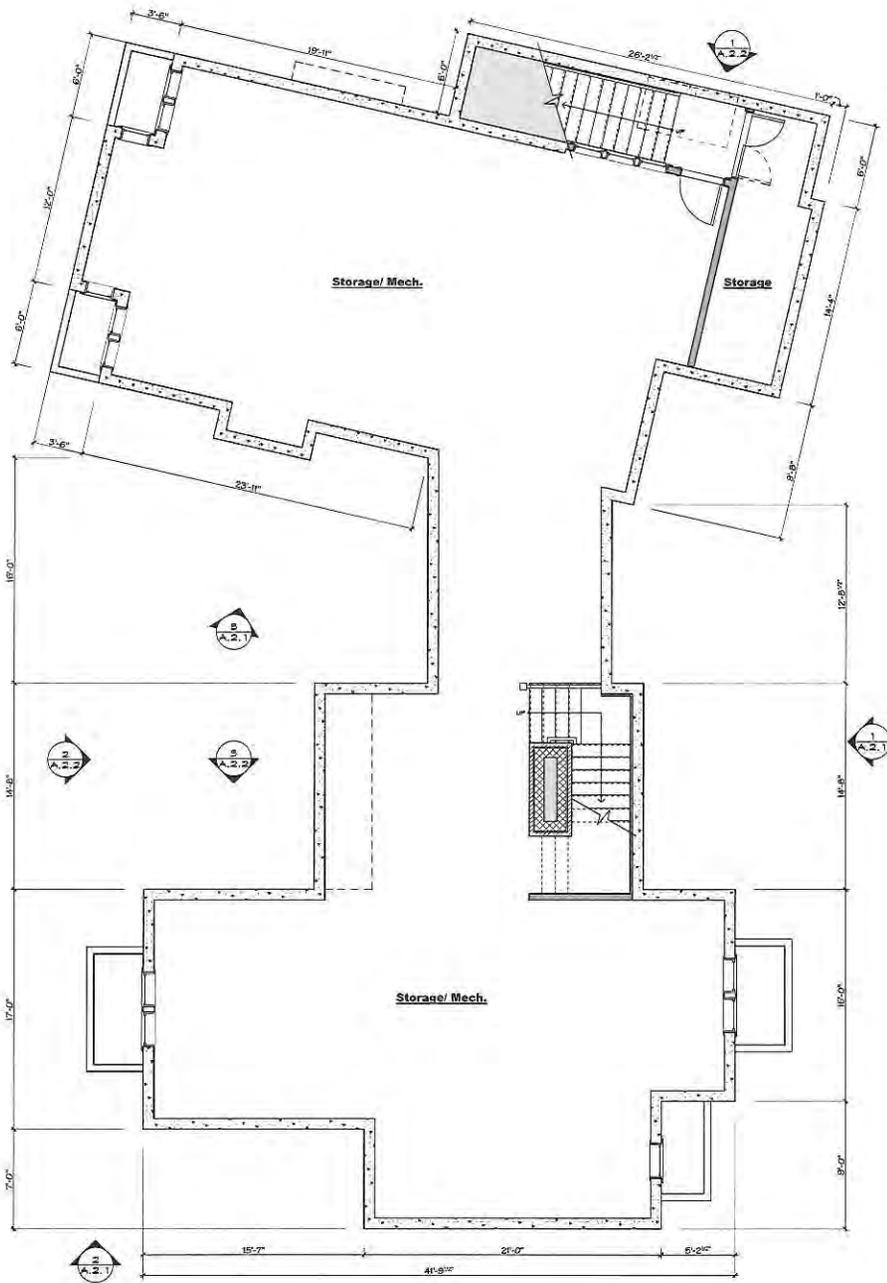


2 Previously Approved First Floor Plan (Comparison)  
 A.0.2 SCALE 1/8" = 1'-0"

NOTE: Plans were previously approved in 2008



1 Previously Approved Site Plan (Comparison)  
 A.0.2 SCALE 1" = 40'



2 Previous Submittal  
NOT TO SCALE

**CONSTRUCTION LEGEND:**

(N) Conc. Fdn. Wall	
(N) SMU Fdn. Wall	
(Ex) Wood Frame Wall	
(N) Wood Frame Wall	
(N) Frame Wall w/ Brick Veneer	
(N) SMU Wall w/ Brick Veneer	
(N) Roof/ Cedar Shingle	

1 Proposed Basement Plan  
SCALE: 1/4" = 1'-0"

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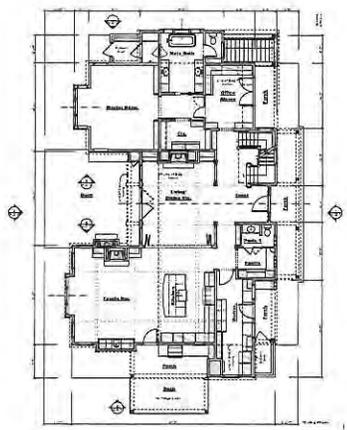
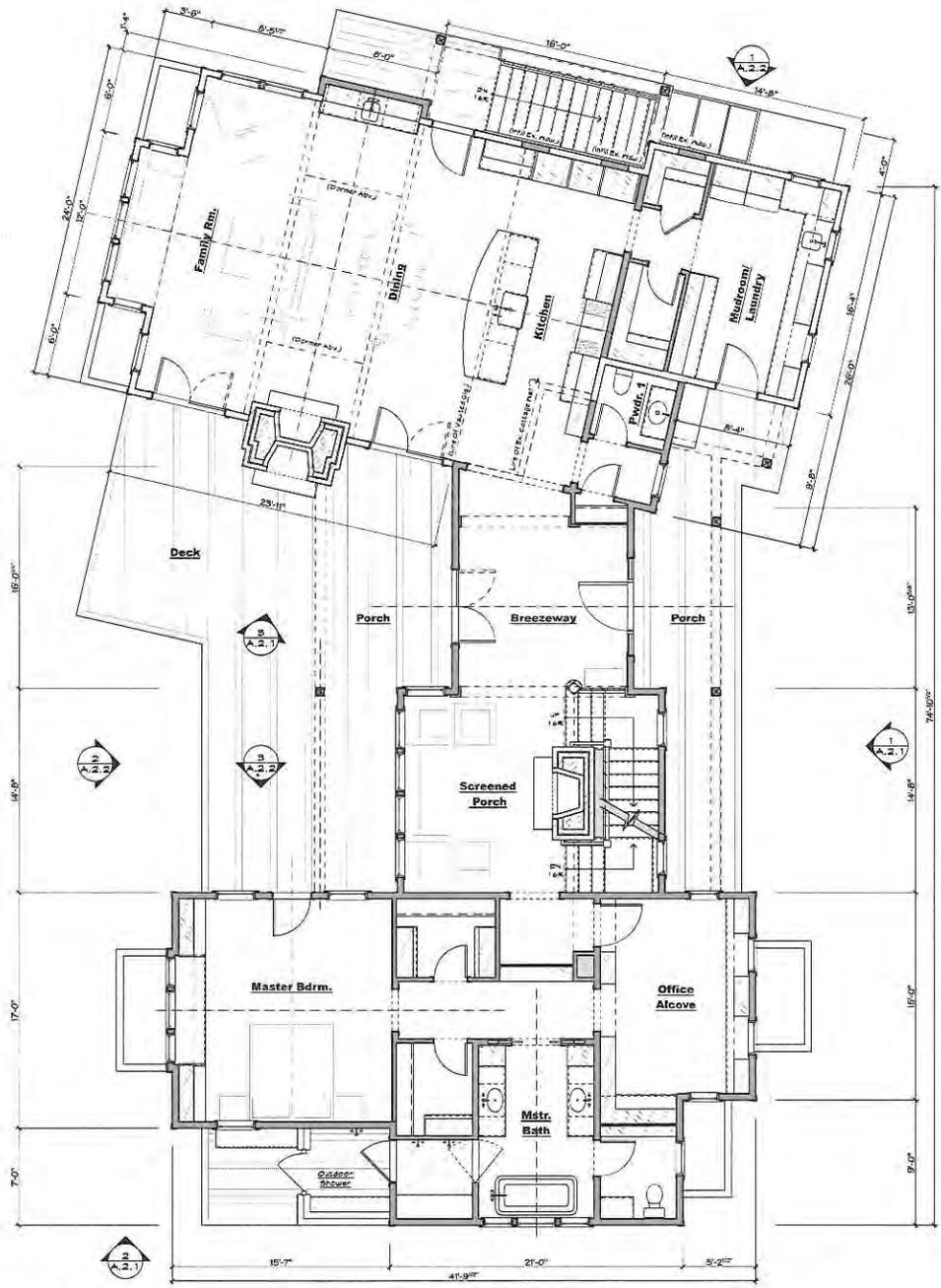
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**Heather's Heaven, LLC**  
A Custom Cottage for Heather Mulvihill

SHEET:  
**A.1.1**  
DATE: 5/19/15

10101 Green Spring Valley, Suite 100, Baltimore, MD 21231



2 Previous Submittal  
A.1.2 NOT TO SCALE

**CONSTRUCTION LEGEND:**

- (N) Conc. Fdn. Wall
- (N) CMU Fdn. Wall
- (Ex) Wood Frame Wall
- (N) Wood Frame Wall
- (N) Frame Wall w/ Brick Veneer
- (N) CMU Wall w/ Brick Veneer
- (N) Roof/ Cedar Shingle

1 Proposed First Floor Plan  
SCALE: 1/4" = 1'-0"  
North

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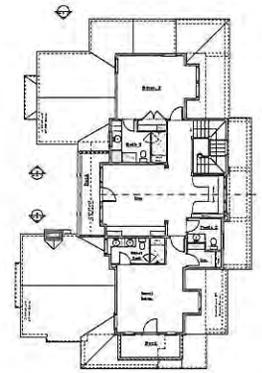
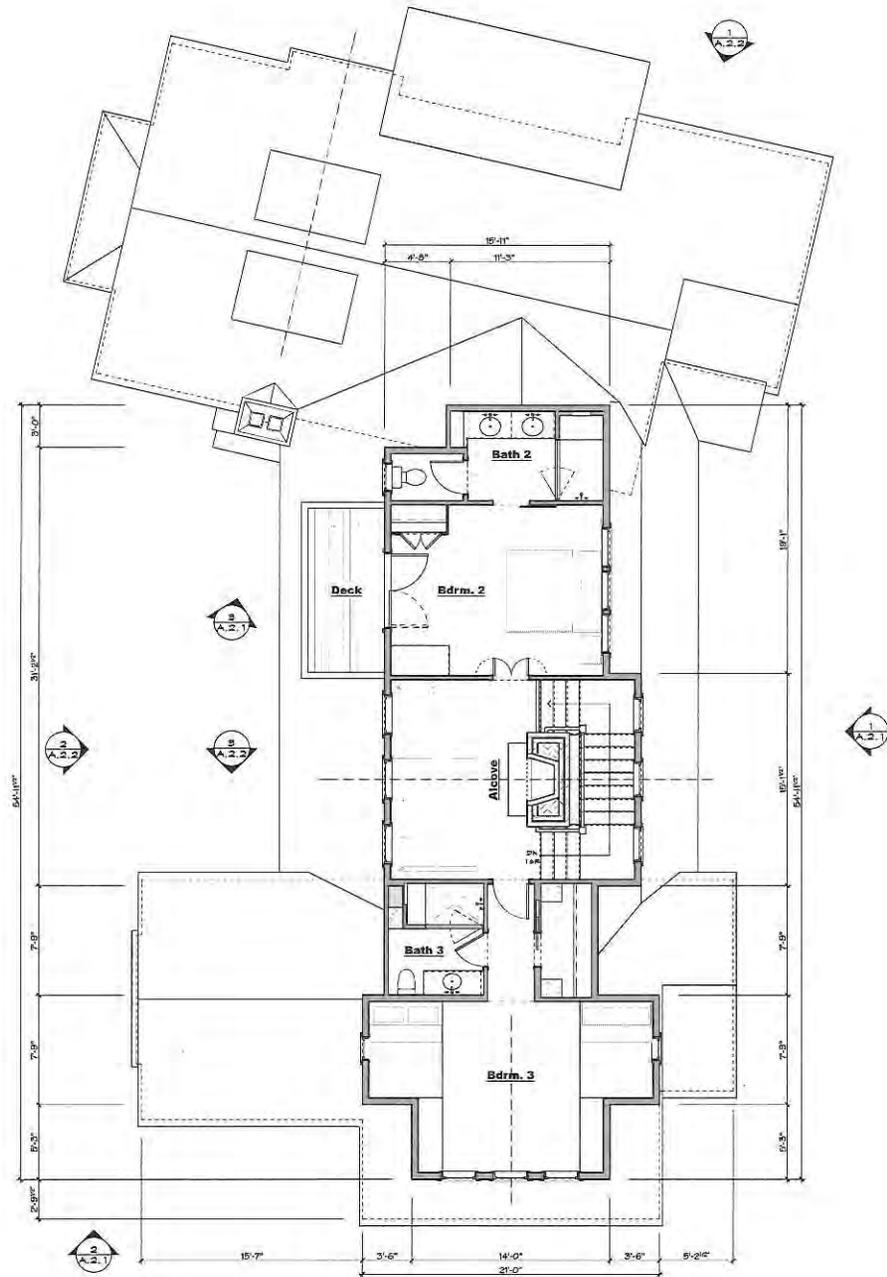
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SHEET:  
**A.1.2**  
DATE: 5/19/15

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2 Previous Submittal  
A.1.3 NOT TO SCALE

**CONSTRUCTION LEGEND:**

(N) Conc. Pdn. Wall	[Symbol]
(N) CMU Pdn. Wall	[Symbol]
(Bx) Wood Frame Wall	[Symbol]
(N) Wood Frame Wall	[Symbol]
(N) Frame Wall w/ Brick Veneer	[Symbol]
(N) CMU Wall w/ Brick Veneer	[Symbol]
(N) Roof/ Cedar Shingle	[Symbol]

1 Proposed Second Floor Plan  
A.1.3 SCALE: 1/4" = 1'-0"

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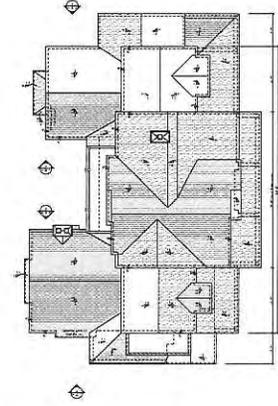
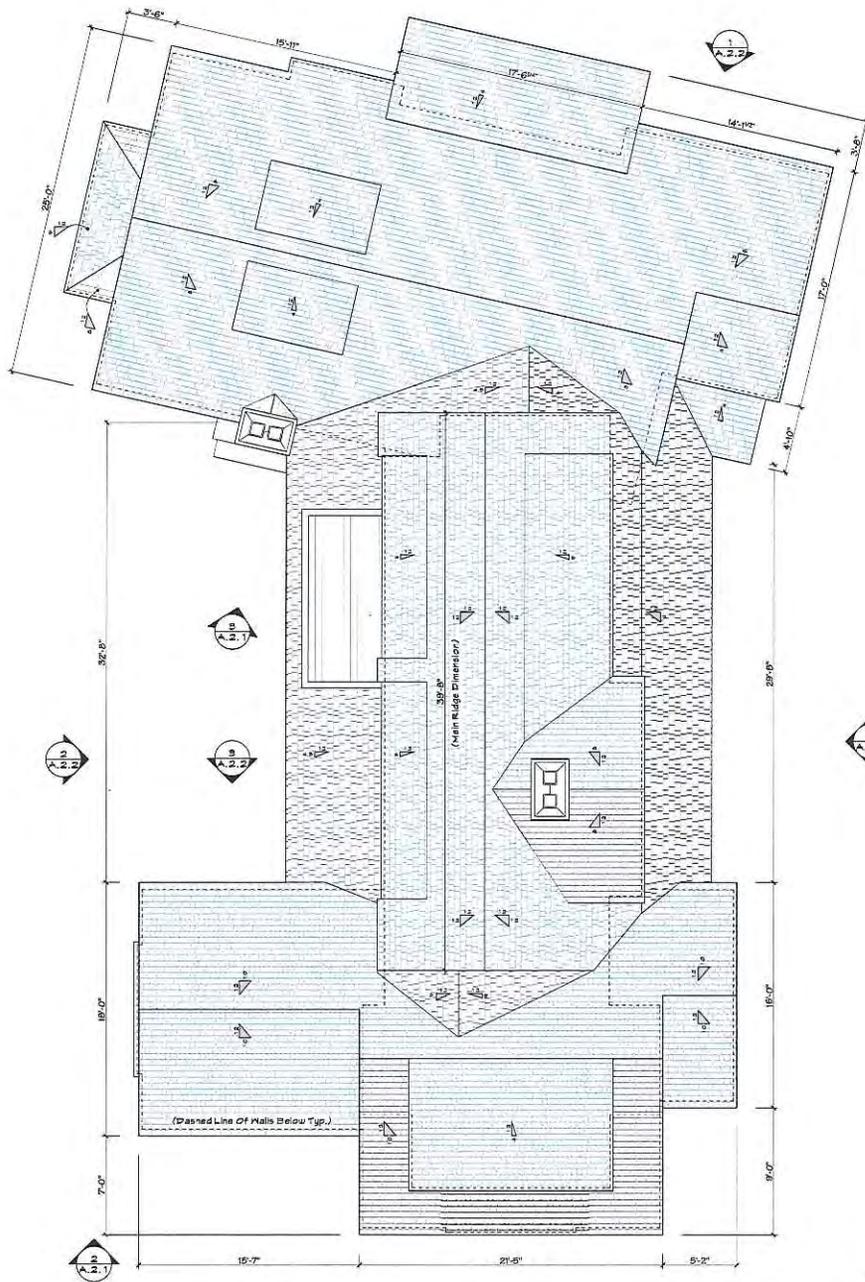
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 H.D.C. Set Rev. 1 - 5/19/15

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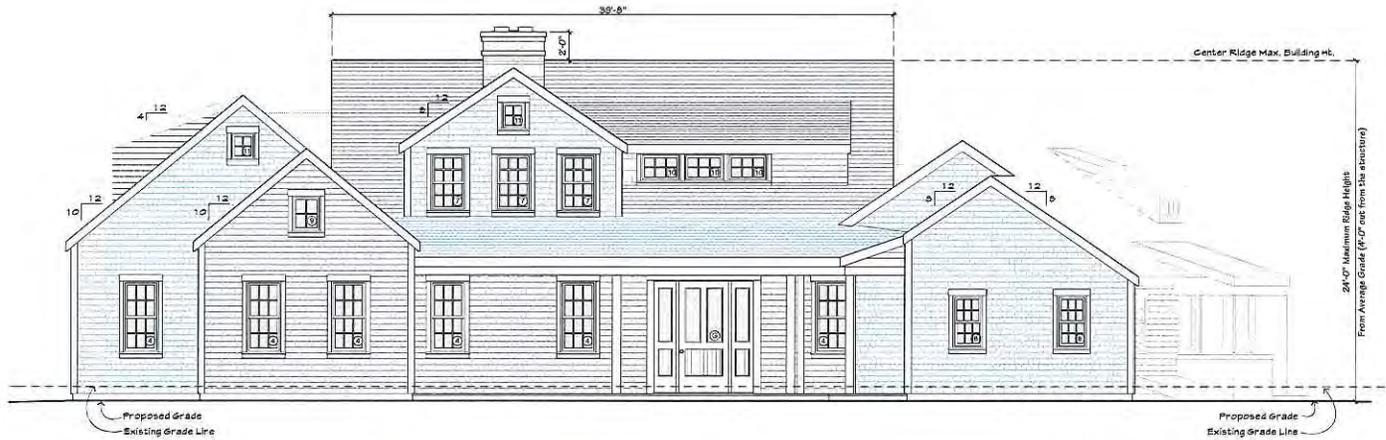


2 Previous Submittal  
A.1.4 NOT TO SCALE

**CONSTRUCTION LEGEND:**

- (N) Conc. Fdn. Wall
- (N) CMU Fdn. Wall
- (Ex) Wood Frame Wall
- (N) Wood Frame Wall
- (N) Frame Wall w/ Brick Veneer
- (N) CMU Wall w/ Brick Veneer
- (N) Roof/ Cedar Shingle

1 Proposed Roof Plan  
A.1.4 SCALE 1/4" = 1'-0"

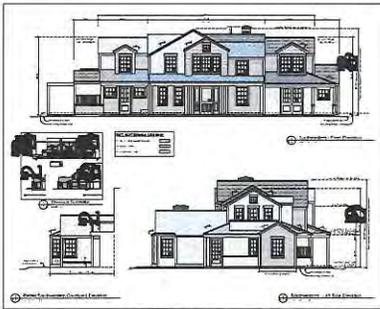


1 Southeastern - Front Elevation  
SCALE: 1/4" = 1'-0"

**EXT. MATERIALS LEGEND:**

(N) Roof/ Wall Cedar Shingles	
(N) Brick Veneer	
(N) 1x4 Wood T&G	

NOTE: The average of cuts proposed and existing grades at line support of all four sides: 18.24'



4 Previous Submittal  
NOT TO SCALE  
A.2.1



3 Partial Southwestern Courtyard Elevation  
SCALE: 1/4" = 1'-0"  
A.2.1

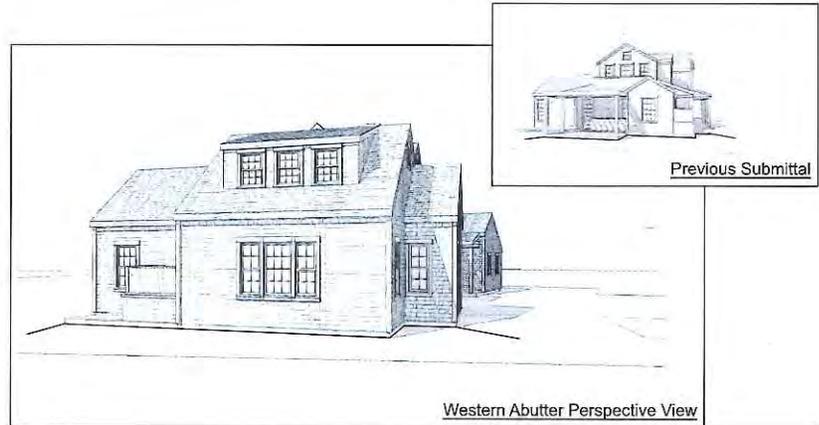


2 Southwestern - Left Side Elevation  
SCALE: 1/4" = 1'-0"  
A.2.1

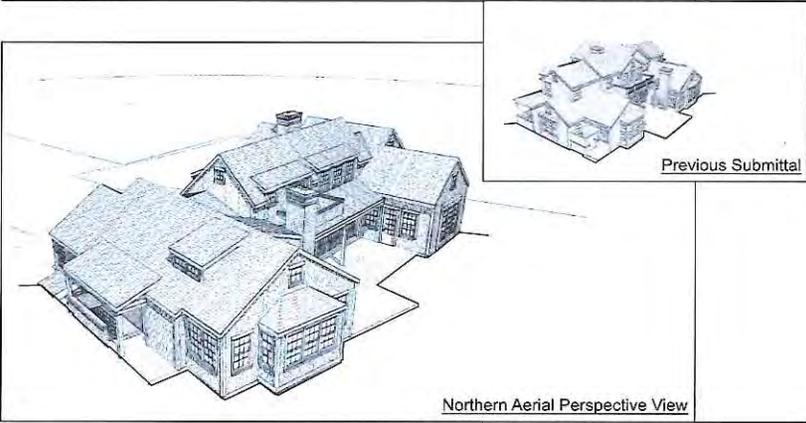




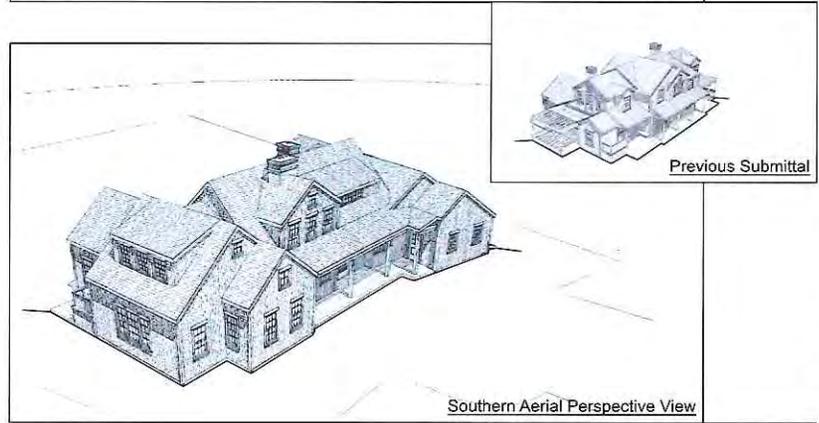
Eastern Abutter Perspective View



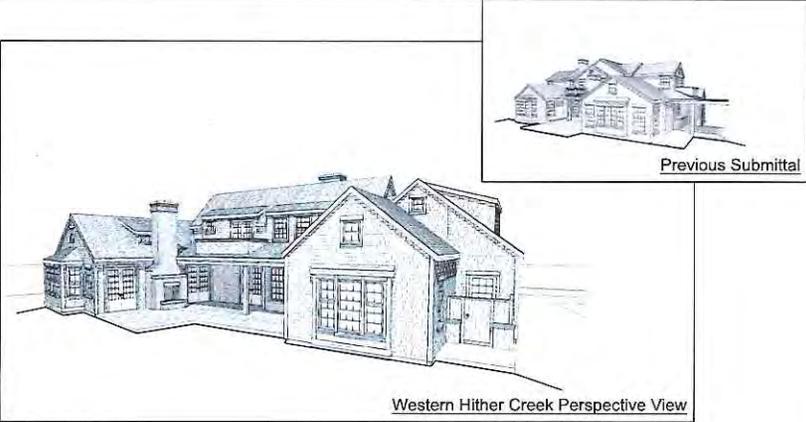
Western Abutter Perspective View



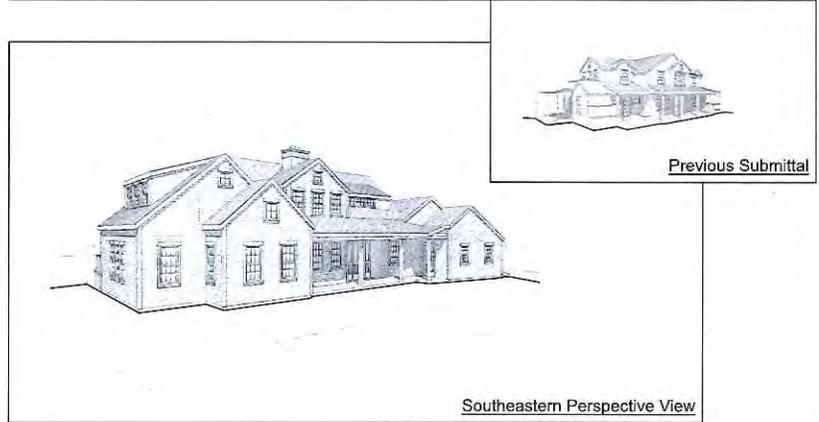
Northern Aerial Perspective View



Southern Aerial Perspective View



Western Hither Creek Perspective View



Southeastern Perspective View

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**A R C H I T E C T U R E**  
 Custom Residential • Renovation • Historic Preservation  
 1100 North 17th Street, Suite 100 • Arlington, VA 22209 • Tel: 703.545.5010

H.D.C. Set - 2/11/15  
 H.D.C. Set Rev. 1 - 5/19/15



**Heather's Heaven, LLC**  
 A Custom Cottage for Heather Mulvihill  
 1100 North 17th Street, Suite 100 • Arlington, VA 22209

SHEET:  
**A.9.1**  
 DATE: 5/19/15

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# New Proposed Panoramic View & Existing Photos

Existing Cottage & Abutter Photos



Proposed Hither Creek Panorama



Previous Submittal - Proposed Hither Creek Panorama



Eastern Abutter - 14 D Street



Proposed Hither Creek Abutter Panorama



Western Abutter - 12 C Street



Previous Submittal - Proposed Hither Creek Abutter Panorama



(Ex.) Southeastern Cottage View



(Ex.) Northeastern Cottage View



(Ex.) Northwestern Cottage View



(Ex.) Southwestern Cottage View



Southern Abutter - 6 Tennessee

**EKMAN DESIGN STUDIO**  
**A R C H I T E C T U R E**  
 Custom Residential • Renovation • Historic Preservation  
 11000-10513-1417-145-30 PRINCE WILLIAM COUNTY, VIRGINIA 22192-1417  
 703-462-8888 ekmandesign.com

H.D.C. Set - 2111115  
 H.D.C. Set Rev. 1 - 5119115

H.D.C. Submission Only - NOT FOR CONSTRUCTION

**Heather's Heaven, LLC**  
 A Custom Cottage for Heather Mulvihill  
 11 C Street, Chatham, MA 01938

SHEET:  
**A.9.3**  
 DATE: 5/19/15

© 2015 Ekman Design Studio

# Madaket Photos

House Detail & Massing

An Existing Outdoor Fireplace Located at an Existing Middle Courtyard



Middle Courtyard Massing



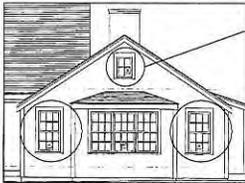
Chimney Cap Detail @ Max Ridge



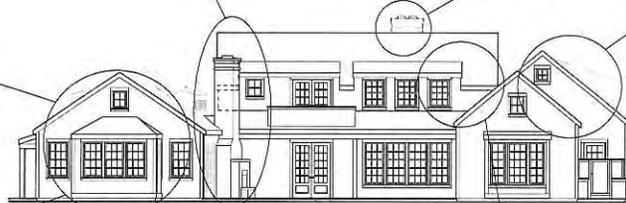
Shed Dormer



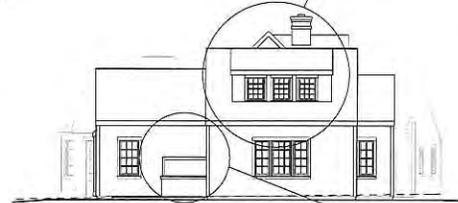
(Ex) Cottage



Previously Approved Window Additions



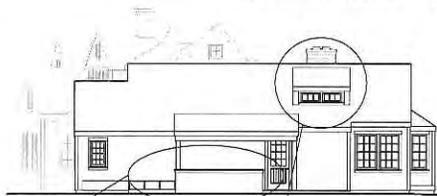
Proposed Southeastern Elevation



Proposed Southwestern Elevation



Window - Head Crown Trim



Proposed Northeastern Elevation



Proposed Southeastern Elevation



Outdoor Shower



Shingled Half Wall @ Covered Porch



Shed Dormer



Typical 1 3/4 Story Massing



Typical 1 3/4 Massing



Typical 1 3/4 Story Massing

**EKMAN DESIGN STUDIO**  
**A R C H I T E C T U R E**  
 Custom Residential • Renovation • Historic Preservation  
 1000 State Street, Suite 200, Boston, MA 02118  
 Tel: 617.552.1111 | Fax: 617.552.1112 | www.ekmandesign.com

H.D.C. Set - 2/11/15  
 H.D.C. Set Rev. 1 - 5/19/15

H.D.C. Submission Only - NOT FOR CONSTRUCTION

**Heather's Heaven, LLC**  
 A Custom Cottage for Heather Mulvihill  
 1000 State Street, Suite 200, Boston, MA 02118

SHEET:  
**A.9.4**  
 DATE: 5/19/15

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# Madaket Property Comparison Study



**(A)** 14 Baltimore Street  
House: Approx. 28' Overall Ht.  
Garage/Boathouse: Approx. 25' Overall Ht.



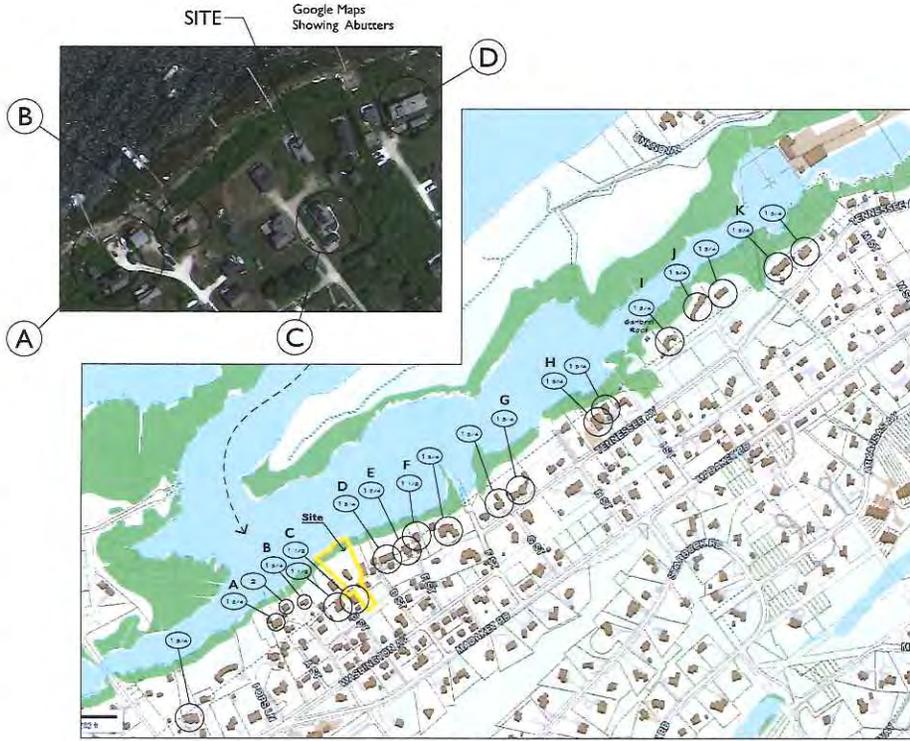
**(B)** 19 Baltimore Street  
Approx. 23'-9" Overall Ht.



**(C)** 6 Tennessee Avenue  
Life Saving Style Approx. 27' Overall Ht.



**(D)** 11 E Street  
1920 Period Home Approx. 25' Overall Ht.



**WATERFRONT LEGEND:**

One and a half story structure	1 1/2
One and three quarters story structure	1 3/4
Two story structure	2



**(E)** 8 E Street  
Approx. 26' Overall Ht.



**(F)** 9 E Street  
Approved October 2013  
26'-3" Overall Height



**(G)** 14 Tennessee Avenue Rear Elev.  
25'-0" Overall Height 80'-9" Overall Length



**(K)** 44 Tennessee Avenue  
26'-0" Overall Height 92'-6" Overall Length



**(J)** 12 Oakland Street  
25'-0" Overall Height 142'-0" Overall Length



**(I)** 36 Tennessee Avenue  
26'-0" Overall Height 60'-0" Overall Length



**(H)** 24 Tennessee Avenue  
24'-0" Overall Height 49'-4" Overall Length

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ARCHITECTURE  
Custom Residential • Renovation • Historic Preservation

H.D.C. Set - 2/11/15  
H.D.C. Set Rev. 1 - 5/19/15



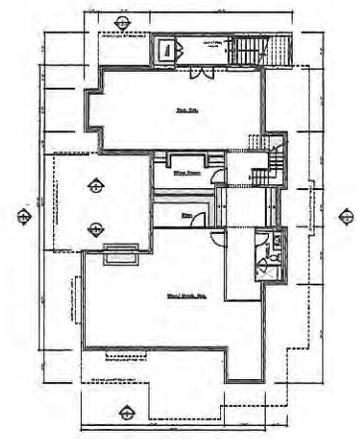
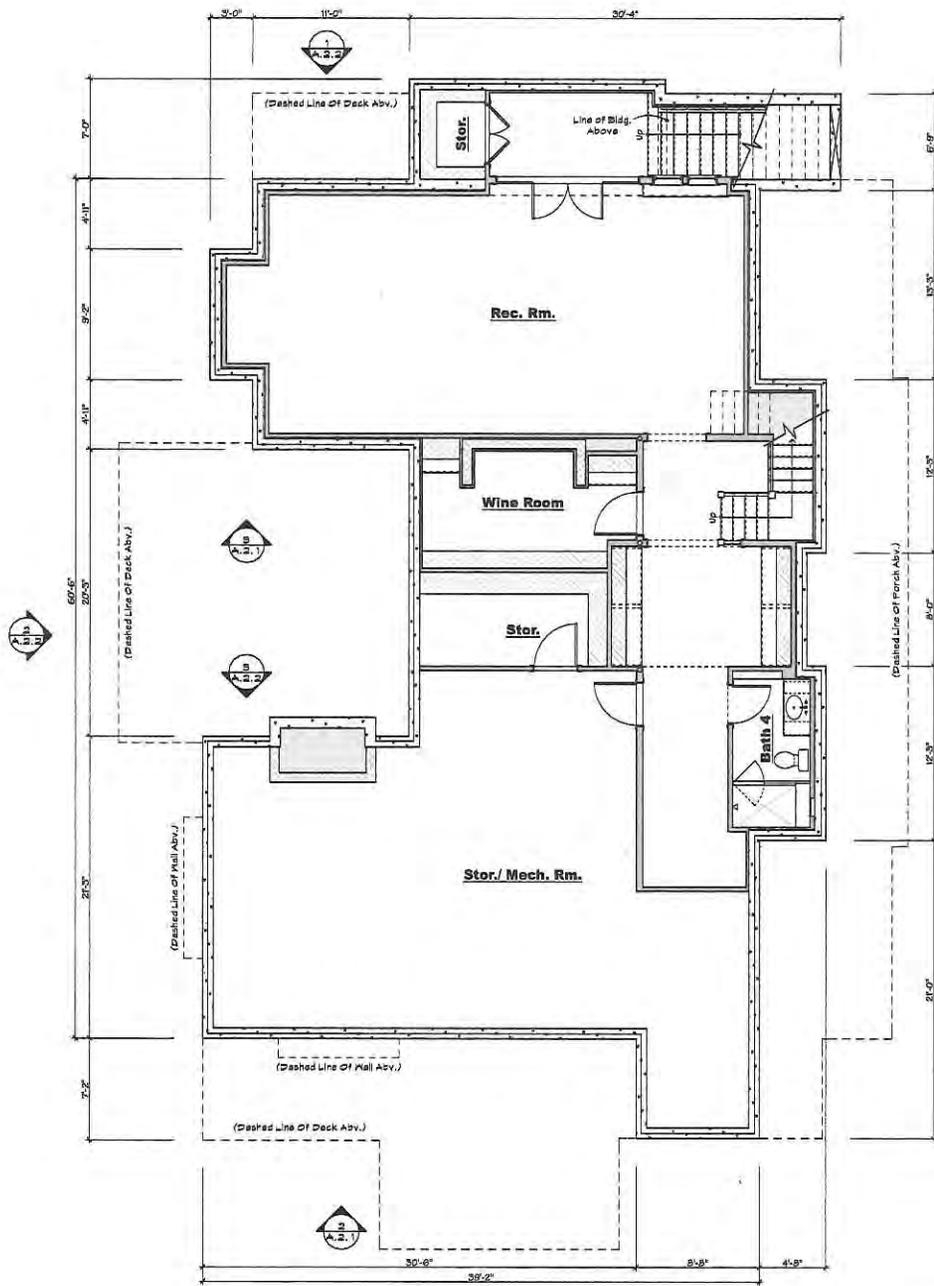
**Heather's Heaven, LLC**  
A Custom Cottage for Heather Mulvihill  
111 Glen St., Nantucket, MA 02554

H.D.C. Submission Only - NOT FOR CONSTRUCTION

SHEET:  
**A.9.5**  
DATE: 5/19/15

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2 Previous Submittal  
NOT TO SCALE

**CONSTRUCTION LEGEND:**

(N) Conc. Fdn. Wall	
(N) CMU Fdn. Wall	
(Ex) Wood Frame Wall	
(N) Wood Frame Wall	
(N) Frame Wall w/ Brick Veneer	
(N) CMU Wall w/ Brick Veneer	
(N) Roof/ Cedar Shingle	

1 Proposed Basement Plan  
SCALE: 1/4" = 1'-0"

**EKMAN DESIGN STUDIO**  
ARCHITECTURE  
Custom Residential • Renovation • Historic Preservation

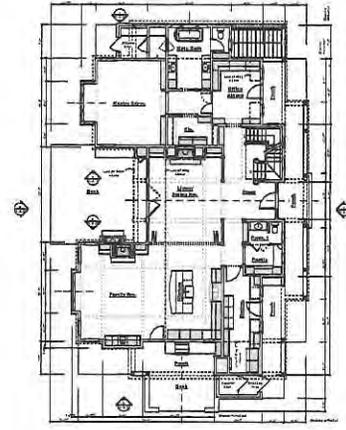
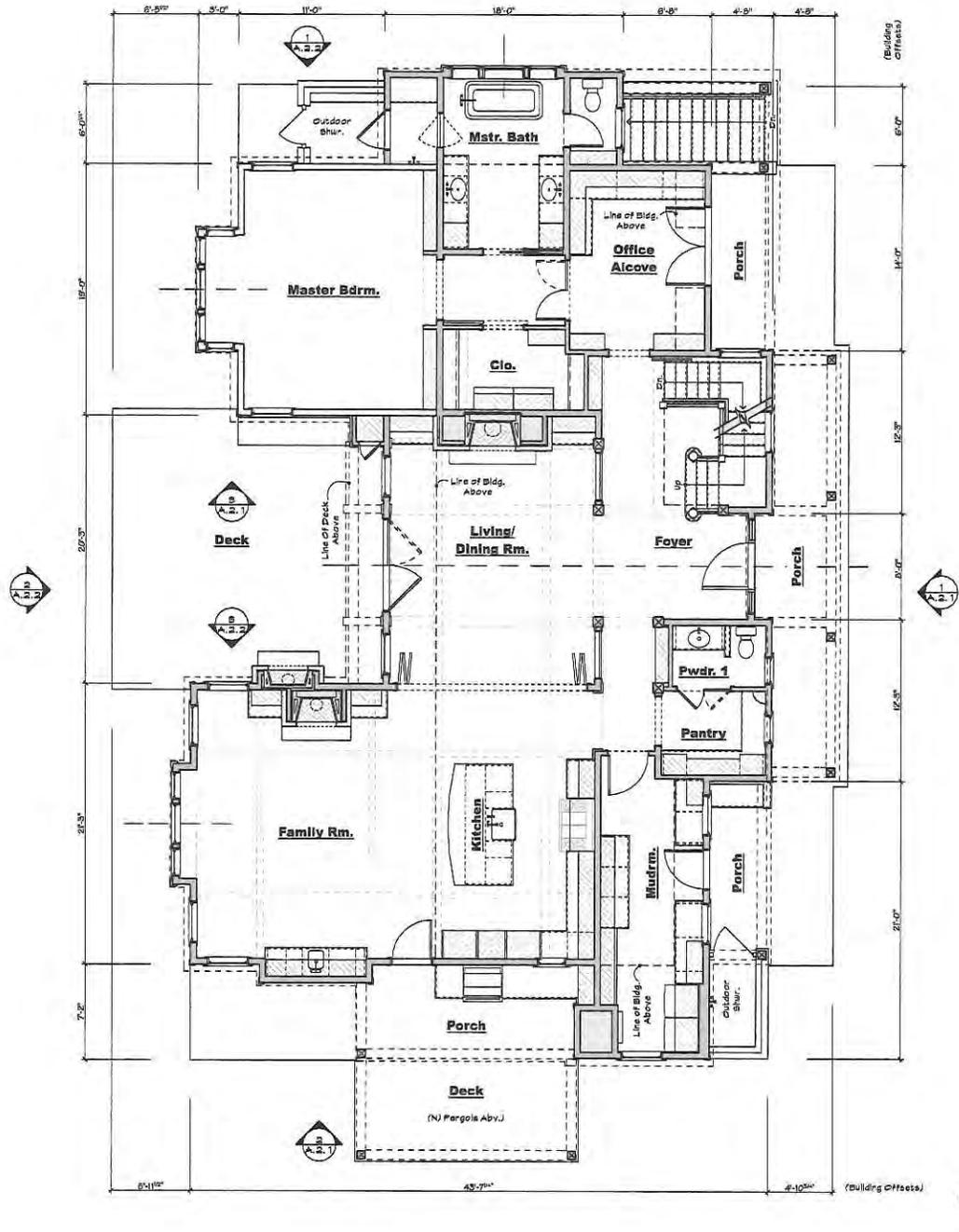
H.D.C. Set - 2/11/15  
Revised - 3/13/15

H.D.C. Submission Only - NOT FOR CONSTRUCTION

**Heather's Heaven, LLC**  
A Custom Cottage for Heather Mobililt

SHEET:  
**A.1.1**  
DATE: 3/24/15

10/15/15 Heather Design Studio



2 Previous Submittal  
NOT TO SCALE

**CONSTRUCTION LEGEND:**

(N) Conc. Fdn. Wall	
(N) CMU Fdn. Wall	
(Bx) Wood Frame Wall	
(N) Wood Frame Wall	
(N) Frame Wall w/ Brick Veneer	
(N) CMU Wall w/ Brick Veneer	
(N) Roof/ Cedar Shingle	

1 Proposed First Floor Plan  
SCALE: 1/4" = 1'-0"

**EKMAN DESIGN STUDIO**  
ARCHITECTURE  
Custom Residential • Renovation • Historic Preservation

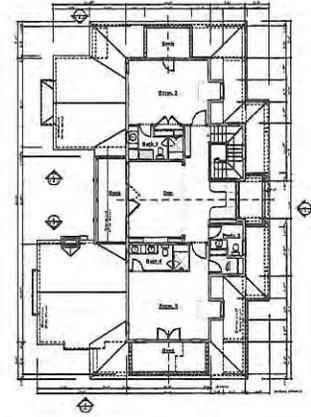
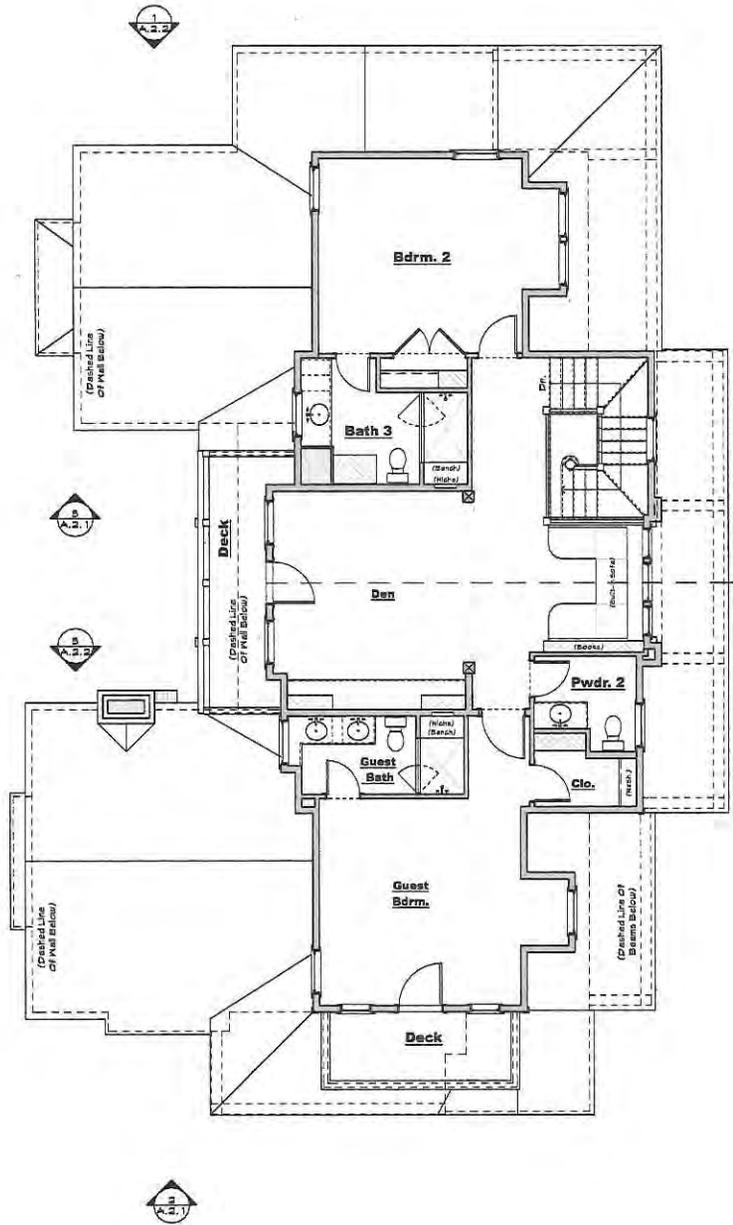
H.D.C. Set - 2/11/15  
Revised - 3/31/15

**Heather's Heaven, LLC**  
A Custom Cottage for Heather Mulvihill

SHEET:  
**A.1.2**  
DATE: 3/24/15

H.D.C. Submission Only - NOT FOR CONSTRUCTION

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2 Previous Submittal  
NOT TO SCALE

**CONSTRUCTION LEGEND:**

(N) Conc. Fdn. Wall	
(N) CMU Fdn. Wall	
(E) Wood Frame Wall	
(N) Wood Frame Wall	
(N) Frame Wall w/ Brick Veneer	
(N) CMU Wall w/ Brick Veneer	
(N) Roof/ Cedar Shingle	



1  
A.1.3

Proposed Second Floor Plan

SCALE: 1/4" = 1'-0"

**EKMAN DESIGN STUDIO**  
ARCHITECTURE  
Custom Residential • Renovation • Historic Preservation

H.D.C. Set - 2/11/15  
Revised - 3/13/15

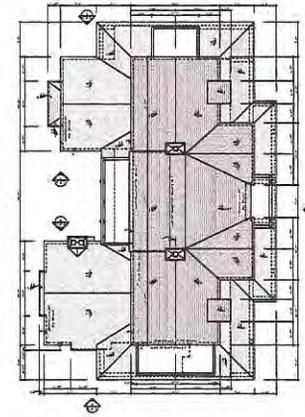
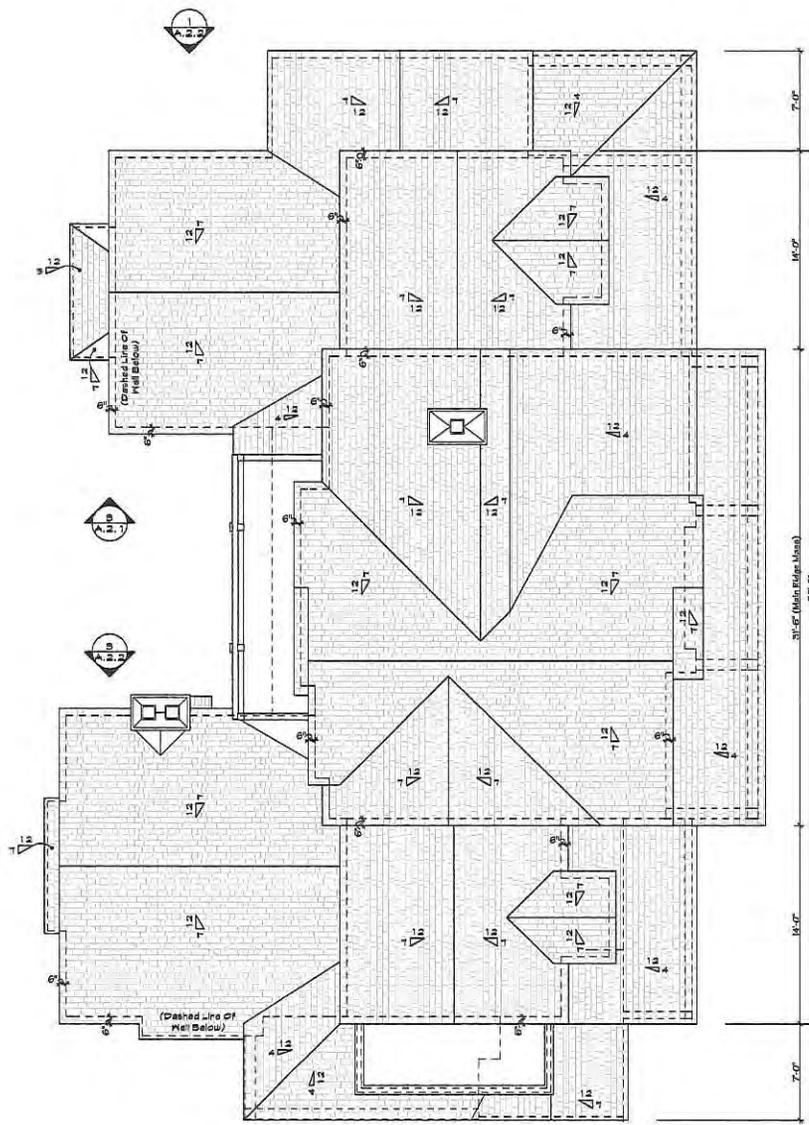
H.D.C. Submission Only - NOT FOR CONSTRUCTION

**Heather's Heaven, LLC**  
A Custom Cottage for Heather Mulhill

SHEET:

**A.1.3**

DATE: 3/24/15



② Previous Submittal  
NOT TO SCALE

**CONSTRUCTION LEGEND:**

(N) Conc. Fdn. Wall	
(N) CMU Fdn. Wall	
(EK) Hood Frame Wall	
(N) Hood Frame Wall	
(N) Frame Wall w/ Brick Veneer	
(N) CMU Wall w/ Brick Veneer	
(N) Roof/ Cedar Shingle	

① Proposed Roof Plan  
SCALE: 1/4" = 1'-0"

H.D.C. Submission Only - NOT FOR CONSTRUCTION

**Heather's Heaven, LLC**  
A Custom Cottage for Heather Muhlhill

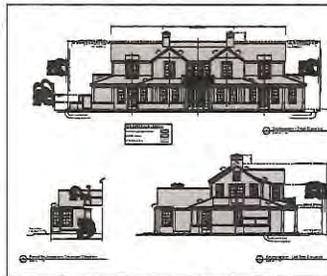
SHEET:  
**A.1.4**  
DATE: 3/24/15

H.D.C. Set - 2/11/15  
Revised - 3/31/15

**EKMAN DESIGN STUDIO**  
ARCHITECTURE  
Custom Residential • Renovation • Historic Preservation



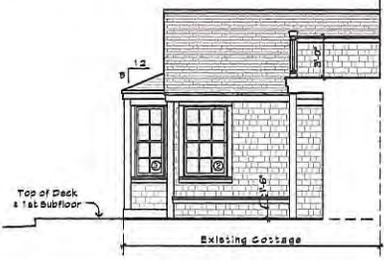
1 Southeastern - Front Elevation  
SCALE: 1/4" = 1'-0"



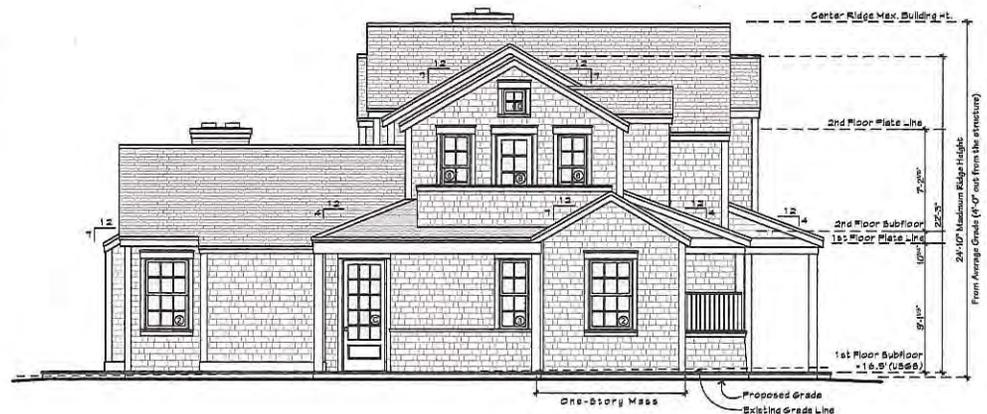
4 Previous Submittal  
SCALE: 1/8"

**EXT. MATERIALS LEGEND:**

(N) Roof/ Wall Cedar Shingles	
(N) Brick Veneer	
(N) 1x4 Wood T&G	



3 Partial Southwestern Courtyard Elevation  
SCALE: 1/4" = 1'-0"



2 Southwestern - Left Side Elevation  
SCALE: 1/4" = 1'-0"

**EKMAN DESIGN STUDIO**  
ARCHITECTURE  
Custom Residential • Renovation • Historic Preservation

H.D.C. Set - 2/11/15  
Revised - 3/31/15

H.D.C. Submission Only - NOT FOR CONSTRUCTION

**Heather's Heaven, LLC**  
A Custom Cottage for Heather Maxwell

SHEET:  
**A.2.1**  
DATE: 3/24/15

See the Appendix to the H.D.C. Submission for the H.D.C. Submission Checklist. All H.D.C. Submission Checklists are available at: [www.hdc.state.pa.us](http://www.hdc.state.pa.us)





Northern Abutter Perspective View



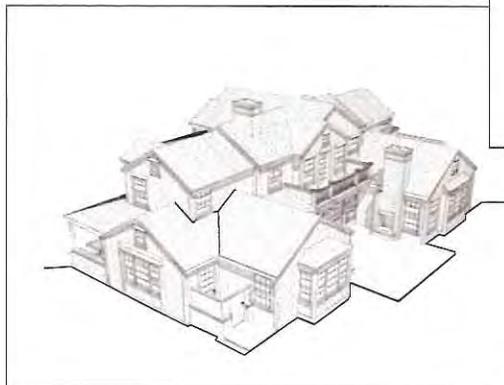
Previous Submittal



Southern Abutter Perspective View



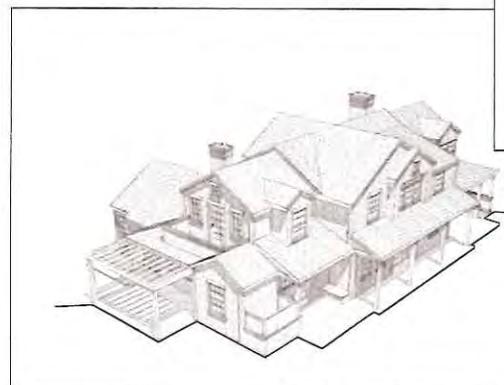
Previous Submittal



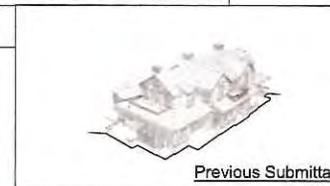
Northern Aerial View



Previous Submittal



Southern Aerial View



Previous Submittal



Western Hither Creek Perspective View



Previous Submittal



Southeastern Perspective View



Previous Submittal

**EKMAN DESIGN STUDIO**  
ARCHITECTURE  
Custom Residential • Renovation • Historic Preservation

H.D.C. Set - 2/11/15  
Revised - 3/31/15

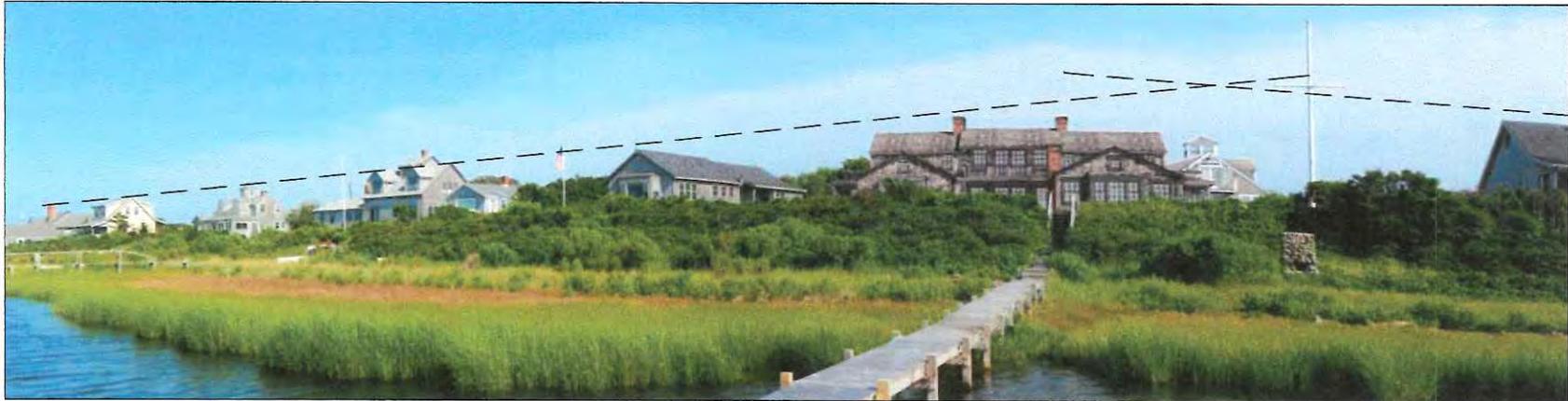
H.D.C. Submission Only - NOT FOR CONSTRUCTION

**Heather's Heaven, LLC**  
A Custom Cottage for Heather Mulvihill

SHEET:  
**A.9.1**  
DATE: 3/24/15

**New Proposed Panoramic View & Existing Photos**

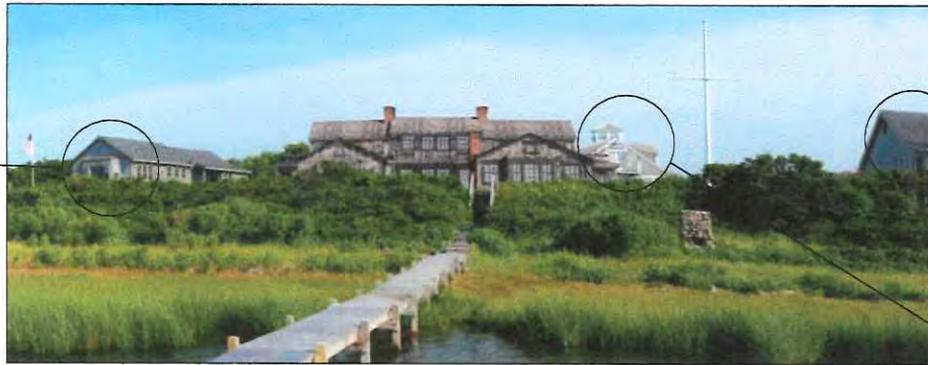
Existing Cottage & Abutter Photos



Proposed Hither Creek Panorama



Northern Abutter - 14 D Street



Proposed Hither Creek Panorama



Western Abutter - 12 C Street



(Ex.) Southeastern Cottage View



(Ex.) Northeastern Cottage View



(Ex.) Northwestern Cottage View



(Ex.) Southwestern Cottage View



Southern Abutter - 6 Tennessee

**EKMAN DESIGN STUDIO**  
**A R C H I T E C T U R E**  
 Custom Residential • Renovation • Historic Preservation

H.D.C. Set - 2/11/15  
 Revised - 3/3/15

H.D.C. Submission Only - NOT FOR CONSTRUCTION

**Heather's Heaven, LLC**  
 A Custom Cottage for Heather Mulvihill

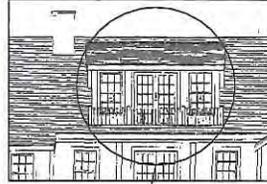
SHEET:  
**A.9.3**  
 DATE 3/24/15

**Madaket Photos**  
House Detail & Massing

Chimney Cap Detail  
@ Max Ridge



Previously Approved Balustrade



Middle Courtyard Massing



Outdoor Fireplace



An Existing Outdoor Fireplace  
Located at an Existing  
Middle Courtyard



(Ex) Cottage



Proposed Southeastern Elevation



Proposed Southwestern Elevation



Window - Head Crown Trim



Shingled Half Wall  
@ Covered Porch



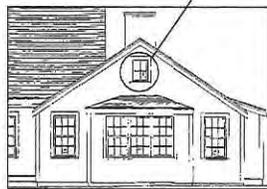
Proposed Northeastern Elevation



Proposed Southeastern Elevation



Hipped Wrap-Around Porch  
(Abutter)



Previously Approved  
Gable Addition



Outdoor Shower



Dormer w/ Single Window



Dormer w/ Double Window  
(Abutter)

**EKMAN DESIGN STUDIO**  
ARCHITECTURE  
Custom Residential • Renovation • Historic Preservation

H.D.C. Set - 2/11/15  
Revised - 3/31/15

H.D.C. Submission Only - NOT FOR CONSTRUCTION

**Heather's Heaven, LLC**  
A Custom Cottage for Heather Mulvihill

SHEET:  
**A.9.4**  
DATE: 3/24/15

With the Approval of 2015, Issued on January 24, 2015. (Photograph provided by Heather Mulvihill on 12/18/14 and 2/20/15)

# Madaket Property Comparison Study



**A** 14 Baltimore Street  
House: Approx. 28' Overall Ht.  
Garage/Boathouse: Approx. 25' Overall Ht.



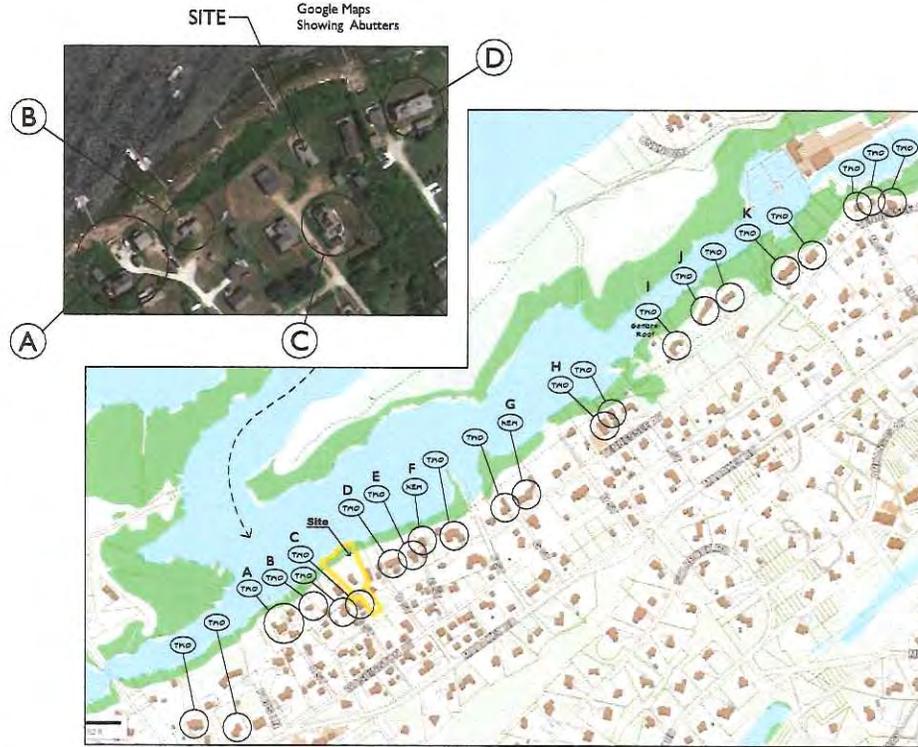
**B** 19 Baltimore Street  
Approx. 23'-9" Overall Ht.



**C** 6 Tennessee Avenue  
Approx. 27' Overall Ht.



**D** 11 E Street  
1920 Period Home Approx. 25' Overall Ht.



**E** 8 E Street  
Approx. 26' Overall Ht.



**F** 9 E Street  
Approved October 2013  
26'-3" Overall Height



**G** 24 Tennessee Avenue Rear Elev.  
25'-0" Overall Height 80'-9" Overall Length



**K** 44 Tennessee Avenue  
26'-0" Overall Height 92'-6" Overall Length



**K** 14 Tennessee Avenue  
25'-0" Overall Height 142'-0" Overall Length



**I** 9 I Street  
26'-0" Overall Height 60'-0" Overall Length



**H** 24 Tennessee Avenue  
24'-0" Overall Height 49'-4" Overall Length

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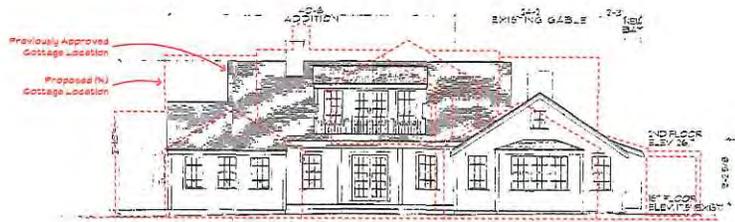
H.D.C. Sec - 2/11/15  
Revised - 3/31/15

**Heather's Heaven, LLC**  
A Custom Cottage for Heather Mulvihill

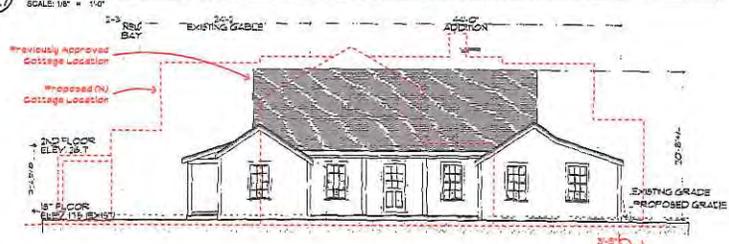
SHEET:  
**A.9.6**  
DATE: 3/24/15

H.D.C. Submission Only - NOT FOR CONSTRUCTION

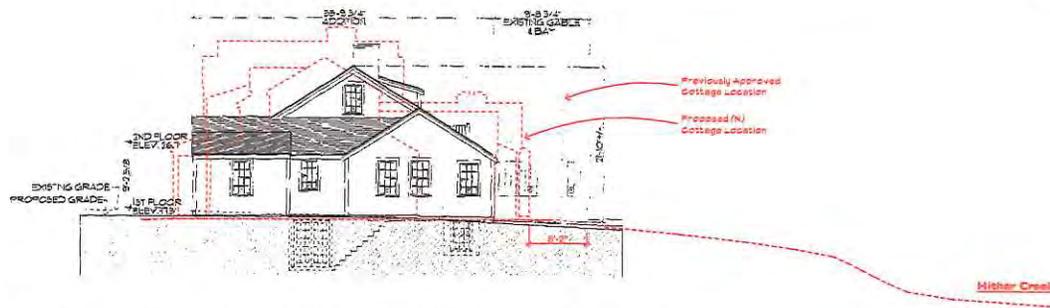
© 2015 Ekman Design Studio



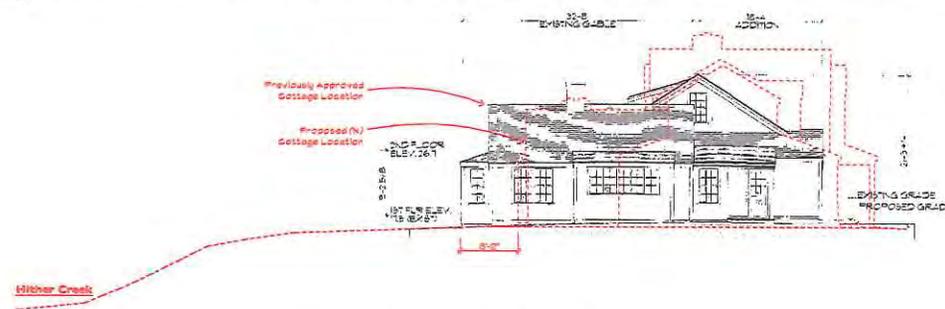
6 Previously Approved Northwestern Elevation (Hither Creek Elevation)  
 A.9.7 SCALE: 1/8" = 1'-0"



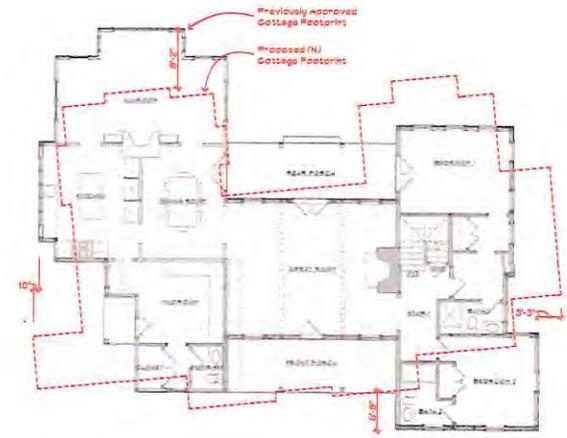
5 Previously Approved Southeastern Elevation  
 A.9.7 SCALE: 1/8" = 1'-0"



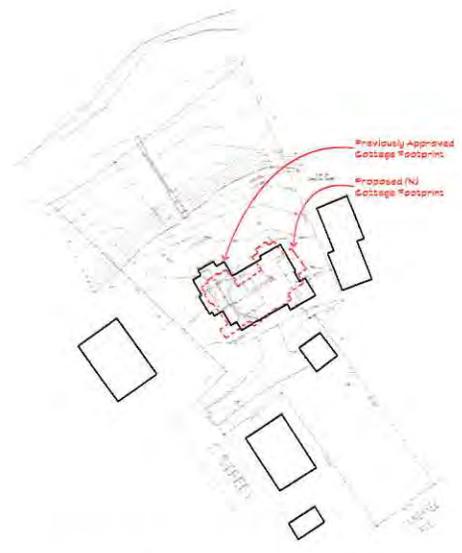
4 Previously Approved Northeastern Elevation (Massing & Siting Comparison)  
 A.9.7 SCALE: 1/8" = 1'-0"



3 Previously Approved Southwestern Elevation (Massing & Siting Comparison)  
 A.9.7 SCALE: 1/8" = 1'-0"



2 Previously Approved First Floor Plan (Comparison)  
 A.9.7 SCALE: 1/8" = 1'-0"



1 Previously Approved Site Plan (Comparison)  
 A.9.7 SCALE: 1" = 40'

**EKMAN DESIGN STUDIO**  
 ARCHITECTURE  
 Custom Residential • Renovation • Historic Preservation

H.D.C. Set - 211115  
 Revised - 3/21/15

H.D.C. Submission Only - NOT FOR CONSTRUCTION

**Heather's Heaven, LLC**  
 A Custom Cottage for Heather Mulvihill

SHEET:  
**A.9.7**  
 DATE: 3/24/15

H.D.C. Set - 211115  
 H.D.C. Submission Only - NOT FOR CONSTRUCTION  
 A.9.7  
 DATE: 3/24/15  
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CERTIFICATE NO: \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a  
**CERTIFICATE OF APPROPRIATENESS**

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.  
**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in Ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference. The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

**PROPERTY DESCRIPTION**

TAX MAP N°: 60.2.1 PARCEL N°: 76  
Street & Number of Proposed Work: 13 C Street  
Owner of record: Heather's Heaven LLC  
Mailing Address: C/O Cohen & Cohen Law PC  
PO Box 786, Nantucket MA 02554  
Contact Phone #: 508 228 0337 E-mail: Stevan@cohenlegal.net

**AGENT INFORMATION (if applicable)**

Name: Stevan Cohen or Stephen Eckman  
Mailing Address: SAME  
Contact Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

FOR OFFICE USE ONLY  
Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
Must be acted on by: \_\_\_\_\_  
Extended to: \_\_\_\_\_  
Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
Chairman: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Notes - Comments - Restrictions - Conditions  
\_\_\_\_\_

**DESCRIPTION OF WORK TO BE PERFORMED**

See reverse for required documentation.

New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed  
 Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. 53269  
 Pool (Zoning District \_\_\_\_\_)  Roof  Other Prick Approval, not built  
Size of Structure or Addition: Length: 74.5' Sq. Footage 1st floor: 2385 Decks/Patio: Size: 21' x 25'  1st floor  2nd floor  
Width: 44.0' Sq. Footage 2nd floor: 1255 Size: 2x18  1st floor  2nd floor  
Sq. Footage 3rd floor: \_\_\_\_\_  
Difference between existing grade and proposed finish grade: North -6" South -12" East 0" West 0"  
Height of ridge above final finish grade: North 25' South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

**Additional Remarks**

Historic Name: SANSOUCCI  
Original Date: by 1938  
Original Builder: \_\_\_\_\_

**REVISIONS:**

- 1. East Elevation
- 2. South Elevation
- 3. West Elevation
- 4. North Elevation

Is there an HDC survey form for this building attached?  Yes  N/A

\*Cloud on drawings and submit photographs of existing elevations.

**DETAIL OF WORK TO BE PERFORMED**

Foundation: Height Exposed 6"  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
Roof Pitch: Main Mass 8/12 Secondary Mass 7/12 Dormer 4/8/12 Other \_\_\_\_\_  
Roofing material:  Asphalt  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.)  
Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Gutters:  Wood  Aluminum  Copper  Leaders (material) COPPER  
Leaders (material and size): COPPER 3" x 1"  
Sidewall:  White cedar shingles 5" exp.  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_  
Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_  
C. Dimensions: Fascia 1x8 Rake 1x8 Soffit (Overhang) 0-6" Corner boards 1x6 Frieze 0  
Window Casing 1x4 Door Frame 1x4 Columns/Posts: Round \_\_\_\_\_ Square 8"  
Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights (munlins), single pane  SDL's (Simulated Divided Lights) Manufacturer MALVIN  
Doors\* (type and material):  TDL  SDL Front wood Rear wood Side wood  
Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_  
Hardscape materials: Driveways CRUSHED SHELLS Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

**COLORS**

Sidewall NTW white cedar Clapboard (if applicable) N/A Roof NTW  
Trim " Sash birch Doors FOREST GREEN  
Deck " Foundation CEMENT, ASPHALT Fence N/A Shutters N/A

\* Attach manufacturer's color samples if color is not from HDC approval list.

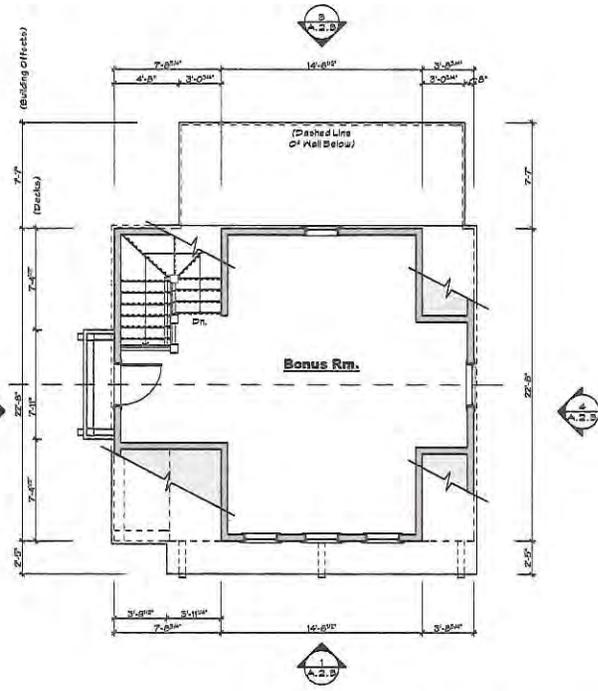
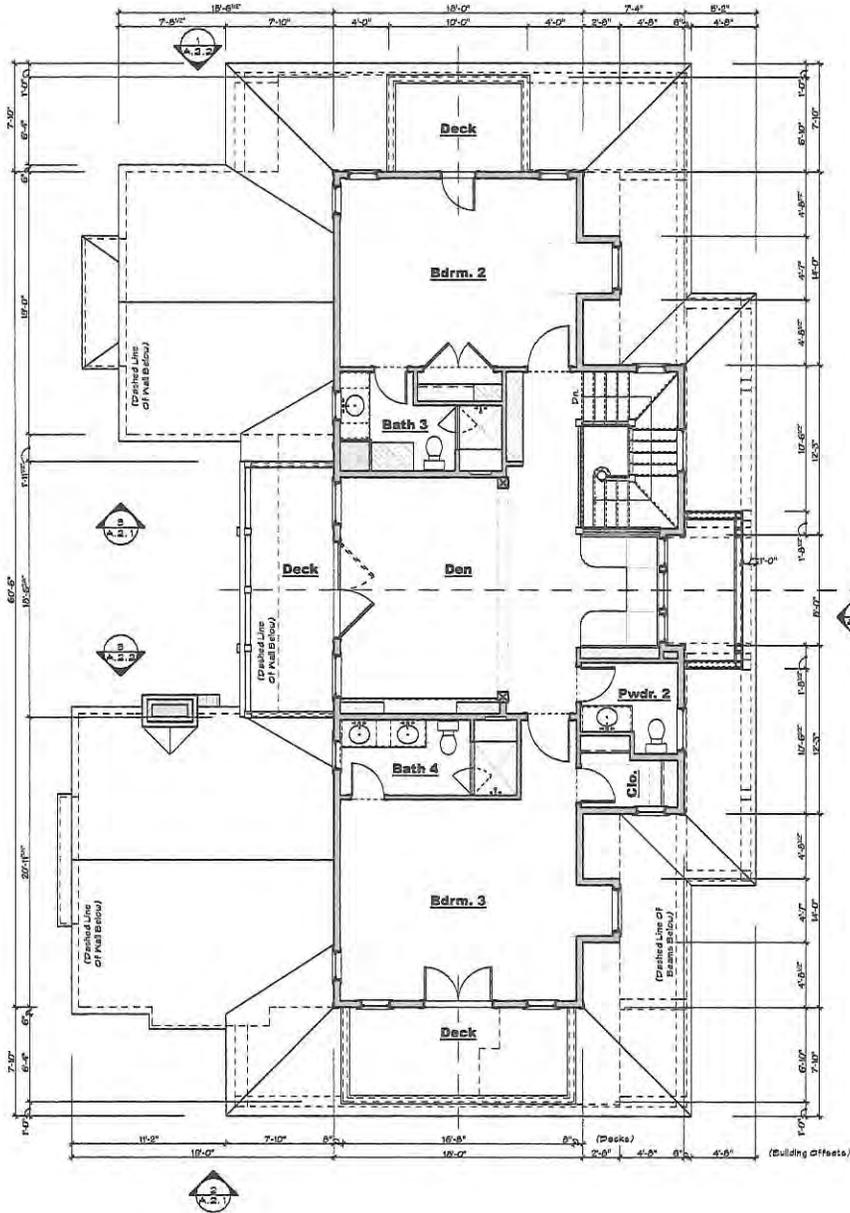
I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submittal of any revisions to this application will initiate a new sixty-day review period.

Date 2/10/15 Signature of owner of record Stevan Cohen Signed under penalties of perjury









**CONSTRUCTION LEGEND:**

(N) Gons. Fdn. Wall	
(N) CMU Fdn. Wall	
(Ex) Wood Frame Wall	
(N) Wood Frame Wall	
(N) Frame Wall w/ Brick Veneer	
(N) CMU Wall w/ Brick Veneer	
(N) Roof / Cedar Shingle	



Proposed Second Floor Plan  
SCALE: 1/4" = 1'-0"

**EKM DESIGN STUDIO**  
ARCHITECTURE  
Custom Residential • Renovation • Historic Preservation

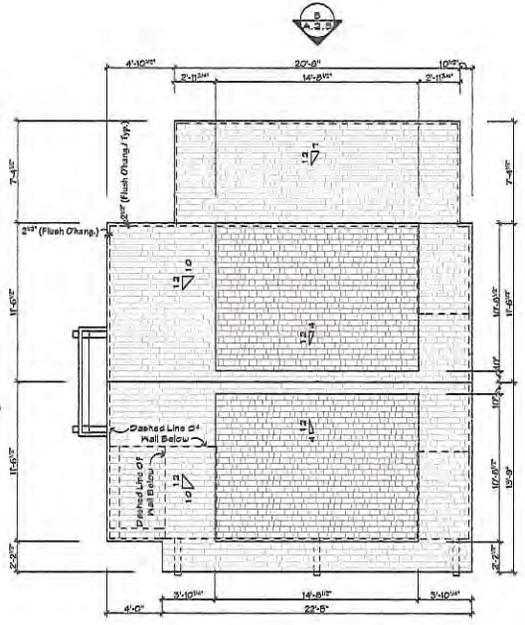
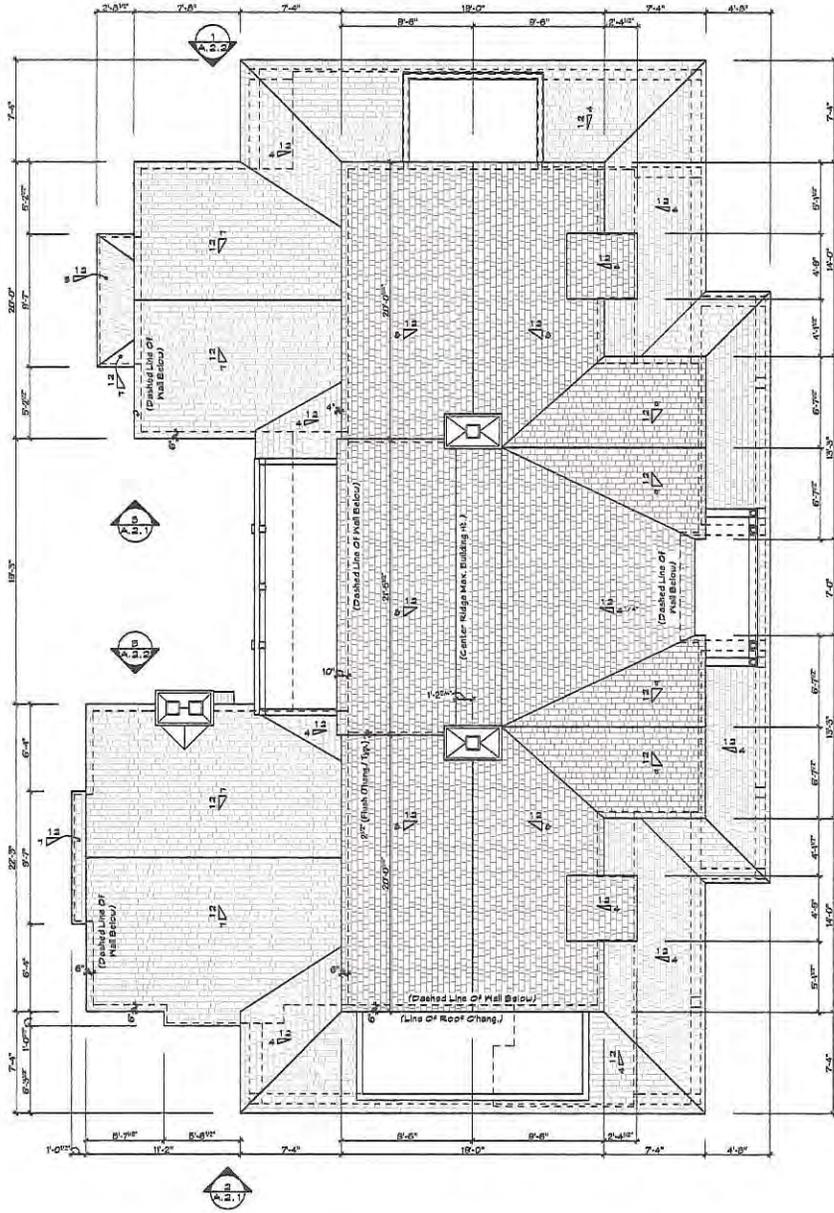
H.D.C. Set - 2/11/15

**Heather's Heaven, LLC**  
A Custom Cottage for Heather Mulvihill

SHEET:  
**A.1.3**  
DATE: 2/11/15

H.D.C. Submission Only - NOT FOR CONSTRUCTION

1500 North George Ave. © 2015 EKM Design Studio, LLC. All Rights Reserved. H.D.C. Set - 2/11/15



**CONSTRUCTION LEGEND:**

(N) Conc. Pdn. Mat.	
(N) CMU Pdn. Mat.	
(EX) Wood Frame Wall	
(N) Wood Frame Wall	
(N) Frame Wall w/ Brick Veneer	
(N) CMU Wall w/ Brick Veneer	
(N) Roof/ Cedar Shingle	



**Proposed Roof Plan**  
SCALE: 1/4" = 1'-0"

H.D.C. Submission Only - NOT FOR CONSTRUCTION

**Heather's Heaven, LLC**  
A Custom Cottage for Heather Mulvihill

SHEET:  
**A.1.4**  
DATE: 2/11/15

**EKMANDESIGNSTUDIO**  
ARCHITECTURE  
Custom Residential • Renovation • Historic Preservation

H.D.C. Set - 2/11/15

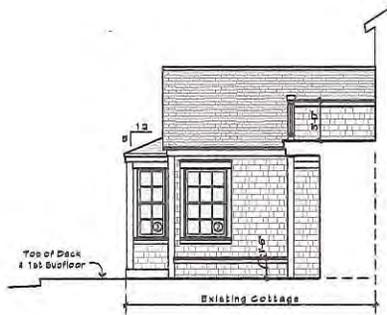
© 2015 Ekman Design Studio. All Rights Reserved. 1501 North 10th Street, Suite 100, Tallahassee, FL 32304. Phone: 904.209.1111. Fax: 904.209.1112. Email: info@ekmandesignstudio.com



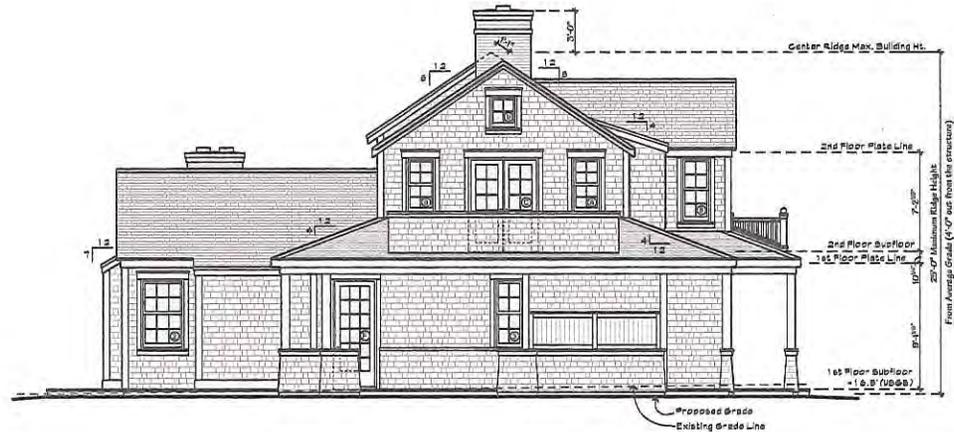
**EXT. MATERIALS LEGEND:**

(N) Roof/ Wall Cedar Shingles	
(N) Brick Veneer	
(N) 1x4 Wood T&G	

**1 Southeastern - Front Elevation**  
SCALE: 1/4" = 1'-0"



**3 Partial Southwestern Courtyard Elevation**  
SCALE: 1/4" = 1'-0"



**2 Southwestern - Left Side Elevation**  
SCALE: 1/4" = 1'-0"

**EKMAN DESIGN STUDIO**  
ARCHITECTURE  
Custom Residential • Renovation • Historic Preservation

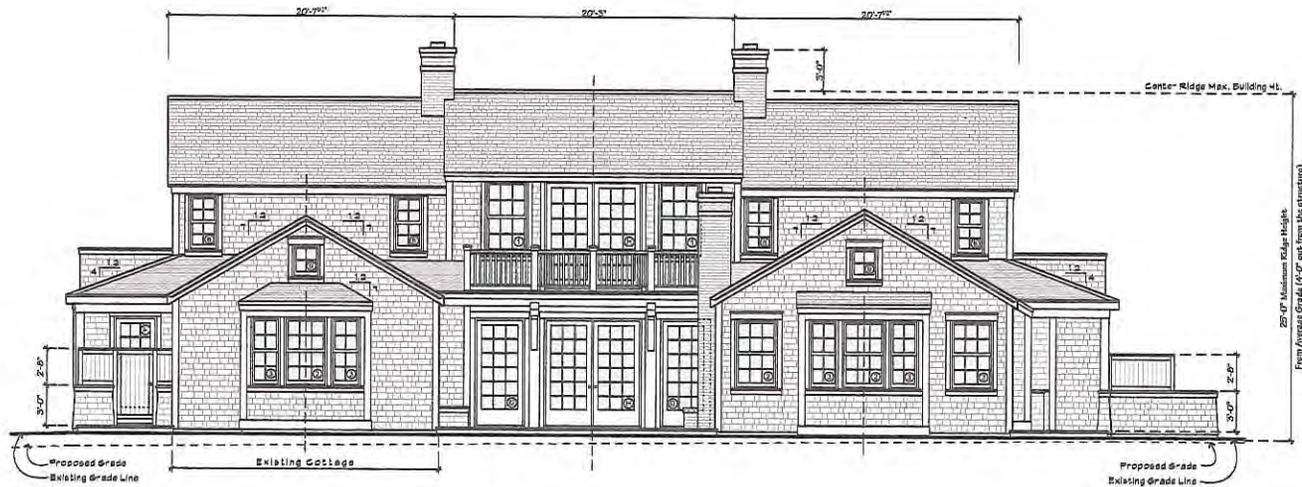
H.D.C. Set - 2/11/15

H.D.C. Submission Only - NOT FOR CONSTRUCTION

**Heather's Heaven, LLC**  
A Custom Cottage for Heather Mulvihill

SHEET:  
**A.2.1**  
DATE: 2/11/15

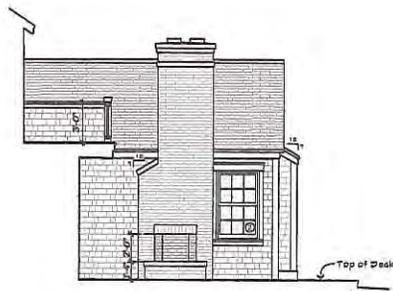
© 2015 Ekman Design Studio



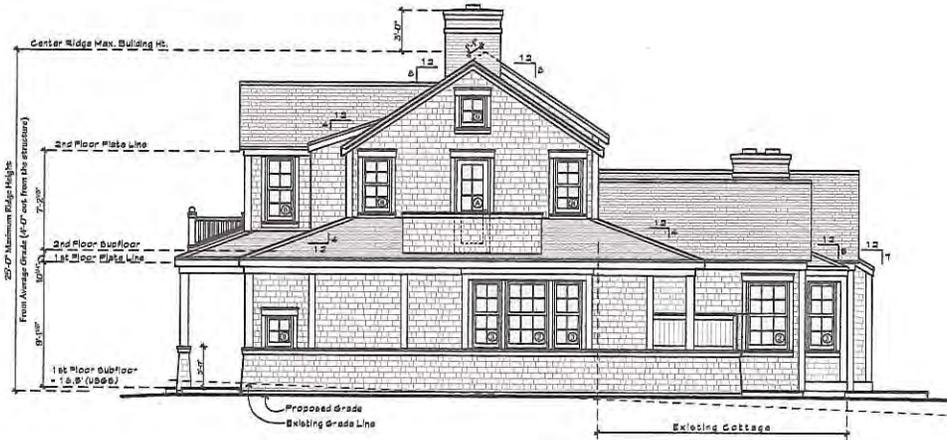
**EXT. MATERIALS LEGEND:**

(N) Roof/ Hill Cedar Shingles	
(N) Brick Veneer	
(N) 1x4 Wood Trim	

**2** Northwestern - Rear Elevation  
**A.2.2** SCALE: 1/4" = 1'-0"  
 Hither Creek Elevation



**3** Partial Northeastern Courtyard Elevation  
**A.2.2** SCALE: 1/4" = 1'-0"



**1** Northeastern - Right Side Elevation  
**A.2.2** SCALE: 1/4" = 1'-0"

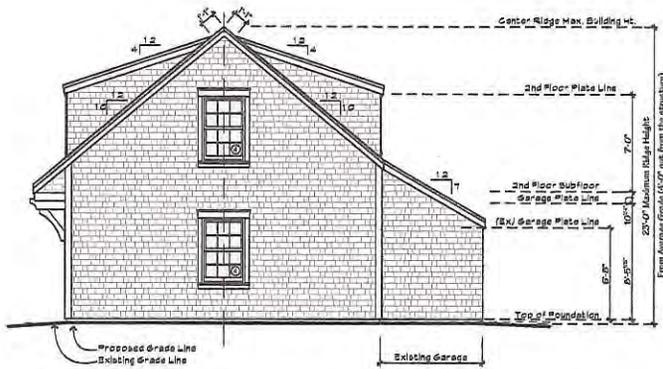
**EKMAN DESIGN STUDIO**  
 ARCHITECTURE  
 Custom Residential - Renovation - Historic Preservation

H.D.C. Set - 2/11/15

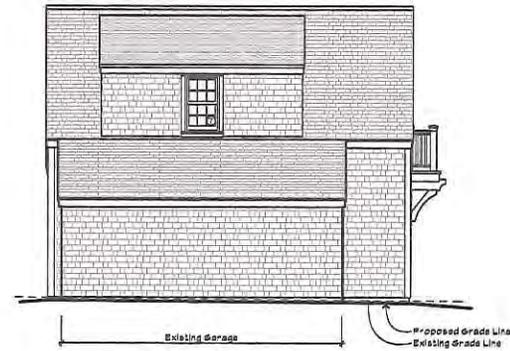
H.D.C. Submission Only - NOT FOR CONSTRUCTION

**Heather's Heaven, LLC**  
 A Custom Cottage for Heather Mulhall

SHEET:  
**A.2.2**  
 DATE: 2/1/15



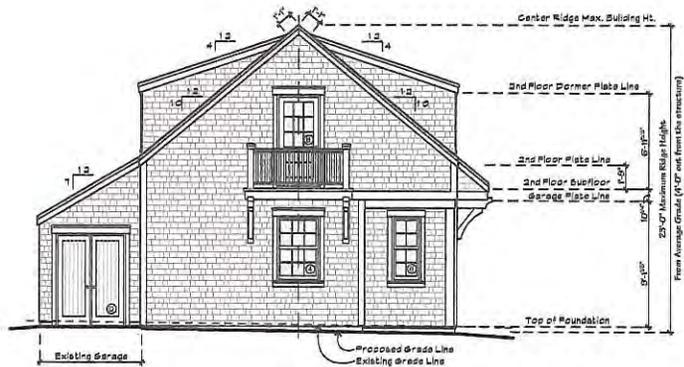
4 Southeastern - Garage Right Side Elevation  
SCALE: 1/4" = 1'-0"



3 Northeastern - Garage Rear Elevation  
SCALE: 1/4" = 1'-0"

**EXT. MATERIALS LEGEND:**

(N) Roof/Wall Cedar Shingles	
(N) Brick Veneer	
(N) 1x4 Wood T&G	



2 Northwestern - Garage Left Side Elevation  
SCALE: 1/4" = 1'-0"



1 Southwestern - Garage Front Elevation  
SCALE: 1/4" = 1'-0"



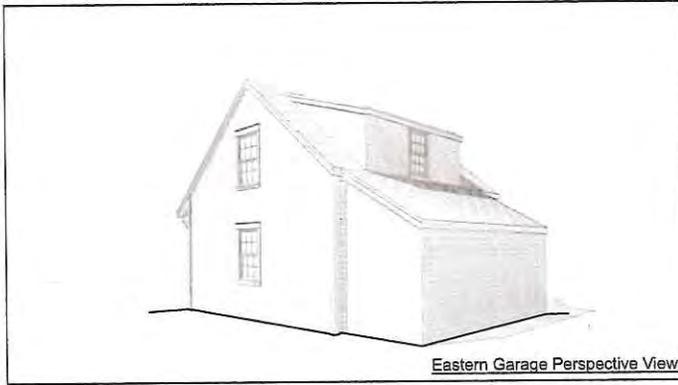
**EKMAN DESIGN STUDIO**  
**A R C H I T E C T U R E**  
 Custom Residential • Renovation • Historic Preservation

H.D.C. Set - 2/11/15

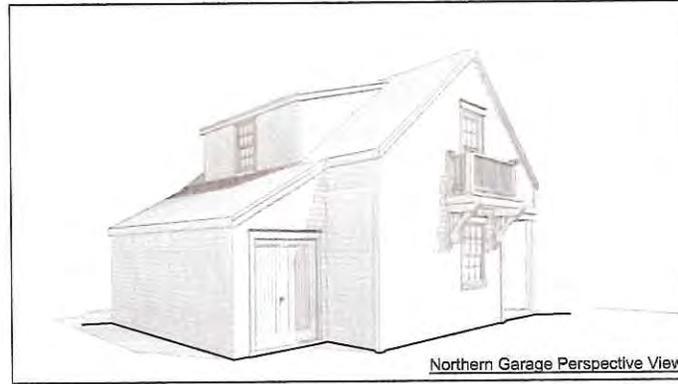
H.D.C. Submission Only - NOT FOR CONSTRUCTION

**Heather's Heaven, LLC**  
 A Custom Cottage for Heather Mulvihill

SHEET:  
**A.9.1**  
 DATE: 2/11/15



Eastern Garage Perspective View



Northern Garage Perspective View



Eastern Perspective View



Southern Garage Perspective View



Western Garage Perspective View

**EKMAN DESIGN STUDIO**  
**ARCHITECTURE**  
 Custom Residential • Renovation • Historic Preservation

H.D.C. Set - 2/11/15

H.D.C. Submission Only - NOT FOR CONSTRUCTION

**Heather's Heaven, LLC**  
 A Custom Cottage for Heather Mulvihill

SHEET:  
**A.9.2**  
 DATE: 2/11/15

CERTIFICATE NO: 53063

DATE ISSUED: 10/21/08

Poster

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS for structural work.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, Building with Nantucket In Mind, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference. The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP NO: 60.2.1 PARCEL NO: 76
Street & Number of Proposed Work: 13 C STREET
Owner of record: MPB NOMINEE TRUST
Mailing Address: 96 S WATER ST NANTUCKET MA
Telephone: 228-1118 (on island)

AGENT INFORMATION (if applicable)

Name: KOTICELLI - FCHL
Mailing Address: 87 E FRENCH ST NANTUCKET MA
Telephone: 228-5485 (on island)

FOR OFFICE USE ONLY

Date application received: 6/20/08 Fee Paid: \$677.40
Must be acted on by:
Extended to:
Approved: Disapproved:
Chairman:
Member:
Member:
Member:
Notes - Comments - Restrictions - Conditions:
over 10/17/08, new provided side elevations under dock on North Elevation, Quaker Group Team.

DESCRIPTION OF WORK TO BE PERFORMED See reverse for required documentation.

- Color Change, Other (please specify) 44'-0"
Size of Structure of Addition: Length: 46'-3" Sq. Footage 1st floor: 1301-94-1241 Decks: Size: 23'-9"x8'-6" 1st floor 2nd floor: 5'-9"x7'-0"
Width: 45'-7" Sq. Footage 2nd floor: 581-07-572 Size: 23'-9"x7'-6" 1st floor 2nd floor: 6'-6"x4'-6" 1st fl 3"-1/2"
12'-7" Sq. Footage 3rd floor: 6'-6"x4'-6" 1st fl 3"-1/2"

Difference between existing grade and proposed finish grade: North 1/2" South 6" East 1" West 1"
Height of ridge above final finish grade: North 22'-4" South 21'-10" East 22'-3" West 21'-8"
Additional Remarks:
Historic Name: SANS SOUCI
Original Date: BY 1938
Original Builder: N/A
Is there an HDC survey form for this building? Yes No
REVISIONS: 1. East Elevation 21'-10" 21'-3"
2. South Elevation
3. West Elevation
4. North Elevation
\*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 6'-1" Block Block Parged Brick (type) Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) MATCH EAST Other
Roof Pitch: Main Mass 8/12 Secondary Mass 4/12 Dormer 4/12 Other
Roofing material: Asphalt Manufacturer Wood (Type: Red Cedar, White Cedar, Shakes, etc.) Other Manufacturer
Skylights (flat only): Manufacturer Rough Opening Size Location
Gutters: Wood (type) FIR 5x4 Aluminum Copper
Leaders (material and size): 3" COPPER
Sidewall: White cedar shingles Clapboard (exposure: inches) Front Side
Trim: A. Wood Pine Redwood Cedar Other
B. Treatment Paint Stain-solid Natural to weather Clear oil finish
C. Dimensions: Fascia 1x8 Rake 1x8 Soffit (Overhang) 1x6 Corner boards 5/4x6 Frieze
Window Casing 5/4x4 Door Frame 5/4x4 Columns/Posts: Round Square 8x8
Windows: Double Hung Casement All Wood Other
True Divided Lights (muntins) SDL's (Simulated Divided Lights)
Doors\* (type and material): Front 9 LIGHT 1/2 PANEL Rear FRENCH 1/2 LIGHT Side 9 LIGHT 1/1 PANEL
Garage Door(s): Type Material
Landscape materials: Driveways Walkways Walls

COLORS

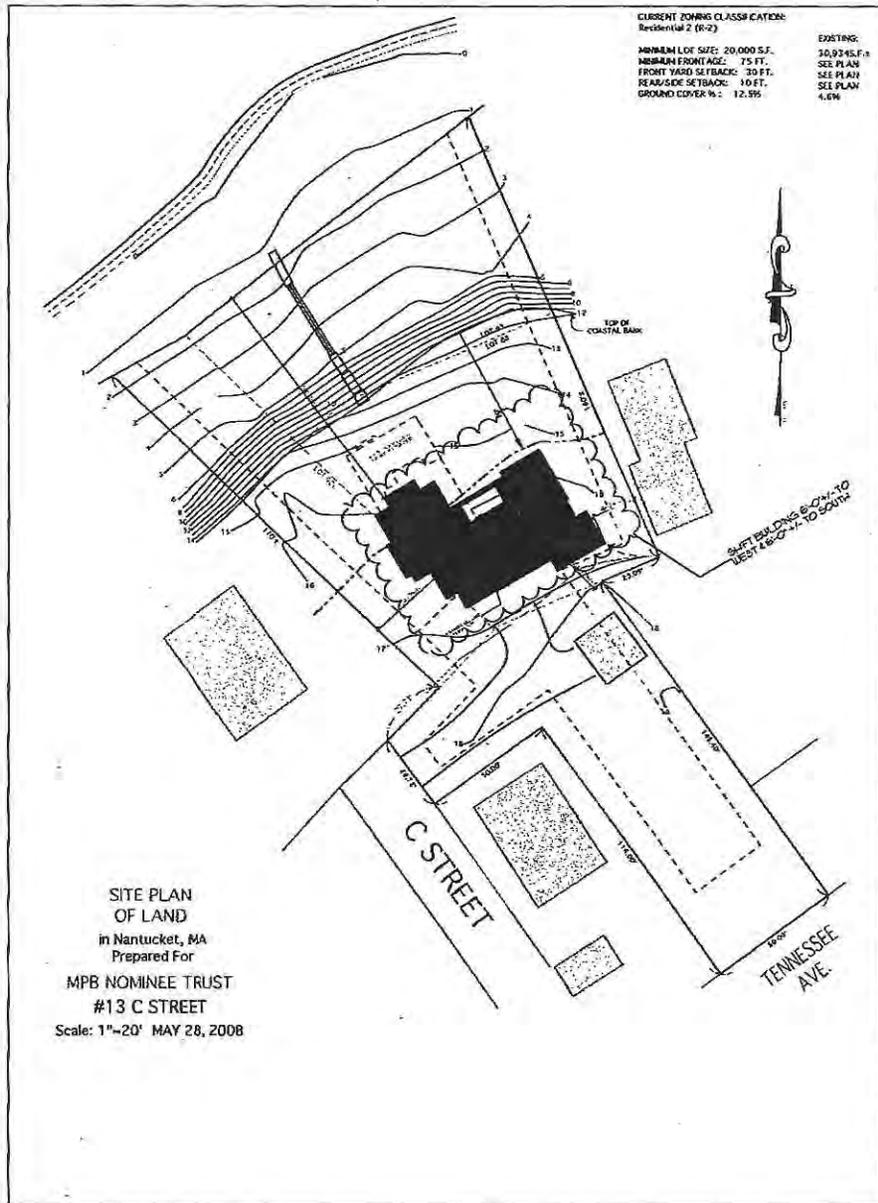
Sidewall TO WEATHER Clapboard (if applicable) Roof TO WEATHER
Trim WHITE QUAKER GRAY Sash WHITE Doors WHITE
Deck TO WEATHER Foundation NATURAL Fence Shutters

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date: Signature of owner of record: Signed under penalties of perjury

Prior application, not built



**BOUTICELLI & POHL**  
ARCHITECTS

100 State Street, Nantucket, MA 02550  
Tel: 508-548-1111 Fax: 508-548-1112  
www.bouticelliandpohl.com

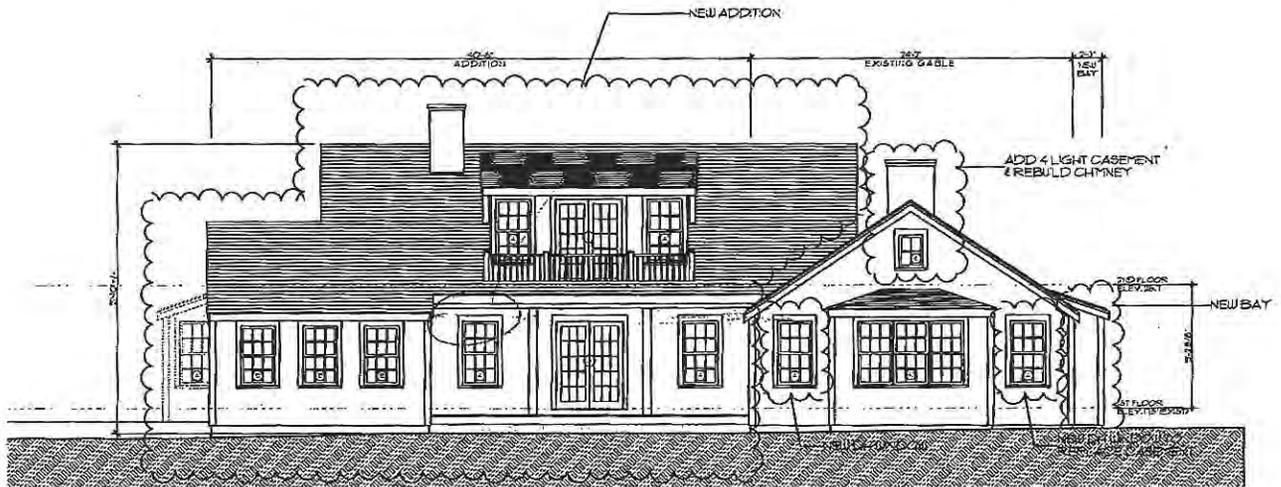
Site Plan

MPB Number  
10-1  
13 C Street  
Nantucket, MA  
02550  
10/1/08  
10/1/08

L-1.0

HDC REVISIONS:

OCT 17 2008  
MEETING 10/21/08



**NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"

**BOTTICELLI & POHL ARCHITECTS**

1215 W. 10th Street, Suite 100, Lincoln, NE 68502  
 Phone: (402) 441-1111 Fax: (402) 441-1112

North Elevation

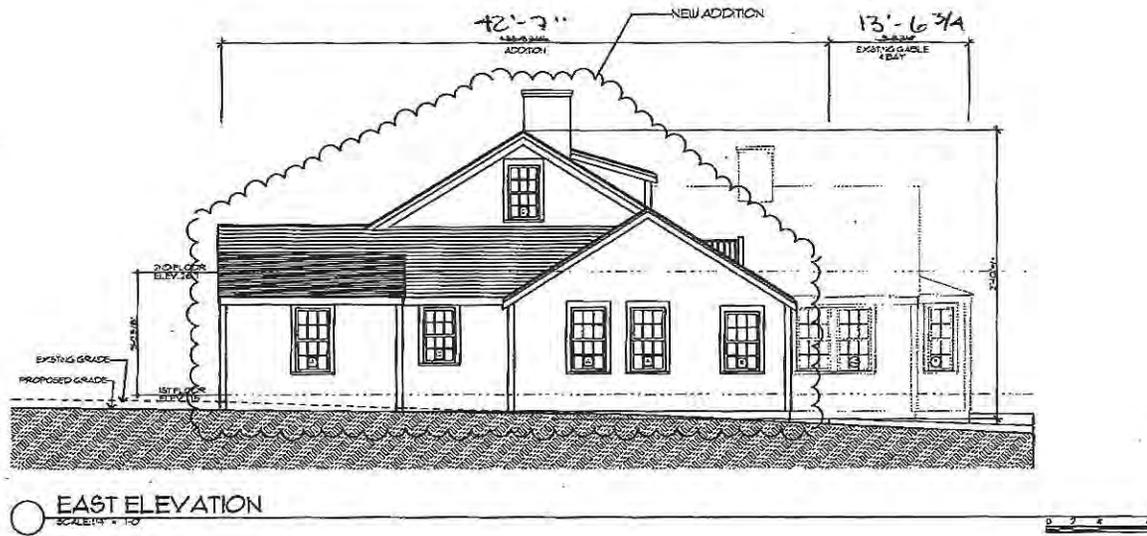
MPI Number:  
 Project:  
 P.O. Street:  
 City:  
 State:  
 Zip:  
 Date:  
 Drawing Title:  
 Drawing No.:  
 Scale:  
 Date:

**A-2.1**

**HDC REVISIONS:**

**OCT 17 2008**





**BOTTICELLI & POHL**  
ARCHITECTS

125 WASHINGTON AVENUE, SUITE 200, BOSTON, MASSACHUSETTS 02111  
TEL: 617.552.1100 FAX: 617.552.1101

www.botticelli-pohl.com

East Elevation

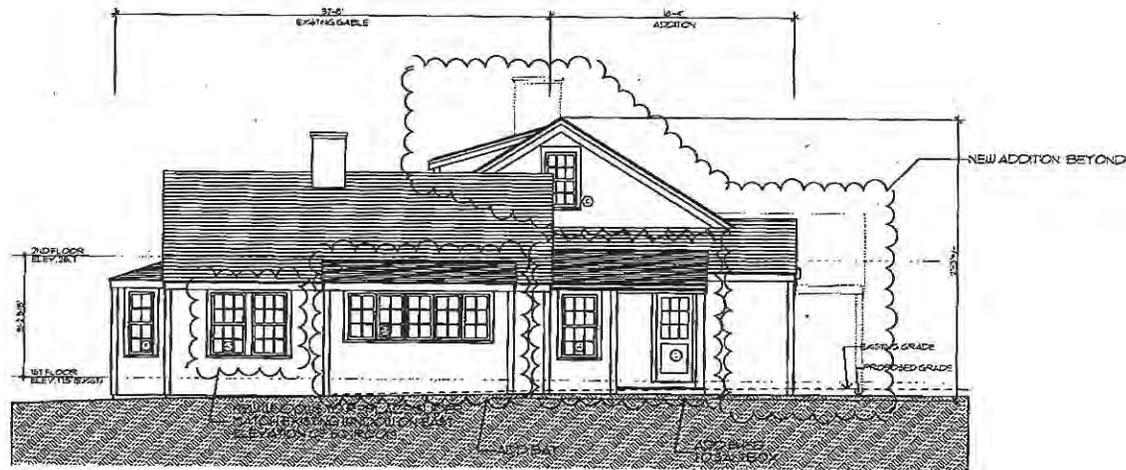
MPR Number:  
104  
134-5501  
10/1/08

DATE:  
10/1/08  
PROJECT:  
101100  
10/1/08

A-2.3

HDC REVISIONS:

OCT 17 2008



WEST ELEVATION  
SCALE: 1/4" = 1'-0"



BOTTICELLI & POHL  
ARCHITECTS



314-2411-1122 or 1122@pbk.com



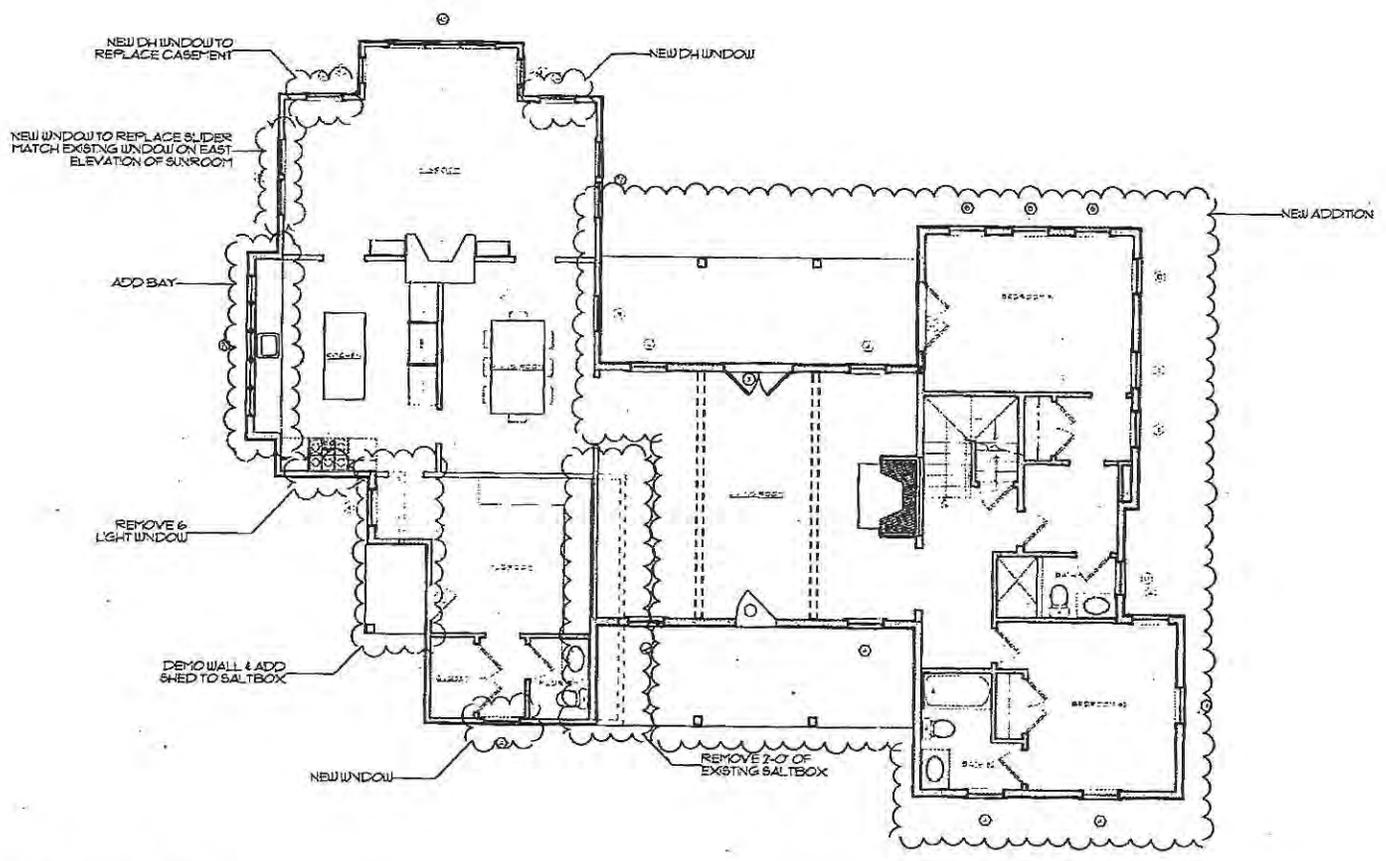
West Elevation

MEP Notes:  
1. See  
2. See  
3. See  
4. See  
5. See  
6. See  
7. See  
8. See  
9. See  
10. See

A-2.4

HDC REVISIONS:

OCT 17 2008



1 FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"

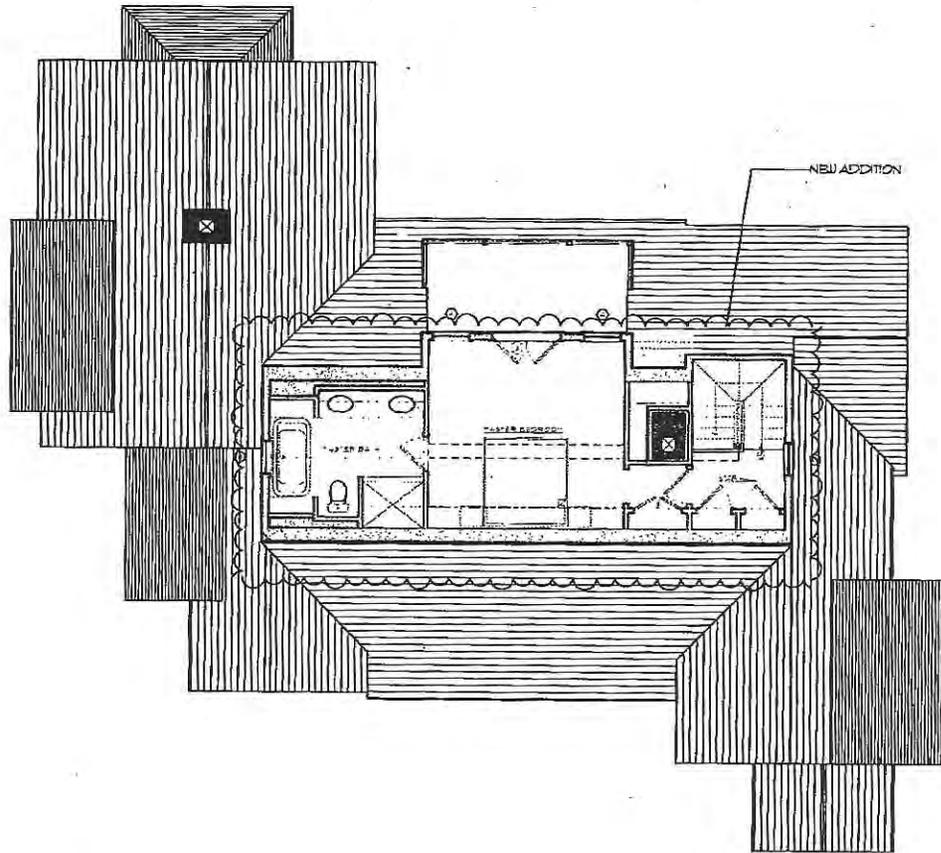
HDC REVISIONS:  
OCT 17 2008

BOTTICELLI & POHL  
 ARCHITECTS  
 1000 W. WASHINGTON ST. SUITE 200  
 CHICAGO, IL 60606  
 TEL: 312.467.1000  
 FAX: 312.467.1001  
 WWW.BPARCHITECTS.COM

First Floor Plan

1000 W. WASHINGTON ST. SUITE 200  
 CHICAGO, IL 60606  
 TEL: 312.467.1000  
 FAX: 312.467.1001  
 WWW.BPARCHITECTS.COM

A-1.1



① SECOND FLOOR  
SCALE: 1/8" = 1'-0"

HDC REVISIONS:  
OCT 17 2008

<b>BOTTICELLI &amp; POHL</b> ARCHITECTS <small>1000 W. BROADWAY, SUITE 1000, NEW YORK, NY 10011          TEL: 212-279-1100 FAX: 212-279-1101          WWW.BOTTICELLIANDPOHL.COM</small>	
Second Floor Plan	
MEP Content: HVAC Plumbing Electrical Fire Protection Life Safety Other	
<b>A-1.2</b>	

13 C Street  
Nantucket, MA

## Window &amp; Exterior Door Schedule

## Window Schedule

FOR PRICING ONLY - CONTACT ARCHITECT BEFORE PLACING WINDOW/DOOR ORDER

No.	Qn.	Type	Manuf.	Model #	Sash/Frame Size	Rough Opening	Glass Size	Lights	Comments
A		Double Hung	Boston Sash	N/A	2'-6 5/8" x 4'-5"		9 x 12	6 over 6	
A2	(2)	Double Hung	Boston Sash	N/A	(2) 2'-6 5/8" x 4'-9"		9 x 12	6 over 6	3" stud pocket
A3	(3)	Double Hung	Boston Sash	N/A	(3) 2'-6 5/8" x 4'-5"		9 x 12	6 over 6	no stud pockets
B		Double Hung	Boston Sash	N/A	2'-6 5/8" x 4'-1"		9 x 11	6 over 6	
C		Double Hung	Boston Sash	N/A	2'-3 5/8" x 4'-1"		8 x 11	6 over 6	
D5	(5)	Casement	Boston Sash	N/A	(5) 2'-0" x 3'-6"		10 x 12	6	custom size; no stud pockets
E		Casement	Boston Sash	N/A	1'-9 3/8" x 2'-3 1/4"		9 x 12	4	
F		Double Hung	Boston Sash	N/A	1'-9 5/8" x 4'-9"		9 x 12	4 over 4	custom size; match (A) window light size

## Door Schedule

No.	Qn.	Type	Manuf.	Model #	Unit Size	Rough Opening	Lights	Comments
1		Front Door	Custom	N/A	3'-0" x 6'-8"		9	Panel configuration as shown on elevs--provide shop dwgs
2		Side Door	Custom	N/A	2'-8" x 6'-8"		9	Panel configuration as shown on elevs--provide shop dwgs
3		French Doors	Upstate	N/A	5'-0" x 6'-6"		15	Provide shop drawings

## Notes:

1. All windows shall be single glazed, true divided lights, 3/4" muntins, hidden balances, configuration as shown on drawings.
2. Contractor shall provide shop drawings specifying all rough opening sizes, glass sizes and quantities for Architects approval before placing window order.
3. Contractor shall provide tempered glass in all locations required by code.
4. Contractor shall provide custom mahogany storm windows/screens for all windows and doors.

Revised 10/15/08

CERTIFICATE NO: 53269

DATE ISSUED: 12/16/08

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

**CERTIFICATE OF APPROPRIATENESS**

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference. The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

**PROPERTY DESCRIPTION**

TAX MAP N°: 60.2.1 PARCEL N°: 76  
Street & Number of Proposed Work: 13 C STREET  
Owner of record: MPB NOMINEE TRUST  
Mailing Address: 96 2 SOUTH WATER ST.  
NANTUCKET MA  
Contact Phone #: 238 1118 E-mail: \_\_\_\_\_

**AGENT INFORMATION (if applicable)**

Name: BOTTICELLI - POHL  
Mailing Address: 87 EASON ST  
NANTUCKET MA  
Contact Phone #: 220 5155 E-mail: \_\_\_\_\_

**FOR OFFICE USE ONLY**

Date application received: 12/4/08 Fee Paid: \$ 25.00  
Must be acted on by: 2/5/09  
Extended to: \_\_\_\_\_  
Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
Chairman: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Notes - Comments - Restrictions - Conditions  
rev 12/5/08 jpl

**DESCRIPTION OF WORK TO BE PERFORMED**

See reverse for required documentation.

- New Dwelling
- Addition
- Garage
- Garage/Apartment
- Commercial
- Historical Renovation
- Deck
- Steps
- Shed
- Color Change
- Fence
- Gate
- Paving
- Move Building
- Demolition
- Revisions to previous Cert. No. 53,063
- Roof
- Other

Size of Structure or Addition: Length: \_\_\_\_\_ Sq. Footage 1st floor: \_\_\_\_\_ Decks: Size: \_\_\_\_\_  1st floor  2nd floor  
Width: \_\_\_\_\_ Sq. Footage 2nd floor: \_\_\_\_\_ Size: \_\_\_\_\_  1st floor  2nd floor  
Sq. Footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_  
Height of ridge above final finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

**Additional Remarks**

Historic Name: SAN'S SOULI REVISIONS: 1. East Elevation ADD BULKHEAD  
(describe):  
2. South Elevation  
3. West Elevation  
4. North Elevation

Original Date: BY 1938  
Original Builder: N/A

Is there an HDC survey form for this building attached?  Yes  N/A \*Cloud on drawings and submit photographs of existing elevations.

**DETAIL OF WORK TO BE PERFORMED**

Foundation: Height Exposed \_\_\_\_\_  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_

Roof Pitch: Main Mass /12 Secondary Mass \_\_\_\_\_ /12 \_\_\_\_\_ Dormer \_\_\_\_\_ /12 \_\_\_\_\_ Other \_\_\_\_\_

Roofing material:  Asphalt  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_

Fence: Height: \_\_\_\_\_  
Type: \_\_\_\_\_  
Length: \_\_\_\_\_

Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_

**Leaders (material and size):**

Sidewall:  White cedar shingles \_\_\_\_\_  Clapboard (exposure: \_\_\_\_\_ Inches) Front  Side   
 Other \_\_\_\_\_

Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_

C. Dimensions: Fascia \_\_\_\_\_ Rake \_\_\_\_\_ Soffit (Overhang) \_\_\_\_\_ Corner boards \_\_\_\_\_ Frieze \_\_\_\_\_  
Window Casing \_\_\_\_\_ Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_

Windows:  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights (muntins)  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_

Doors\* (type and material): Front \_\_\_\_\_ Rear \_\_\_\_\_ BULKHEAD RED CEDAR V-GROOVE  
Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_

Hardscape materials: Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

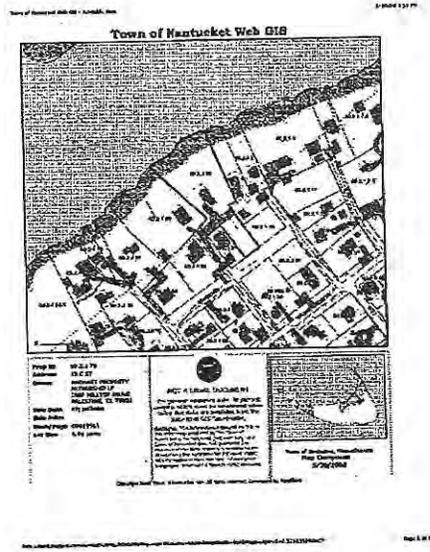
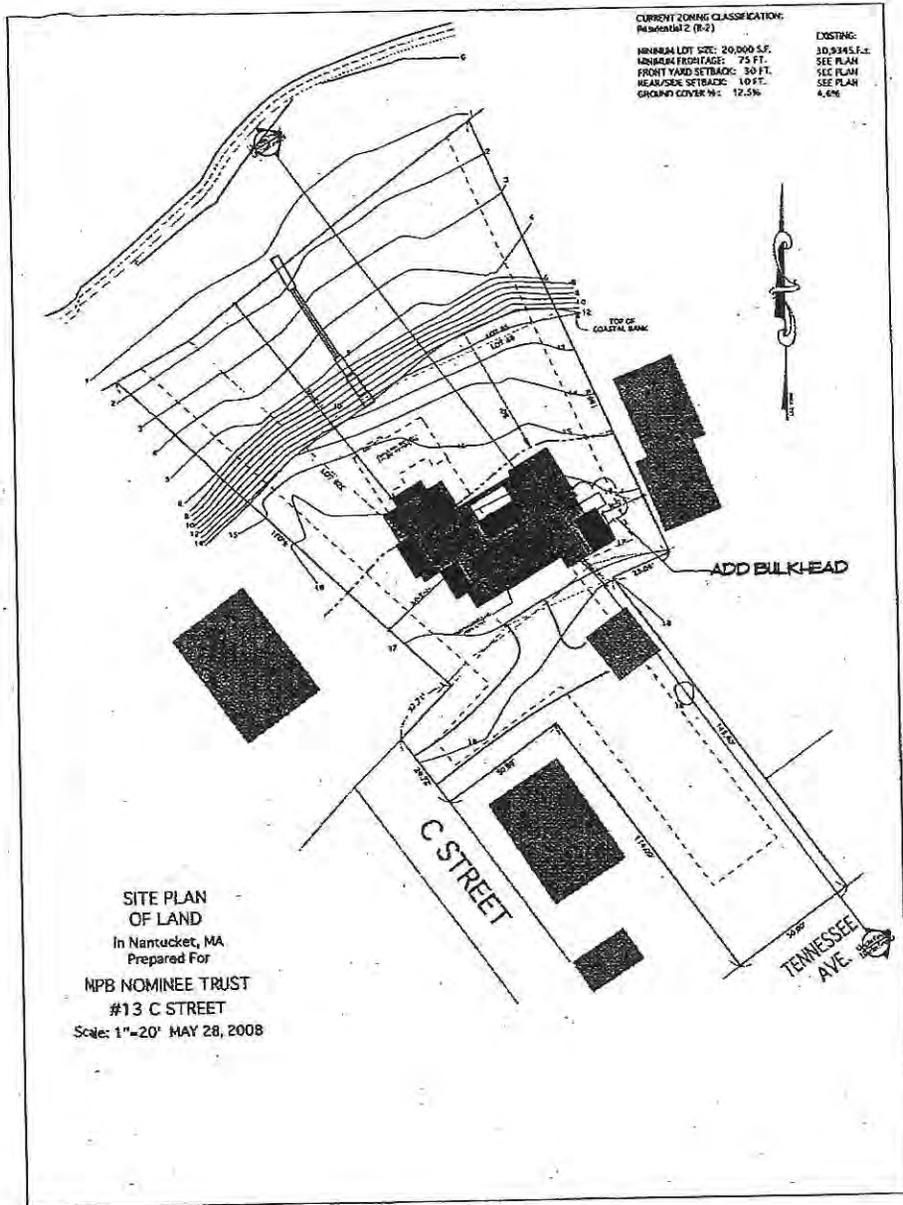
\* Note: Complete door and window schedules are required.

**COLORS**

Sidewall TO WEATHER Clapboard (if applicable) \_\_\_\_\_ Roof \_\_\_\_\_  
Trim \_\_\_\_\_ Sash \_\_\_\_\_ Doors TO WEATHER  
Deck \_\_\_\_\_ Foundation \_\_\_\_\_ Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications of the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.  
Date \_\_\_\_\_ Signature of owner of record \_\_\_\_\_ Signed under penalties of perjury



**BOITICELLI & POHL ARCHITECTS**

100 NANTUCKET STREET, SUITE 100, NANTUCKET, MA 02551  
PHONE: 508-548-2222 FAX: 508-548-2223  
WWW.BPARCHITECTS.COM

**Site Plan**

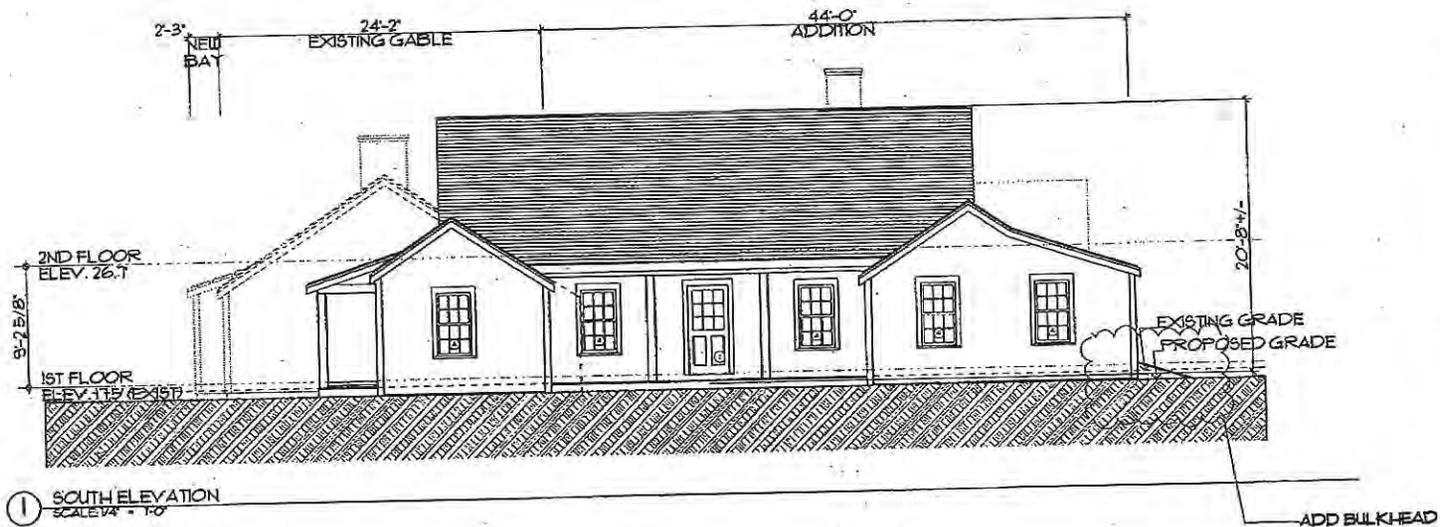
**NPB Nominee**  
Project  
**#13 C Street**  
Nantucket, MA  
02551

Map No:  
Parcel No.:  
Project No.:  
Section: 20, 1' - 1/2"  
Plat: 12/28/08  
Drawing No.:

**L-1.1**

This drawing is based on a field sketch and is not a final plan. It is not intended to be used for legal purposes. For more information, please contact the architect at 508-548-2222.





**BOTTICELLI & POHL**  
ARCHITECTS

1300 N. 13th St., Suite 100, Lincoln, NE 68502  
402.441.1111

NO.	DATE	DESCRIPTION

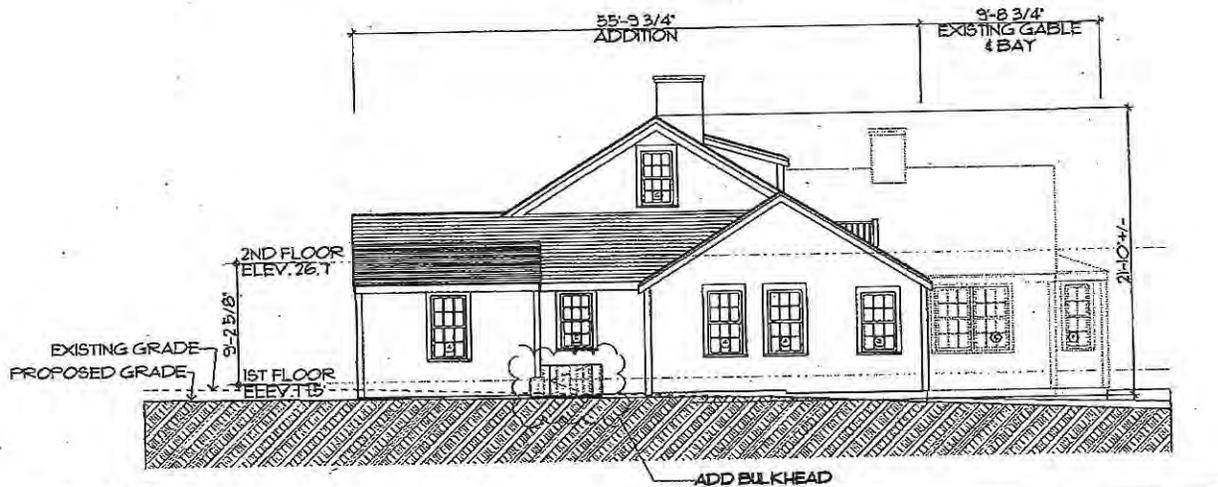
**South Elevation**

MPS Norman  
11st  
13 C Street  
Nebraska 685  
68502

Map No.  
Parcel No.  
Project No. 05  
5-21-04 - 1st  
Plat No. 124th, December 2,  
Date 12/04  
Drawing No.

**A-2.2**

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① EAST ELEVATION  
SCALE: 3/8" = 1'-0"

BOTTICELLI & POHL ARCHITECTS

East Elevation

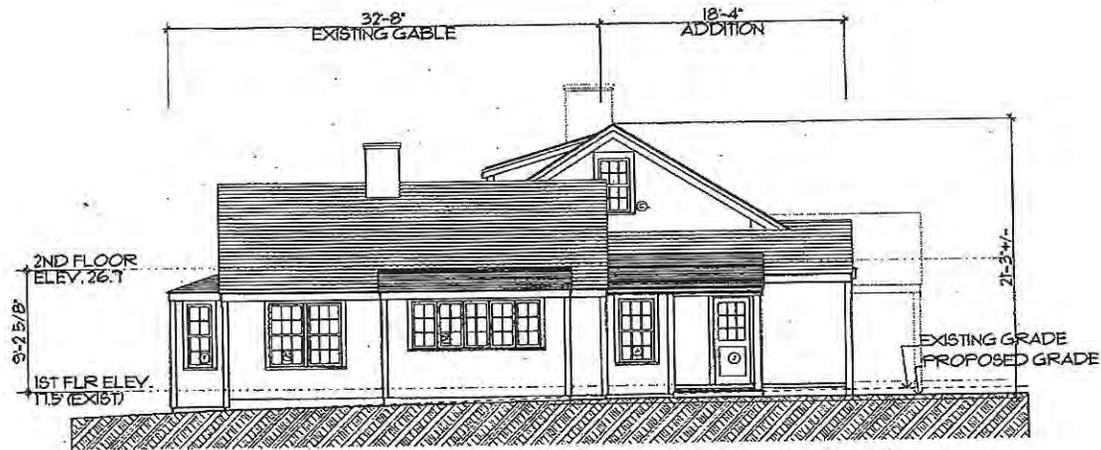
NO.	DATE	DESCRIPTION
1		

MPE Noted:  
 I trust  
 13 C Steel  
 Needham, MA  
 02558

50 sq. ft. Deck  
 Floor No. 4  
 Floor No. 4  
 Scale: 3/8" = 1'-0"  
 Plotting & Printing: December 7,  
 04:48 12:00  
 Drawing No.:

**A-2.3**

© Botticelli & Pohl Architects  
 100 State Street, Suite 200, Needham, MA 02558  
 Tel: 617-452-1111 Fax: 617-452-1112  
 www.botticelliandpohl.com



1 WEST ELEVATION  
SCALE 1/4" = 1'-0"

**BOTTICELLI & POHL ARCHITECTS**

1000 State Street, Suite 200  
Newmarket, MA 01858  
Tel: 978-352-1111



DATE	DESCRIPTION
12/12/06	ISSUED FOR PERMITS

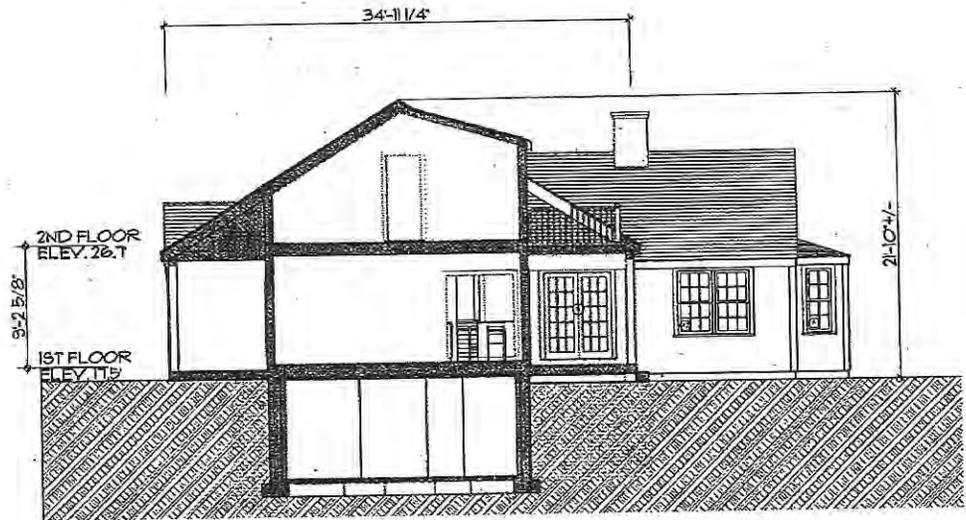
**West Elevation**

MPH Nonlinear  
Trust  
13 C Street  
Newmarket MA  
01854

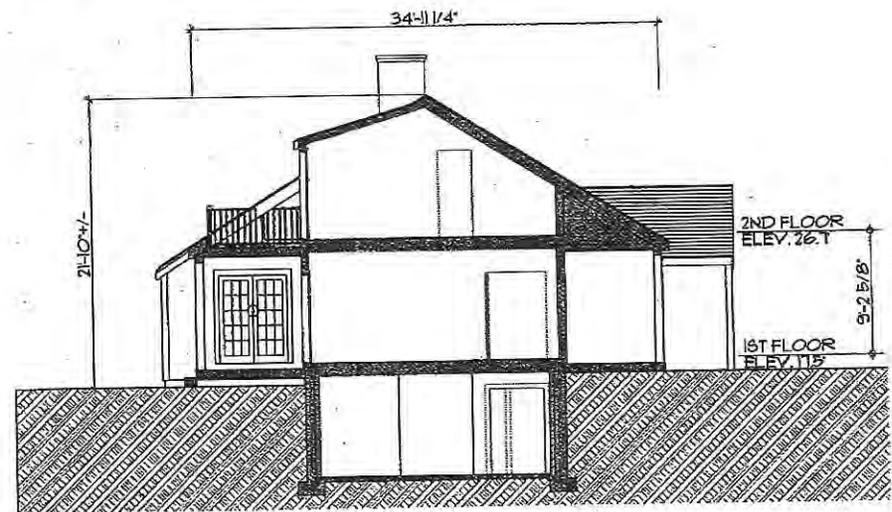
Stephan  
13 C Street  
Newmarket MA  
01854  
Date: 12/12/06  
Drawing No:

**A-2.4**

Underground utilities shown  
are not to scale. All  
dimensions are to the  
center of the structure.  
© 2006 MPH Nonlinear  
Trust



① COURTYARD ELEVATION-WEST  
SCALE 1/4" = 1'-0"



② COURTYARD ELEVATION-EAST  
SCALE 1/4" = 1'-0"

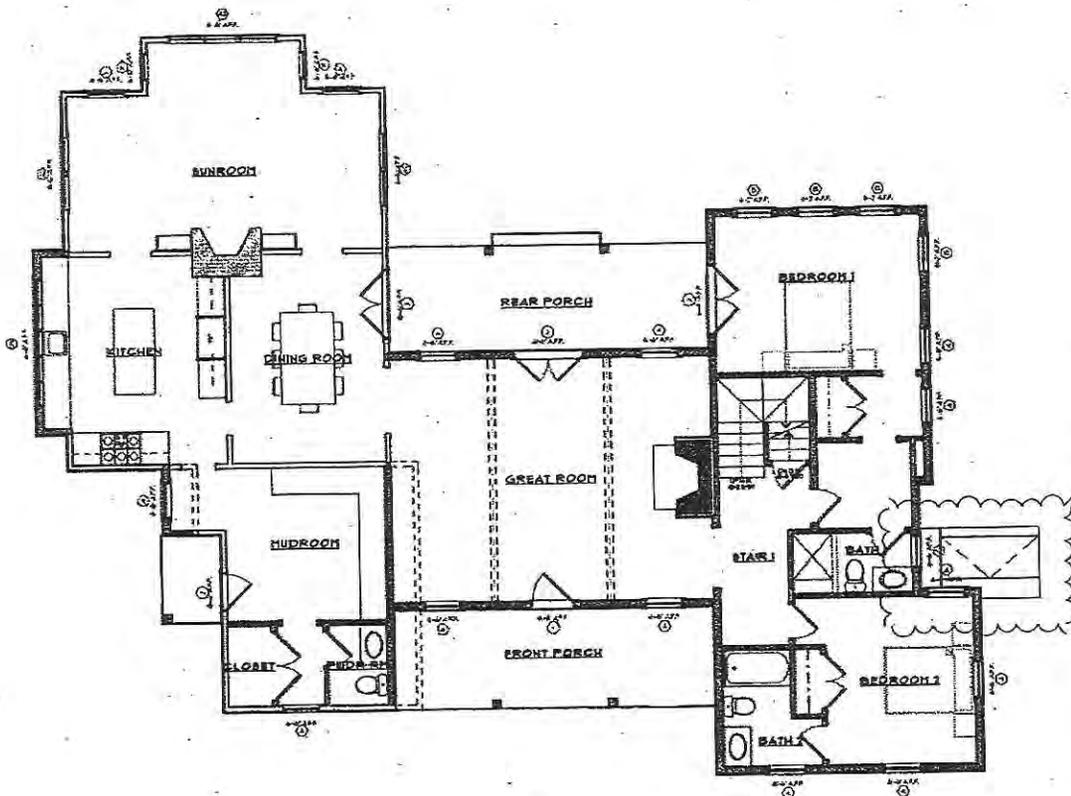
**BOITICELLI & POHL ARCHITECTS**  
 1000 Main Street, Suite 200  
 Northampton, MA 01060  
 Phone: 413/253-1111  
 Fax: 413/253-1112  
 www.boiticelli.com

NO.	DATE	DESCRIPTION
1	7/2	

**Courtyard Elevations**

MPB Nominee  
 1100  
 13 C Street  
 Northampton, MA  
 01060  
 Map No.  
 Volume No.  
 Sheet No. of  
 Sheet No. = 1 of 1  
 Project Name: December 1,  
 Date: 12/08  
 Drawing No.:  
**A-2.5**

All drawings and designs are prepared  
 under the supervision of  
 Kenneth B. Pohl, P.E., No. 000000000  
 a Professional Engineer in the State of  
 Massachusetts.



① FIRST FLOOR PLAN  
SCALE 1/4" = 1'-0"

**BOTTICELLI & POHL**  
ARCHITECTS

1000 WEST STREET, SUITE 200, NEWTON, MASSACHUSETTS 02459  
TEL: 617-552-1100 FAX: 617-552-1101

NO.	DATE	DESCRIPTION

**First Floor Plan**

MPB Nominee  
1st C Street  
Newmarket, MA  
01860

Map No.  
Parcel No.  
Parcel Size: 42  
Sublot No. = 100  
Plat No. (including Description)  
Date: 10/08  
Drawing No.

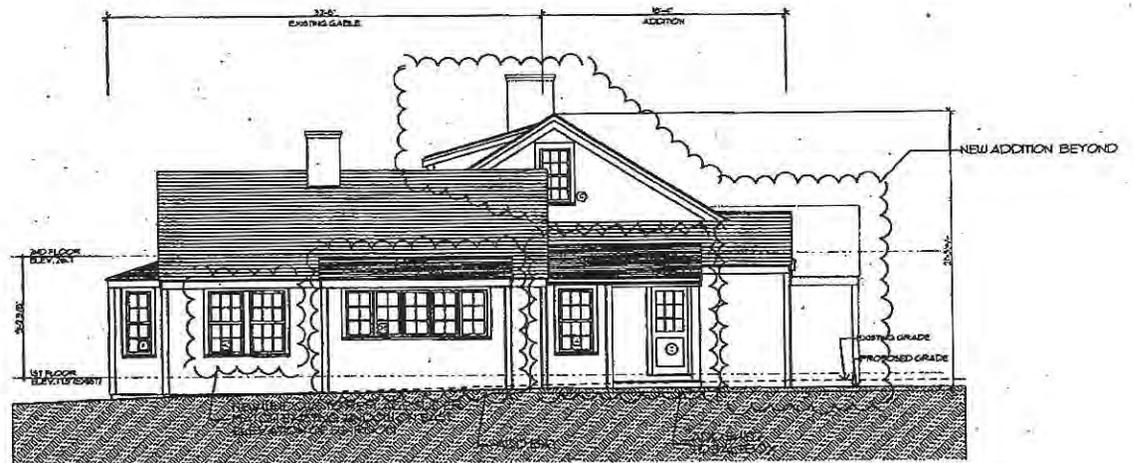
**A-1.1**

As shown and unless otherwise noted, all dimensions are in feet and inches. All dimensions are to the center of the wall unless otherwise noted. All dimensions are to the center of the wall unless otherwise noted. All dimensions are to the center of the wall unless otherwise noted.









WEST ELEVATION  
SCALE: 1/4" = 1'-0"

**BOTTICELLI & POHL**  
ARCHITECTS

11100 Woodmont Avenue, Suite 100, Bethesda, MD 20814  
Tel: 301.229.8800 Fax: 301.229.8801  
www.botticelliandpohl.com



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West Elevation

MFR Number:  
11100 Woodmont Avenue, Suite 100  
Bethesda, MD 20814  
Tel: 301.229.8800 Fax: 301.229.8801  
www.botticelliandpohl.com

A-2.4

HDC REVISIONS:

OCT 17 2008

REVISIONS



# HISTORIC DISTRICT COMMISSION

37 Washington Street

Nantucket, Massachusetts 02554

Telephone: 508.228.7231

Fax: 508.325.7572

## Historic Structures Supplemental Application

Owner of Record: NPB NOMINEE TRUST

Address: 13 C STREET

Map/Parcel: 602.1176

Historic Name of Building: SANS SOUCI

Original Date of Construction: BY 1938

HDC Survey?  Yes  No

How is the structure rated?  Individually Significant  Contributing  Non-Contributing

Describe Proposed Work:

ADD BULKHEAD TO EAST ELEVATION

Describe amount of existing building fabric to be removed or altered (use additional pages if necessary):

NONE

All Historic Structure Applications must contain: ALL ON FILE @ HDC

1. Historic Documentation (Including date of construction, architectural/historic significance, evolution of structure, maps (i.e. Sanborn Fire Insurance), photographs)
2. As Built Drawings (include all elevations, floor plans, and any significant detailing)
3. Black and White Photographs (include current elevations and significant details)
4. Demolition Plan (include all existing building fabric to be removed, both interior and exterior)

Please contact the office at 228-7231 if you have any questions regarding the research or this application. This application must be completed as part of the overall Certificate of Appropriateness application. The Historic Structures Advisory Board may also request further information as part of its review. The HDC reserves the right to delay the review of an application if this information is not provided.

Revised 9/25/03

PERSONS CONTRACTING WITH  
UNREGISTERED CONTRACTORS DO NOT  
HAVE ACCESS TO THE GUARANTY FUND  
780 CMR/6MGL c142A

COMMONWEALTH OF MASSACHUSETTS

Map 60.2.1 Parcel 76

# TOWN OF NANTUCKET BUILDING DEPARTMENT

No. 11-10

Office of the Building Inspector  
Engineered 110mph exposure C

FEE \$ 2711.00

January 5 20 10

# BUILDING PERMIT

THIS PERMIT CERTIFIES THAT MPB Nominee Trust: Sarah Alger TTEE HAS  
PERMISSION TO construct unfinished full cellar 2210sf with 30sf bath--renovate existing 1stfl 987sf & ac

1253sf-2ndfl add 572sf-3 bedrm-5 baths LOCATED ON 13 C Street PROVIDED THAT  
DP rated doors & windows

THE PERSON ACCEPTING THIS PERMIT SHALL CONFORM TO THE TERMS OF THE APPLICATION ON  
FILE IN THE BUILDING DEPARTMENT AND TO THE PROVISIONS OF THE STATUTES AND THE  
ORDINANCES RELATING TO THE CONSTRUCTION, MAINTENANCE AND INSPECTION OF BUILDINGS  
IN THE TOWN OF NANTUCKET, AND THE MASSACHUSETTS STATE BUILDING CODE 780 CMR.

A CERTIFICATE OF OCCUPANCY WILL BE ISSUED UPON RETURN OF THIS PERMIT ONLY AFTER ALL  
REQUIRED INSPECTIONS HAVE BEEN SIGNED AND DATED BY THE APPROPRIATE INSPECTOR.

THIS PERMIT SHALL BECOME INVALID 6 MONTHS FROM THE DATE OF ISSUE IF THE WORK  
PERMITTED HAS NOT COMMENCED OR IS NOT PROCEEDING CONTINUOUSLY TO COMPLETION AS  
FAR AS REASONABLY PRACTICABLE.

THIS CARD MUST BE DISPLAYED IN A CONSPICUOUS PLACE ON THE PREMISES.



BUILDING INSPECTOR

CERTIFICATE OF OCCUPANCY NO.

**5. IDENTIFICATION - To be completed by all applicants**

Name		Mailing address - Number, street, city and state		Zip Code	Telephone No.
1. Owner or Lessee	MPB NOMINEE TRUST	20 WATER ST			228 1888
	SARAH ALGER, TR	NANTUCKET MA			
2. Contractor	Print Name CLEARFF CUSTOM CREDITRY	2 GREEN AVE #2A		Builder's License 01807	508
	Signature <i>[Signature]</i>	NANTUCKET MA		Date	2-11-09
3. Contact Person	BOTICELLI, PAUL	82 EASTON ST		Date	12-7-09

Works Compensation Insurance Certificate or Affidavit must be submitted with this application.

I hereby certify that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and we agree to conform to all applicable laws of this jurisdiction.

Signature of applicant: *[Signature]* Address: 82 EASTON ST Telephone #: 228 5485

Print name: BOTICELLI, PAUL 82 EASTON ST.

**DO NOT WRITE BELOW THIS LINE**

**6. PLAN REVIEW RECORD - For Office Use**

Plans Review Required	53053	10/21/08	
HISTORIC DISTRICTS COMMISSION	3269	12/14/08	<i>submitted</i>
SEPTIC	<i>existing system available for 3 bedrooms - 2 bedrooms</i>	<i>2 bedrooms</i>	<i>OK RB</i>
SEWER			
WATER WELL COMPLETION REPORT			
CONSERVATION COMMISSION			
FIRE CHIEF			
OVER-THE-ROAD (Board of Selectmen)			
ROAD OPENING PERMIT (DPW)			
PLUMBING			
ELECTRICAL			

**7. VALIDATION**

Building Permit Issued	FOR DEPARTMENT USE ONLY
Building Permit Fee: \$ 2711.00	Use Group: _____
Date of issuance of Certificate of Occupancy: _____	Occupancy Load: _____
	Census No.: 434
	Approved by: <i>[Signature]</i> 12/30/09 Building Commissioner

**RECEIVED**  
DEC 23 2009  
NANTUCKET BUILDING DEPT.

**RECEIVED**  
DEC 8 8 2009  
NANTUCKET BUILDING DEPT.

11-10  
1/5/2010  
BUILDING PERMIT NUMBER

APPLICATION FOR BUILDING PERMIT

**IMPORTANT - Applicant to complete all items in Sections: 1, 2, 3, 4, and 5**

**1. LOCATION OF BUILDING**

OWNERS NAME (print): MPB NOMINEE TRUST; SARAH ALGER, TRUST  
Last First Middle Initial  
13 C STREET, MADAKET  
No. Street  
Assessor's Map No. 60.2.1 Assessor's Parcel No. 76

**2. TYPE AND COST OF BUILDING - All applicants complete Parts A-E**

<b>A. TYPE OF IMPROVEMENT</b> <input type="checkbox"/> New Building <input checked="" type="checkbox"/> Addition <input checked="" type="checkbox"/> Alteration <input type="checkbox"/> Repair, replacement <input type="checkbox"/> Demolition <input checked="" type="checkbox"/> Moving	<b>B. OWNERSHIP</b> <input checked="" type="checkbox"/> Private <input type="checkbox"/> Public	<b>D. DIMENSIONS</b> Dimensions of Structure First Floor Area: 2240 SQ. FT. Second Floor Area: 572 SQ. FT. Third Floor Area: _____ Total Floor Area: 2812 SQ. FT. Full Cellar Area: 2240 SQ. FT. (UNFINISHED)
<b>C. COST</b> TOTAL COST OF IMPROVEMENT 1,200,000		

**E. PROPOSED USE**

Residential

One Family  
 Studio  
 Two or more family - Enter number of units \_\_\_\_\_  
 Hotel, Motel, Dormitory enter number of units \_\_\_\_\_  
 Second Dwelling  
 Garage  
 Pool  
 Other - Specify \_\_\_\_\_

Detail scope of work by floor & provide the square footage.

1st FLOOR - 2240 SQ. FT. TOTAL, 987 SQ. FT. EXISTING  
TO BE MOVED ON SITE & RENOVATED. 1253 SQ. FT.  
ADDITION TO INCLUDE 2 BEDROOMS, 2 BATHS, & GREAT ROOM, DECK 397 SQ. FT.  
2nd FLOOR - 572 SQ. FT. ADDITION TO INCLUDE MASTER BEDROOM & BATH, DECK 109 SQ. FT.

**3. SELECTED CHARACTERISTICS OF BUILDING**

<b>F. PRINCIPLE TYPE OF FRAME</b> <input checked="" type="checkbox"/> Wood frame <input type="checkbox"/> Other - Specify _____	<b>H. TYPE OF SEWAGE DISPOSAL</b> <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private (septic tank, etc.)	<b>K. ACCESSORY HEAT SOURCE</b> No. of fireplaces: 2 No. of Wood Stoves: 0 Other: 0
<b>G. PRINCIPLE TYPE OF HEATING</b> <input checked="" type="checkbox"/> Gas <input type="checkbox"/> Electricity <input type="checkbox"/> Oil <input type="checkbox"/> Heat Pump <input type="checkbox"/> Other - Specify _____	<b>I. TYPE OF WATER SUPPLY</b> <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private (well)	<b>L. RESIDENTIAL BUILDINGS</b> Number of Bedrooms: 3 Number of Bathrooms: 5 Full: 4 Partial: 1
<b>J. SMOKE DETECTORS</b> No. of Detectors: AS PER MA CODE See Plan for Location		

**5. IDENTIFICATION - To be completed by all applicants**

Name	Mailing address - Number, street, city and state	Zip Code	Telephone No.
1. Owner or Lessee MPB NOMINEE TRUST	2 S WATER ST		228 1888
2. Contractor Print Name CERRA ALBERTA	NANTUCKET MA	Builder's License 61807	508
Signature [Signature]	NANTUCKET MA	Date 12-1-09	228 5485
3. Contact Person BONICELLI PAUL	82 EASTON ST	Date 12-7-09	228 5485

Works Compensation Insurance Certificate or Affidavit must be submitted with this application.

I hereby certify that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and we agree to conform to all applicable laws of this jurisdiction.

Signature of applicant: [Signature] Address: Telephone #: 228 5485

Print name: BONICELLI - PAUL 82 EASTON ST.

DO NOT WRITE BELOW THIS LINE

**6. PLAN REVIEW RECORD - For Office Use**

Plans Review Required			
HISTORIC DISTRICTS COMMISSION	53063	10/21/08	
SEPTIC SEWER	53269	12/16/08	approved
WATER WELL COMPLETION REPORT			
CONSERVATION COMMISSION			
FIRE CHIEF			
OVER-THE-ROAD (Board of Selectmen)			
ROAD OPENING PERMIT (DPW)			
PLUMBING			
ELECTRICAL			

SEPTIC: existing system available for 3 bedrooms - 3 bedrooms OK RR

**7. VALIDATION**

Building Permit Issued	FOR DEPARTMENT USE ONLY
Building Permit Fee: 2711.00	Use Group: _____
Date of Issuance of Certificate of Occupancy	Occupancy Load: _____
	Census No.: 434
	Approved by: [Signature] 12/30/09 Building Commissioner

**RECEIVED**  
DEC 23 2009  
NANTUCKET BUILDING DEPT.

**RECEIVED**  
DEC 8 2009  
NANTUCKET BUILDING DEPT.

11-10  
1/5/2010  
BUILDING PERMIT NUMBER

**APPLICATION FOR BUILDING PERMIT**

**IMPORTANT - Applicant to complete all items in Sections: 1, 2, 3, 4, and 5**

**1. LOCATION OF BUILDING**

OWNERS NAME (print): MPB NOMINEE TRUST; CERRA ALBERTA  
Last First Middle Initial  
13 C STREET, NANTUCKET  
No. Street  
Assessor's Map No. 60.2.1 Assessor's Parcel No. 76

**2. TYPE AND COST OF BUILDING - All applicants complete Parts A-E**

<b>A. TYPE OF IMPROVEMENT</b> <input type="checkbox"/> New Building <input checked="" type="checkbox"/> Addition <input checked="" type="checkbox"/> Alteration <input type="checkbox"/> Repair, replacement <input type="checkbox"/> Demolition <input checked="" type="checkbox"/> Moving	<b>B. OWNERSHIP</b> <input checked="" type="checkbox"/> Private <input type="checkbox"/> Public	<b>D. DIMENSIONS</b> Dimensions of Structure First Floor Area: 2240 SQ. FT. Second Floor Area: 572 SQ. FT. Third Floor Area: Total Floor Area: 2812 SQ. FT. Full Cellar Area: 2240 SQ. FT. (UNFINISHED)
<b>C. COST</b> TOTAL COST OF IMPROVEMENT 1,200,000		

**E. PROPOSED USE**  
Residential  
 One Family  
 Studio  
 Two or more family - Enter number of units \_\_\_\_\_  
 Hotel, Motel, Dormitory enter number of units \_\_\_\_\_  
 Second Dwelling  
 Garage  
 Pool  
 Other - Specify \_\_\_\_\_

Detail scope of work by floor & provide the square footage.  
1st FLOOR - 2240 SQ. FT. TOTAL, 987 SQ. FT. EXISTING  
TO BE MOVED ON SITE & RENOVATED. 1253 SQ. FT.  
ADDITION TO INCLUDE 2 BEDROOMS, 2 BATHS, & GREAT ROOM, DECK 397 SQ. FT.  
2nd FLOOR - 572 SQ. FT. ADDITION TO INCLUDE MASTER BEDROOM + BATH, DECK 109 SQ. FT.

**3. SELECTED CHARACTERISTICS OF BUILDING**

<b>F. PRINCIPLE-TYPE OF FRAME</b> <input checked="" type="checkbox"/> Wood frame <input type="checkbox"/> Other - Specify _____	<b>H. TYPE OF SEWAGE DISPOSAL</b> <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private (septic tank, etc.)	<b>K. ACCESSORY HEAT SOURCE</b> No. of fireplaces: 2 No. of Wood Stoves: 0 Other: 0
<b>G. PRINCIPLE TYPE OF HEATING</b> <input checked="" type="checkbox"/> Gas <input type="checkbox"/> Electricity <input type="checkbox"/> Oil <input type="checkbox"/> Heat Pump <input type="checkbox"/> Other - Specify _____	<b>I. TYPE OF WATER SUPPLY</b> <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private (well)	<b>L. RESIDENTIAL BUILDINGS</b> Number of Bedrooms: 3 Number of Bathrooms: 5 Full: 4 Partial: 1
<b>J. SMOKE DETECTORS</b> No. of Detectors AS PER MA CODE See Plan for Location		

3. Continued

M. ENERGY CONSERVATION	Type	Thickness	R Value
Foundation or Floor Insulation	BATT	3/2"	R-11
Wall Insulation	BATT	5 1/2"	R-19
Ceiling or Roof Insulation	BATT	9 1/4"	R-30
Window Glazing:	Insulated Glass _____ Double Glass _____ Storm <input checked="" type="checkbox"/>		
Doors:	Insulated Yes <input checked="" type="checkbox"/> No _____ Weatherstripped: Yes <input checked="" type="checkbox"/> No _____		
Percentage of Window Area to Wall Area:	19%		

N. STRUCTURAL CHARACTERISTICS OF BUILDING

Applicant is required to submit complete structural framing plans with application due to the complexity of the structure, if the following information is insufficient for proper plan review.

Foundation	Footing size:	Footing reinforcing:	Wall material:	Wall thickness:	Wall height:	Wall reinforcing:	Pier or column size:	Pier or column spacing:	Pier or column footing size:	Pier or column reinforcing:	No. of crawl space vents:	Crawl space:
	2'-0" W x 1'-0" D	(3) #5 BARS	CONCRETE	8" - 10"	7'-10"	#4 BARS @ 12" O.C., HORZ. / #5 BARS @ 12" O.C., VERT.	10" x 3'-10"	8'-7" MAX	20" x	N/A	N/A	Full <input type="checkbox"/> Partial <input type="checkbox"/> N/A

FRAMING: Main Carrying members:	Size:	Support Spacing:
First Floor Framing	Joist size: 1 1/8" TJI	Maximum Span: 18'-0" Maximum Spacing: 16" O.C.
Second Floor Framing	Joist size: 2x10	Maximum Span: 8'-6" Maximum Spacing: 24" O.C.
Ceiling Framing	Joist size: 2x6	Maximum Span: 12'-0" Maximum Spacing: 16" O.C.
Roof Framing	Joist size: 2x10	Maximum Span: 10'-6" Maximum Spacing: 16" O.C.
Roof Truss	Applicant must submit design calculations for all wood trusses stamped by a Registered Professional Engineer.	

SKETCH OF PROPOSED WORK (minor projects)

NOTES AND DATE (For Department Use)

1/4/2010 - Spoke, w/ Lucy -

FEE CALCULATIONS

1ST FL REN	987 SF
1ST FL ADD	1283 SF
2ND FL ADD	572 SF
CEILING BATH	30 SF
DECK	506 SF
	3348 SF
	x .75
	2511 SF
	2511 SF

4. ZONING COMPLIANCE To be completed by all applicants

Applicant is required to submit a registered plot plan with application, showing location of all structures. +/-

Zoning District: R-2 Total Land Area: 30,934 SQ. FT.

Frontage on Street: 29.72' Lot No.: 455, 92C, 93, 98,

Plan Book No. and Page: \_\_\_\_\_ Land Court Plan No.: 3092-R, 3092-1, 3092-3

Date Lot Purchased: 1-10-08 Certificate No.: 19, 515, 22, 842

Name of Previous Owner: MARCO PROPERTY PARTNERSHIP

SUBDIVISION INFORMATION

Name of Owner: \_\_\_\_\_

Date of Plan Approval: \_\_\_\_\_

Type of Approval: ANR \_\_\_\_\_ AR \_\_\_\_\_

Planning Board File No.: \_\_\_\_\_

Is the Subdivision subject to a Covenant: YES \_\_\_\_\_ NO \_\_\_\_\_

Is a Release required: YES \_\_\_\_\_ NO \_\_\_\_\_

Has Plan been filed with the Registry of Deeds? YES \_\_\_\_\_ NO \_\_\_\_\_

If YES: Plan Book and Page No.: \_\_\_\_\_ Date \_\_\_\_\_

TIME SHARING INFORMATION

Is there a declaration of Covenants and Restrictions of Interval Ownership noted on your Title or Deed?

Yes \_\_\_\_\_ No

DIMENSIONS

Distance from Property Lines: FRONT 14'-7" +/- REAR 94'-2" +/- LEFT 21'-0" +/- RIGHT 14'-2" +/-

Distance between Principal and Secondary Dwelling: 25'-11" +/- (12ft. minimum)

Height of structure above finish grade: N 21'-10" +/- E 21'-10" +/- S 20'-8" +/- W 21'-3" +/-

Number of off-street parking spaces: Enclosed 1 On-site 2

GROUND COVER

Principal Dwelling: 2240 SQ. FT.

Secondary Dwelling: \_\_\_\_\_

Additional: \_\_\_\_\_

Garage: 372.15 SQ. FT. (EXISTING)

Accessory Building: \_\_\_\_\_

Swimming Pool: \_\_\_\_\_

Other: \_\_\_\_\_

Total: 2612.15 SF.

Allowable: 3866.75 SF.

MISCELLANEOUS

Was a request to "Determine Applicability of the Protection Act" filed with the Nantucket Conservation Committee? YES  NO \_\_\_\_\_

If answered YES, include "Order of Conditions" with application.

What date was the "Order of Conditions" with application. \_\_\_\_\_

What date was the "Order of Conditions" filed with the Registry of Deeds? \_\_\_\_\_

Is the property located within a Flood Hazard district? YES  NO \_\_\_\_\_

Was a Variance or Special Permit granted by the Board of Appeals? YES \_\_\_\_\_ NO

If answered YES, what date was the decision filed with the Town Clerk? \_\_\_\_\_

FOR ZONING OFFICER

Minimum Lot Size: \_\_\_\_\_ Ground Cover Ratio: \_\_\_\_\_

Frontage on Street: \_\_\_\_\_ Side and Rear Setback: \_\_\_\_\_

Front Yard: \_\_\_\_\_ Secondary Dwelling approval \_\_\_\_\_

Board of Appeals \_\_\_\_\_

Additional Comments: \* per the proposed site plan, 14'7" reference line is set back from one of the side property lines, not front. structure will sit considerably outside the front yard area as taken from Tenessee Ave.

Date: 12/23/09 APPROVED BY: [Signature] Zoning Officer

# HDC Appeal 6 Marble Way

Samantha Parsons  
1 Marble Way  
Nantucket, MA 02554  
samparsons70@gmail.com  
508.332.0682



To: The Board of Selectmen  
Cc: The Historic District Commission  
Broad Street  
Nantucket, MA 02554

This letter serves to notify the Board that I am appealing the HDC's decision to grant Russell Simpson of 6 Marble Way (Lot 202/203 on Land Court Plan 28933-6) a 90 (ninety) foot long structure as well as a separate mixed use 3 story building, both on the same property. The appeal is based on the fact that the granting of the 90 (ninety) foot long structure was arbitrary and capricious.

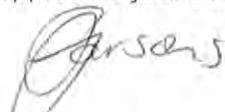
The grounds for the appeal come from the fact that from the very first HDC meeting on August 11<sup>th</sup>, 2015, the Board strongly opposed the massive scale of this project. Understanding the very sad fact that this side of Marble Way is currently zoned CTEC (and that has to date, only accommodated residences, some with light commercial use that are neither visually offensive nor create any noise or traffic to disrupt this family friendly street), I have not and still do not agree that the size of this 90 foot long structure is fitting for our neighborhood.

In the words of a Board member at the very first meeting "Just because an area is zoned for commercial use, the standard to look at it contextually still applies. This is nothing like the structures around it".

And this theme from Board members continued at each meeting: "This is over-scaled for this end of the road", "This size is too ambitious", "This is too long and out of scale for a residential neighborhood", "This is a residential area and it should fit into the vernacular of Marble Way", "The only issue is the length", "Is there an opportunity to shorten the building?", "Would still like to see this 20-30 feet shorter to be in keeping with the neighborhood", "This is longer than any building on Marble Way" ..... etc.

The opposition from the entire neighborhood has been consistent. The massive scale and length of this building does not fit in our neighborhood and the concern moving forward is what precedent the approval of this building will set for the remainder of the street. Both a member of the Board and Russell Simpson told us at the last meeting that if we think this is bad, wait until we see what is coming next. And there lies the concern. The approval of this building has changed the tone of our neighborhood and we cannot sit back and allow this to happen. We are all hard working, mostly year round families that got an amazing opportunity to be able to stay on the island with the development of our neighborhood, and when we hear a fellow neighbor say they plan move their small children off this street because of this approval, we're not OK with this.

I appreciate your consideration.

  
Sam Parsons

Samantha Parsons  
1 Marble Way  
Nantucket, MA 02554  
samparsons70@gmail.com  
508.332.0682

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I appreciate your consideration.

Sam Parsons

DATE OF AVAILABILITY FOR BOARD OF SELECTMAN MEETING

JANUARY 6<sup>TH</sup>, 2016

JANUARY 13<sup>TH</sup>, 2016

JANUARY 20<sup>TH</sup>, 2016

JANUARY 27<sup>TH</sup>, 2016

CERTIFICATE NO: 64656

DATE ISSUED: 10/20/15

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

**CERTIFICATE OF APPROPRIATENESS**

for structural work.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

**PROPERTY DESCRIPTION**

TAX MAP N°: 66 PARCEL N°: 103  
Street & Number of Proposed Work: 60 Machly Way  
Owner of record: 279 Russell Simpson  
Mailing Address: 2 Clothing Lane  
Nantucket, MA 02554  
Contact Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

**AGENT INFORMATION (if applicable)**

Name: Concept Design  
Mailing Address: 1 Freedom St #10  
Nantucket, MA 02554  
Contact Phone #: 508 221 3009 E-mail: \_\_\_\_\_

FOR OFFICE USE ONLY	
Date application received: <u>7/23/15</u>	Fee Paid: \$ <u>240.00</u>
Must be acted on by: <u>10/21/15</u>	
Extended to: <u>12/22/15</u>	
Approved: _____	Disapproved: _____
Chairman: _____	
Member: _____	
Member: _____	
Member: _____	
Notes - Comments - Restrictions - Conditions <u>See minutes</u>	

RECEIVED  
2015 OCT 27 AM  
NANTUCKET TOW

**DESCRIPTION OF WORK TO BE PERFORMED**

See reverse for required documentation.

New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed  
 Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No.  
 Pool (Zoning District \_\_\_\_\_)  Roof  Other: New Commercial Structure  
 Size of Structure or Addition: Length: 98' Sq. Footage 1st floor: 2,940 Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
 Width: 30' Sq. Footage 2nd floor: \_\_\_\_\_ Size: \_\_\_\_\_  1st floor  2nd floor  
 Sq. Footage 3rd floor: \_\_\_\_\_  
 Difference between existing grade and proposed finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_  
 Height of ridge above final finish grade: North 24.5" South 24.5" East 24.5" West 24.5"

**Additional Remarks**

- REVISIONS:**
1. East Elevation
  2. South Elevation
  3. West Elevation
  4. North Elevation

Historic Name: \_\_\_\_\_  
 Original Date: \_\_\_\_\_ (describe)  
 Original Builder: \_\_\_\_\_  
 Is there an HDC survey form for this building attached?  Yes  N/A

\*Cloud on drawings and submit photographs of existing elevations.

**DETAIL OF WORK TO BE PERFORMED**

Foundation: Height Exposed 6' 4"  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
 Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
 Roof Pitch: Main Mass 9/12 Secondary Mass 1/12 Dormer 1/12 Other \_\_\_\_\_  
 Roofing material:  Asphalt:  3-Tab  Architectural Standing Seam Metal Roof  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_  
 Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
 Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_  
 Leaders (material and size): \_\_\_\_\_  
 Sidewall:  White cedar shingles  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other: Pine Board + Batten 1x10 Boards  
 Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
 B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_  
 C. Dimensions: Fascia 8" Rake 8" Soffit (Overhang) 12" Corner boards \_\_\_\_\_ Frieze \_\_\_\_\_  
 Window Casing \_\_\_\_\_ Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_  
 Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_  
 Doors\* (type and material):  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_  
 Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_  
 Hardscape materials: Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

**COLORS**

Sidewall Natural Clapboard (if applicable) \_\_\_\_\_ Roof Harvard State  
 Trim Natural Sash Natural Doors Nantucket Gray NW  
 Deck \_\_\_\_\_ Foundation Natural Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.  
 Date: 10/28/15 Signature of owner of record: Russell Simpson Signed under penalties of perjury

2.	Simpson, Russell	6 Marble Way	New commercial building #1	66-103	Concept Design
Sitting	Williams, Coombs, Pohl, Glazer, Oliver				
Alternates	Camp				
Recused	None				
Documentation	File with associated plans, photos and required documentation.				
Representing	<b>T.J. Watterson</b> , Concept Design – Presented project. Russell Simpson				
Public	<p><b>John Myers</b>, 14 Sleep Hollow Road – This is a fairly residential area with some commercial buildings, which are heavily screened from the road. He would like this screened from the road. <b>It is 98 feet long, which sounds very long;</b> he is also concerned about the height and the metal roof.</p> <p><b>Kevin Dugan</b>, 80 Somerset Road – This is residential area and the commercial buildings in the area are very hard to see to the point of being unnoticeable. He would like this to be done appropriately to be family friendly.</p> <p><b>Patty Lynch</b>, 5 Sleep Hollow Road – Asked if there is a way to manipulate the entrance which provides full view through the parking area of the buildings.</p> <p><b>Chris Skehel</b>, for 75/77 Bartlett Road – Referenced several large structures that fit well into Bartlett Road. <b>This design with 4 bays down the side is inappropriate; the massing is outrageous and not in keeping with the neighborhood.</b></p>				
Concerns (8:52)	<p><b>Public Consensus</b> is concerned about the metal roof, the size, and want substantial screening.</p> <p><b>Williams</b> – This is a different design and size from what was submitted to the planning board. Reminded the HDC has no control over use. Because the area was rezoned to CI, this allows as a matter of right and no one can put conditions on it to include the number of bays and number of tenants. All HDC can do is look at the esthetics. The gable end should face the street. Marble Way is not a Town road so any resident can cut down the vegetation along it.</p> <p><b>Pohl</b> – There is no way to change the access unless the building is changed. Agree about the side wall being shingled and that the metal roof is not appropriate. The height could be brought down. Would like to see a planting plan. The discussion about access to the bays from the gable end doesn't work in this case because it would have to have an open swath coming off the road to access the bays; having the doors on the side allow for more screening facing the road.</p> <p><b>Coombs</b> – This building would be visible from Bartlett Road. All buildings on that side of Bartlett Road are shingled and barn looking and smaller; a metal roof in this location is inappropriate; there are no metal buildings at this end. <b>This area is 80% residential. A couple of 2-bay shingled building would be more appropriate.</b></p> <p><b>Oliver</b> – <b>The massing is inappropriate;</b> most commercial buildings are more compact with apartments above them. Agree about the metal roof being inappropriate.</p> <p><b>Glazer</b> – <b>Just because an area is zoned for commercial, the standard to look at it contextually still applies. This is nothing like the structures around it. Thinks it needs a complete redesign.</b></p> <p><b>Williams</b> – The pent roofs don't work and doors aren't centered in the spaces. The metal roof is inappropriate. Referenced Mike Allen's boat building on Square Rigger as an appropriate example of a building similar to this. <b>This is over scaled for this end of the road; it needs to be broken up with perhaps an ell.</b></p>				
Motion	<b>Motion to Hold for revisions. (Glazer)</b>				
Vote	Carried unanimously		<b>Certificate #</b>		
3.	Simpson, Russell	6 Marble Way	New mixed use building #2	66-103	Concept Design
Sitting	Williams, Coombs, Pohl, Glazer, Oliver				
Alternates	None				
Recused	None				
Documentation	File with associated plans, photos and required documentation.				
Representing	<b>T.J. Watterson</b> , Concept Design – Two offices on the 1 <sup>st</sup> floor, a living unit on the 2 <sup>nd</sup> floor and one in the basement. Russell Simpson				
Public	<b>Chris Skehel</b> , for 75/77 Bartlett Road – This design has nothing to do with the neighborhood. The rear element should be lower.				
Concerns (9:28)	<p><b>Williams</b> – No egress windows are shown in the basement apartment. The 7/12 pitch is too low.</p> <p><b>Oliver</b> – There is no front door. Massing is okay; it looks like a house. Agree about the pitch.</p> <p><b>Pohl</b> – Would like to see a break in the east elevation between the main mass and the back. West elevation, this should have a proper entry door with a proper frontice piece rather than the 12-light door. Agree about the roof pitch.</p> <p><b>Coombs</b> – Agree about the front door on the west elevation. East elevation, the two doors should be different; that side is visible. The south elevation eaves are the same and give it height.</p> <p><b>Glazer</b> – West elevation, the right 2<sup>nd</sup> floor gable dormer should be a shed dormer. Agree with breaking the east elevation.</p> <p><b>Williams</b> – This has no additive massing. The flush gable dormer doesn't work. The south elevation does not have appropriate additive massing. The very high eaves and a flat pitch on the main mass is not appropriate. East elevation, the dormer should not run to the ridge. Need a railing around the basement access.</p>				
Motion	<b>Motion to Hold for revisions. (Coombs)</b>				
Vote	Carried unanimously		<b>Certificate #</b>		

18. Simpson, Russell	6 Marble Way	New commercial building #1	66-103	Concept Design
Sitting	Williams, Coombs, Camp, Glazer, Oliver			
Alternates	None			
Recused	None			
Documentation	File with associated plans, photos and required documentation.			
Representing	<b>T.J. Watterson</b> , Concept Design – Reviewed changes made per previous concerns. <b>Russell Simpson</b> – Reviewed additional changes made.			
Public	<b>Patty Lynch</b> , 5 Sleepy Hollow – Looks huge in terms of length. Likes the cedar shingles. Wants to see the options for screening. There is one small commercial building on Marble Way and it is completely screened from view. <b>Chris Skehel</b> , 77/75 Bartlett Road – The length is aggressive for this very residential area; would like it reduced down 10 or 20 feet with barn doors on the front and set back another 30 feet from the road. One way to address the screening is to reduce the size of the building. The problem with the cupolas is that in the evening, shop lights show through. <b>Tom Schroeder</b> , 9 Marble Way – These are bigger than any buildings on Marble Way and don't suit this residential neighborhood. Suggested changing the location of the driveway or put a turn in it for screening. Buildings along Marble Way are 1½ stories tall. There is one more one-third acre lot that this would set precedent for. <b>Dave Sharp</b> , 8 Marble Way – Nothing to add. <b>Dawn Dugan</b> , 80 Somerset Road/Sleepy Hollow – Agree with her neighbors about the size and proximity to the road. <b>Mary Richrod</b> , 2 Marble Way – Nothing to add, she's in agreement with what's been said. <b>John Myers</b> , 14 Sleepy Hollow – In agreement with Mr. Schroeder. Likes the lower roof and the cupolas. It's enormous.			
Concerns (8:19)	<b>Coombs</b> – Would like the building split in two; there's enough land to do that. This is a residential area and it should fit into the vernacular of the Marble Way. <b>Oliver</b> – The size is too ambitious; there are good examples of barn-like commercial buildings along Bartlett and Raceway Roads. The pent roofs over the doors are inappropriate. <b>Glazer</b> – Need to pay attention to screening from the road. A three-bay building would be 56 feet long. The roof color should be a darker grey. Personally she doesn't care for the cupolas. <b>Camp</b> – Nothing to add. <b>Williams</b> – This is too long and out of scale for a residential neighborhood. Deleting the 1 <sup>st</sup> bay allows it to sit farther from the road. Not sure about the 5/12 roof pitch. Undecided about the pent roofs; they break it up and give it a design feature but are not normally approved. Not in favor of 3 cupolas and the panes are too big. The "A" windows oversized and the 4-lights need to go up into the gables.			
Motion	<b>Motion to Hold for revisions. (Glazer)</b>			
Vote	Carried unanimously		<b>Certificate #</b>	
19. Simpson, Russell	6 Marble Way	New mixed use building #2	66-103	Concept Design
Sitting	Williams, Coombs, Camp, Glazer, Oliver			
Alternates	None			
Recused	None			
Documentation	File with associated plans, photos and required documentation.			
Representing	<b>T.J. Watterson</b> , Concept Design – Reviewed changes made per previous concerns. Russell Simpson			
Public	<b>Patty Lynch</b> , 5 Sleepy Hollow – Looks better but still too large in height. <b>Chris Skehel</b> , 77/75 Bartlett Road – This is a 3-story building in a neighborhood of 1½-story neighborhood. Asserted that the HDC put a restriction on height in this neighborhood when Billy Cassidy first brought it in. <b>Tom Schroeder</b> , 9 Marble Way – This building is right on the road; all others along the road are set back; this is also on the highest point of the lot. <b>Dawn Dugan</b> , 80 Somerset Road/Sleepy Hollow – Concur with what's been said about the size. <b>John Myers</b> , 14 Sleepy Hollow – Agrees; would like to see the windows get smaller and lower. Dave Sharp, 8 Marble Way Mary Richrod, 2 Marble Way			
Concerns (8:48)	<b>Williams</b> – Contends Mr. Skehel is wrong about the height restriction. The "A" windows are oversized, the "B" windows are better. If this moves back, the parking moves forward but would have to be screened. <b>Coombs</b> – The 2 <sup>nd</sup> floor staircase will extend past the wall; it should be reconfigured to stay close to the building. 26'7" isn't too bad for a height; but perhaps the west side should be dropped to fit better with Marble Way. <b>Oliver</b> – The 2 <sup>nd</sup> -floor plate heights should come down. Likes the plainness of the front. The proportions are good. <b>Glazer</b> – Reduce the width of the gables and drop the eaves. The height should come down more. The west, east, and south elevation gables are too fat. Meeting rails need to align. <b>Williams</b> – This is a small structure but the colonial 4-bay makes it look large and formal. The vents need to go up into the gables. The formality and closeness to the street in this neighborhood is an issue.			
Motion	<b>Motion to Hold for revisions. (Coombs)</b>			
Vote	Carried unanimously		<b>Certificate #</b>	

9.	Simpson, Russell	6 Marble Way	New commercial building #1	66-103	Concept Design
Sitting	Williams, Coombs, Camp, Glazer, Oliver				
Alternates	None				
Recused	None				
Documentation	File with associated plans, photos and required documentation.				
Representing	T.J. Watterson, Concept Design				
	<b>Russell Simpson</b> – Reviewed changes made per previous concerns.				
Public	Patty Lynch, 5 Sleepy Hollow – This is an extreme improvement; the size of the 4-bays is still large.				
	<b>Chris Skehel</b> , 75 & 77 Bartlett Road – Agrees about the improvement. North elevation, the door isn't appropriate. Would still like to see it 20 or 30 feet shorter to be in keeping with the neighborhood.				
	<b>Tom Schroeder</b> , 9 Marble Way – In comparison to other commercial buildings on the street, those aren't 90 feet long and this doesn't fit with the neighborhood. Likes the height and windows.				
	<b>Kevin Dugan</b> , 87 Somerset Road & 6 Sleepy Hollow – Agrees with what's been said.				
	<b>Mary Richrod</b> , 2 Marble Way – Agrees with what's been said.				
	<b>Dawn Dugan</b> , 87 Somerset Road & 6 Sleepy Hollow – Agrees with what's been said.				
	<b>Jim Crosby</b> , 63 Bartlett Road – Concurs.				
	<b>Michelle O'Brien</b> , 5 Sleepy Hollow – Concurs.				
	<b>John Weber</b> 12 Marble Way – Concurs.				
Concerns (8:11)	<b>Coombs</b> – This is a great improvement and works; the only issue is the length as seen from the east, but she can't see how to shrink it more.				
	<b>Oliver</b> – Agree with what's been said.				
	<b>Glazer</b> – Cupola vents need to be removed. North elevation, the garage doors have too much glass in them and they appear huge; they should be natural to weather wood that will grey out. The front bay accessed from the north is the shortest in depth; wonders if that is an opportunity to shorten the length of the building.				
	<b>Camp</b> – Ten feet needs to come off the length; the cupola vents in place of windows don't look residential enough in this residential area.				
	<b>Williams</b> – Agree about the cupolas; there should be only two and the vents, if they are going to be there, need to be vertical. Agree that this needs to be shorter by about 20 feet. The garage doors need to show that they are overhead doors. The door facing the road needs to be an actual carriage door.				
	Discussion about whether or not it would be better if this were broken into two building and how to handle the office building.				
Motion	<b>Motion to Hold for revisions. (Glazer)</b>				
Vote	Carried unanimously			<b>Certificate #</b>	
10.	Simpson, Russell	6 Marble Way	New mixed use building #2	66-103	Concept Design
Sitting	Williams, Coombs, Camp, Glazer, Oliver				
Alternates	None				
Recused	None				
Documentation	File with associated plans, photos and required documentation.				
Representing	T.J. Watterson, Concept Design – Reviewed changes made per previous concerns.				
	Russell Simpson				
Public	<b>Patty Lynch</b> , 5 Sleepy Hollow – Appreciates the changes.				
	<b>Chris Skehel</b> , 75 & 77 Bartlett Road – Appreciates changes. East elevation, left side the ridges shouldn't meet. North elevation, the flush dormers are atypical.				
	<b>Tom Schroeder</b> , 9 Marble Way – The north elevation looks like a 2-story building; but it looks all right.				
	<b>Kevin Dugan</b> , 87 Somerset Road & 6 Sleepy Hollow – Agree with Mr. Schroeder.				
	<b>Dawn Dugan</b> , 87 Somerset Road & 6 Sleepy Hollow – Appreciate the changes.				
	<b>Mary Richrod</b> , 2 Marble Way – Agrees.				
	<b>Jim Crosby</b> , 63 Bartlett Road – Agree this is a better design				
	<b>John Weber</b> , 12 Marble Way – Agrees.				
	Michelle O'Brien, 5 Sleepy Hollow				
Concerns (8:34)	<b>Oliver</b> – This is a vast improvement and is in keeping with structures in the area.				
	<b>Coombs</b> – Agrees with Ms Oliver.				
	<b>Glazer</b> – It looks much better. North elevation, the two shed dormers have too much space between the windows.				
	<b>Camp</b> – Agrees about the north elevation, dormers and the windows should line up. The exterior staircase is too wide.				
	<b>Williams</b> – North elevation, dormers should be pulled in 6 inches each side. The rear ell has the same ridge height as the main body.				
Motion	<b>Motion to Hold for revisions. (Glazer)</b>				
Vote	Carried unanimously			<b>Certificate #</b>	

Minutes for September 22, 2015, adopted Oct. 6

11. Simpson, Russell                      6 Marble Way                      Hardscape                      66-103                      Concept Design  
 Sitting                      Williams, Coombs, Camp, Glazer, Oliver  
 Alternates                      None  
 Recused                      None  
 Documentation                      File with associated plans, photos and required documentation.  
 Representing                      T.J. Watterson, Concept Design  
    Russell Simpson.

Public                      **Chris Skehel**, 75 & 77 Bartlett Road – Suggested looking at 2 Cynthia Way, which has a good security fence.  
 Mary Richrod, 2 Marble Way  
 Dawn Dugan, 87 Somerset Road & 6 Sleepy Hollow  
 Michelle O'Brien, 5 Sleepy Hollow  
 Patty Lynch, 5 Sleepy Hollow  
 Kevin Dugan, 87 Somerset Road & 6 Sleepy Hollow  
 Tom Schroeder, 9 Marble Way  
 Jim Crosby, 63 Bartlett Road  
 John Weber 12 Marble Way

Concerns (8:47)                      **Williams** – Need to have the type of trees called out on the plans. The fence is natural to weather with cedar posts and cap. The handicapped space is not legal; we can't approve this unless that spot is legal or they'll be back in here. We don't do perimeter fencing along the property line; a 6-foot security fence could go across the back but not all the way to Marble Way. Cannot have an apron on a dirt road.

**Oliver** – The board fence is odd.

**Glazer** – The length of the fence along the west side needs to be limited.

**Coombs** – Noted a location with good big trees that are younger than 10 years old for use to screen the property.

Motion                      **Motion to Hold for revisions and to track. (Coombs)**

Vote                      Carried unanimously

**Certificate #**

12. Lot 92 NT	74 Cliff Road	New dwelling	30-275	NAG
13. Lot 92 NT	74 Cliff Road	Hardscape: pool, fence	30-275	NAG
14. Appleby/ABH LLC	11 Mattapoissett Avenue	New dwelling	82-376	BPC
15. Appleby/ABH LLC	11 Mattapoissett Avenue	Hardscape- pool/fence	82-376	BPC
16. McAvoy, Sean	24 Sankaty Head Road	Rev.63689: access/column/fen	48-1.7	Emeritus
17. McAvoy, Sean	24 Sankaty Head Road	Hardscape:walls/patio/fences	48-1.7	Emeritus
18. Faros Properties	17 Broad Street	Rev.64203: a/c/color	42.4.2-74	Emeritus
19. Madequecham Johnson LLC	18 Madequecham Road	New guest house	89-15	Emeritus
20. Raith, Jon	14 Easy Street	Rev.63268: decks/fen/rfwalk	42.3.1-13	Emeritus
2. Rosenberg, Judith <b>NB</b>	1 Marcus Way	Deck addition	91-10	NAG
3. 35 North Beach St. Trust <b>NB</b>	35 North Beach Street	Garage move off/demo	29-38	Botticelli & Pohl
4. 35 North Beach St. Trust <b>NB</b>	35 North Beach Street	New garage	29-38	Botticelli & Pohl

Sitting                      Williams, Coombs,  
 Alternates                      Camp, Glazer, Oliver  
 Recused                      Pohl  
 Documentation                      File with associated plans, photos and required documentation.  
 Representing                      Lisa Botticelli, Botticelli & Pohl

Public                      None  
 Concerns (8:33)                      None at this time.

Motion                      **Motion to Hold for Thursday, September 24. (Coombs)**

Vote                      Carried unanimously

**Certificate #**

20. Simpson, Russell	6 Marble Way	New commercial building #1	66-103	Concept Design
Sitting	Williams, Coombs, Camp, Glazer, Oliver			
Alternates	None			
Recused	None			
Documentation	Associated site and elevation plans, photos, correspondence, and required historical documentation.			
Representing	<b>TJ Watterson</b> , Concept Design – Reviewed changes made per previous concerns. Colors are natural to weather with terratone sash. Russell Simpson			
Public	<p><b>Chris Skehel</b>, 75, &amp; 77 Bartlett Road – This is still too large at 90 feet for this neighborhood.</p> <p><b>Sean Curry</b>, 11 Marble Way – Nothing to add.</p> <p><b>Rob Morgenstern</b>, 1 Marble Way – Agrees with Mr. Skehel about the size. He is concerned about parking on the road and traffic of large trucks.</p> <p><b>Jim Crosby</b>, 63 Bartlett Road – There had been talked about breaking this up into two buildings.</p> <p><b>Sam Parsons</b>, 1 Marble Way – Agrees with Mr. Skehel. Does not think the size and scale has been reduced much since the last meeting; would like to see it reduced 20 more feet. This is a massive building for the neighborhood.</p> <p><b>Kevin Dugan</b>, 80 Somerset Road &amp; 6 Sleepy Hollow – Nothing to add.</p> <p><b>Mary Richrod</b>, 2 Marble Way – Agrees</p> <p><b>Todd Stout</b>, 65 Bartlett Road – This is extremely large and parking is called into question. If the garage doors are slab, they are more likely to be opened</p> <p><b>Tom Schroeder</b>, 9 Marble Way – North elevation, the two doors have a lot of windows and everyone can see in. had talked about the faux doors on that side. We've been talking about this building come down to 60 feet; he hasn't seen this change in size.</p> <p><b>John Meyers</b>, 14 Sleep Hollow – Agrees with what's been said.</p> <p><b>Cameron Gammill</b>, 87 Somerset Road – Asked about options to ensure the doors would be closed; boat doors tend to stay open.</p> <p><b>Dawn Dugan</b>, 80 Somerset Road &amp; 6 Sleepy Hollow – The size hasn't been reduced much.</p> <p><b>John Weber</b>, 12 Marble Way – Nothing to add.</p> <p>Heidi Girvan, 5 Marble Way</p>			
Concerns (8:30)	<p><b>Williams</b> – This now sits 44 feet off the road because 8 feet was cut off front. Noted that HDC doesn't control parking on the road; the abutters should call the police. In regards to breaking this up into two buildings, if that couldn't work they would stagger the building, which they did. The HDC only has jurisdiction over whether or not the doors are appropriate, not the uses. If lighting violates Dark Skies, that is controlled by the Building Department. The bays have to be accessible: either from this side or the other. The front is 68 feet and the back is 32+ feet; only the first 58 feet will be visible and that will be screened. Moving the parking and screening along the road will hide the back section.</p> <p><b>Coombs</b> – If the back closest to Bartlett Road were moved to the side; the size could down 50 feet. (That would mean more building to look at.) The front doors shouldn't be fixed; they should work and be kept shut.</p> <p><b>Oliver</b> – Appreciates the changes made. It is 16 feet longer than any building along Marble Way.</p> <p><b>Glazer</b> – Also appreciates changes made but feels a couple more changes is possible. Agrees about the north elevation garage doors going to all wood V-groove with no lights. Suggested the north elevation people door be moved to the east elevation to create symmetry. Suggested a second jogging the 58-foot piece north of the garage doors, if it is possible.</p> <p><b>Camp</b> – Agrees with Ms Glazer. Suggested moving the garage door beside the people door to the east. Further discussion about the doors being opened or closed and minimizing the visual impact.</p> <p><b>Williams</b> – The two cupolas don't work; the second needs to come off the back. Move the people door to the east and put a window in its place; reduce the garage door glass to one line. Reviewed the problems of this area having been zoned CTec allow light industry by right in a residential area with some commercial. The 50-foot long ridge rule doesn't apply here because that is for residential structures only.</p>			
Motion	<p><b>Motion to Approve through staff with the removal of the cupola on the rear section; the north elevation people door to move to the east and replaced by an "A" window; the north elevation garage doors to be V-groove out-swing; everything to be natural to weather with terratone sashes; and application to be updated with dimensions to 90X30 and 20'7" tall and colors and roof 3-tab Harvard slate. (Glazer)</b></p>			
Vote	Carried unanimously		Certificate #	64656

Proposed Minutes for October 20, 2015

21. Simpson, Russell	6 Marble Way	New mixed use building #2	66-103	Concept Design
Sitting	Williams, Coombs, Camp, Glazer, Oliver			
Alternates	None			
Recused	None			
Documentation	Associated site and elevation plans, photos, correspondence, and required historical documentation.			
Representing	<b>TJ Watterson</b> , Concept Design – Reviewed changes made per previous concerns. Russell Simpson			
Public	<b>Cameron Gammill</b> , 87 Somerset Road – The flat mass facing the street makes it look tall; a porch might help. Tom Schroeder, 9 Marble Way Kevin Dugan, 80 Somerset Road & 6 Sleepy Hollow Dawn Dugan, 80 Somerset Road & 6 Sleepy Hollow Mary Richrod, 2 Marble Way Todd Stout, 65 Bartlett Road Sam Parson, 1 Marble Way Jim Crosby, 63 Bartlett Road Michelle O'Brien, 5 Sleepy Hollow John Weber, 12 Marble Way John Meyers, 14 Sleep Hollow Sean Curry, 11 Marble Way Heidi Girvan, 5 Marble Way Rob Morgenstern, 1 Marble Way			
Concerns (9:17)	<b>Williams</b> – It is only 23-feet tall. N elevation, the dormer get narrower 6" then the distance reduced 4 inches between. There is no room for a porch on the front. The plans don't show platform going into the front door. (That's a faux door.) <b>Glazer</b> – Doing that would throw off the alignment of the front door. Discussion about a porch around the door or a pent roof over the door. <b>Oliver</b> – Suggested moving the front door to the other side of the house.			
Motion	<b>Motion to Approve through staff with north elevation shed dormers reduced 6" and outside windows remaining where they are and the windows pulled closer together. (Glazer)</b>			
Vote	Carried unanimously	Certificate #	64657	
22. Simpson, Russell	6 Marble Way	Hardscape	66-103	Concept Design
Sitting	Williams, Coombs, Camp, Glazer, Oliver			
Alternates	None			
Recused	None			
Documentation	Associated site and elevation plans, photos, correspondence, and required historical documentation.			
Representing	<b>TJ Watterson</b> , Concept Design – Reviewed changes made per previous concerns. <b>Russell Simpson</b> – Noted that the Leland Cyprus grow about 4 feet a year.			
Public	<b>Kevin Dugan</b> , 80 Somerset Road & 6 Sleepy Hollow – Starting with 6-foot Leland Cyprus is a good start. <b>Todd Stout</b> , 65 Bartlett Road– Described the fencing along the back of this and other properties. <b>Tom Schroeder</b> , 9 Marble Way – Asked about whether or not the existing natural vegetation is remaining. <b>Sam Parsons</b> , 1 Marble Way – Asked about the Sycamores. Dawn Dugan, 80 Somerset Road & 6 Sleepy Hollow Mary Richrod, 2 Marble Way Jim Crosby, 63 Bartlett Road Michelle O'Brien, 5 Sleepy Hollow John Weber, 12 Marble Way John Meyers, 14 Sleep Hollow Cameron Gammill, 63 Sleepy Hollow Sean Curry, 11 Marble Way Heidi Girvan, 5 Marble Way Rob Morgenstern, 1 Marble Way			
Concerns (9:28)	<b>Williams</b> – Need larger-scale hardscape plans. Reviewed the planting plan. Discussion about the location of the trees. Discussion about placing a fence to meet a fence along the southeast property line.			
Motion	<b>Motion to Approve through staff with a natural to weather, 6-foot from grade, board fence along the back property line only; the bluestone path to be stepping stones to be separated with grass between; everything to be natural to weather; and no apron, per marked up plans. (Coombs)</b>			
Vote	Carried unanimously	Certificate #	64658	

**From:** [Mark Voigt](#)  
**To:** [Erika Mooney](#)  
**Subject:** 6 Marble Way HDC file info  
**Date:** Tuesday, November 24, 2015 4:51:52 PM  
**Attachments:** [6 Marble signed app and minutes.pdf](#)  
[6 Marble way comm bldg COA 64656.pdf](#)  
[abut notice.pdf](#)  
[prev proposals.pdf](#)

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Hi Erika,

Please see the attached HDC file information regarding the appeal for 6 Marble Way.

I believe this is the last one but let me know if you're missing any.

Happy Thanksgiving to you and your family!

*Mark W. Voigt*, AICP  
Administrator, Nantucket Historic District Commission - PLUS

2 Fairgrounds Road  
Nantucket, MA 02554  
(508) 325-PLUS (7587) ext. 7023      Fax(508) 228-7298  
*Celebrating over 50 years of Preserving History*

CERTIFICATE NO: 64656

DATE ISSUED: 10/20/15

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a  
**CERTIFICATE OF APPROPRIATENESS**  
for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

**PROPERTY DESCRIPTION**

TAX MAP N<sup>o</sup>: 66 PARCEL N<sup>o</sup>: 103  
Street & Number of Proposed Work: 6 Murchie Way  
Owner of record: By Russell Simpson  
Mailing Address: 2 Gushing Lane  
Nantucket, MA 02554  
Contact Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

**AGENT INFORMATION (if applicable)**

Name: Concept Design  
Mailing Address: 1 Freedom Sq #10  
Nantucket, MA 02554  
Contact Phone #: 508 221 3009 E-mail: \_\_\_\_\_

# <u>1186</u> - JH.	FOR OFFICE USE ONLY
Date application received: <u>7/28/15</u>	Fee Paid: \$ <u>294.00</u>
Must be acted on by: <u>10/6/15</u>	
Extended to: <u>12/22/15</u>	
Approved: _____	Disapproved: _____
Chairman: _____	
Member: _____	
Member: _____	
Member: _____	
Member: _____	
Notes - Comments - Restrictions - Conditions <u>See minutes</u>	

**DESCRIPTION OF WORK TO BE PERFORMED**  
See reverse for required documentation.

New Dwelling     Addition     Garage     Driveway/Apron     Commercial     Historical Renovation     Deck/Patio     Steps     Shed  
 Color Change     Fence     Gate     Hardscaping     Move Building     Demolition     Revisions to previous Cert. No.  
 Pool (Zoning District \_\_\_\_\_)     Roof     Other New Commercial Structure  
 Size of Structure or Addition: Length: 98' Sq. Footage 1st floor: 2,940 Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
 Width: 30' Sq. footage 2nd floor: \_\_\_\_\_ Size: \_\_\_\_\_  1st floor  2nd floor  
 Sq. footage 3rd floor: \_\_\_\_\_  
 Difference between existing grade and proposed finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_  
 Height of ridge above final finish grade: North 24'5" South 24'5" East 24'5" West 24'5"

**Additional Remarks**

**REVISIONS:** 1. East Elevation  
 2. South Elevation  
 3. West Elevation  
 4. North Elevation  
 Is there an HDC survey form for this building attached?  Yes  N/A  
 \*Cloud on drawings and submit photographs of existing elevations.

**DETAIL OF WORK TO BE PERFORMED**

Foundation: Height Exposed 6" #4  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
 Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
 Roof Pitch: Main Mass 7/12 Secondary Mass 1/12 Dormer 1/12 Other \_\_\_\_\_  
 Roofing material:  Asphalt  3-Tab  Architectural Standing Seam Metal Roof  Wood (Type: Red Cedar, White Cedar, Shakes, etc.)  
 Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
 Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_  
 Leaders (material and size): \_\_\_\_\_  
 Sidewall:  White cedar shingles  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other Five Board + Batten [1x10 Boards]  
 Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
 B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_  
 C. Dimensions: Fascia 8" Rake 8" Soffit (Overhang) 12" Corner boards \_\_\_\_\_ Frieze \_\_\_\_\_  
 Window Casings \_\_\_\_\_ Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_  
 Windows:  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_  
 Doors\* (type and material):  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_  
 Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_  
 Landscape materials: Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

**COLORS**

Sidewall Natural Clapboard (if applicable) \_\_\_\_\_ Roof Harvard Slate  
 Trim Natural Sash White Doors Nantucket Gray  
 Deck \_\_\_\_\_ Foundation Natural Fence \_\_\_\_\_ Shutters \_\_\_\_\_

Attach manufacturer's color samples if color is not from HDC approval list.

hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of my revisions to this application will initiate a new sixty-day review period.  
 Date 7-28-15 Signature of owner of record Russell Simpson Signed under penalties of perjury

Proposed Minutes for October 20, 2015

20. Simpson, Russell	6 Marble Way	New commercial building #1	66-103	Concept Design
Sitting	Williams, Coombs, Camp, Glazer, Oliver			
Alternates	None			
Recused	None			
Documentation	Associated site and elevation plans, photos, correspondence, and required historical documentation.			
Representing	<b>TJ Watterson</b> , Concept Design – Reviewed changes made per previous concerns. Colors are natural weather with terratone sash.			
Public	<p>Russell Simpson</p> <p><b>Chris Skehel</b>, 75, &amp; 77 Bartlett Road – This is still too large at 90 feet for this neighborhood.</p> <p><b>Sean Curry</b>, 11 Marble Way – Nothing to add.</p> <p><b>Rob Morgenstern</b>, 1 Marble Way – Agrees with Mr. Skehel about the size. He is concerned about parking on the road and traffic of large trucks.</p> <p><b>Jim Crosby</b>, 63 Bartlett Road – There had been talked about breaking this up into two buildings.</p> <p><b>Sam Parsons</b>, 1 Marble Way – Agrees with Mr. Skehel. Does not think the size and scale has been reduced much since the last meeting; would like to see it reduced 20 more feet. This is a massive building for the neighborhood.</p> <p><b>Kevin Dugan</b>, 80 Somerset Road &amp; 6 Sleepy Hollow – Nothing to add.</p> <p><b>Mary Richrod</b>, 2 Marble Way – Agrees</p> <p><b>Todd Stout</b>, 65 Bartlett Road – This is extremely large and parking is called into question. If the garage doors are slab, they are more likely to be opened</p> <p><b>Tom Schroeder</b>, 9 Marble Way – North elevation, the two doors have a lot of windows and everyone can see in, had talked about the faux doors on that side. We've been talking about this building come down to 60 feet; he hasn't seen this change in size.</p> <p><b>John Meyers</b>, 14 Sleep Hollow – Agrees with what's been said.</p> <p><b>Cameron Gammill</b>, 87 Somerset Road – Asked about options to ensure the doors would be closed; board doors tend to stay open.</p> <p><b>Dawn Dugan</b>, 80 Somerset Road &amp; 6 Sleepy Hollow – The size hasn't been reduced much.</p> <p><b>John Weber</b>, 12 Marble Way – Nothing to add.</p> <p>Heidi Girvan, 5 Marble Way</p>			
Concerns (8:30)	<p><b>Williams</b> – This now sits 44 feet off the road because 8 feet was cut off front. Noted that HDC doesn't control parking on the road; the abutters should call the police. In regards to breaking this up into two buildings, if that couldn't work they would stagger the building, which they did. The HDC only has jurisdiction over whether or not the doors are appropriate, not the uses. If lighting violates Dark Skies, that is controlled by the Building Department. The bays have to be accessible: either from this side or the other. The front is 68 feet and the back is 32+ feet; only the first 58 feet will be visible and that will be screened. Moving the parking and screening along the road will hide the back section.</p> <p><b>Coombs</b> – If the back closest to Bartlett Road were moved to the side; the size could down 50 feet. (That would mean more building to look at.) The front doors shouldn't be fixed; they should work and be kept shut.</p> <p><b>Oliver</b> – Appreciates the changes made. It is 16 feet longer than any building along Marble Way.</p> <p><b>Glazer</b> – Also appreciates changes made but feels a couple more changes is possible. Agrees about the north elevation garage doors going to all wood V-groove with no lights. Suggested the north elevation people door be moved to the east elevation to create symmetry. Suggested a second jogging the 58-foot piece north of the garage doors, if it is possible.</p> <p><b>Camp</b> – Agrees with Ms Glazer. Suggested moving the garage door beside the people door to the east.</p> <p>Further discussion about the doors being opened or closed and minimizing the visual impact.</p> <p><b>Williams</b> – The two cupolas don't work; the second needs to come off the back. Move the people door to the east and put a window in its place; reduce the garage door glass to one line. Reviewed the problems of this area having been zoned CTec allow light industry by right in a residential area with some commercial. The 50-foot long ridge rule doesn't apply here because that is for residential structures only.</p>			
Motion	<p><b>Motion to Approve through staff with the removal of the cupola on the rear section; the north elevation people door to move to the east and replaced by an "A" window; the north elevation garage doors to be V-groove out-swing; everything to be natural to weather with terratone sashes; and application to be updated with dimensions to 90X30 and 20'7" tall and colors and roof 3-tab Harvard slate. (Glazer)</b></p>			
Vote	<p>Carried unanimously</p> <p style="text-align: right;">Certificate # 64656</p>			

SOMERSET

RESERVE

CELL

9. Simpson, Russell 6 Marble Way New commercial building #1 66-103 Concept Design

Sitting Williams, Coombs, Camp, Glazer, Oliver  
 Alternates None  
 Recused None  
 Documentation File with associated plans, photos and required documentation.  
 Representing T.J. Watterson, Concept Design  
 Russell Simpson – Reviewed changes made per previous concerns.

Public Patty Lynch, 5 Sleepy Hollow – This is an extreme improvement; the size of the 4-bays is still large.  
 Chris Skehel, 75 & 77 Bartlett Road – Agrees about the improvement. North elevation, the door isn't appropriate. Would still like to see it 20 or 30 feet shorter to be in keeping with the neighborhood.  
 Tom Schroeder, 9 Marble Way – In comparison to other commercial buildings on the street, those aren't 90 feet long and this doesn't fit with the neighborhood. Likes the height and windows.  
 Kevin Dugan, 87 Somerset Road & 6 Sleepy Hollow – Agrees with what's been said.  
 Mary Richrod, 2 Marble Way – Agrees with what's been said.  
 Dawn Dugan, 87 Somerset Road & 6 Sleepy Hollow – Agrees with what's been said.  
 Jim Crosby, 63 Bartlett Road – Concurr.  
 Michelle O'Brien, 5 Sleepy Hollow – Concurr.  
 John Weber 12 Marble Way – Concurr.

Concerns (8:11) Coombs – This is a great improvement and works; the only issue is the length as seen from the east, but she can't see how to shrink it more.  
 Oliver – Agree with what's been said.  
 Glazer – Cupola vents need to be removed. North elevation, the garage doors have too much glass in them and they appear huge; they should be natural to weather wood that will grey out. The front bay accessed from the north is the shortest in depth; wonders if that is an opportunity to shorten the length of the building.  
 Camp – Ten feet needs to come off the length; the cupola vents in place of windows don't look residential enough in this residential area.  
 Williams – Agree about the cupolas; there should be only two and the vents, if they are going to be there, need to be vertical. Agree that this needs to be shorter by about 20 feet. The garage doors need to show that they are overhead doors. The door facing the road needs to be an actual carriage door.  
 Discussion about whether or not it would be better if this were broken into two building and how to handle the office building.

Motion **Motion to Hold for revisions. (Glazer)**  
 Vote Carried unanimously Certificate #

10. Simpson, Russell 6 Marble Way New mixed use building #2 66-103 Concept Design

Sitting Williams, Coombs, Camp, Glazer, Oliver  
 Alternates None  
 Recused None  
 Documentation File with associated plans, photos and required documentation.  
 Representing T.J. Watterson, Concept Design – Reviewed changes made per previous concerns.  
 Russell Simpson

Public Patty Lynch, 5 Sleepy Hollow – Appreciates the changes.  
 Chris Skehel, 75 & 77 Bartlett Road – Appreciates changes. East elevation, left side the ridges shouldn't meet. North elevation, the flush dormers are atypical.  
 Tom Schroeder, 9 Marble Way – The north elevation looks like a 2-story building; but it looks all right.  
 Kevin Dugan, 87 Somerset Road & 6 Sleepy Hollow – Agree with Mr. Schroeder.  
 Dawn Dugan, 87 Somerset Road & 6 Sleepy Hollow – Appreciate the changes.  
 Mary Richrod, 2 Marble Way – Agrees.  
 Jim Crosby, 63 Bartlett Road – Agree this is a better design  
 John Weber, 12 Marble Way – Agrees.  
 Michelle O'Brien, 5 Sleepy Hollow

Concerns (8:34) Oliver – This is a vast improvement and is in keeping with structures in the area.  
 Coombs – Agrees with Ms Oliver.  
 Glazer – It looks much better. North elevation, the two shed dormers have too much space between the windows.  
 Camp – Agrees about the north elevation, dormers and the windows should line up. The exterior staircase is too wide.  
 Williams – North elevation, dormers should be pulled in 6 inches each side. The rear ell has the same ridge height as the main body.

Motion **Motion to Hold for revisions. (Glazer)**  
 Vote Carried unanimously Certificate #

SIMPSON  
 R  
 12/22/15

Proposed Minutes for September 8, 2015

18. Simpson, Russell                      6 Marble Way                      New commercial building #1                      66-103                      Concept Design

Sitting                      Williams, Coombs, Camp, Glazer, Oliver

Alternates                      None

Recused                      None

Documentation                      File with associated plans, photos and required documentation.

Representing                      T.J. Watterson, Concept Design – Reviewed changes made per previous concerns.  
Russell Simpson – Reviewed additional changes made.

Public                      **Patty Lynch**, 5 Sleepy Hollow – Looks huge in terms of length. Likes the cedar shingles. Wants to see the options for screening. There is one small commercial building on Marble Way and it is completely screened from view.  
**Chris Skehel**, 77/75 Bartlett Road – The length is aggressive for this very residential area; would like it reduced down 10 or 20 feet with barn doors on the front and set back another 30 feet from the road. One way to address the screening is to reduce the size of the building. The problem with the cupolas is that in the evening, shop lights show through.  
**Tom Schroeder**, 9 Marble Way – These are bigger than any buildings on Marble Way and don't suit this residential neighborhood. Suggested changing the location of the driveway or put a turn in it for screening. Buildings along Marble Way are 1½ stories tall. There is one more one-third acre lot that this would set precedent for.  
**Dave Sharp**, 8 Marble Way – Nothing to add.  
**Dawn Dugan**, 80 Somerset Road/Sleepy Hollow – Agree with her neighbors about the size and proximity to the road.  
**Mary Richrod**, 2 Marble Way – Nothing to add, she's in agreement with what's been said.  
**John Myers**, 14 Sleepy Hollow – In agreement with Mr. Schroeder. Likes the lower roof and the cupolas. It's enormous.

Concerns (8:19)                      **Coombs** – Would like the building split in two; there's enough land to do that. This is a residential area and it should fit into the vernacular of the Marble Way.  
**Oliver** – The size is too ambitious; there are good examples of barn-like commercial buildings along Bartlett and Raceway Roads. The pent roofs over the doors are inappropriate.  
**Glazer** – Need to pay attention to screening from the road. A three-bay building would be 56 feet long. The roof color should be a darker grey. Personally she doesn't care for the cupolas.  
**Camp** – Nothing to add.  
**Williams** – This is too long and out of scale for a residential neighborhood. Deleting the 1<sup>st</sup> bay allows it to sit farther from the road. Not sure about the 5/12 roof pitch. Undecided about the pent roofs; they break it up and give it a design feature but are not normally approved. Not in favor of 3 cupolas and the panes are too big. The "A" windows oversized and the 4-lights need to go up into the gables.

Motion                      **Motion to Hold for revisions. (Glazer)**

Vote                      Carried unanimously

19. Simpson, Russell                      6 Marble Way                      New mixed use building #2                      66-103                      Concept Design

Sitting                      Williams, Coombs, Camp, Glazer, Oliver

Alternates                      None

Recused                      None

Documentation                      File with associated plans, photos and required documentation.

Representing                      T.J. Watterson, Concept Design – Reviewed changes made per previous concerns.  
Russell Simpson

Public                      **Patty Lynch**, 5 Sleepy Hollow – Looks better but still too large in height.  
**Chris Skehel**, 77/75 Bartlett Road – This is a 3-story building in a neighborhood of 1½-story neighborhood. Asserted that the HDC put a restriction on height in this neighborhood when Billy Cassidy first brought it in.  
**Tom Schroeder**, 9 Marble Way – This building is right on the road; all others along the road are set back; this is also on the highest point of the lot.  
**Dawn Dugan**, 80 Somerset Road/Sleepy Hollow – Concur with what's been said about the size.  
**John Myers**, 14 Sleepy Hollow – Agrees; would like to see the windows get smaller and lower.  
**Dave Sharp**, 8 Marble Way  
**Mary Richrod**, 2 Marble Way

Concerns (8:48)                      **Williams** – Contends Mr. Skehel is wrong about the height restriction. The "A" windows are oversized, the "B" windows are better. If this moves back, the parking moves forward but would have to be screened.  
**Coombs** – The 2<sup>nd</sup> floor staircase will extend past the wall; it should be reconfigured to stay close to the building. 26'7" isn't too bad for a height; but perhaps the west side should be dropped to fit better with Marble Way.  
**Oliver** – The 2<sup>nd</sup> floor plate heights should come down. Likes the plainness of the front. The proportions are good.  
**Glazer** – Reduce the width of the gables and drop the eaves. The height should come down more. The west, east, and south elevation gables are too fat. Meeting rails need to align.  
**Williams** – This is a small structure but the colonial 4-bay makes it look large and formal. The vents need to go up into the gables. The formality and closeness to the street in this neighborhood is an issue.

Motion                      **Motion to Hold for revisions. (Coombs)**

Vote                      Carried unanimously

Certificate #

Certificate #

Simpson Russell  
10/6/15

Proposed Minutes for August 11, 2015

2. Simpson, Russell 6 Marble Way New commercial building #1 66-103 Concept Design

Sitting Williams, Coombs, Pohl, Glazer, Oliver

Alternates Camp

Recused None

Documentation File with associated plans, photos and required documentation.

Representing T.J. Watterson, Concept Design – Presented project.  
Russell Simpson

Public **John Myers**, 14 Sleep Hollow Road – This is a fairly residential area with some commercial buildings, which are heavily screened from the road. He would like this screened from the road. It is 98 feet long, which sounds very long; he is also concerned about the height and the metal roof.  
**Kevin Dugan**, 80 Somerset Road – This is residential area and the commercial buildings in the area are very hard to see to the point of being unnoticeable. He would like this to be done appropriately to be family friendly.  
**Patty Lynch**, 5 Sleep Hollow Road – Asked if there is a way to manipulate the entrance which provides full view through the parking area of the buildings.  
**Chris Skehel**, for 75/77 Bartlett Road – Referenced several large structures that fit well into Bartlett Road. This design with 4 bays down the side is inappropriate; the massing is outrageous and not in keeping with the neighborhood. Public Consensus is concerned about the metal roof, the size, and want substantial screening.

Concerns (8:52) **Williams** – This is a different design and size from what was submitted to the planning board. Reminded the HDC has no control over use. Because the area was rezoned to CI, this allows as a matter of right and no one can put conditions on it to include the number of bays and number of tenants. All HDC can do is look at the esthetics. The gable end should face the street. Marble Way is not a Town road so any resident can cut down the vegetation along it.  
**Pohl** – There is no way to change the access unless the building is changed. Agree about the side wall being shingled and that the metal roof is not appropriate. The height could be brought down. Would like to see a planting plan. The discussion about access to the bays from the gable end doesn't work in this case because it would have to have an open swath coming off the road to access the bays; having the doors on the side allow for more screening facing the road.  
**Coombs** – This building would be visible from Bartlett Road. All buildings on that side of Bartlett Road are shingled and barn looking and smaller; a metal roof in this location is inappropriate; there are no metal buildings at this end. This area is 80% residential. A couple of 2-bay shingled building would be more appropriate.  
**Oliver** – The massing is inappropriate; most commercial buildings are more compact with apartments above them. Agree about the metal roof being inappropriate.  
**Glazer** – Just because an area is zoned for commercial, the standard to look at it contextually still applies. This is nothing like the structures around it. Thinks it needs a complete redesign.  
**Williams** – The pent roofs don't work and doors aren't centered in the spaces. The metal roof is inappropriate. Referenced Mike Allen's boat building on Square Rigger as an appropriate example of a building similar to this. This is over scaled for this end of the road; it needs to be broken up with perhaps an ell.

Motion **Motion to Hold for revisions. (Glazer)**

Vote Carried unanimously Certificate #

3. Simpson, Russell 6 Marble Way New mixed use building #2 66-103 Concept Design

Sitting Williams, Coombs, Pohl, Glazer, Oliver

Alternates None

Recused None

Documentation File with associated plans, photos and required documentation.

Representing T.J. Watterson, Concept Design – Two offices on the 1<sup>st</sup> floor, a living unit on the 2<sup>nd</sup> floor and one in the basement.  
Russell Simpson

Public **Chris Skehel**, for 75/77 Bartlett Road – This design has nothing to do with the neighborhood. The rear element should be lower.

Concerns (9:28) **Williams** – No egress windows are shown in the basement apartment. The 7/12 pitch is too low.  
**Oliver** – There is no front door. Massing is okay; it looks like a house. Agree about the pitch.  
**Pohl** – Would like to see a break in the east elevation between the main mass and the back. West elevation, this should have a proper entry door with a proper frontice piece rather than the 12-light door. Agree about the roof pitch.  
**Coombs** – Agree about the front door on the west elevation. East elevation, the two doors should be different that side is visible. The south elevation eaves are the same and give it height.  
**Glazer** – West elevation, the right 2<sup>nd</sup> floor gable dormer should be a shed dormer. Agree with breaking the east elevation.  
**Williams** – This has no additive massing. The flush gable dormer doesn't work. The south elevation does not have appropriate additive massing. The very high eaves and a flat pitch on the main mass is not appropriate. East elevation, the dormer should not run to the ridge. Need a railing around the basement access.

Motion **Motion to Hold for revisions. (Coombs)**

Vote Carried unanimously Certificate #

20. Simpson, Russell

6 Marble Way

New commercial building #1

66-103

Concept Design

Sitting Williams, Coombs, Camp, Glazer, Oliver

Alternates None

Recused None

Documentation Associated site and elevation plans, photos, correspondence, and required historical documentation.

Representing **TJ Watterson**, Concept Design – Reviewed changes made per previous concerns. Colors are natural to weather with terratone sash.

Russell Simpson

Public **Chris Skehel**, 75, & 77 Bartlett Road – This is still too large at 90 feet for this neighborhood.

**Sean Curry**, 11 Marble Way – Nothing to add.

**Rob Morgenstern**, 1 Marble Way – Agrees with Mr. Skehel about the size. He is concerned about parking on the road and traffic of large trucks.

**Jim Crosby**, 63 Bartlett Road – There had been talked about breaking this up into two buildings.

**Sam Parsons**, 1 Marble Way – Agrees with Mr. Skehel. Does not think the size and scale has been reduced much since the last meeting; would like to see it reduced 20 more feet. This is a massive building for the neighborhood.

**Kevin Dugan**, 80 Somerset Road & 6 Sleepy Hollow – Nothing to add.

**Mary Richrod**, 2 Marble Way – Agrees

**Todd Stout**, 65 Bartlett Road – This is extremely large and parking is called into question. If the garage doors are slab, they are more likely to be opened

**Tom Schroeder**, 9 Marble Way – North elevation, the two doors have a lot of windows and everyone can see in. had talked about the faux doors on that side. We’ve been talking about this building come down to 60 feet; he hasn’t seen this change in size.

**John Meyers**, 14 Sleep Hollow – Agrees with what’s been said.

**Cameron Gammill**, 87 Somerset Road – Asked about options to ensure the doors would be closed; boat doors tend to stay open.

**Dawn Dugan**, 80 Somerset Road & 6 Sleepy Hollow – The size hasn’t been reduced much.

**John Weber**, 12 Marble Way – Nothing to add.

Heidi Girvan, 5 Marble Way

Concerns (8:30)

**Williams** – This now sits 44 feet off the road because 8 feet was cut off front. Noted that HDC doesn't control parking on the road; the abutters should call the police. In regards to breaking this up into two buildings, if that couldn't work they would stagger the building, which they did. The HDC only has jurisdiction over whether or not the doors are appropriate, not the uses. If lighting violates Dark Skies, that is controlled by the Building Department. The bays have to be accessible: either from this side or the other. The front is 68 feet and the back is 32+ feet; only the first 58 feet will be visible and that will be screened. Moving the parking and screening along the road will hide the back section.

**Coombs** – If the back closest to Bartlett Road were moved to the side; the size could down 50 feet. (That would mean more building to look at.) The front doors shouldn’t be fixed; they should work and be kept shut.

**Oliver** – Appreciates the changes made. It is 16 feet longer than any building along Marble Way.

**Glazer** – Also appreciates changes made but feels a couple more changes is possible. Agrees about the north elevation garage doors going to all wood V-groove with no lights. Suggested the north elevation people door be moved to the east elevation to create symmetry. Suggested a second jogging the 58-foot piece north of the garage doors, if it is possible.

**Camp** – Agrees with Ms Glazer. Suggested moving the garage door beside the people door to the east.

Further discussion about the doors being opened or closed and minimizing the visual impact.

**Williams** – The two cupolas don’t work; the second needs to come off the back. Move the people door to the east and put a window in its place; reduce the garage door glass to one line. Reviewed the problems of this area having been zoned CTec allow light industry by right in a residential area with some commercial. The 50-foot long ridge rule doesn’t apply here because that is for residential structures only.

Motion

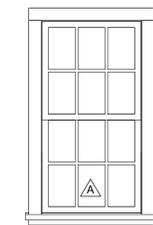
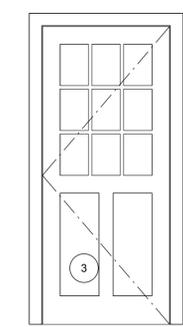
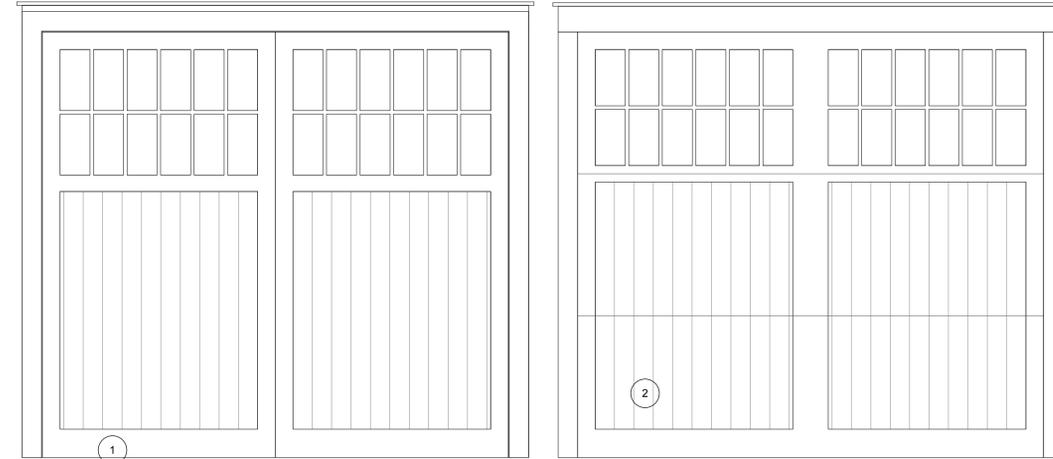
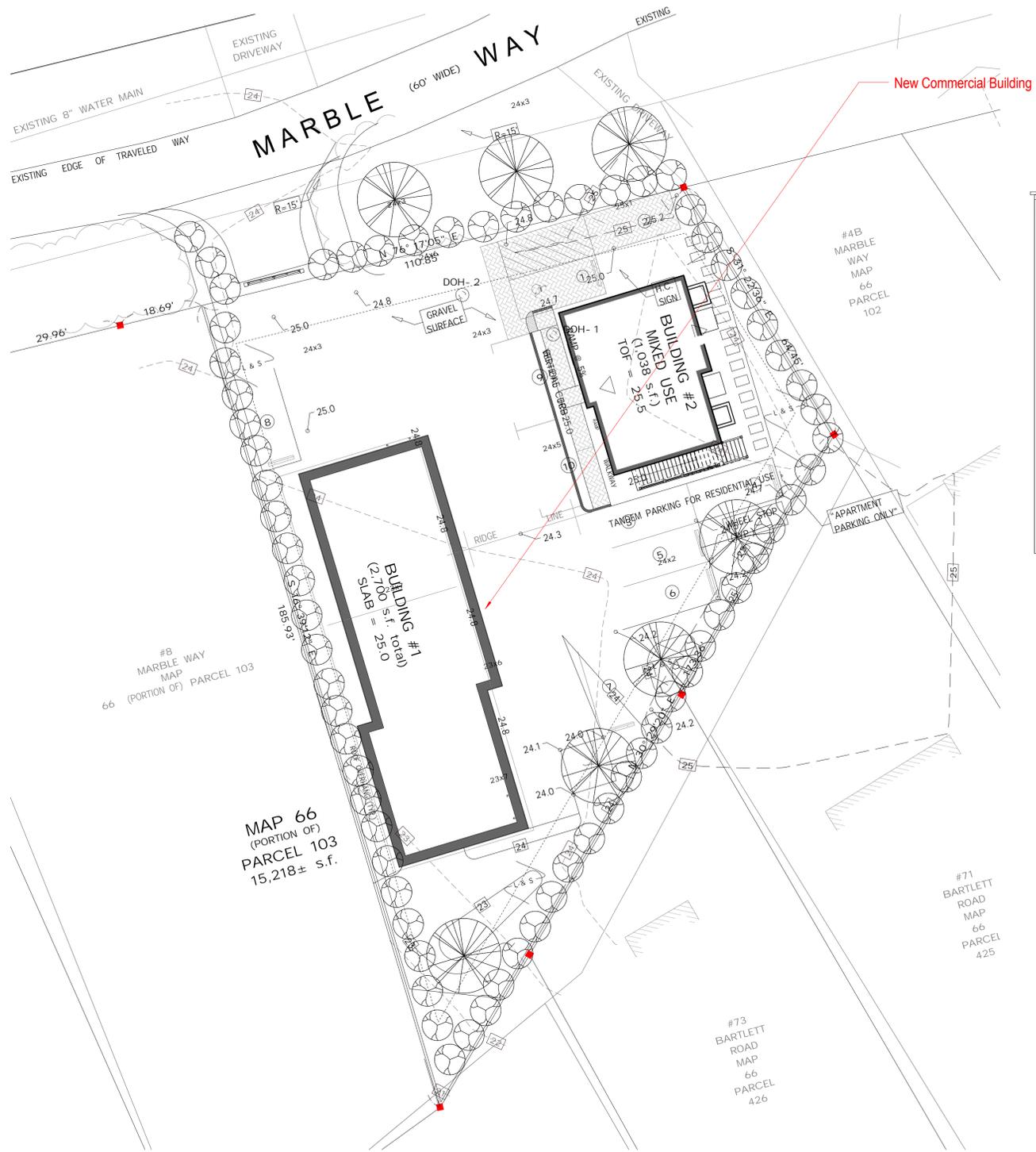
**Motion to Approve through staff with the removal of the cupola on the rear section; the north elevation people door to move to the east and replaced by an “A” window; the north elevation garage doors to be V-groove out-swing; everything to be natural to weather with terratone sashes; and application to be updated with dimensions to 90X30 and 20’7” tall and colors and roof 3-tab Harvard slate. (Glazer)**

Vote

Carried unanimously

Certificate #

64656



**1** Site Plan  
1" = 15'-0"

**Note:**  
Coordinate this Drawing w/ All Other Documents of Service Contained in this Set Herein. All Dimensions to Framing U.N.O.

HDC Approval Through Staff 10.27.15



**COVER SHEET**

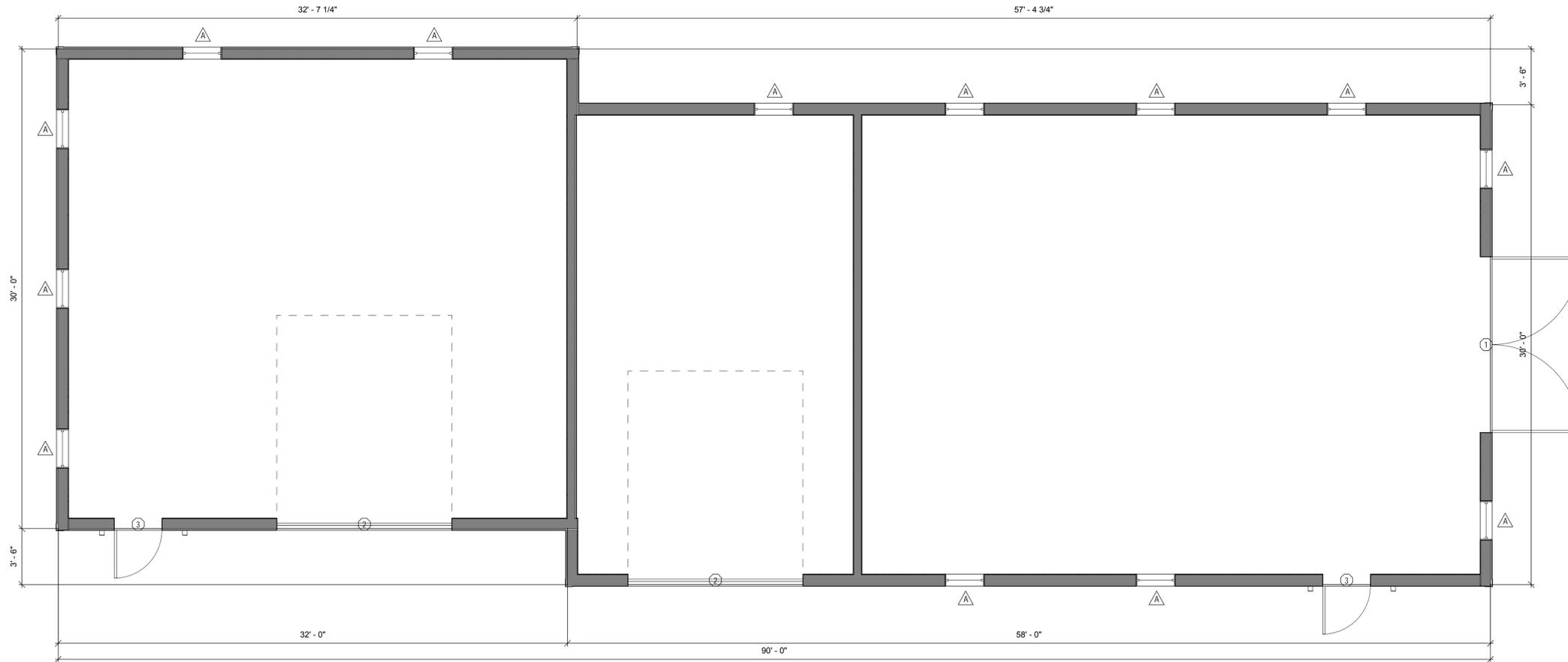
SHEET INDEX

C1.1	COVER SHEET
A1.1	FLOOR PLAN
A2.1	EXTERIOR ELEVATIONS

Map & Parcel	66-103
Current Zoning	CTEC
Minimum Frontage	50 FT
Front Setback	10 FT
Side/Rear Setback	5 FT, 10 FT
Min. Lot Size	10,000 SF
Lot Size	15,217 SF
Allowable G.C.	6,086 SF
Existing G.C.	xxxx SF
Proposed G.C.	2,702 SF
Total Proposed G.C.	3,736 SF

**C1.1**

**Simpson/ Bldg. 1**  
6 Marble Way, Nantucket, MA 02554



**1 First Floor**  
1/4" = 1'-0"

**Note:**  
Coordinate this Drawing w/ All  
Other Documents of Service  
Contained in this Set Herein. All  
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**Simpson/ Bldg. 1**  
6 Marble Way. Nantucket, MA 02554



**FLOOR PLAN**

SHEET INDEX

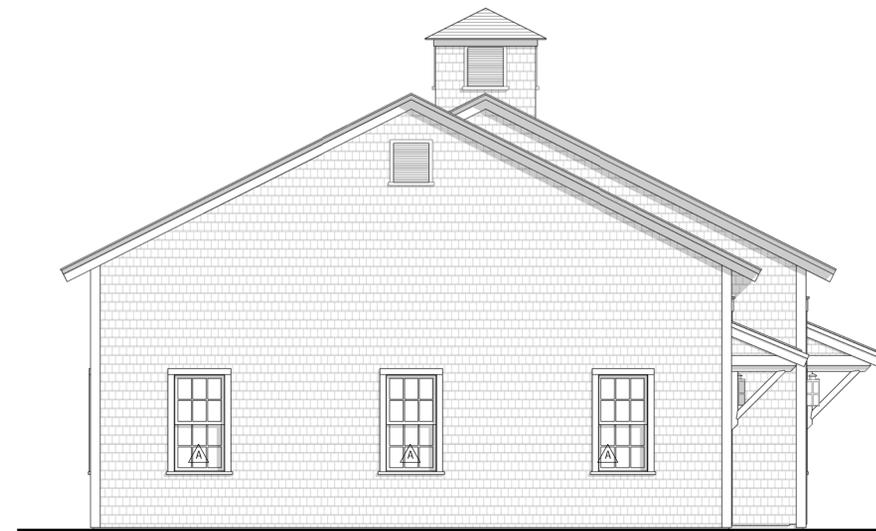
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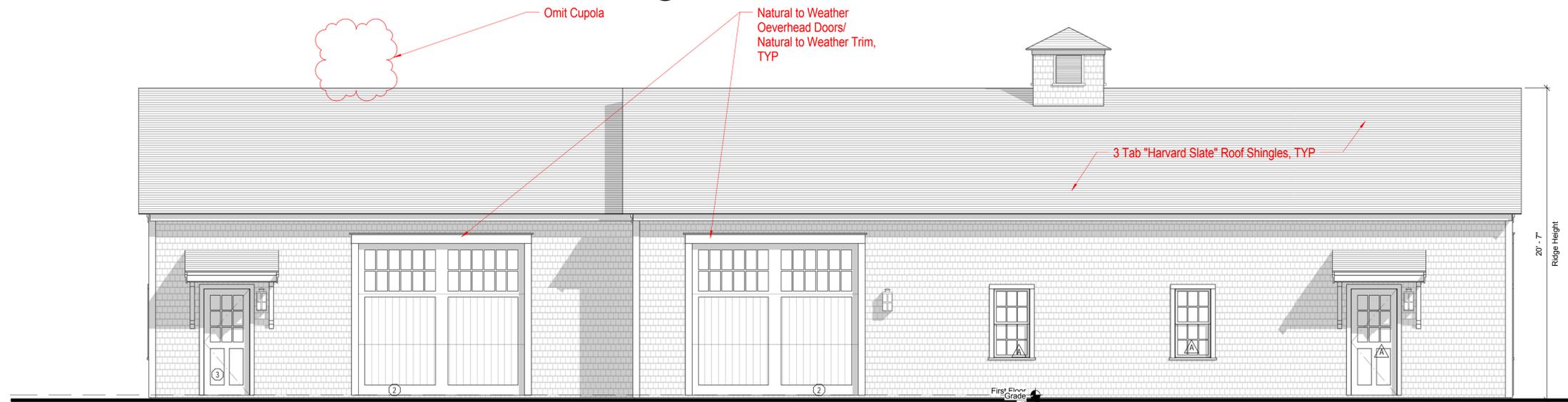
**A1.1**



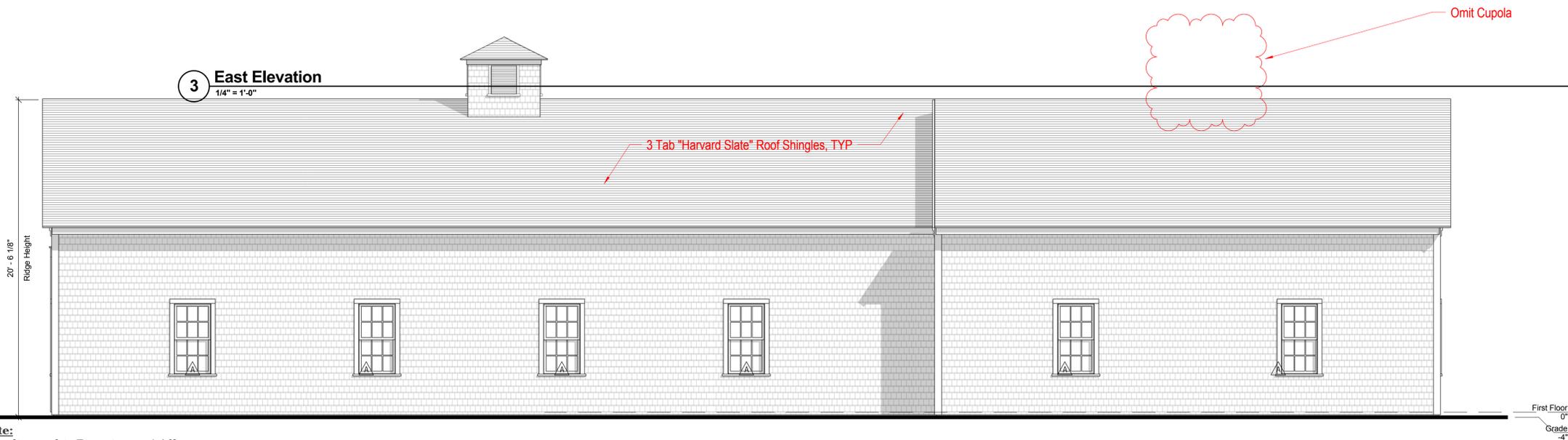
**1 North Elevation**  
1/4" = 1'-0"



**2 South Elevation**  
1/4" = 1'-0"



**3 East Elevation**  
1/4" = 1'-0"



**4 West Elevation**  
1/4" = 1'-0"

**Note:**  
Coordinate this Drawing w/ All Other Documents of Service Contained in this Set Herein. All Dimensions to Framing U.N.O.

HDC Approval Through Staff 10.27.15

**Simpson/ Bldg. 1**  
6 Marble Way. Nantucket, MA 02554



**EXTERIOR ELEVATIONS**

SHEET INDEX

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- A1.1 FLOOR PLAN
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Total Proposed G.C.	3,736 SF

**A2.1**

#10.00

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BOARD OF ASSESSORS

JUL 24 2015

TOWN OF  
NANTUCKET, MA

TOWN OF NANTUCKET  
HISTORIC DISTRICT COMMISSION

LIST OF PARTIES IN INTEREST IN THE MATTER OF THE PETITION OF:

PROPERTY OWNER..... Russell Simpson .....  
MAILING ADDRESS..... 6 Marble Way .....  
PROPERTY LOCATION..... 6 Marble Way Nantucket .....  
ASSESSORS MAP/PARCEL..... 66-103 .....  
SUBMITTED BY: T.J. Wattersom [Concept Design] 508 221 3009

SEE ATTACHED PAGES

I certify that the foregoing is a list of persons who are owners of land directly adjacent to the subject property or directly opposite the subject property on any public or private street or way, all as they appear on the most recent applicable tax list.

July 27, 2015  
DATE

Patricia Miles  
ASSESSOR'S OFFICE  
TOWN OF NANTUCKET

RECEIVED  
JUL 27 2015  
BY: \_\_\_\_\_



## HISTORIC DISTRICT COMMISSION

37 Washington Street

Nantucket, Massachusetts 02554

Telephone: 508.228.7231

Fax: 508.325.7572

### NOTICE OF HDC APPLICATION

#### ABUTTERS AND INTERESTED PARTIES

Please be informed that the Nantucket Historic District Commission will be considering the following proposal:

Address of Proposed Work: 6 Marble Way

Tax Map Number: 66

Parcel Number: 103

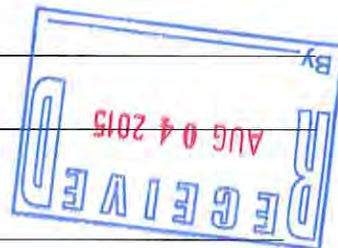
Owner of Record: Russell Simpson

Description of Proposal: New 2,940 SF [Ground Cover] Commercial Building.

98' Length x 30' Width

1 Story Structure

Anticipated HDC Submission Date: 08/04/15



You have been identified either as an abutter or interested party to the above property and are being notified in accordance with the Town Bylaw. Please note that the above submission date is an estimate only; the actual meeting date will be determined once the HDC staff has established that a complete application has been submitted. Please contact the HDC office to verify the date. Please note that notification is only required at the time of initial submission of an application, not for each time an application goes before the Commission. Abutters are responsible for monitoring the status of applications.

If you wish to comment on the above proposal, you are encouraged to submit your comments in writing to the HDC office. If you wish to testify at a Commission meeting please be aware that your testimony may be limited by the Commission in accordance with Commission policies, which are included on the back of this form. Due to the large sizes of most applications, the HDC office may not be able to send faxed copies of the plans. Off-island abutters wishing more detailed information may enlist an on-island representative to view the plans in the HDC office.

If you have any questions, please contact the HDC office at 508.228.7231.



# HISTORIC DISTRICT COMMISSION

37 Washington Street

Nantucket, Massachusetts 02554

Telephone: 508.228.7231

Fax: 508.325.7572

## NOTICE OF HDC APPLICATION

### ABUTTERS AND INTERESTED PARTIES

RECEIVED  
JUL 28 2015  
BY: \_\_\_\_\_

Please be informed that the Nantucket Historic District Commission will be considering the following proposal:

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Parcel Number: 103

Owner of Record: Russell Simpson

Description of Proposal: New 2,940 SF[Ground Cover] Building

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Anticipated HDC Submission Date: 08.05.15

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If you have any questions, please contact the HDC office at 508.228.7231.

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<input type="checkbox"/> Adult Signature Restricted Delivery	\$	\$0.00
Postage	\$	\$0.49
Total Postage and Fees	\$	\$3.94

Postmark Here  
 JUL 28 2015

Sent To  
 Marble way Realty  
 Street and Apt. No., or PO Box No.  
 101 Huntington Ave  
 City, State, ZIP+4®  
 Boston, MA, 02199

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

1595 4046 4000 0490 5102

U.S. Postal Service™  
**CERTIFIED MAIL® RECEIPT**  
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For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

**OFFICIAL USE**  
 BRAINTREE, MA 02184

Certified Mail Fee	\$	\$3.45
Extra Services & Fees (check box, add fee as appropriate)		
<input type="checkbox"/> Return Receipt (hardcopy)	\$	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$	\$0.00
<input type="checkbox"/> Adult Signature Required	\$	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$	\$0.00
Postage	\$	\$0.49
Total Postage and Fees	\$	\$3.94

Postmark Here  
 JUL 28 2015

Sent To  
 Tommaso Gioioso  
 Street and Apt. No., or PO Box No.  
 25 Angela Rd  
 City, State, ZIP+4®  
 Braintree, MA, 02184

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

5275 4046 4000 0490 5102

U.S. Postal Service™  
**CERTIFIED MAIL® RECEIPT**  
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For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

**OFFICIAL USE**  
 NANTUCKET, MA 02584

Certified Mail Fee	\$	\$3.45
Extra Services & Fees (check box, add fee as appropriate)		
<input type="checkbox"/> Return Receipt (hardcopy)	\$	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$	\$0.00
<input type="checkbox"/> Adult Signature Required	\$	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$	\$0.00
Postage	\$	\$0.49
Total Postage and Fees	\$	\$3.94

Postmark Here  
 JUL 28 2015

Sent To  
 Lindsay M. Lurry & Sean Garrett  
 Street and Apt. No., or PO Box No.  
 P.O. Box 2014  
 City, State, ZIP+4®  
 Nantucket MA, 02584

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

2529 4046 4000 0490 5102

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For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

**OFFICIAL USE**  
 BARTLEN, CT 06820

Certified Mail Fee	\$	\$3.45
Extra Services & Fees (check box, add fee as appropriate)		
<input type="checkbox"/> Return Receipt (hardcopy)	\$	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$	\$0.00
<input type="checkbox"/> Adult Signature Required	\$	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$	\$0.00
Postage	\$	\$0.49
Total Postage and Fees	\$	\$3.94

Postmark Here  
 JUL 28 2015

Sent To  
 73 Bartlett Road  
 Street and Apt. No., or PO Box No.  
 23 Old Kings Hwy So  
 City, State, ZIP+4®  
 Barren, CT, 06820

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

8995 4046 4000 0490 5102

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For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

**OFFICIAL USE**  
 NANTUCKET, MA 02554

Certified Mail Fee	\$	\$3.45
Extra Services & Fees (check box, add fee as appropriate)		
<input type="checkbox"/> Return Receipt (hardcopy)	\$	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$	\$0.00
<input type="checkbox"/> Adult Signature Required	\$	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$	\$0.00
Postage	\$	\$0.49
Total Postage and Fees	\$	\$3.94

Postmark Here  
 JUL 28 2015

Sent To  
 Catherine E. Conte To  
 Street and Apt. No., or PO Box No.  
 P.O. Box 223  
 City, State, ZIP+4®  
 Nantucket, MA, 02554

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

4495 4046 4000 0490 5102

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**CERTIFIED MAIL® RECEIPT**  
 Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

**OFFICIAL USE**  
 BRUNSWICK, ME 04011

Certified Mail Fee	\$	\$3.45
Extra Services & Fees (check box, add fee as appropriate)		
<input type="checkbox"/> Return Receipt (hardcopy)	\$	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$	\$0.00
<input type="checkbox"/> Adult Signature Required	\$	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$	\$0.00
Postage	\$	\$0.49
Total Postage and Fees	\$	\$3.94

Postmark Here  
 JUL 28 2015

Sent To  
 Jeffrey Kaschuluk & An  
 Street and Apt. No., or PO Box No.  
 P.O. Box 241  
 City, State, ZIP+4®  
 Brunswick, ME, 04011

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

BY: RECEIVED JUL 28 2015





**Planning and Land Use Services (PLUS)  
HISTORIC DISTRICT COMMISSION**

established 1955

2 Fairgrounds Road  
Nantucket, Massachusetts 02554

Telephone: 508.325.7587

Fax: 508.228.7298

**COMMISSIONERS**

Linda Williams  
Chairman

Dawn Holdgate  
Vice-Chairman

Ray Pohl

Diane Coombs

John McLaughlin

**ASSOCIATE  
COMMISSIONERS**

Abigail Camp

Kristine Glazer

Val Oliver

**STAFF**

Mark W. Voigt  
Administrator  
[mvoigt@nantucket-ma.gov](mailto:mvoigt@nantucket-ma.gov)

**EXTENSION AGREEMENT**

Date Signed: 9.22.15

Map: 66 Parcel 103

Address of Property: 6 Marble Way

Applicant(s)/Owner(s)/Representative(s) Name:

Concept Design

Scope of Work: New Commercial Bldg #1

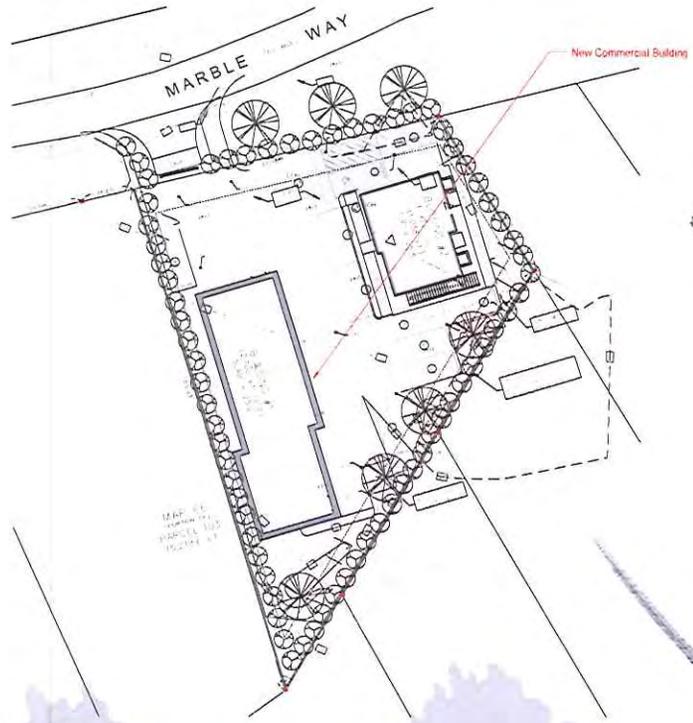
A voluntary extension of the Nantucket Historic District Commission's ("HDC") action deadline on the above noted Application has been granted to the HDC by the above named Applicant(s)/Owner(s)/Representative(s) up to and including the following date:

December 22, 2015

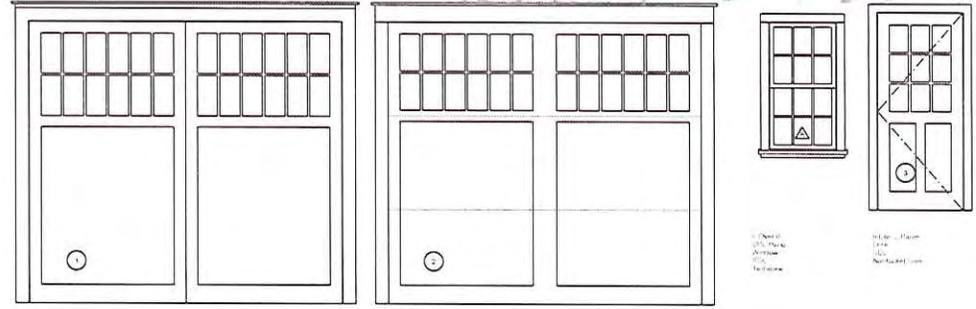
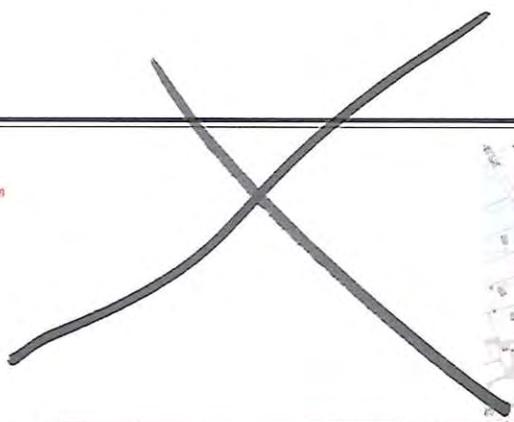
Month/day/year of extension termination

Signature of Applicant/Owner/Representative

Please print name of signatory



1 Site Plan  
11/2014



Note:  
Coordinate this Drawing w/ All  
Other Documents of Service  
Contained in this Set Herein. All  
Dimensions to Framing U.S.C.S.

For HDC Submission Only - Not For Construction 10.09.15

**Simpson/ Bldg. 1**  
6 Marble Way, Nantucket, MA 02554



COVER SHEET

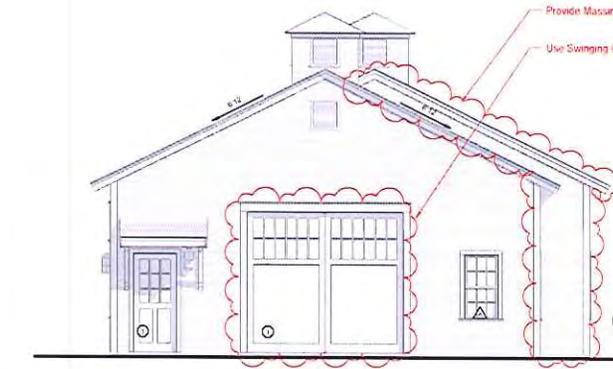
SUBMITTALS

NO.	DESCRIPTION	DATE
1	CONCEPT DESIGN	11/2014
2	CONCEPT DESIGN	11/2014

Project Name	600 sq ft
Project Location	02554
Project Number	02554
Client Name	1247 sq ft
Client Address	1247 sq ft
Client Phone	1247 sq ft
Client Email	1247 sq ft
Project Start	1247 sq ft
Project End	1247 sq ft
Project Status	1247 sq ft

**C1.1**

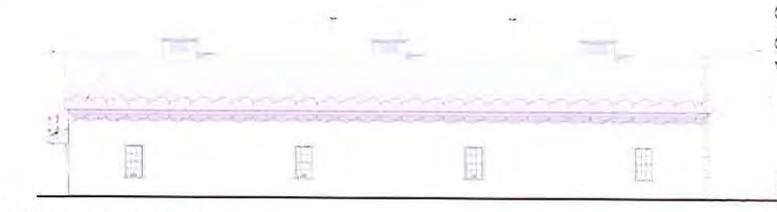




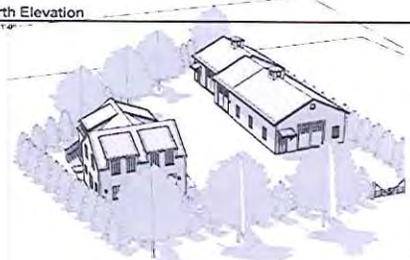
1 North Elevation  
1/8" = 1'-0"



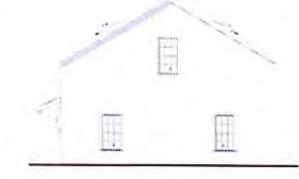
3 Previous North Elevation  
1/8" = 1'-0"



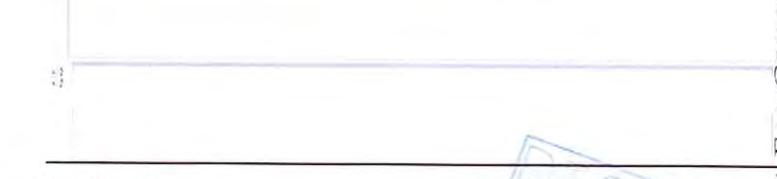
4 Previous West Elevation  
1/8" = 1'-0"



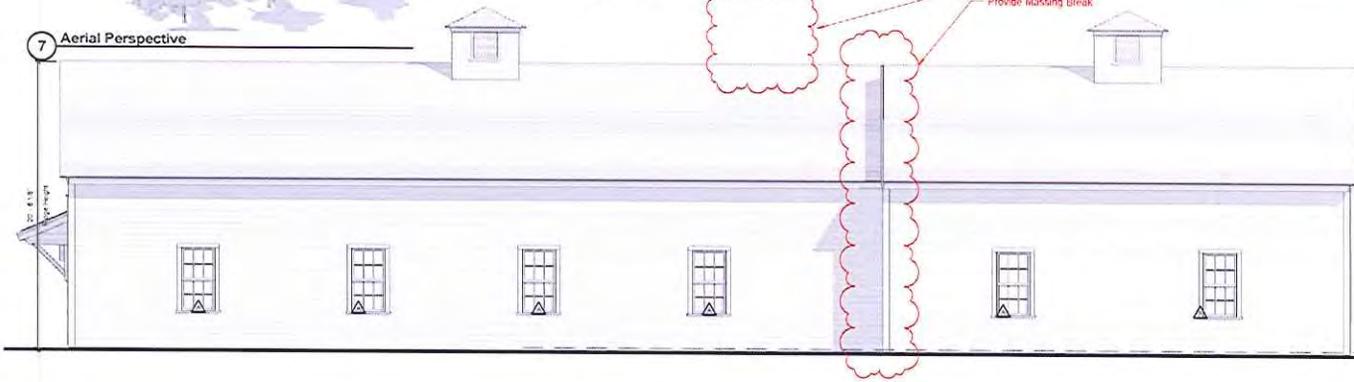
7 Aerial Perspective



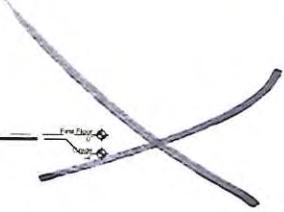
5 Original North Elevation  
1/8" = 1'-0"



6 Original West Elevation  
1/8" = 1'-0"



2 West Elevation  
1/8" = 1'-0"



Note:  
Coordinate this Drawing w/ All  
Other Documents of Service  
Contained in this Set Hereon. All  
Dimensions to Framing U.N.S.D.

For HDC Submission Only - Not For Construction 10.09.15

**Simpson/ Bldg. 1**  
6 Marble Way, Nantucket, MA 02554

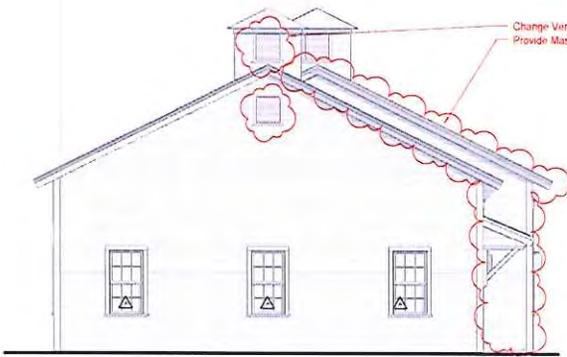
**Concept Design**  
Residential Design  
& More  
344 731 4224  
info@conceptdesigner.com

EXTERIOR  
ELEVATIONS

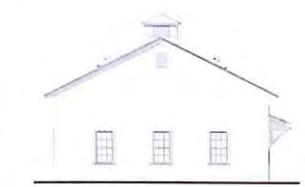
DATE: 10/09/15  
BY: [Signature]  
CHECKED BY: [Signature]  
DATE: 10/13/15

North Elevation	1/8" = 1'-0"
West Elevation	1/8" = 1'-0"
Previous North Elevation	1/8" = 1'-0"
Previous West Elevation	1/8" = 1'-0"
Original North Elevation	1/8" = 1'-0"
Original West Elevation	1/8" = 1'-0"
Aerial Perspective	1/8" = 1'-0"

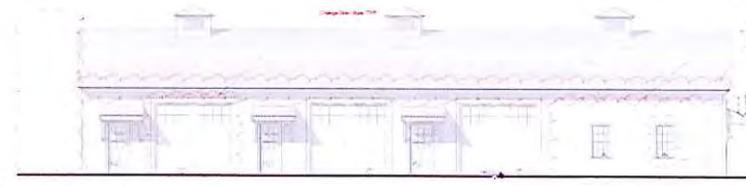
**A2.1**



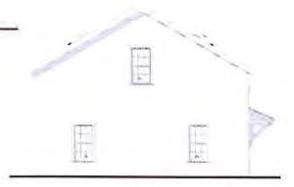
1 South Elevation  
18' x 14'



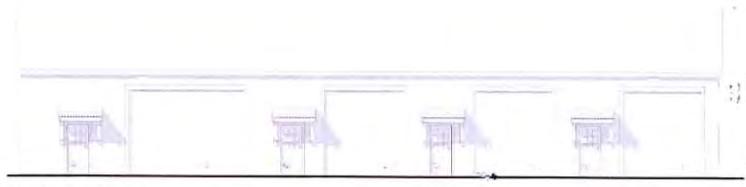
3 Previous South Elevation  
18' x 14'



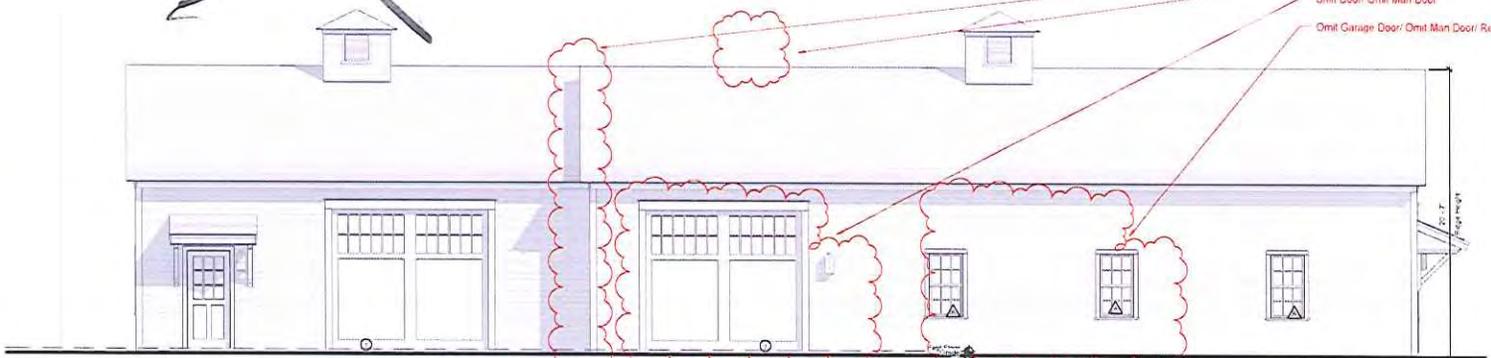
4 Previous East Elevation  
18' x 14'



5 Original South Elevation  
18' x 14'



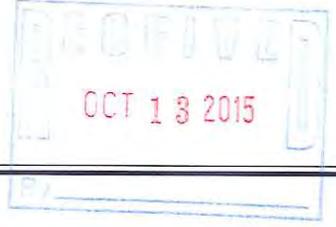
6 Original East Elevation  
18' x 14'



2 East Elevation  
18' x 14'

Provide Massing Break  
Omit Cupola  
Shift Door/ Omit Man Door  
Omit Garage Door/ Omit Man Door/ Reverse Fenestration

Note:  
Coordinate this Drawing w/ All  
Other Documents of Service  
Contained in this Set Hereby. All  
Dimensions to Framing U.N.S.



For HDC Submission Only - Not For Construction 10.09.15



EXTERIOR ELEVATIONS

NO. 15-151  
 1011 100 WOOD  
 1012 100 WOOD  
 1013 100 WOOD  
 1014 100 WOOD

Sheet Count	40 of 40
Sheet Index	47 of 47
Sheet Count	40 of 40
Sheet Index	47 of 47
Sheet Count	40 of 40
Sheet Index	47 of 47
Sheet Count	40 of 40
Sheet Index	47 of 47

**Simpson/ Bldg. 1**  
 6 Marble Way, Nantucket, MA 02554

**A2.2**

08.20.15

For HDC Submission Only - Not For Construction

# Simpson/ Bldg. 1

6 Marble Way, Nantucket, MA 02554

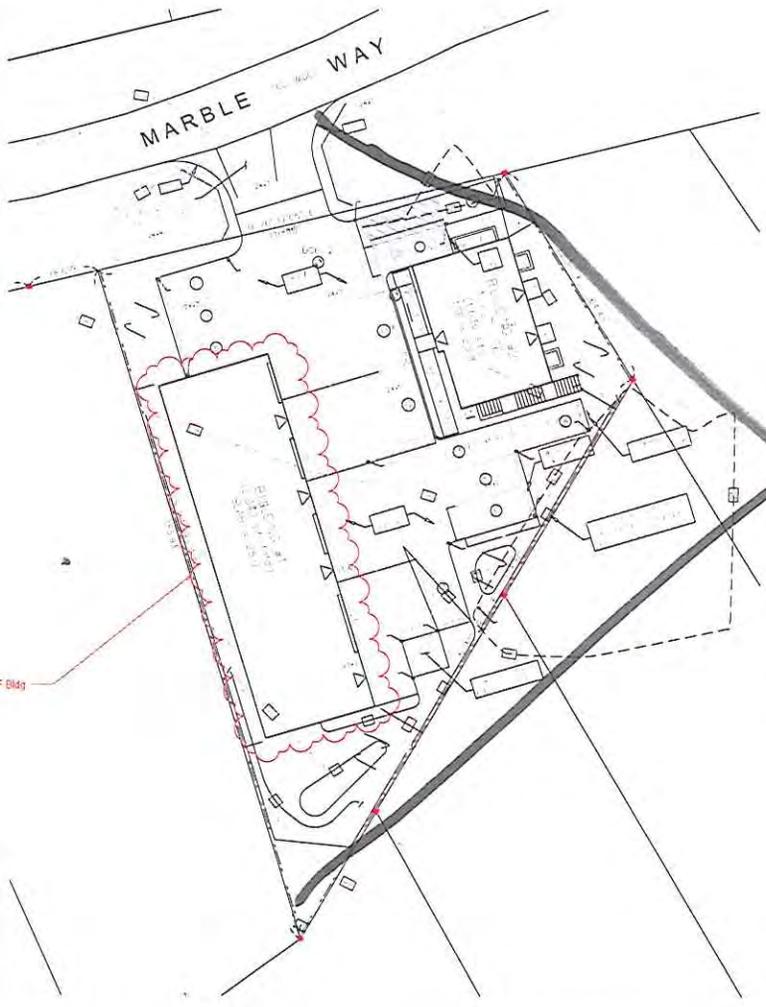


COVER SHEET

DATE: 08/20/15  
BY: [Signature]  
CHECKED: [Signature]

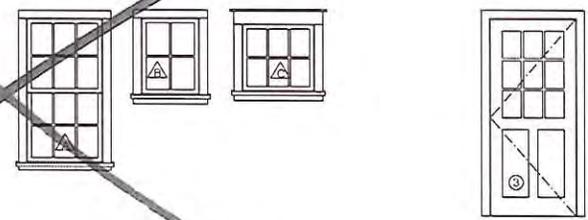
Sheet No.	001
Project No.	15-001
Client Name	Simpson/ Bldg. 1
Site Address	6 Marble Way, Nantucket, MA 02554
Scale	AS SHOWN
Drawn By	[Signature]
Checked By	[Signature]
Date	08/20/15

## C1.1

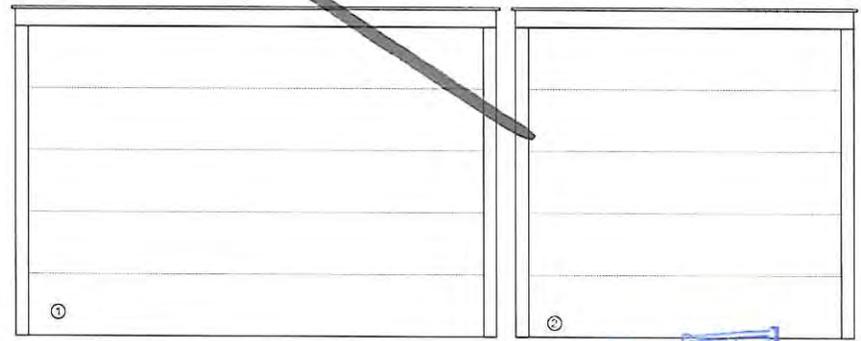


New 2,940 SF Bldg

1 Site Plan  
1/150



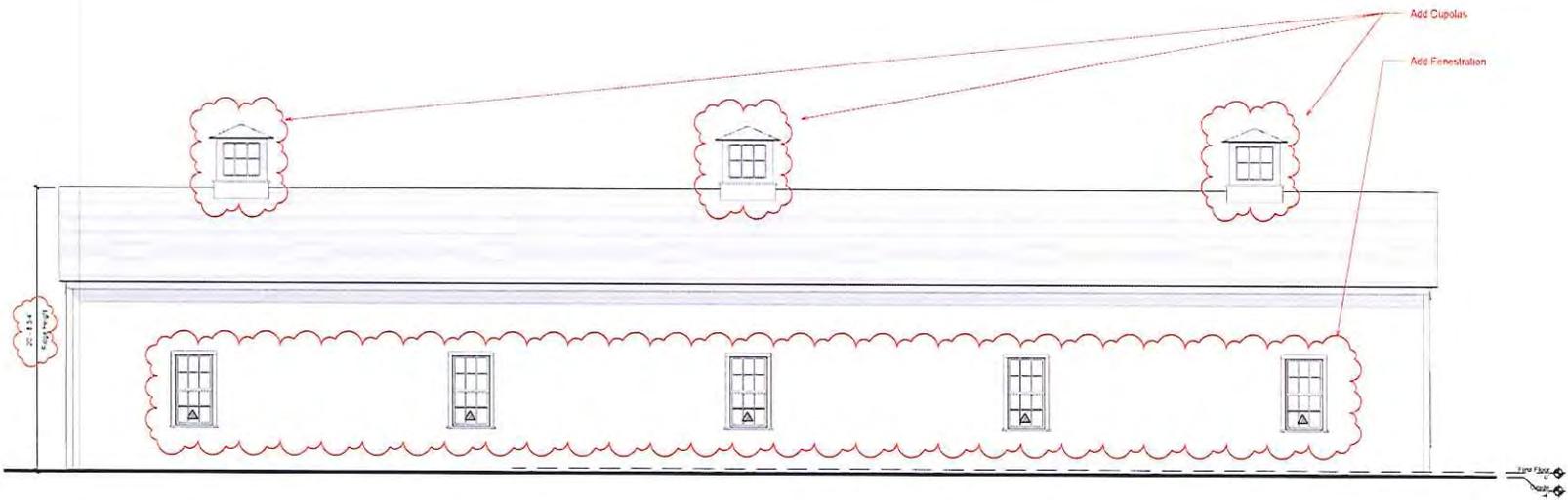
12 Pane Window  
6 Pane Window  
6 Pane Window  
6 Pane Door  
6 Pane Door



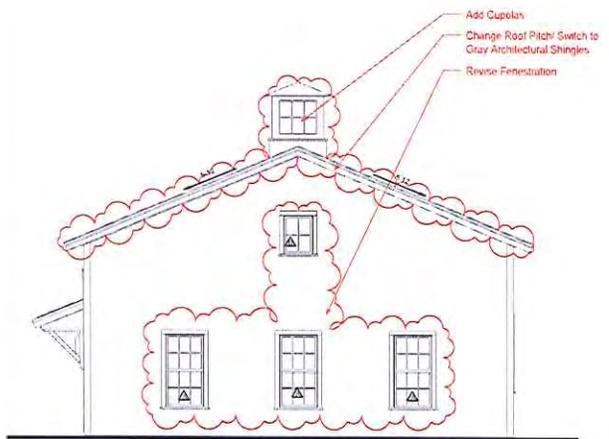
Architect: [Signature]  
Architect: [Signature]

BY: [Signature]  
AUG 24 2015

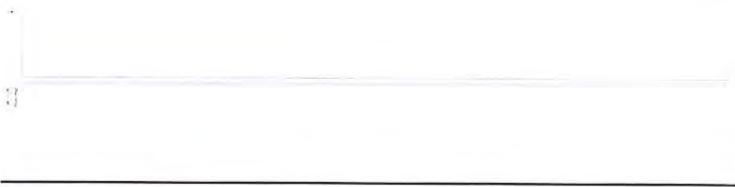
Note:  
Coordinate this Drawing w/ All  
Other Documents of Service  
Contained in this Set Herein. All  
Dimensions to Framing (U.S.C.)



1 West Elevation  
1/8" = 1'-0"



2 North Elevation  
1/8" = 1'-0"



3 Previous West Elevation  
1/8" = 1'-0"



4 Previous North Elevation  
1/8" = 1'-0"

Note:  
Coordinate this Drawing w/ ALL  
Other Documents of Service  
Contained in this set Herein. All  
Dimensions to Framing U.S.C.

BY: \_\_\_\_\_  
AUG 24 2015

08.20.15

For HDC Submission Only - Not For Construction

**Simpson/ Bldg. 1**  
6 Marble Way, Nantucket, MA 02554

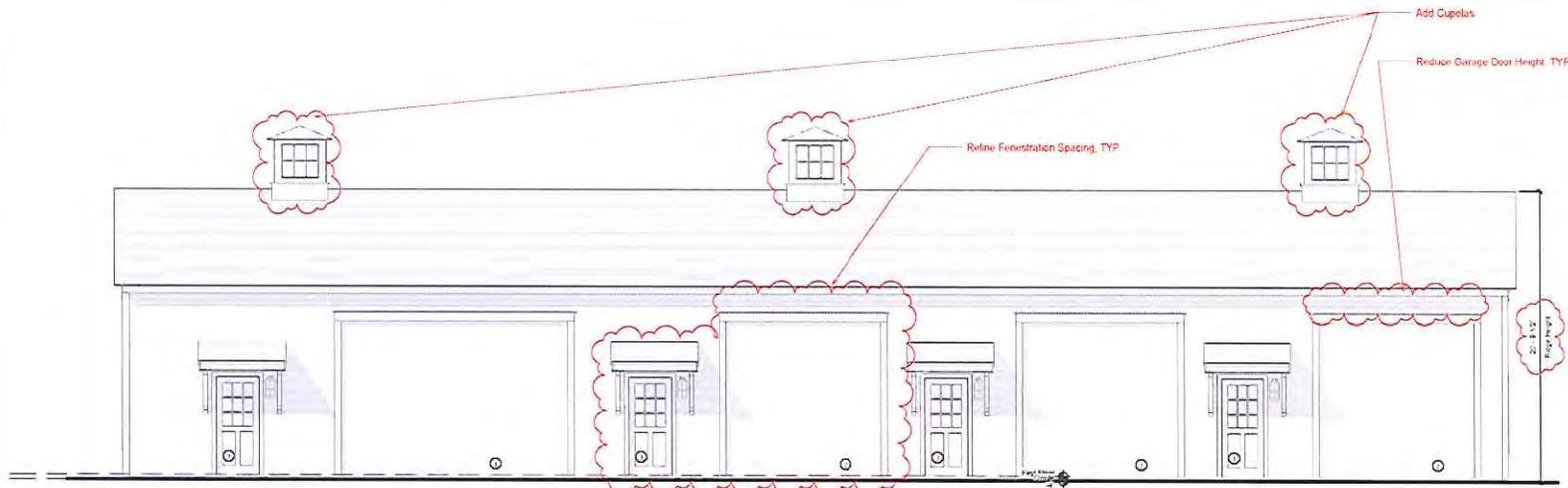


EXTERIOR ELEVATIONS

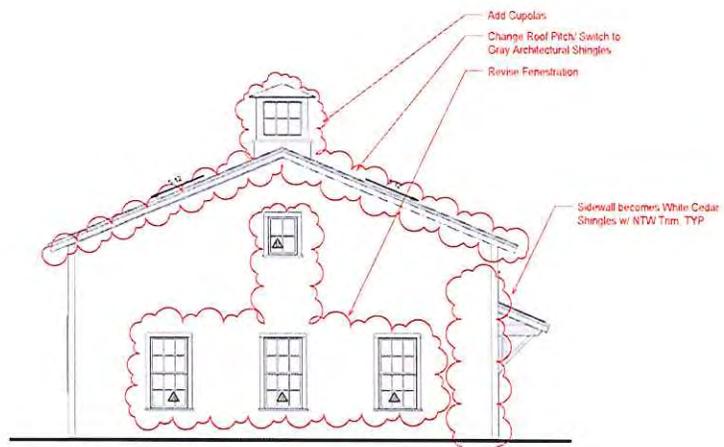
SHEET LIST	
01	FOUNDATION
02	GENERAL CONTRACT
03	EXTERIOR ELEVATIONS

DATE: 08/20/15	NO. 101
PROJECT: Simpson/ Bldg. 1	101
DATE: 08/20/15	101
NO. 101	101
DATE: 08/20/15	101
NO. 101	101
DATE: 08/20/15	101
NO. 101	101
DATE: 08/20/15	101
NO. 101	101

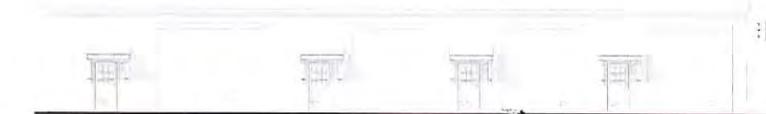
A2.2



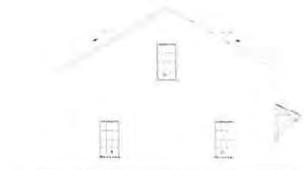
1 East Elevation  
1/4" = 1'-0"



2 South Elevation  
1/4" = 1'-0"



3 Previous East Elevation  
1/8" = 1'-0"



4 Previous South Elevation  
1/8" = 1'-0"

Note:  
Coordinate this Drawing w/ All  
Other Documents of Service  
Contained in This Set Herein. All  
Dimensions to Framing, U.N.C.S.

BY: [Signature]  
AUG 24 2015

For HDC Submission Only - Not For Construction 08.20.15

**Simpson/ Bldg. 1**  
6 Marble Way, Nantucket, MA 02554

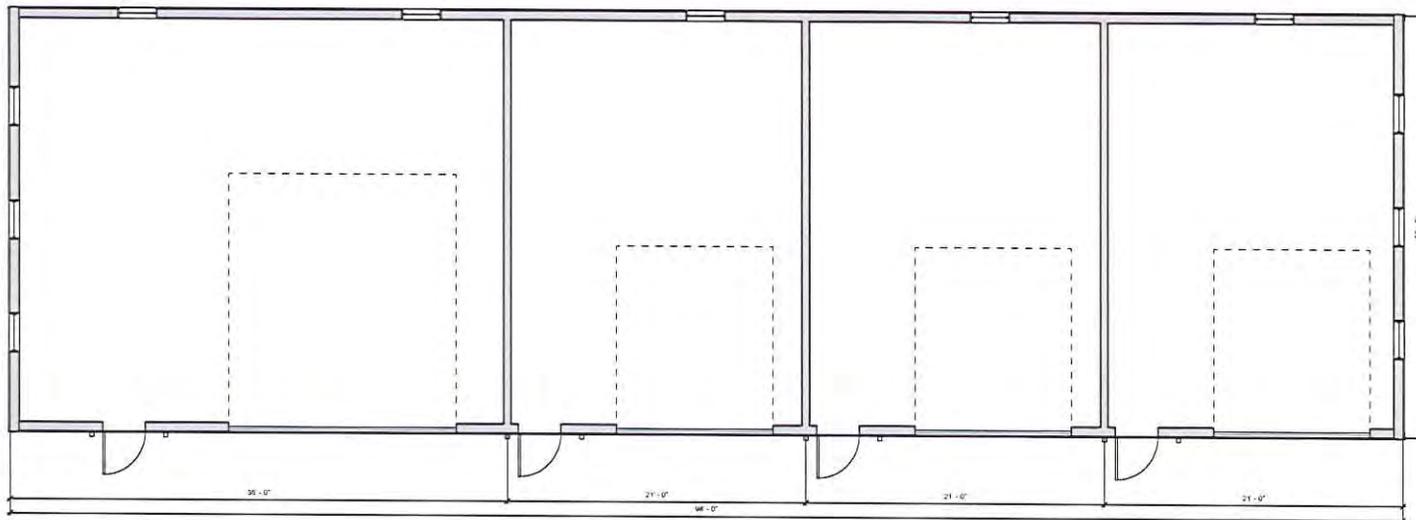


EXTERIOR ELEVATIONS

DATE: 08/20/15  
BY: [Signature]  
CHECKED BY: [Signature]

Sheet No.	00-100
Project Name	A-175
Client Name	001-1
Project No.	001-1
Scale	1/4" = 1'-0"
Drawn By	[Signature]
Checked By	[Signature]
Approved By	[Signature]
Date	08/20/15

A2.1



1 First Floor  
1/4" = 1'-0"

Note:  
Coordinate this Drawing w/ All  
Other Drawings of Service  
Contained in this Set Herein. All  
Dimensions to Framing U.S.C.

BY: \_\_\_\_\_  
**REGISTERED**  
**AUG 21, 2015**

08.20.15

For HDC Submission Only - Not For Construction

**Simpson/ Bldg. 1**  
 6 Marble Way, Nantucket, MA 02554



FLOOR PLAN

REVISIONS

NO.	DESCRIPTION	DATE
01	ISSUED	08/20/15
02	FOR SUBMITTAL	08/20/15
03	FOR SUBMITTAL	08/20/15

Sheet Name	Floor Plan
Sheet Number	A1.1
Project Name	Simpson/Bldg. 1
Client Name	Concept Design
Scale	1/4" = 1'-0"
Drawn by	J. Smith
Checked by	J. Smith
Approved by	J. Smith

**A1.1**

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

**CERTIFICATE OF APPROPRIATENESS**

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

**PROPERTY DESCRIPTION**

TAX MAP N<sup>o</sup>: 66 PARCEL N<sup>o</sup>: 103  
Street & Number of Proposed Work: 60 Merchants Way  
Owner of record: Ely Russell Simpson  
Mailing Address: 2 Cynthia Lane  
Nantucket, MA 02554  
Contact Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

**AGENT INFORMATION (if applicable)**

Name: Concept Design  
Mailing Address: 1 Freedom Sq #11  
Nantucket, MA 02554  
Contact Phone #: 508 221 3009 E-mail: \_\_\_\_\_

FOR OFFICE USE ONLY	
Date application received: _____	Fee Paid: \$ _____
Must be acted on by: _____	
Extended to: _____	
Approved: _____	Disapproved: _____
Chairman: _____	
Member: _____	
Member: _____	
Member: _____	
Member: _____	
Notes - Comments - Restrictions - Conditions	

**DESCRIPTION OF WORK TO BE PERFORMED**  
See reverse for required documentation.

- New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed
  - Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No.
  - Pool (Zoning District \_\_\_\_\_)  Roof  Other: New Commercial Structure
- Size of Structure or Addition: Length: 98' Sq. Footage 1st floor: 2,940 Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
Width: 30' Sq. footage 2nd floor: \_\_\_\_\_ Size: \_\_\_\_\_  1st floor  2nd floor  
Sq. footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_  
Height of ridge above final finish grade: North 24.5" South 24.5" East 24.5" West 24.5"

**Additional Remarks**

REVISIONS: 1. East Elevation  
2. South Elevation  
3. West Elevation  
4. North Elevation

Historic Name: \_\_\_\_\_  
Original Date: \_\_\_\_\_ (describe)  
Original Builder: \_\_\_\_\_  
Is there an HDC survey form for this building attached?  Yes  N/A

**DETAIL OF WORK TO BE PERFORMED**

Foundation: Height Exposed 6" #4  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers

Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_

Roof Pitch: Main Mass 7/12 Secondary Mass 12 Dormer 12 Other \_\_\_\_\_

Roofing material:  Asphalt  3-Tab  Architectural Standing Seam Metal Roof  Wood (Type: Red Cedar, White Cedar, Shakes/etc.)

Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Gutters:  Wood  Aluminum  Copper  Leaders (material)

Leaders (material and size): \_\_\_\_\_

Sidewall:  White cedar shingles  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other Pine Board + Batten [1x10 Boards]

Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_  
C. Dimensions: Fascia 8" Rake 8" Soffit (Overhang) 12" Corner boards \_\_\_\_\_ Frieze \_\_\_\_\_

Window Casing \_\_\_\_\_ Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_

Windows:  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_

Doors\* (type and material):  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_  
Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_

Hardscape materials: Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

**COLORS**

Sidewall Natural Clapboard (if applicable) \_\_\_\_\_ Roof Weathered  
Trim Natural Sash Weathered Doors Nantucket Gray  
Deck \_\_\_\_\_ Foundation Natural Fence \_\_\_\_\_ Shutters \_\_\_\_\_

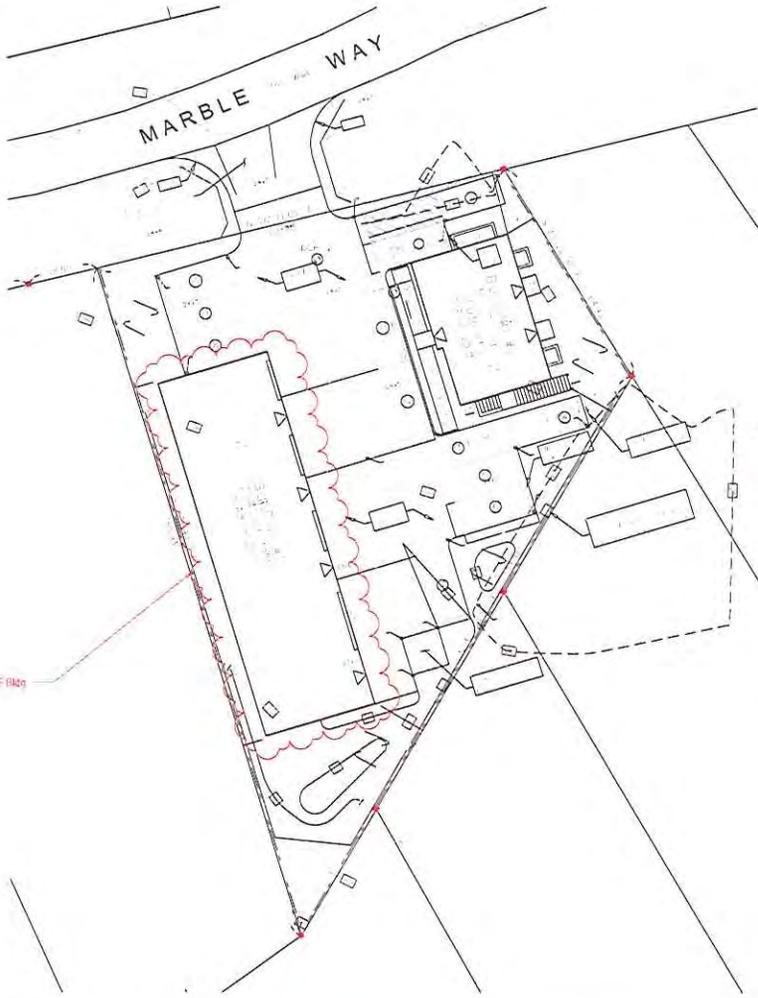
\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 7.28.15 Signature of owner of record Russell J. Simpson Signed under penalties of perjury

RECEIVED  
JUL 28 2015  
BY: \_\_\_\_\_



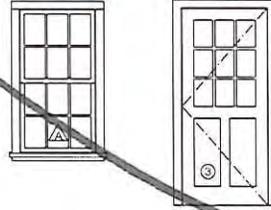


1 Site Plan  
1/100

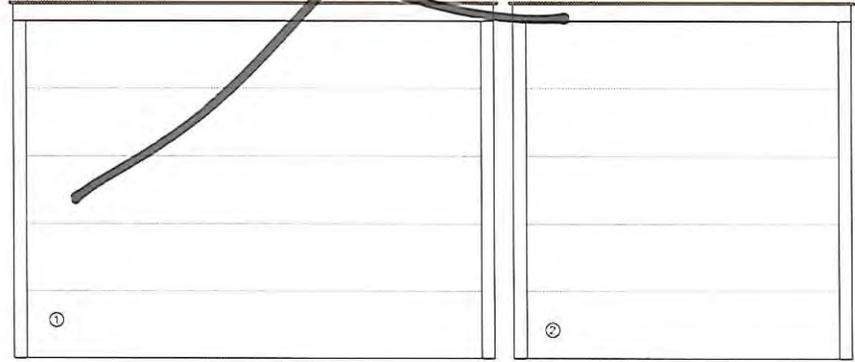
Note:  
Coordinate this Drawing w/ All  
Other Documents of Services  
Contained in this Set Herein. All  
Dimensions to Framing U.S.C.

RECEIVED  
JUL 28 2015

BY: \_\_\_\_\_



Window  
Door



Wall

Wall



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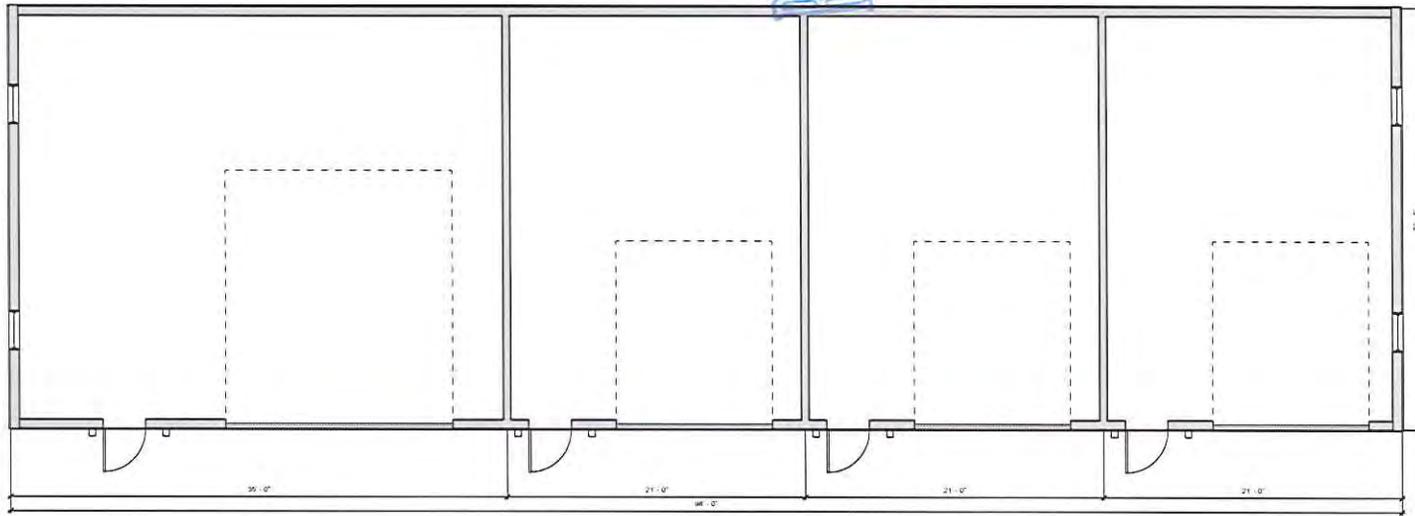
**Simpson/ Bldg. 1**  
6 Marble Way, Nantucket, MA 02554

COVER SHEET

PROJECT  
NO. 15-0000  
DATE 08/05/15

Project Name	08/05/15
Project No.	15-0000
Project Date	08/05/15
Project Location	6 Marble Way, Nantucket, MA 02554
Project Description	RENOVATION
Project Status	PRELIMINARY
Project Owner	CONCEPT DESIGN
Project Architect	CONCEPT DESIGN
Project Engineer	CONCEPT DESIGN
Project Designer	CONCEPT DESIGN
Project Drafter	CONCEPT DESIGN
Project Checker	CONCEPT DESIGN
Project Approver	CONCEPT DESIGN

C1.1



RECEIVED  
 JUL 28 2015  
 BY: \_\_\_\_\_

1 First Floor  
 14' x 12'

Note:  
 Coordinate this Drawing w/ All  
 Other Documents of Service  
 Contained in this Set Herein. All  
 Dimensions to Framing U.N.C.

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**Simpson/ Bldg. 1**  
 6 Marble Way, Nantucket, MA 02554

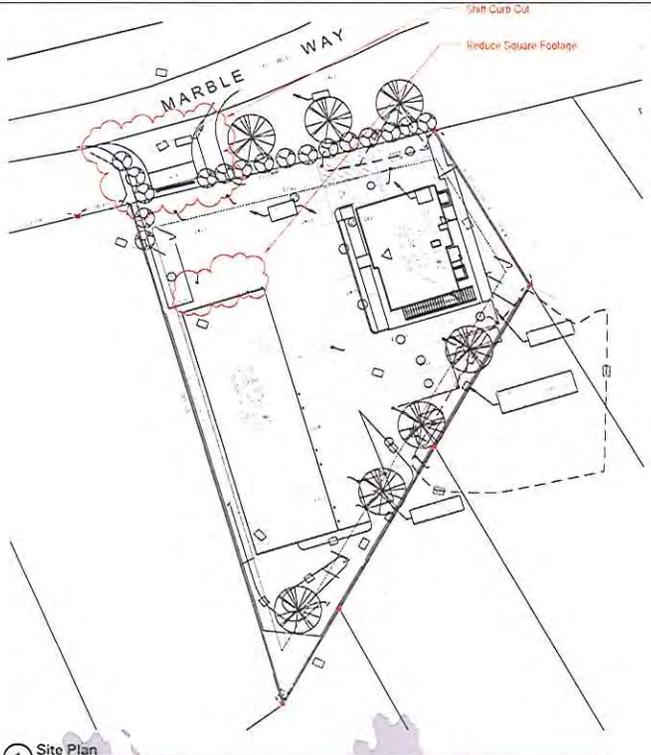


FLOOR PLAN

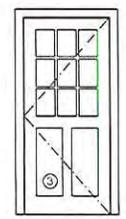
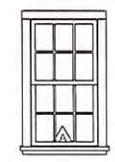
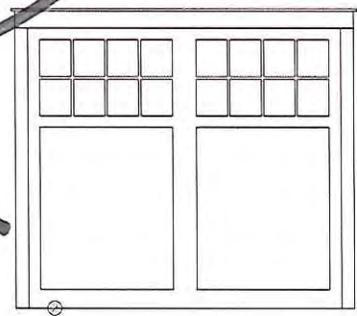
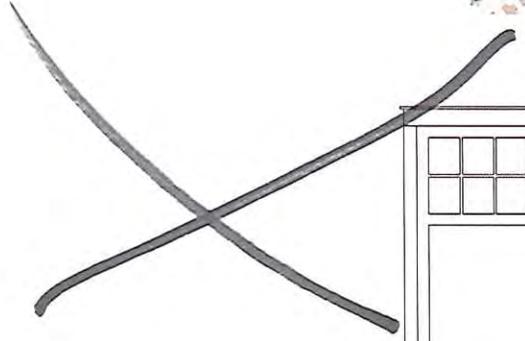
PROJECT:  
 1.1 CONCEPT  
 1.2 14' x 12' x 10'  
 1.3 FLOOR PLAN

NO. OF SHEETS	46
TOTAL SHEETS	47
NO. OF SHEETS	47
NO. OF SHEETS	47
NO. OF SHEETS	47
NO. OF SHEETS	47
NO. OF SHEETS	47
NO. OF SHEETS	47
NO. OF SHEETS	47
NO. OF SHEETS	47

**A1.1**



1 Site Plan  
1" = 20'-0"



1. New  
2. Existing  
3. To Be  
4. To Remain

5. New  
6. Existing  
7. To Be  
8. To Remain

1. New  
2. Existing  
3. To Be  
4. To Remain

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**Simpson/ Bldg. 1**  
6 Marble Way, Nantucket, MA 02554



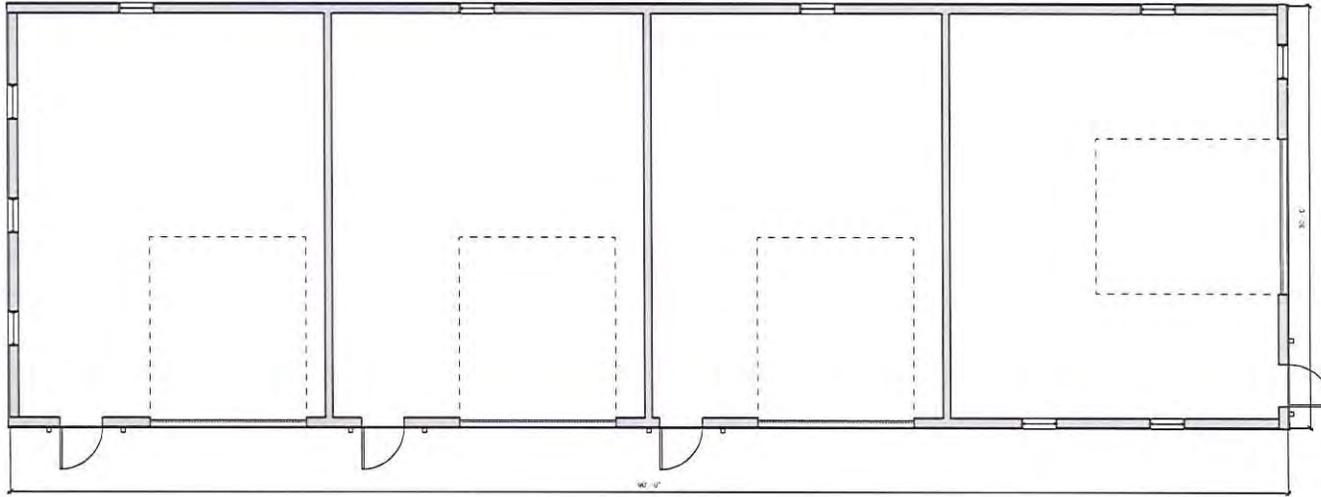
COVER SHEET

NO.	DESCRIPTION	DATE
1	CONCEPT DESIGN	09/10/15
2	CONCEPT DESIGN	09/10/15
3	CONCEPT DESIGN	09/10/15

Prepared by:	W. J. M.
Checked by:	W. J. M.
Reviewed by:	W. J. M.
Approved by:	W. J. M.
Date:	09/10/15
Scale:	As Shown
Sheet No.:	C1.1
Total Sheets:	1

C1.1

Note:  
1. Coordinate this Drawing w/ All Other Documents of Service contained in this Set. Elevation All Dimensions in Feet and Inches.



1 First Floor  
1/4" = 1'-0"

**Note:**  
Coordinate this Drawing w/ All  
Other Documents of set as  
contained in this Set. Floor. All  
Dimensions to Framing U.N.C.

For HDC Submission Only - Not For Construction 09.10.15

**Simpson/ Bldg. 1**  
6 Marble Way, Nantucket, MA 02554

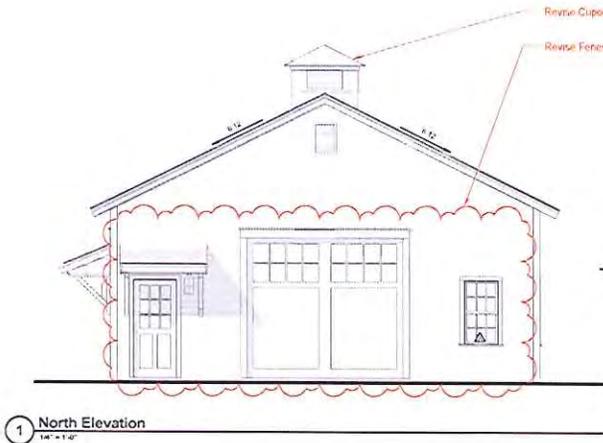


FLOOR PLAN

REVISIONS  
NO. DESCRIPTION  
1.00 09.10.15  
2.00 10.10.15  
3.00 11.10.15

Scale: 1/4" = 1'-0"  
Date: 10/10/15  
Drawing No: 1015-01  
Project: Simpson/ Bldg. 1  
Sheet: 1 of 1

**A1.1**



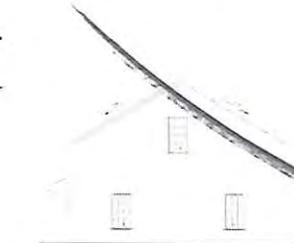
1 North Elevation  
14' x 14'



3 Previous North Elevation  
14' x 14'



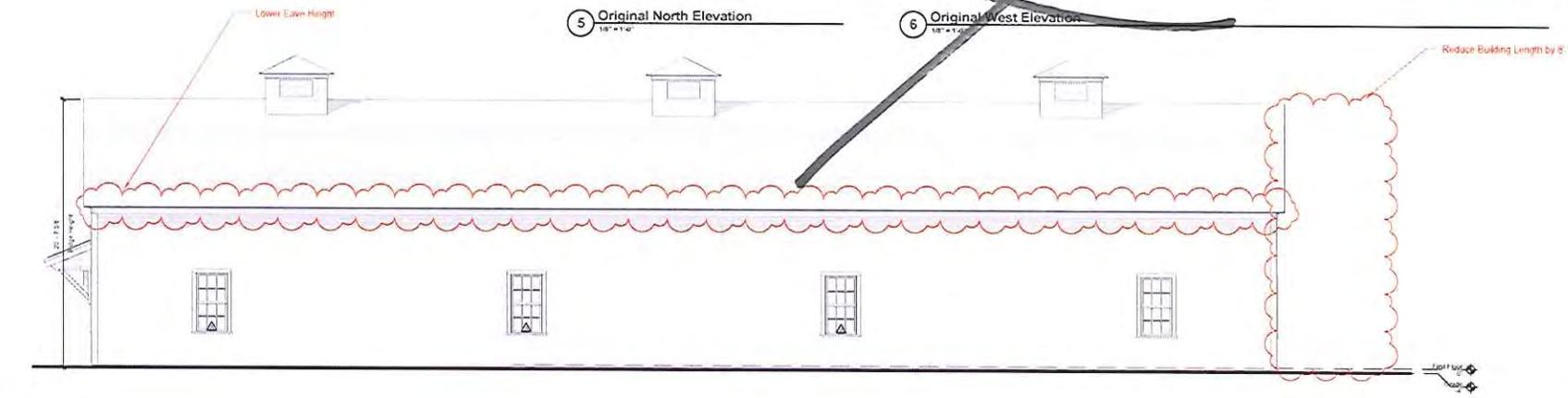
4 Previous West Elevation  
14' x 14'



5 Original North Elevation  
14' x 14'



6 Original West Elevation  
14' x 14'



2 West Elevation  
14' x 14'

Note:  
Coordinate this Drawing w/ All  
Other Documents of Service  
Contained in this Set Herein. All  
Dimensions to Framing, U.S.C.

For HDC Submission Only - Not For Construction 09.10.15

**Simpson/ Bldg. 1**  
6 Marble Way, Nantucket, MA 02554

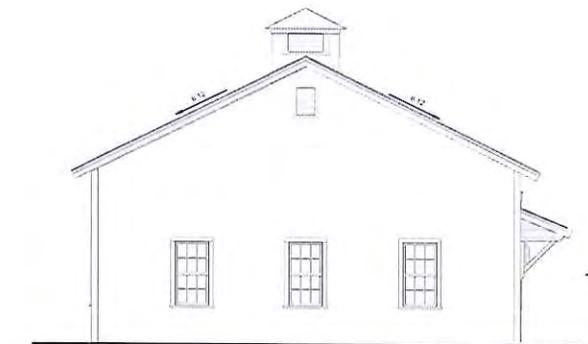


EXTERIOR  
ELEVATIONS

DATE: 09/10/15  
DRAWN BY: J. J. J. J.  
CHECKED BY: J. J. J. J.

Project Name	09-10-15
Project No.	0001
Project Title	0001
Project Location	0001
Project Status	0001
Project Date	09/10/15
Project Time	09/10/15
Project Cost	0001
Project Budget	0001
Project Profit	0001
Project Risk	0001

A2.1



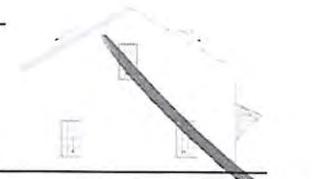
1 South Elevation  
18' x 14'



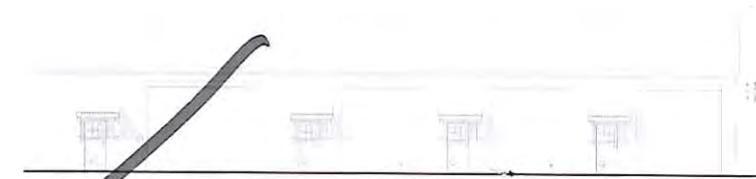
3 Previous South Elevation  
18' x 14'



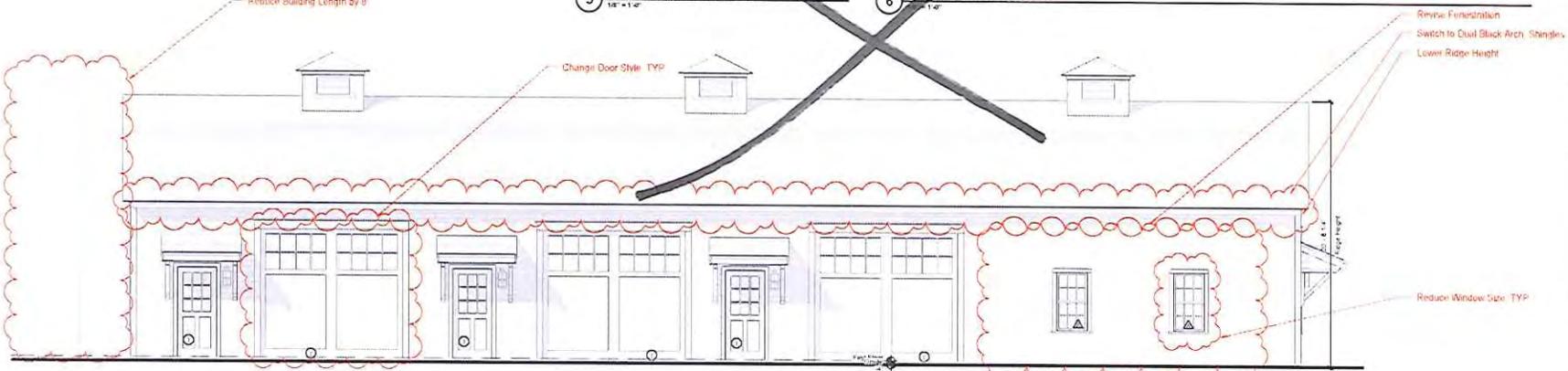
4 Previous East Elevation  
18' x 14'



5 Original South Elevation  
18' x 14'



6 Original East Elevation  
18' x 14'



2 East Elevation  
18' x 14'

Note:  
Coordinate this Drawing w/ All  
Other Documents of Service  
Contained in this Set. Elevations All  
Dimensions to Framing U.N.L.S.

For HDC Submission Only - Not For Construction 09.10.15

**Simpson/ Bldg. 1**  
6 Marble Way, Nantucket, MA 02554



EXTERIOR ELEVATIONS

NO. 1011	DATE	DESCRIPTION
1011-01	09/10/15	CONCEPT DESIGN
1011-02	09/10/15	CONCEPT DESIGN
1011-03	09/10/15	CONCEPT DESIGN

PROJECT NO.	1011-01
PROJECT NAME	SIMPSON BUILDING
PROJECT ADDRESS	6 MARBLE WAY, NANTUCKET, MA 02554
DATE	09/10/15
DESIGNER	CONCEPT DESIGN
ARCHITECT	CONCEPT DESIGN
SCALE	AS SHOWN
DATE PLOTTED	09/10/15
PLOTTED BY	CONCEPT DESIGN

A2.2