

1. 01-11-2016

Documents: [PART1_011116 FINAL PACKET.PDF](#), [PART2_011116 FINAL PACKET.PDF](#), [PART3_011116 FINAL PACKET.PDF](#), [PART4_011116 FINAL PACKET.PDF](#)



Nantucket Planning Board

STAFF REPORT

Date: January 5, 2016
To: Planning Board
From: Holly E. Backus
Land Use Specialist
Re: Staff Report for January 11, 2016 Planning Board Meeting

Public Hearings:

- **#7716 Valero Road Subdivision, 60, 62, 64, 66 & 68 Old South Road, action deadline 02-29-16**
CONTINUED TO 01-11-16
(This Application was not heard at the December meeting.)
- **#7771 White Elephant Hotel LLC, 50 Easton Street, action deadline 02-29-16**
CONTINUED TO 02-08-16
(This Application was not heard at the December meeting.)
- **#16-15 Brotherhood of Thieves, 23 Broad Street, action deadline 02-29-16**
CONTINUED TO 02-08-16
(This Application was not heard at the December meeting.)
- **#21-15 46 Surfside Road, LLC, 46 Surfside Road, action deadline 03-31-16**
CONTINUED TO 02-08-16
(This Application was not heard at the November or December meeting.)
- **#7905 Audrey Sterk, 10 Essex Road, action deadline 04-01-16**
(This Application was not heard at the December meeting.) The Applicant is proposing a modification to a previously approved Subdivision from 1997 (Registry of Deeds Book 555 / Page 193.) The Applicant currently owns one of the lots (Map 67 Parcel 639) within the subdivision and is requesting to lift the restriction of a two (2) dwelling limitation in the subdivision so that multiple dwelling units of varying types may be permitted on all lots within the subdivision. This amendment would lift the restriction for (10) lots currently prohibited from second dwellings and will clarify that tertiary dwellings are allowed on all lots; not just the Applicant's lot. Staff does not have a recommendation at this time. The entire neighborhood was notified, as well as abutters to the neighborhood. We are very interested to hear the opinions of the other affected property owners.
- **#44-15 Arthur I Reade, Jr. And Peter D. Kyburg, Trustees of Auction House Realty Trust, As Owners, and Walter Glowacki, As Applicant, 4 Lovers Lane, action deadline 01-13-16**
(This Application was not heard at the December meeting.) The new plans received by Staff on January 5th show existing pavement in front of the building to be removed and a proposed dumpster enclosure on a concrete pad with an enclosed cedar fence to the rear of the building, visible from Lovers Lane. The Board previously questioned the applicant about a variety of operational issues and we have not received responses. Staff notes that the gravel parking area that is secured by an easement was approved by the Board when the business was intended to be an auction house. That type of business is significantly less intense than the current proposal of a

70 seat restaurant. Aside from the general operational questions that need to be discussed, the Board should also evaluate whether or not a gravel parking lot is appropriate for the current proposal.

- **#61-15 Seamus M. Crowley & Elizabeth Gennaro, 46 Nobadeer Farm Road**, *action deadline 03-13-16* (This Application was not heard at the December meeting.) The Applicant is requesting a Special Permit for a Major Commercial Development for Nantucket Windows & Doors, Inc. This business exists in this location; however they plan to expand and renovate the existing commercial building for the existing business of a contractor shop with light manufacturing (fabrication of cabinets, windows and doors.) More specifically, the existing business “Nantucket Windows and Door, Inc” is reconstructing their existing site by building an addition to their existing warehouse and by doing so, removing all their exterior storage; including existing storage containers and dumpsters. There is no retail sales existing at this site, nor proposed. Customers (contractors or architects) stop by appointment and meet with the owner.

The Applicant proposes to have approximately 5,494 square feet of contractor shop on the first floor and approximately 3,223 square feet of storage on the second floor. The Applicant is requesting a waiver on the open space requirement of 30% (Section 139-11,) a waiver to forego the inclusionary housing requirement (Section 139-11,) and a waiver to forego a traffic study (Section 139-23.B.2(b).) The proposal provides a total of seven (6) parking spaces (with one ADA space) and a loading zone space. The site will consist of a combination of both gravel and concrete driveway/parking lot area. The Applicant proposes to widen the existing apron, giving a better site distance. The MCD requires a 30% open space, however as a result of the proposed addition; the Applicant is proposing 20% with the inclusion of additional trees along the front of the site. The total proposed ground cover will be 49.8% (out of the 50% allowed.)

Planning Staff met with the Applicant’s project engineer and council on January 7th to go over the proposed application. At this meeting, staff was notified of the Applicant’s wiliness and proposal to extend the bike path along Nobadeer Farm Road. The bike path extension will match the existing grade, surface, etc along their property. The Applicant/Owner is also willing to get the Board of Selectman’s approval for the bike path, if necessary. Staff feels this contribution to the area is a great example of an applicant willing to provide something to their adjacent community while asking for waiver(s) from the board. The application has not been reviewed by our consulting engineer, Mr. Ed Pesce; however the application and materials has been emailed to him by the Applicant’s engineer. If the board is to be so inclined to approve, staff respectfully requests that the board motions that the approval is condition upon addressing any comments Mr. Pesce, PE and his office may have for the Applicant and the project engineer.

- **#62-15 James P. Manchester & Helen B. Manchester, 1 Manchester Circle**, *action deadline 03-13-16* (This Application was held by the board at the December meeting.) The Applicant is requesting a Special Permit for a Secondary Residential Lot and a waiver from the single driveway requirement (Section 139-8.C(2)(h).) The exiting lot of record is approximately 20,074 square feet and located in the R-20 Zoning District. The proposed primary lot will be approximately 12,050 square feet and the secondary lot will be approximately 8,024 square feet. The Applicant met with staff at the premise and has provided an amended plan that addresses concerns brought up in the December 2015 meeting. Staff recommends approval.

- **#01-16 Tess Anderson, 56C Hooper Farm Road (Map 67 Parcel 317 portion)**, *action deadline 4-10-16* The Applicant is requesting a Special Permit for a waiver from the maximum allowable gross floor area of 550 square feet to convert a proposed 595 square foot studio into a tertiary dwelling. The Applicant received approval for the secondary dwelling in December 2015. At that meeting, the Applicant received a waiver to allow the two curb cuts shown. Staff notes that an article for Town Meeting has been drafted to increase the tertiary dwelling square footage to 650 from the current 550. This proposal is consistent with that proposed change.

The Applicant is proposing to construct a one 1-bedroom tertiary dwelling with a gross floor area of 595 square feet. The site, 56 Hooper Farm Road, will contain a proposed 1,902 square foot primary dwelling unit to be owner occupied. The proposed tertiary dwelling will be located within the second floor of the primary structure, above the two (2) car garage. The primary structure will be located at the east side of the site, which has approximately 10,500 square feet in lot area and is zoned R-10. The lot was created via ANR in March 2015 and meets the road frontage requirement off of Parker Lane.

This is a corner lot and therefore access to the primary structure is with a shell driveway off of Parker Lane, which is an approved paved road. The proposed tertiary dwelling, within the proposed primary dwelling, is

proposed to have an asphalt apron and contain a total of three (3) parking spaces; one (1) exterior and two (2) interior. The applicant is further requesting a waiver to exceed the 550 square foot maximum allowed for a tertiary dwelling through Special Permit relief pursuant to Section 139-2A. The site plan, as submitted, meets the requirements of Zoning Bylaw Sections 139-18 and 139-20.1. Planning staff recommends approval of this application with the following conditions:

- (1) That one of the three (3) dwellings on the site will be owner occupied;
- (2) That no driveway access shall be located closer than 25 feet from the curb-line of an intersecting street, measured from the nearest point of the driveway;
- (3) That apron at the driveway entrance shall be constructed to a minimum depth of ten (10) feet, to be installed from the edge of pavement and in accordance with the provisions of Nantucket Zoning Bylaw Section 139-20.1(B)(2)(d);
- (4) That the driveway entrance be cleared free of any vegetation and obstruction to a width of twelve (12) feet and a height of thirteen (13) feet;
- (5) That any landscaping at the driveway entrance be limited to low growing plant material not to exceed three (3) feet in height; and,
- (6) That the applicant shall submit an As-Built prior to the final inspection by staff which shall take place prior to the issuance of a Certificate of Occupancy.

▪ **#02-16 Mark A. Lombardi & Maureen Lombardi, Trustees of Lombardi Realty Trust, 1 Pochick Avenue, *action deadline 04-10-16***

The Applicant is requesting a modification to the 1 Pochick Avenue definitive subdivision, which was originally approved June 16, 1999 and granted a modification in 2003. More specifically, the Applicant proposes to change the subdivision to propose a total of four (4) lots; two (2) buildable and two (2) unbuildable on a parcel of land about 5 acres in size. The Applicant also proposes a list of waivers from the Rules and Regulations of the Subdivision Regulations. Staff recommends approval.

▪ **#03-16 Greg W. Glowacki, 21 Greglen Avenue, *action deadline 04-10-16***

The Applicant is requesting to amend a previously approved Special Permit for two secondary lots (PB #32-15.) The applicant is requesting to reconfigure lots C and D to accommodate setback issues and to waive the shared driveway access requirement. There have been neighbors interested in the request, but no concerns have been brought to staff's attention. Staff recommends approval of the lot line adjustment, which will need to be addressed through a new ANR plan, and the driveway waivers. However, the proposed parking configuration for Lot C is not suitable and we suggest that two (2) head-in spaces or a tandem configuration be constructed on the west side of the lot.

▪ **#04-16 Christine & Joseph P. Donelan II, owner and Structures Unlimited, applicant, 37 West Miacomet Ave, *action deadline 04-10-16***

The Applicant is requesting to amend a previously approved Special Permit dated July 16, 2012 and modified September 10, 2012, to construct a proposed 198 square foot shed on the property and alter the land by slightly expanding the limit of clearing on the northwest side of the driveway. This property is located within the Moorlands Management District (MMD) and is entitled a maximum ground cover of 1,500 square feet. However, with the proposed 198 square foot shed, the Applicant will not be increasing their ground cover, as 200 square foot is allowed per Section 139-2, as amended at ATM 2015. We note that a shed was proposed in connection with the 2012 permit, but due to neighbor concerns about some of the features of the shed, the applicant withdrew that part of their request. Sheds are a typical accessory use, and Town Meeting unanimously approved the increase to the ground cover exemption in April. Unless some compelling evidence is brought forward that indicates that the proposed shed will have a significant environmental impact to the species that the MMD is designed to protect, staff recommends approval.

▪ **#05-16 Nantucket Boating Club, Inc., owner and John B. Brescher, applicant, 6B Greglen Avenue, *action deadline 04-10-16***

The Applicant is seeking to amend a previously granted Special Permit dated August 17, 1995 to construct a 4500 square foot commercial building that will have a full basement and be used for boat storage, storage and warehousing, light manufacturing, contractor's shop, and fabrication and assembly of component parts for off-site construction. The Applicant is seeking waivers from Open Space (Section 139-11G3), Inclusionary Housing (Section 139-11J), and Site Plan Review (139-23.) The property is located within the Commercial

Trade Entrepreneurial Craft (CTEC) zoning district. Based on the information provided, staff has the following questions/comments:

1. The 30 foot buffer requirement contained within the subdivision approval cannot be maintained with the current site plan;
2. The vehicular circulation for the site is not adequate for the intensity of the uses proposed;
3. Many uses are proposed and more detail is needed about the number garage bays, access to the basement, how many businesses will operate from the site, etc.
4. The amount of open space proposed is not included in the application, and the site plan does not provide any details about the location of open space.

▪ **#06-16 Anderson G. Grennan; Kenneth C. Coffin, 39, 41, 43, 45 Tomahawk Road, *action deadline 04-10-16***

The Applicant is requesting a modification to a previously granted MCD Special Permit (PB #46-15) dated October 15, 2015 to revise the site plan and architecture plans. The Applicant proposes to construct a 6,120 square foot commercial structure consisting of a single story 5,340 square foot warehouse and a two (2) story 780 square foot ancillary office space to be used in connection with the operation of “Nantucket Tents.” The property is located within the Commercial Industrial (CI) zoning district, however the subdivision was created under a zoning freeze under the Residential Commercial-2 (RC-2) zoning district. The premise is also located within the Public Wellhead Recharge District that requires a Special Permit. Staff recommends approval.

ANR:

▪ **#7911 Seven Eagle Lane Condominium – Mark Caushon, 5 ½ & 7 Eagle Lane (Map 55.4.1 Parcel 160)**

The purpose of this plan is to adjust the lot line between two existing lots of record. (The original plan was approved by the board on December 8, 2014 (PB #7772.) There two buildings standing on said property prior to 1955; when the subdivision control law went into effect in the Town of Nantucket.) Staff recommends endorsement of the proposed lot line adjustment.

▪ **#7912 27 Sankaty, LLC, 27 Sankaty Road (Map 49.2.3 Parcels 40 & 41)**

The purpose of this plan is a perimeter plan. More specifically, this plan is to combine lots 4 & 5 shown on the plan entitled “Plan of Land at Siasconset belonging to Emily P. Rice and Robert B. Coffin, surveyed by William F. Codd, dated November 4, 1887” and the discontinuance of Adeline Street from 1928 (Deed Book 102 Page 228.) This plan is included in your packet. Staff recommends the endorsement of the proposed perimeter plan.

▪ **#7913 William Edward Pappendick IV & Erica G. Pappendick, 25 Sankaty Road (Map 49.2.3 Parcel 17)**

The purpose of this plan is a perimeter plan. More specifically, this plan is a perimeter plan of lot 3 (including the discontinuance of Adeline Street from 1928 (Deed Book 102 Page 228) and shown on the plan entitled “Plan of Land at Siasconset belonging to Emily P. Rice and Robert B. Coffin, surveyed by William F. Codd, dated November 4, 1887.” This plan is included in your packet. Staff recommends the endorsement of the proposed perimeter plan.

▪ **#7914 B & D Real Estate Trust, 94 Quidnet Road (Map 21 Parcel 107)**

The purpose of this “Paper Street Acquisition Plan” is to create unbuildable lots from unconstructed portions of Sesachacha Road and Ocean Road, pursuant to ATM 2011. Staff recommends endorsement.

▪ **#7915 23 Federal Street Realty Trust, 23 Federal Street (Map 42.3.1 Parcel 9.3)**

The purpose of this plan is a perimeter plan of an existing lot of record. Staff recommends endorsement.

Second Dwellings:

None submitted.

Tertiary Dwellings:

See Special Permit#01-16 Tess Anderson, 56C Hooper Farm Road

Previous Plans:

- **#20-15 Paul M. Roberts DDS, LLC, 21 Old South Road, *endorse plans***
The Applicant's agent has submitted final plans for review and endorsement by the board. Staff recommends endorsement.
- **#48-15 South Valley Industrial Park MCD, *Form J for lots 178, 179 & 180***
The Applicant is requesting that lots 178, 179 and 180 be released from the Covenant. Staff recommends release.
- **#7438 Goose Cove, 5 South Cambridge Street, *Form J for lot 889***
The Applicant is requesting that lot 889 be released from the Covenant. The board previously approved the release of one lot (lot 890) in August 2015. The status of the escrow account must be brought up to required minimum balance of \$2500.00 Staff recommends release once the escrow has been brought up to the required minimum balance.
- **#7904 Newtown Road Subdivision, *endorse plans***
The Applicant is requesting the endorsement of their subdivision plans. Since the approval of the application at the December meeting, the project engineer Mr. Leo Asadoorian, PS, CSE and consultant engineer, Mr. Ed Pesce, PE have been corresponding with each other, as necessary about review comments on the plans. Correspondence is included in your packet. As of today, January 8th, staff has not received an approval letter from Mr. Pesce. Staff recommends endorsement with the condition that Mr. Pesce is satisfied with the plans.

Other Business:

- **Proposed Warrant Articles for 2016 ATM**
Over the holiday, staff sent courtesy notices to property owners who may be affected by proposed zoning changes. We note that a special meeting is scheduled for January 28 at 6:00 to hold public hearings for all zoning map and bylaw changes. The public notice is included in your packet for reference only.
- **Discuss second dwelling conditions such as:**
 1. adding condition regarding travelled way
 2. lot line clearings of obstruction such as boulders
 3. clarify aprons being built to the edge of the travelled way
 4. add language regarding apron to the approval letter

At the October 2015 meeting, several Board members raised concerns about secondary dwelling conditions and or the language in the approval letter and requested that these topics be included as a policy level discussion. At the November meeting, it was discussed that maybe these concerns should be discussed in a separate meeting. There was no time to discuss at the December meeting.
- **REMINDER: SPECIAL PLANNING BOARD MEETING ON JANUARY 28TH @ 6:00PM.**



Nantucket Planning Board

Nantucket Planning Board Agenda

Monday, January 11, 2016

6:30 PM

4 Fairgrounds Road

Public Safety Facility Community Room

First Floor

www.nantucket-ma.gov

Video of meeting available on Town website

(AGENDA SUBJECT TO CHANGE)

The complete text, plans, application, or other material relative to each agenda items are available for inspection at the Planning Office at 2 Fairgrounds Road between the hours of 8:30 AM and 4:30 PM

- I. Call to order:
- II. Approval of the agenda:
- III. Minutes:
 - December 14, 2015
- IV. Public Hearings:
 - #7716 Valero Road Subdivision, 60, 62, 64, 66 & 68 Old South Road, *action deadline 02-29-16, **CONTINUED TO 02-08-16***
 - #7771 White Elephant Hotel LLC, 50 Easton Street, *action deadline 02-29-16, **CONTINUED TO 02-08-16***

- #16-15 Brotherhood of Thieves, 23 Broad Street, *action deadline 02-29-16, CONTINUED TO 02-08-16*
- #21-15 46 Surfside Road, LLC, 46 Surfside Road, *action deadline 03-31-16, CONTINUED TO 02-08-16*
- #7905 Audrey Sterk, 10 Essex Road, *action deadline, 04-01-16*
- #44-15 Arthur I. Reade, Jr. And Peter D. Kyburg, Trustees Of Auction House Realty Trust, As Owners, And Walter J. Glowacki, As Applicant, 4 Lovers Lane, *action deadline 01-13-16*
- #61-15 Seamus M. Crowley & Elizabeth Gennaro, 46 Nobadeer Farm Road, *action deadline 03-13-16*
- #62-15 James P. Manchester & Helen B. Manchester, 1 Manchester Circle, *action deadline 03-13-16*
- #01-16 Tess Anderson, 56C Hooper Farm Road (Map 67 Parcel 317 portion of), *action deadline 4-10-16*
- #02-16 Mark A. Lombardi & Maureen Lombardi, Trustees of Lombardi Realty Trust, 1 Pochick Avenue, *action deadline 4-10-16*
- #03-16 Greg W. Glowacki, 21 Greglen Avenue, *action deadline 4-10-16*
- #04-16 Christine & Joseph P. Donelan II, As Owner and Structure Unlimited, As Applicant, 37 West Miacomet Road, *action deadline 4-10-16*
- #05-16 Nantucket Boating Club, Inc., as Owner and John B. Brescher, as Applicant, 6B Greglen Avenue, *action deadline 4-10-16*
- #06-16 Anderson G. Grennan; Kenneth C. Coffin, 39, 41, 43 & 45 Tomahawk Road, *action deadline 4-10-16*

V.ANR:

- #7911 Seven Eagle Lane Condominium – Mark Caushon, 5 ½ & 7 Eagle Lane (Map 55.4.1 Parcel 160)
- #7912 27 Sankaty, LLC, 27 Sankaty Road (Map 49.2.3 Parcels 40 & 41)
- #7913 William Edward Pappendick IV and Erica G. Pappendick, 25 Sankaty Road (Map 49.2.3 Parcel 17)
- #7914 Town of Nantucket, 94 Quidnet Road (Map 21 Parcel 107)
- #7915 23 Federal Street Realty Trust, 23 Federal Street (Map 42.3.1 Parcel 9.3)

VI. Previous Plans:

- #21-15 Paul M. Roberts DDS, LLC, 21 Old South Road, *endorse plans*
- #48-15 & 1034A South Valley Industrial Park, MCD, *Form J (Lots 178, 179 & 180)*
- #7438 Goose Cove, 5 South Cambridge Street, *Form J (Lot 889)*

- #7904 Newtown Road Subdivision, *endorse plans*

VII. ZBA:

- 01-16 Ann N. Apgar & Mahlon Apgar, Trustees of 22 Broadway Trust, 22 Broadway (Map 73.1.3 Parcel 117)
- #02-16 Daniel G. Counihan, 11 Swain Street (Map 42.4.1 Parcel 77 portion of)
- #03-16 Brandt C. Gould & Gabrielle M. Gould, 15 Margaret's Way (Map 20 Parcel 64)
- #04-16 Donald J. Mackinnon, Trustee of Nantucket 106 Surfside Realty Trust – aka SURFSIDE COMMONS 40b, 106 Surfside Road (Map 67 Parcel 80)

***This agenda item was not anticipated by the Chairman 48 hours in advance**

VIII. Public Comments:

IX. Other Business:

- Proposed Warrant Articles for 2016 ATM
- Discuss second dwelling conditions such as:
 1. encroachment policy
 2. adding condition regarding travelled way
 3. lot line clearings of obstruction such as boulders
 4. clarify aprons being built to the edge of the travelled way
 5. add language regarding apron to the approval letter
- **REMINDING SPECIAL PLANNING BOARD MEETING ON JANUARY 28TH @ 6:00PM.**

X. Adjourn:



The Richmond Company, Inc.
23 Concord Street
Wilmington, Massachusetts 01887
(979) 988-3900

January 5, 2016

TOWN OF NANTUCKET
PLANNING BOARD
2 Fairgrounds Road
Nantucket, Massachusetts 02554

Attention: Leslie Woodson Snell, AICP, LEED AP, Deputy Director of Planning

Subject: Request for Continuation of January 11, 2016 Public Hearing
Processing of "Valero Road" Definitive Subdivision
Valero Properties - # 60, # 62, # 64, # 66, and # 68 Old South Road

Dear Ms. Snell:

The purpose of this correspondence, issued in our capacity as the applicant and development manager, on behalf of the two owners of the subject properties (Old South Road Trust and Valero Realty Trust) is to respectfully request a further continuance of the public hearing related to the Planning Board's consideration and processing of the "Valero Road" definitive subdivision that has been submitted for the Valero properties located at 60, 62, 64, and 68 Old South Road.

As you know, the Planning Board re-opened the public hearing on this matter at its June 8, 2015 meeting and the Board, as well as you and Mr. Vorce, provided us with some preliminary input on certain changes that should be made to the subdivision plans and also asked a series of questions that would need to be addressed before the Board would be expected to close the public hearing and take action on the matter. Immediately prior to the June 8, 2015 meeting, we also received the "Engineering Review" letter issued by Pesce Engineering & Associates, Inc. containing the Town consulting engineer's comments and requests for certain technical clarifications and information with respect to some aspects of the design of the subdivision.

We are continuing to review this information and these questions with our civil engineer (Hayes Engineering) and with the property owners. A final decision with respect to the pending definitive subdivision has also been further complicated by the Valero's need to consider the prospective impacts of the zoning bylaw changes that were approved at the November 9, 2015 Special Town Meeting on the future use and development of the subject property.

Accordingly, in order to allow us sufficient time to complete this process, and to make any changes that may be necessary to the design and plans, we are respectfully requesting a further continuance of the public hearing related to the definitive subdivision from the January 11, 2016 meeting of the Planning Board to the February 8, 2016 meeting of the Planning Board.

Valero / Old South Road Properties
Definitive Subdivision – Continuance Request
January 5, 2016
Page Two

We appreciate your consideration and that of the Planning Board with respect to our request, and we look forward to continuing to work with you and Mr. Vorce, the Planning Board, and all the involved parties as the review of the matter progresses.

If you any immediate questions with respect to either this request or the matter in general, please feel free to contact me at 978-988-3900, Extension # 12.

Very truly yours,

A handwritten signature in black ink, appearing to read 'D. Armanetti', is centered on a light-colored rectangular background.

David J. Armanetti
Director of Real Estate Development
The Richmond Company, Inc.
On Behalf of Old South Road Trust and Valero Realty Trust

Cc: Town of Nantucket Board of Health
Richard Valero, OSRT / VRT
Kenneth Valero, OSRT / VRT
Eliot Brais, Esq.
Philip Pastan, TRC
Kathryn Fossa, TRC
Andrew Burek, Esq., TRC
John Ogren, Hayes Engineering

VAUGHAN, DALE, HUNTER AND BEAUDETTE

PROFESSIONAL CORPORATION

ATTORNEYS AT LAW

WHALER'S LANE

P.O. BOX 659

NANTUCKET, MASSACHUSETTS 02554

TEL: (508) 228-4455

FAX: (508) 228-3070

EDWARD FOLEY VAUGHAN

KEVIN F. DALE

RICHARD P. BEAUDETTE

—
LORI D'ELLA

BRYAN J. SWAIN

WILLIAM F. HUNTER

OF COUNSEL

January 4, 2016

Leslie Woodson Snell
Deputy Director of Planning
Nantucket Planning Board
2 Fairgrounds Road
Nantucket, Massachusetts 02554

Re: Continuance of the White Elephant Hotel LLC,
50 Easton Street
Planning Board File# 7771
Nantucket, MA 02554

Dear Leslie:

As you are aware, I represent the White Elephant Hotel, LLC in the above referenced matter. It is scheduled to be heard at the next Planning Board Meeting. I would like to request a continuance of this matter until the February 8, 2016 public hearing. I appreciate your attention to this matter. If you have any questions please feel free to contact me.

Sincerely,



Richard P. Beaudette

RPB/BJs

Cc: White Elephant Hotel, LLC.

Catherine Ancero

From: Rhoda H. Weinman [weinman@nantucketislandlaw.net]
Sent: Tuesday, January 05, 2016 1:48 PM
To: Catherine Ancero
Cc: 'william boardman'
Subject: RE:

Catherine,
Please put the Brotherhood on the agenda for the February meeting. Thank you.

Rhoda H. Weinman, Attorney at Law
36 Centre Street, Post Office Box 1365
Nantucket Island, Massachusetts 02554
(508) 228-9600
(508) 228-8926 fax
weinman@nantucketislandlaw.net

From: Catherine Ancero [<mailto:CAncero@nantucket-ma.gov>]
Sent: Tuesday, January 05, 2016 9:11 AM
To: 'Rhoda H. Weinman'
Subject: RE:

Morning Rhoda-
Trying to catch up with all my emails while I was out of the office. It is suppose to unless you want to continue. Please let me know if you want to proceed for the January 11th meeting. I am trying to put the agenda today and have it posted by Wednesday the latest.

Thank you,

Catherine Ancero,
Administrative Specialist
Planning Board

Planning and Land Use Services (PLUS)
Planning Board Office
2 Fairgrounds Road
Nantucket, MA 02554

Telephone#: 508.325.7587 (PLUS) Ext. 7008
Facsimile#: 508.228.7298

Email: cancero@nantucket-ma.gov

Town website: <http://www.nantucket-ma.gov>



From: Rhoda H. Weinman [<mailto:weinman@nantucketislandlaw.net>]
Sent: Tuesday, December 29, 2015 6:23 PM
To: Catherine Ancero
Subject:

Hi Catherine,

Is the Brotherhood on the January agenda?

Rhoda H. Weinman, Attorney at Law
36 Centre Street, Post Office Box 1365
Nantucket Island, Massachusetts 02554
(508) 228-9600
(508) 228-8926 fax
weinman@nantucketislandlaw.net

From: Steven Cohen [steven@cohenlegal.net]
Sent: Tuesday, January 05, 2016 9:41 AM
To: Holly Backus; Catherine Ancero
Cc: 'psantos@nantucketsurveyors.com'
Subject: RE: 46 Surfside Road

Please continue.
Steven

From: Catherine Ancero [<mailto:CAncero@nantucket-ma.gov>]
Sent: Tuesday, January 05, 2016 9:18 AM
To: 'psantos@nantucketsurveyors.com' <psantos@nantucketsurveyors.com>; Steven Cohen <steven@cohenlegal.net>
Cc: Holly Backus <hbackus@nantucket-ma.gov>
Subject: RE: 46 Surfside Road

Morning Paul and Steven-
Are we moving forward for the January 11th meeting?

Thank you,

Catherine Ancero,
Administrative Specialist
Planning Board

Planning and Land Use Services (PLUS)
Planning Board Office
2 Fairgrounds Road
Nantucket, MA 02554

Telephone#: 508.325.7587 (PLUS) Ext. 7008
Facsimile#: 508.228.7298

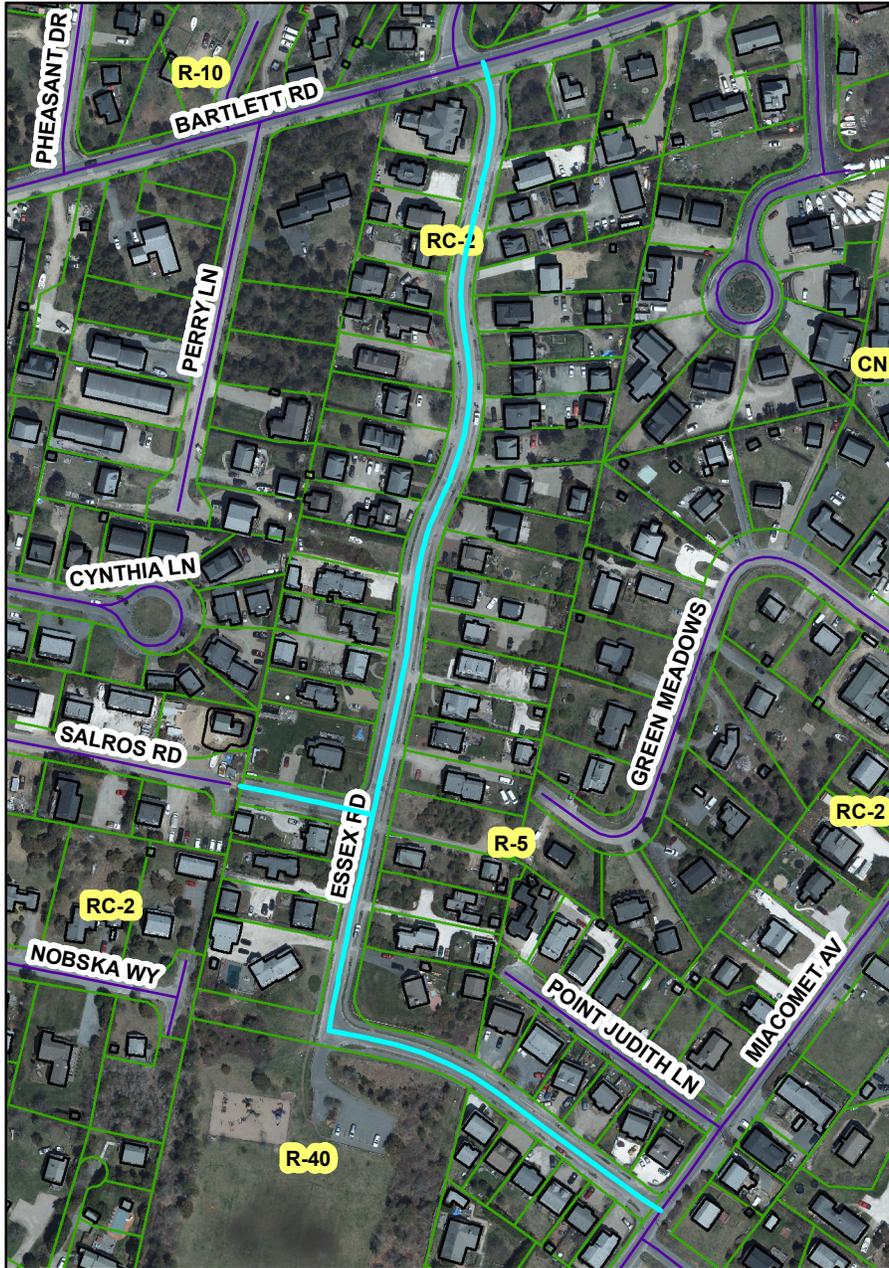
Email: cancero@nantucket-ma.gov

Town website: <http://www.nantucket-ma.gov>





Planning Board #7905
Essex Road Subdivision
Map 67 Parcels 600 through 640
Lots 1 through 41



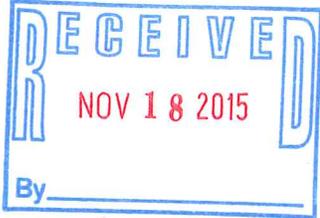
PAT @
ASSESSORS OFFICE
56 WASHINGTON



#1 \$250 - filing fee
#2 \$6.74 per abutter
Pitney Bowes Reserved Funds

(4) COPIES LAYERS.

11/18/15
Town Clerk



Nantucket Planning Board

Form B1

Application for Approval of a Definitive Subdivision Modification

File one completed form with the Planning Board and one copy with the Town Clerk.

Date: 11/18/15 File #: ~~6150~~ #7905

To the Planning Board of Nantucket:

The undersigned, being the applicant as defined under Chapter 41, Section 81-L, for approval of a proposed subdivision *modification* shown on a plan entitled DEFINITIVE SUBDIVISION PLAN ~~TO ESSENTIALS~~ designed by

BLACKWELL & ASSOC. dated 1/28/1997, and described as follows: located on see PLAN 51-G

TO ESSENTIALS, number of lots proposed N/A, total acreage of tract 93.47 N/A, hereby submits said plan as a **definitive plan modification** in accordance with the *Rules and Regulations Governing the Subdivision of Land* of the Nantucket Planning Board and makes application to the Board for approval of said modification.

The undersigned's title to said land is derived from VANANUS N/A by deed dated March 13th 1904 and recorded in the Nantucket Registry of Deeds Book 889, Page 54, registered in the Nantucket Registry District of the Land Court, Certificate of Title # _____ and shown on Nantucket Assessor's Map # 67, Parcels 600 through 690, and said land is free of encumbrances except for the following: THE TOWN

Said plan has has not evolved from a preliminary plan submitted to the Board on _____ (date) and approved disapproved on 6/24/1997 (date).

The undersigned hereby applies for the approval of said **definitive plan modification** by the Board, in belief that the plan conforms to the Board's *Rules and Regulations*.

Name(s) and address(es) of the Applicant(s):

(to include all the names and addresses of the principals of the owner entity such as principal officers of the corporation, trustees of a trust or partners of a partnership)

AUDREY STERK
10 ESSEX RD.

Contact Phone #: (508) 221-6996 Contact Fax #: _____

Name of owner(s): AUDREY STERK

Address of owner(s): 10 ESSEX RD.

I hereby certify that the applicant(s) listed above have been authorized by me to file a subdivision plan modification with the Planning Board on property that I own.

Owner's signature

Received by Town Clerk:

Date: _____

Time: _____

Received by Board of Health:

Date: _____

Time: _____

Planning Board File #:

STATEMENT OF CONDITIONS OF SUBDIVISION APPROVAL

We, D. ERIC MCKECHNIE and DUNCAN F. WINTER, as Trustees of 22 BARTLETT ROAD REALTY TRUST under Declaration of Trust dated September 16, 1995, recorded with Nantucket Deeds in Book 482, Page 327 (the "Owner") have submitted an application dated December 16, 1996, to the NANTUCKET PLANNING BOARD (the "Planning Board") for approval of a definitive plan (the "Plan") of a subdivision of land, prepared by Blackwell & Associates, Inc., dated January 28, 1997, now owned by the Owner, of land located on Bartlett Road, Nantucket, Massachusetts, and showing forty-two building lots, and a new roadway called Essex Road (the "Subdivision"). The Planning Board has approved the Plan by vote taken on June 23, 1997, and has endorsed the Plan on September 19, 1997, subject to the terms and conditions of subdivision approval herein set forth.

In consideration of the Planning Board's approval of the Plan, the Owner hereby subjects all of the land in the Subdivision to all conditions, terms and provisions set forth in the following:

- (a) The Plan, as approved and endorsed pursuant to the Subdivision Control Law by the Planning Board.
- (b) The Subdivision Control Law and the Planning Board's Rules and Regulations Governing the Subdivision of Land which were in effect on September 3, 1996, the date of filing of the preliminary plan from which the Plan was derived.
- (c) The Planning Board's letter of approval dated June 24, 1997, a copy of which is annexed hereto as Exhibit A.

All of said conditions, terms and provisions shall constitute restrictions running with the land, and shall be enforceable in perpetuity by the Inhabitants of the Town of Nantucket, acting by and through the Planning Board.

For title to all of the land in the Subdivision, see deed recorded with Nantucket Deeds in Book 482, Page 335.

Executed and sealed as of August 15, 1997.

D. Eric McKechnie
D. Eric McKechnie, as Trustee
of 22 Bartlett Road Realty
Trust as aforesaid
Duncan F. Winter
Duncan F. Winter, as Trustee
of 22 Bartlett Road Realty
Trust as aforesaid

COMMONWEALTH OF MASSACHUSETTS

Nantucket, ss.

August 15, 1997

Then personally appeared the above-named D. Eric McKechnie and acknowledged the foregoing instrument to be his free act and deed, before me,

Marianne Hanley
Notary Public

Printed name: Marianne Hanley
My commission expires: November 8, 2002

ACCEPTANCE BY PLANNING BOARD

We, as a majority of the members of the Nantucket Planning Board, hereby accept and approve the foregoing Statement of Conditions of Subdivision Approval.

Dated: Sept. 19, 1997

C. Marshall Beale

[Signature]
[Signature]
[Signature]

COMMONWEALTH OF MASSACHUSETTS

Nantucket, ss.

Sept. 19, 1997

Then personally appeared the above-named C. Marshall Beale, being one of the members of the Nantucket Planning Board, and acknowledged the foregoing instrument to be his free act and deed, before me,

[Signature]
Notary Public

Printed name: Margaret R. Parry
My commission expires: 9/13/2002



NANTUCKET PLANNING BOARD

1 EAST CHESTNUT STREET NANTUCKET, MASSACHUSETTS 02554
(508) 228-7233

APPROVAL OF DEFINITIVE SUBDIVISION PLAN ERNESTINA WAY II SUBDIVISION PB FILE #6158

June 24, 1997

BY CERTIFIED MAIL:

Re: Ernestina Way II Subdivision Approval

22 Bartlett Road Realty Trust
D. Eric McKechnie, and
Duncan F. Winter, Trustees
76 North Liberty
Nantucket, MA 02554

Dear Mr. McKechnie and Mr. Winter:

It is hereby certified that the Planning Board of the Town of Nantucket, at a meeting on June 23, 1997, voted to APPROVE your 42-lot (buildable) Definitive Subdivision Plan for a tract located off of Bartlett Road. Approval of the subdivision, on plans prepared by Blackwell & Associates, Inc., dated January 28, 1997 (as revised in accordance with the conditions of this decision) is granted conditional upon compliance with the Town's Rules and Regulations Governing the Subdivision of Land (as amended through January 28, 1991), and on the following additional requirements and agreements:

1. All required infrastructure improvements shall be completed in accordance with the endorsed definitive plans within three years from the date of definitive plan endorsement. The Planning Board may grant extensions of this deadline without holding a public hearing.

Ernestina Way II Subdivision Approval - PB #6158
June 24, 1997

2

2. A minimum of ten lots shall be restricted to only one dwelling per lot. The lots to be restricted shall be determined at the time of lot release. The status of each lot with regard to eligibility for secondary dwellings will be noted of the Form J lot release document. Recorded copies of all lot releases shall be provided to the Planning Board.
3. The applicant has proposed a use restriction permitting commercial uses only on the first 11 lots closest to Bartlett Road (Lots 1 - 7, and Lots 38 - 41). All other lots would be restricted to residential use only (excluding Lot 44, the proposed park). This restriction shall be included in the protective covenants with a right of enforcement granted to the Town. The restriction shall also appear on the deeds for those lots effected by the restriction.
4. The applicant has proposed to dedicate Lot 44 to the Town of Nantucket to be used as open space and recreational land. Approval of the subdivision is based on this representation. Any change from this proposal shall constitute cause for re-opening a public hearing to consider the potential impacts of Lot 44 as a buildable lot.
5. The applicant has agreed to grant a bikepath easement to the County along the Bartlett Road frontage. The easement shall be recorded prior to the release of any lots.
6. Recorded copies of the footpath easements on Lots 27 and 28 shall be provided to the Planning Board prior to the final two lot releases.
7. The Lots comprising the roadway right-of-way (Lots 42 and 43) shall be transferred to either the County or Town of Nantucket or the Homeowners' Association. Evidence of the conveyance shall be presented to the Planning Board prior to the final lot release.
8. Lots 17 - 25 shown on the plan are subject to the provisions of the Public Wellhead Recharge District regulation, §139-12B of the Nantucket Zoning Bylaw. The deeds for these lots shall list the uses prohibited under this section.
9. Public water supply shall be extended through the subdivision and all lots shall be served by the public water system. The public water system shall be approved by the Wannacomet Water Company and activated prior to any lot releases. The applicant agrees to dedicate the water system to the Wannacomet Water Company and grant appurtenant easements for maintenance and repair should the road remain private. A recorded copy of said easement shall be submitted to the Planning Board prior to any lot releases.
10. All lots within the subdivision shall be served by the sewer system. The system shall be approved by the Department of Public Works and activated prior to any lot releases. The sewer lines shall be dedicated to the County or Town of Nantucket along with an easement for maintenance and repair in the event the County or Town does not accept all road right-of-way lots as a public roads.

Ernestina Way II Subdivision Approval - PB #6158
June 24, 1997

3

11. The following waivers from the Subdivision Rules & Regulations are granted:

- 2.06a House numbers - waive
- 2.06b On site disposal areas for brush and trees - waive
- 2.06b Erosion & airborne dust control plan - waive

12. Modifications of the requirements of the Subdivision Rules & Regulations have been granted as follows:

- 4.03a Secondary Street - allow a paved width of 18 feet w/ machined asphalt curbing for Miacomet Ave. due to the narrow right-of-way
- 4.16 Landscaping - allow a 2 1/2 inch caliper tree size for better survivability
- 4.18 Sidewalks - allow six (6) foot wide bikepath/sidewalks on each side of Ernestina Way and a single six foot wide sidewalk/bikepath on Miacomet Ave. in lieu of sidewalks
- 4.19 Bicycle Paths - allow the combination sidewalk/bikepath as stated immediately above
- 4.20 Street lights - allow a minimum of 3 street lights, one at the Bartlett Road intersection, one at Lot 44, and one at the Miacomet Ave. intersection

13. A Homeowners' Association shall be established by the applicant for the maintenance of all required improvements such as the interior roadway, its drainage, bikepath, and utilities. The association shall be initially endowed at \$200 per building lot (\$8,400 total) prior to the release of the final four building lots.

14. Lot 1 shall be restricted from using Bartlett Road for vehicular access to the lot. This restriction shall be recorded as a protective covenant with a grant of right of enforcement granted to the Town of Nantucket.

15. A maintenance plan for the catch basins and oil/water separators, approved by the Planning Board, shall be incorporated into the Maintenance and Endowment Agreement.

16. All efforts shall be made to minimize erosion and prevent airborne dust. Excavation work for all roadways shall be followed immediately by preparation of the sub-base, and paving of the base course. In addition, the shoulders shall be loamed and seeded immediately following construction of the road. Notes to this effect shall be added to the plan.

Ernestina Way II Subdivision Approval - PB #6158
June 24, 1997

4

17. Plans and associated legal documents, including a "Statement of Conditions", shall be presented to the Planning Board for endorsement within 3 months of the date of this approval (September 23, 1997). The Planning Board may grant extensions of this deadline without holding a public hearing.

18. Recorded copies of all legal documents (Homeowners' Association document, Road Maintenance and Endowment Agreement, Grant of Right of Enforcement, Statement of Conditions, Declaration of Protective Covenants, and Covenant) shall be presented to the Planning Board prior to the release of any building lots.

19. A recorded copy of the Covenant shall be presented to the Planning Board within six (6) months of the endorsement of the definitive plan. Failure to so comply shall automatically rescind approval. The Planning Board may grant extensions of this deadline without holding a public hearing.

20. No lots shall be released from the covenant until the water service, sewer service, drainage structures, utilities, and the base course for the roadways have been installed and approved by the Planning Board.

21. Roadway and associated infrastructure construction shall not commence until the definitive plan has been endorsed by the Planning Board. The definitive plan shall include a detailed design plan for Miacomet Avenue extending from the end of pavement near Otokomi Road to the end of the proposed pavement at Celtic Drive acceptable to the Planning Board.

22. The applicant agrees that no clearing or construction for roadway and drainage systems shall occur until a pre-construction meeting has been held. Such meeting shall, at a minimum, include representatives of the Planning Board, Department of Public Works, Wannacomet Water Company, the Nantucket Electric Company, the developer, and construction contractors.

Ernestina Way II Subdivision Approval - PB #6158
June 24, 1997

5

23. A letter of intent regarding infrastructure improvements along Miacomet Avenue and coordination between the parties doing work in Miacomet Avenue, shall be submitted to and approved by the Planning Board prior to endorsement of the definitive plan. Said Letter of Intent shall be adhered to.

Please call the Planning Staff at 228-7233 with any questions regarding this decision.

APPROVED

C. Marshall Beale
Thomas H. Corso
James Barnes

NANTUCKET PLANNING BOARD

COMMONWEALTH OF MASSACHUSETTS

NANTUCKET, SS

June 26, 1997

Then personally appeared *C. Marshall Beale*, one of the above-named members of the Planning Board of Nantucket, Massachusetts and acknowledged the fore-going instrument to be his/her free act and deed before me.

Margaret R. Fay Notary Public
My Commission Expires: 9/13/2002

DEC 03 1997
NANTUCKET COUNTY
REC'D ENTERED

9:29AM
SANDRA M CHADWICK
ATTEST REGISTER

RECEIVED
TOWN CLERK'S OFFICE
NANTUCKET, MA 02554
JUN 26 1997
TIME: 3:45P
CLERK: 132

End of
Instrument

DECLARATION OF RESTRICTIONS AND EASEMENTS

This Declaration of Restrictions and Easements is made by D. ERIC MCKECHNIE and DUNCAN F. WINTER, as Trustees of 22 BARTLETT ROAD REALTY TRUST under Declaration of Trust dated September 16, 1995, recorded with Nantucket Deeds in Book 482, Page 327, as the Owner of the Land herein described.

ARTICLE ONE
Definitions

1.01. "Association". The Trustees from time to time of Essex Homeowners Association Trust under Declaration of Trust dated August 15, 1997, recorded with Nantucket Deeds in Book 555, Page 198.

1.02. "Building Lot". Each of Lots 1 through 41, inclusive.

1.03. "Covenant". A Covenant between D. Eric McKechnie and Duncan F. Winter, as Trustees of 22 Bartlett Road Realty Trust, and the Planning Board dated August 15, 1997, in File No. 6158, recorded with Nantucket Deeds in Book 555, Page 184.

1.04. "Developer". D. Eric McKechnie and Duncan F. Winter, as Trustees of 22 Bartlett Road Realty Trust under Declaration of Trust dated September 16, 1995, recorded with Nantucket Deeds in Book 482, Page 327, the present Owners of the Land, or such other person or entity as shall hold the rights of the Developer hereunder by express written and recorded instrument of assignment executed by D. Eric McKechnie and Duncan F. Winter, as

Trustees of 22 Bartlett Road Realty Trust as aforesaid, or its successor as the Developer.

1.05. "Driveway Easement Area". Those areas denoted as "Typical 10' Wide Driveway Easement" upon the Plan.

1.06. "Land". The land in Nantucket, Nantucket County, Massachusetts, consisting of the Lots shown upon the Plan.

1.07. "Lot". Each of Lots 1 through 44, inclusive, upon the Plan. (The word "Lot" followed by a number shall refer to the Lot designated by that number on the Plan.)

1.08. "Owner". The person or persons or other entity, considered collectively, who are, from time to time, the owners of any Lot, according to the records at such time at the Nantucket Registry of Deeds.

1.09. "Plan". A plan by Blackwell & Associates, Inc., dated January 28, 1997, as endorsed by the Planning Board as approved under the Subdivision Control Law in File No. 6158, recorded with Nantucket Deeds in Plan File 516.

1.10. "Planning Board". The Nantucket Planning Board.

1.11. "Roadway". Essex Road, shown upon the Plan as Lots 42 and 43, which shall be owned by the Association.

1.12. "Town". The Town of Nantucket, Massachusetts.

1.13. "Utility Lines". Pipes, wires, cables, or other means of transmission of electric, telephone, cable television, water, sewer, and if now or in the future applicable, gas and such other utility services as are now or may in the future be

customarily installed to serve residential building lots in Nantucket, Massachusetts.

ARTICLE TWO
Recital of Purposes

2.01. General Purpose. The general purpose of this instrument is to restrict the use of the Land, and of each Lot, so that the development of the Land is done in conformity with the conditions of approval by the Planning Board as set forth in the Covenant. Furthermore, it is the purpose of this instrument to establish easements to enable the utilization of the Land in an appropriate manner.

2.02. Fulfillment of Conditions of Approval. In addition to the general purpose stated in Section 2.01, it is the further purpose of this instrument to establish restrictions and easements which have been required by the Planning Board in connection with its approval of the Plan.

ARTICLE THREE
Restrictions

3.01. General. The Land shall be subject to the following Restrictions, as set forth in this Article Three.

3.02. Restriction Against Subdivision. No Lot shall be divided or subdivided into additional lots or parcels; provided, however, that this shall not prohibit division of a Lot or Lots into separate parcels for the purpose of effecting boundary line changes not creating additional building lots within the Land.

3.03. Site Plan Review. No building or other structure of any nature shall be erected, maintained or suffered to exist upon the Land, so long as the Developer shall own any of the Lots and for two years thereafter, unless the siting of such building or other structure, and landscaping plans for the Lot upon which such building or structure is to be placed shall have been previously approved by written and recordable instrument executed by the Developer; such approval may contain ongoing requirements for the maintenance of landscaping and replacement of landscaping elements and plant materials. The Developer may adopt reasonable rules and submission requirements with regard to requests for approval of the siting of buildings, structures, and landscaping.

3.04. Restrictions Against Commercial Uses. No commercial activity of any nature or type (including customary home occupations) shall be conducted upon any portion of Lots 8 through 37 inclusive.

3.05. Restriction Against Outdoor Storage and Uses. No trailers of any type, nor unregistered motor vehicles, shall be stored outdoors upon any portion of the Land. Not more than one commercial vehicle may be parked overnight upon any Lot. Not more than one boat may be stored outdoors upon any Lot. No exterior laundry drying facilities shall be placed upon any Lot unless they are screened from view from all areas outside that Lot. No scallop shanties shall be constructed, maintained or used upon any Lot. The structures and grounds on each Building Lot shall be maintained in a neat and attractive manner, and the Developer may from time to time promulgate rules and regulations

as to such maintenance, and at such time as the Developer no longer owns any Lots, the Association may promulgate such rules and regulations. Notwithstanding the foregoing provisions of this Section 3.05, the Developer, and at such time as the Developer no longer owns any Lots, the Association, shall have the right to waive the restrictions set forth in this Section 3.05.

3.06. Single-Family Dwelling Restrictions. No dwelling shall be constructed upon any Lot, except for (a) one single-family dwelling, with customary appurtenances thereto, and (b) a secondary dwelling, as defined by the Nantucket Zoning By-law as then in effect, only with respect to any Lot as to which the release of such Lot from the Covenant, as executed by the Planning Board and recorded at Nantucket Registry District, expressly provides that such Lot shall be permitted to have a secondary dwelling, and provided further that not more than thirty-one (31) Lots shall be permitted to have a secondary dwelling.

3.07. Public Wellhead Recharge District Restrictions. Lots 17 through 25, inclusive, as shown upon the plan are situated within the Public Wellhead Recharge District, an overlay district under the Nantucket Zoning By-law as now in effect. Under Zoning By-law Section 139-12.B(2), the following uses are prohibited in this district:

- (a) All uses prohibited in the underlying district.
- (b) The manufacture, use, pipeline transport, storage, disposal or treatment of hazardous or toxic materials, except as noted in By-law Section 139-12.B(1)(b), (c), (d) and (e).
- (c) Sanitary landfills, dumps, junkyards or disposal or landfilling of solid waste, sludge, sewage or septage.
- (d) Animal feedlots and manure storage.
- (e) Washing, painting, repair or other servicing of motorized vehicles in garages or in the open.
- (f) On-site disposal of wastewater exceeding two thousand gallons (2,000) gallons per day.
- (g) Road salt storage.
- (h) Truck or bus terminals.
- (i) Public or private sewage treatment facilities in excess of two thousand (2,000) gallons per day.
- (j) Commercial servicing, repair or construction of boats or boat motors.
- (k) Dry cleaning establishments.
- (l) Coin or commercial laundries which rely on on-site septic systems.
- (m) Chemical and bacteriological laboratories.
- (n) Salvage yards.
- (o) Leather tanning and finishing.
- (p) Stockpiling and disposal of snow or ice which contains de-icing materials.
- (q) New underground fuel storage tanks with the exception of propane.

(r) Land uses that result in rendering impervious more than fifteen per cent (15%) or two thousand five hundred (2,500) square feet of any lot, whichever is greater, unless a system for artificial recharge of precipitation is provided that will not result in the degradation of ground water quality.

3.08. Driveway Access Restrictions. Lot 1 is hereby restricted against using Bartlett Road as a means of vehicular access to said Lot. No driveways shall be placed upon Lot 1 entering directly from Bartlett Road. Driveways on any Building Lot upon which a Driveway Easement Area is located shall be constructed within the Driveway Easement Area.

3.09. Buffer Strip Restriction. No structures shall be built upon that portion of Lot 1 designated as "20' Buffer Strip and Bikepath Easement" upon the Plan.

ARTICLE FOUR
Easements

4.01. Roadway Easement. The Owner of each Lot, and the Association, shall have a permanent easement to use the Roadway for all purposes for which streets are customarily used in Nantucket, including passage and repassage by foot, in vehicles, or otherwise; installation, maintenance, repair, use and replacement of underground Utility Lines and services; and improvements for such purposes.

4.02. Utility and Drainage Easement. The Developer and the Association shall have a permanent easement in the "10' Utility & Drainage Easement" as shown upon the Plan for the purpose of constructing, installing and maintaining Utility Lines,

landscaping, and to construct, repair and maintain drainage structures therein in conformity with the accompanying plans and materials filed with the Planning Board in connection with the approval of the Plan. The Owner of each Lot shall have a permanent easement to use all Utility Lines which may be so installed.

4.03. Drain Easement. The Developer and the Association shall have a permanent easement to enter upon the area in Lot 44 shown upon the Plan as "Drainage Easement" and to construct, repair and maintain drainage structures therein in conformity with the accompanying plans and materials filed with the Planning Board in connection with the approval of the Plan.

4.04. Driveway Easements. The Owner of a Lot on which a portion of a Driveway Easement Area is located shall have a permanent easement, in common with the Owner of the adjacent Lot on which the same Driveway Easement Area is located to pass and repass by foot, by vehicles, or otherwise, and to install, maintain, and replace underground utility lines, upon or under the surface of the Driveway Easement Area, and to maintain repair and improve the surface thereof.

4.05. Footpath Easement. The Developer, the Association, the Owner of each Lot, and the Town shall have a permanent easement to use those portions of Lots 27 and 28 shown as "Footpath Easement 5 Feet Wide" for pedestrian access to the Roadway and to the way shown as "Green Meadow Dr." upon the Plan.

4.06 Slope Easement. The Developer and the Association shall have a permanent easement to enter upon those areas of Lots

22 and 44 shown as "Permanent Slope Easements" for the purpose of grading and maintaining the slope of the adjacent Roadway.

ARTICLE FIVE
Enforcement of Restrictions

5.01. Restrictions in Gross. The Association shall have the right, to be held in gross and not as appurtenant to any real property interest, to enforce all of the Restrictions.

5.02. Restrictions Enforceable by Town. The Developer shall have the right to grant to the Town, acting by and through the Planning Board, the right to enforce any or all of the Restrictions. Such grant shall be in the form of a writing signed and acknowledged on behalf of the Developer and accepted in writing by the signatures of a majority of the members of the Planning Board, and recorded with Nantucket Registry District. Upon the recordation of such a grant with Nantucket Registry District, no provision hereof relating to any Restriction, the right of enforcement of which has been granted to the Town, may be amended without the written and recorded consent of a majority of the Planning Board.

5.03. Appurtenant Restrictions. Each Owner of a Lot shall have the right to enforce any Restriction, as appurtenant to such Lot, on or after the first date upon which the Developer or any successor Developer shall no longer own any of the Lots, upon any violation of any Restriction upon any of the Land, and each part of the Land shall be deemed to be benefited hereby.

5.04. Duration of Restrictions in Gross. The rights of enforcement of the Restrictions held in gross, except the rights

of enforcement assigned to the Town which shall be permanent, shall expire upon August 15, 2027, unless a notice of extension of restriction in accordance with Massachusetts General Laws, c. 184, §27, is registered with Nantucket Registry District on or before August 15, 2027, in which event the term for enforcement of such right shall be extended for a period of twenty years; and in the event of such extension, such right of enforcement may be extended for further successive periods of twenty years by the filing of further notices of extension, all as permitted by applicable law.

5.05. Duration of Appurtenant Restrictions. The Restrictions, as appurtenant to each Owner of a Lot, shall be deemed to be imposed as part of a common scheme applicable to four or more contiguous parcels, and shall expire on August 15, 2027, except that they may be extended from and after August 15, 2027, for further successive periods of twenty years in the manner provided by Massachusetts General Laws, c.184, §27.

5.06. Form of Notice of Extension of Restrictions. Any notice of extension of the Restrictions to be filed for record hereunder shall (a) be signed by a person or persons then entitled of record to the benefit of the Restrictions and shall contain a description of their benefited land, if any, (b) shall describe the Land, (c) shall name one or more of the persons appearing of record to own each portion of the Land at the time, and (d) shall refer to this instrument and its place of recording in the public records.

5.07. Enforcement by Judicial Proceedings. Any party entitled to enforce any of the Restrictions shall have the right to enforce the same by securing injunctive relief from a court of competent jurisdiction and shall have the right to recover money damages by reason of any violation of any of the Restrictions.

5.08. Restrictions to Run with Land. Upon the registration of this instrument with Nantucket Registry District of the Land Court, the Restrictions and all other provisions of this instrument shall run with and bind the Land and every portion thereof.

5.09. Release or Waiver of Restrictions. The Developer, so long as the Developer (including any successor Developer) shall own any Lot, and thereafter the Association, shall have the right to release, waive or modify any restriction hereunder, except those restrictions the right of enforcement of which has been granted to the Town of Nantucket, acting by and through its Planning Board as set forth in Paragraph 5.02 hereof.

ARTICLE SIX
Liens and Assessments

6.01. Assessments and Charges. Each Owner of a Building Lot, by accepting a deed therefor, whether or not the same shall be expressed in such deed, shall be deemed to covenant to pay to the Association annual assessments or charges, and special assessments for capital improvements, such assessments to be fixed, established and collected from time to time as hereinafter provided. The annual and special assessments, together with such interest thereon and costs of collection thereof (including

attorneys' fees) as hereinafter provided, shall be a charge on each Building Lot and shall be a continuing lien upon the Building Lot against which each such assessment is made. Each assessment, together with such interest and costs, shall also be a personal obligation of each Owner of the Building Lot against which such assessment is made at the time when the same falls due.

6.02. Purposes of Assessments. All assessments shall be collected and held by the Association and shall be used exclusively for the purpose of promoting the recreation, health, safety and welfare of the Owners, occupants and visitors to any of the Land, and in particular for the improvement, repair and maintenance of the Roadway and the Utility Lines, including but not limited to the payment of liability insurance premiums, maintenance of roads, paths, Utility Lines, equipment, drainage structures, landscaping, the costs of labor, equipment, materials, management and supervision thereof, and enforcement of the Restrictions.

6.03. Amount and Time of Payment of Assessments. The amount of each assessment and the time at which the same shall be payable shall be determined by the Association in accordance with its governing documents. Each Building Lot shall be assessed equally for each assessment, except for matters particularly for work done to serve a specific Building Lot or Building Lots.

6.04. Assessment for Enforcement of Restrictions. In the event that the Association shall enforce any of the Restrictions against the Owner of any Lot, the cost of such enforcement shall

be assessed to the Owner of the Lot in question and shall be added to and become a part of the assessments and charges against such Lot hereunder.

6.05. Certification of No Lien. The Association shall, upon demand at any time, furnish to any Owner of a Lot a certificate, in form suitable for recording, signed by a Trustee of the Association, setting forth the amount and due date of all assessments upon such Lot, and whether the same have been paid. The signature thereof by such Trustee shall be conclusive evidence of his authority to make such certificate on behalf of the Association, and such certificate shall be conclusive evidence of the matters therein stated, except to the extent that the Owner of such Lot disputes the amount of any assessment therein stated to be unpaid.

6.06. Effect of Nonpayment of Assessments. If any assessment is not paid when due, the same shall be deemed delinquent and shall, together with interest and costs as herein provided, be a continuing lien upon the Lot upon which the same was assessed, and shall run with such Lot and bind it in the hands of its Owner at the time of such assessment and the successors in title to such Owner. The Association shall have the right to proceed to enforce such lien by the sale of the Lot in question, such sale to be conducted in the same manner provided by Massachusetts law for a sale to enforce a mechanic's lien under a written contract. If any assessment is not paid within thirty days after it shall become due, it shall bear interest from the date when due at the rate of fifteen per cent

(15%) per annum. In the event of any proceeding to enforce a lien hereunder, the Association shall be entitled to collect as a part thereof its reasonable costs of collection, including attorneys' fees.

ARTICLE SEVEN
General

7.01. Amendment. This instrument may from time to time be amended by written instrument executed and acknowledged by the Developer, so long as the Developer (including any successor Developer) shall own any of the Lots, and thereafter by Owners of a majority of the Lots; and any such amendment shall be effective when the same is recorded with Nantucket Registry of Deeds. However, (a) no amendment, the effect of which will be more onerous upon the use of any Lot, shall be effective without the consent of the Owner of such Lot, and (b) no Restriction, the right of enforcement of which has been granted to the Town, shall be amended without the prior written consent of a majority of the Planning Board. Any such consent shall be attached to the instrument of amendment at the time of its recording.

7.02. Notices. All notices hereunder shall be effective only when mailed by certified mail, return receipt requested, addressed (if to the Association) to Essex Homeowners Association Trust, 76 North Liberty Street, Nantucket, Massachusetts 02554, or such other address as the Association may, from time to time, designate by notice to each Owner, or addressed (if to an Owner) to such Owner at the street address of any Lot owned by such

Owner, or such other address as such Owner may, from time to time, designate by notice to the Association.

7.03. Severability. Invalidation of any provision hereof by judicial determination shall not affect the remaining provisions, which shall remain in full force and effect.

7.04. Construction of Instrument. This instrument shall be construed under the laws of Massachusetts. References or language herein contained, relating to any gender, shall refer also to other genders as appropriate.

The undersigned, by virtue of their execution hereof, hereby certify that : (a) they are the sole Trustees of 22 Bartlett Road Realty Trust; (b) said Trust has not been altered, amended, revoked, or terminated; (c) no beneficiary of said Trust is a minor or under any incapacity; and (d) that they have been authorized and directed by all of the beneficiaries of said Trust to execute and acknowledge the foregoing Declaration of Restrictions and Easements.

Executed and sealed as of August 15, 1997.

D. Eric McKechnie
D. Eric McKechnie, as Trustee
of 22 Bartlett Road Realty
Trust as aforesaid

Duncan R. Winter
Duncan R. Winter, as Trustee
of 22 Bartlett Road Realty
Trust as aforesaid

COMMONWEALTH OF MASSACHUSETTS

Nantucket, ss.

August 15, 1997

Then personally appeared the above-named D. Eric McKechnie and acknowledged the foregoing instrument to be his free act and deed, before me,

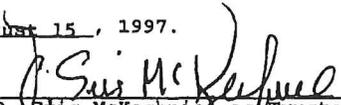
Marianne Farley
Notary Public

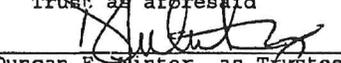
Printed name: Marianne Farley
My commission expires: November 8, 2002

GRANT OF RIGHT OF ENFORCEMENT OF RESTRICTIONS

We, D. ERIC MCKECHNIE and DUNCAN F. WINTER, as Trustees of 22 BARTLETT ROAD REALTY TRUST under Declaration of Trust dated September 16, 1995, recorded with Nantucket Deeds in Book 482, Page 327, in consideration of the approval by the Nantucket Planning Board of a definitive plan of a subdivision of land, prepared by Blackwell & Associates, Inc., dated January 28, 1997, of land located on Bartlett Road, Nantucket, Massachusetts, and showing forty-two building lots and a new roadway called Essex Road, recorded with Nantucket Deeds in Plan File 51-6, acting pursuant to Section 5.02 of that certain Declaration of Restrictions and Easements dated August 15, 1997, recorded herewith at Nantucket Registry of Deeds in Book 555, Page 220, hereby grants to the Town of Nantucket, acting by and through its Planning Board, the right to enforce all of the Restrictions under Sections 3.02, 3.04, 3.06, 3.07, 3.08, and 3.09, only, as set forth therein.

Executed and sealed as of August 15, 1997.


 D. Eric McKechnie, as Trustee
 of 22 Bartlett Road Realty
 Trust as aforesaid


 Duncan F. Winter, as Trustee
 of 22 Bartlett Road Realty
 Trust as aforesaid

(r) Land uses that result in rendering impervious more than fifteen per cent (15%) or two thousand five hundred (2,500) square feet of any lot, whichever is greater, unless a system for artificial recharge of precipitation is provided that will not result in the degradation of ground water quality.

3.08. Driveway Access Restrictions. Lot 1 is hereby restricted against using Bartlett Road as a means of vehicular access to said Lot. No driveways shall be placed upon Lot 1 entering directly from Bartlett Road. Driveways on any Building Lot upon which a Driveway Easement Area is located shall be constructed within the Driveway Easement Area.

3.09. Buffer Strip Restriction. No structures shall be built upon that portion of Lot 1 designated as "20' Buffer Strip and Bikepath Easement" upon the Plan.

ARTICLE FOUR
Easements

4.01. Roadway Easement. The Owner of each Lot, and the Association, shall have a permanent easement to use the Roadway for all purposes for which streets are customarily used in Nantucket, including passage and repassage by foot, in vehicles, or otherwise; installation, maintenance, repair, use and replacement of underground Utility Lines and services; and improvements for such purposes.

4.02. Utility and Drainage Easement. The Developer and the Association shall have a permanent easement in the "10' Utility & Drainage Easement" as shown upon the Plan for the purpose of constructing, installing and maintaining Utility Lines,

landscaping, and to construct, repair and maintain drainage structures therein in conformity with the accompanying plans and materials filed with the Planning Board in connection with the approval of the Plan. The Owner of each Lot shall have a permanent easement to use all Utility Lines which may be so installed.

4.03. Drain Easement. The Developer and the Association shall have a permanent easement to enter upon the area in Lot 44 shown upon the Plan as "Drainage Easement" and to construct, repair and maintain drainage structures therein in conformity with the accompanying plans and materials filed with the Planning Board in connection with the approval of the Plan.

4.04. Driveway Easements. The Owner of a Lot on which a portion of a Driveway Easement Area is located shall have a permanent easement, in common with the Owner of the adjacent Lot on which the same Driveway Easement Area is located to pass and repass by foot, by vehicles, or otherwise, and to install, maintain, and replace underground utility lines, upon or under the surface of the Driveway Easement Area, and to maintain repair and improve the surface thereof.

4.05. Footpath Easement. The Developer, the Association, the Owner of each Lot, and the Town shall have a permanent easement to use those portions of Lots 27 and 28 shown as "Footpath Easement 5 Feet Wide" for pedestrian access to the Roadway and to the way shown as "Green Meadow Dr." upon the Plan.

4.06. Slope Easement. The Developer and the Association shall have a permanent easement to enter upon those areas of Lots

22 and 44 shown as "Permanent Slope Easements" for the purpose of grading and maintaining the slope of the adjacent Roadway.

ARTICLE FIVE
Enforcement of Restrictions

5.01. Restrictions in Gross. The Association shall have the right, to be held in gross and not as appurtenant to any real property interest, to enforce all of the Restrictions.

5.02. Restrictions Enforceable by Town. The Developer shall have the right to grant to the Town, acting by and through the Planning Board, the right to enforce any or all of the Restrictions. Such grant shall be in the form of a writing signed and acknowledged on behalf of the Developer and accepted in writing by the signatures of a majority of the members of the Planning Board, and recorded with Nantucket Registry District. Upon the recordation of such a grant with Nantucket Registry District, no provision hereof relating to any Restriction, the right of enforcement of which has been granted to the Town, may be amended without the written and recorded consent of a majority of the Planning Board.

5.03. Appurtenant Restrictions. Each Owner of a Lot shall have the right to enforce any Restriction, as appurtenant to such Lot, on or after the first date upon which the Developer or any successor Developer shall no longer own any of the Lots, upon any violation of any Restriction upon any of the Land, and each part of the Land shall be deemed to be benefited hereby.

5.04. Duration of Restrictions in Gross. The rights of enforcement of the Restrictions held in gross, except the rights

of enforcement assigned to the Town which shall be permanent, shall expire upon August 15, 2027, unless a notice of extension of restriction in accordance with Massachusetts General Laws, c. 184, §27, is registered with Nantucket Registry District on or before August 15, 2027, in which event the term for enforcement of such right shall be extended for a period of twenty years; and in the event of such extension, such right of enforcement may be extended for further successive periods of twenty years by the filing of further notices of extension, all as permitted by applicable law.

5.05. Duration of Appurtenant Restrictions. The Restrictions, as appurtenant to each Owner of a Lot, shall be deemed to be imposed as part of a common scheme applicable to four or more contiguous parcels, and shall expire on August 15, 2027, except that they may be extended from and after August 15, 2027, for further successive periods of twenty years in the manner provided by Massachusetts General Laws, c.184, §27.

5.06. Form of Notice of Extension of Restrictions. Any notice of extension of the Restrictions to be filed for record hereunder shall (a) be signed by a person or persons then entitled of record to the benefit of the Restrictions and shall contain a description of their benefited land, if any, (b) shall describe the Land, (c) shall name one or more of the persons appearing of record to own each portion of the Land at the time, and (d) shall refer to this instrument and its place of recording in the public records.

5.07. Enforcement by Judicial Proceedings. Any party entitled to enforce any of the Restrictions shall have the right to enforce the same by securing injunctive relief from a court of competent jurisdiction and shall have the right to recover money damages by reason of any violation of any of the Restrictions.

5.08. Restrictions to Run with Land. Upon the registration of this instrument with Nantucket Registry District of the Land Court, the Restrictions and all other provisions of this instrument shall run with and bind the Land and every portion thereof.

5.09. Release or Waiver of Restrictions. The Developer, so long as the Developer (including any successor Developer) shall own any Lot, and thereafter the Association, shall have the right to release, waive or modify any restriction hereunder, except those restrictions the right of enforcement of which has been granted to the Town of Nantucket, acting by and through its Planning Board as set forth in Paragraph 5.02 hereof.

ARTICLE SIX
Liens and Assessments

6.01. Assessments and Charges. Each Owner of a Building Lot, by accepting a deed therefor, whether or not the same shall be expressed in such deed, shall be deemed to covenant to pay to the Association annual assessments or charges, and special assessments for capital improvements, such assessments to be fixed, established and collected from time to time as hereinafter provided. The annual and special assessments, together with such interest thereon and costs of collection thereof (including

attorneys' fees) as hereinafter provided, shall be a charge on each Building Lot and shall be a continuing lien upon the Building Lot against which each such assessment is made. Each assessment, together with such interest and costs, shall also be a personal obligation of each Owner of the Building Lot against which such assessment is made at the time when the same falls due.

6.02. Purposes of Assessments. All assessments shall be collected and held by the Association and shall be used exclusively for the purpose of promoting the recreation, health, safety and welfare of the Owners, occupants and visitors to any of the Land, and in particular for the improvement, repair and maintenance of the Roadway and the Utility Lines, including but not limited to the payment of liability insurance premiums, maintenance of roads, paths, Utility Lines, equipment, drainage structures, landscaping, the costs of labor, equipment, materials, management and supervision thereof, and enforcement of the Restrictions.

6.03. Amount and Time of Payment of Assessments. The amount of each assessment and the time at which the same shall be payable shall be determined by the Association in accordance with its governing documents. Each Building Lot shall be assessed equally for each assessment, except for matters particularly for work done to serve a specific Building Lot or Building Lots.

6.04. Assessment for Enforcement of Restrictions. In the event that the Association shall enforce any of the Restrictions against the Owner of any Lot, the cost of such enforcement shall

be assessed to the Owner of the Lot in question and shall be added to and become a part of the assessments and charges against such Lot hereunder.

6.05. Certification of No Lien. The Association shall, upon demand at any time, furnish to any Owner of a Lot a certificate, in form suitable for recording, signed by a Trustee of the Association, setting forth the amount and due date of all assessments upon such Lot, and whether the same have been paid. The signature thereof by such Trustee shall be conclusive evidence of his authority to make such certificate on behalf of the Association, and such certificate shall be conclusive evidence of the matters therein stated, except to the extent that the Owner of such Lot disputes the amount of any assessment therein stated to be unpaid.

6.06. Effect of Nonpayment of Assessments. If any assessment is not paid when due, the same shall be deemed delinquent and shall, together with interest and costs as herein provided, be a continuing lien upon the Lot upon which the same was assessed, and shall run with such Lot and bind it in the hands of its Owner at the time of such assessment and the successors in title to such Owner. The Association shall have the right to proceed to enforce such lien by the sale of the Lot in question, such sale to be conducted in the same manner provided by Massachusetts law for a sale to enforce a mechanic's lien under a written contract. If any assessment is not paid within thirty days after it shall become due, it shall bear interest from the date when due at the rate of fifteen per cent

(15%) per annum. In the event of any proceeding to enforce a lien hereunder, the Association shall be entitled to collect as a part thereof its reasonable costs of collection, including attorneys' fees.

ARTICLE SEVEN
General

7.01. Amendment. This instrument may from time to time be amended by written instrument executed and acknowledged by the Developer, so long as the Developer (including any successor Developer) shall own any of the Lots, and thereafter by Owners of a majority of the Lots; and any such amendment shall be effective when the same is recorded with Nantucket Registry of Deeds. However, (a) no amendment, the effect of which will be more onerous upon the use of any Lot, shall be effective without the consent of the Owner of such Lot, and (b) no Restriction, the right of enforcement of which has been granted to the Town, shall be amended without the prior written consent of a majority of the Planning Board. Any such consent shall be attached to the instrument of amendment at the time of its recording.

7.02. Notices. All notices hereunder shall be effective only when mailed by certified mail, return receipt requested, addressed (if to the Association) to Essex Homeowners Association Trust, 76 North Liberty Street, Nantucket, Massachusetts 02554, or such other address as the Association may, from time to time, designate by notice to each Owner, or addressed (if to an Owner) to such Owner at the street address of any Lot owned by such

Owner, or such other address as such Owner may, from time to time, designate by notice to the Association.

7.03. Severability. Invalidation of any provision hereof by judicial determination shall not affect the remaining provisions, which shall remain in full force and effect.

7.04. Construction of Instrument. This instrument shall be construed under the laws of Massachusetts. References or language herein contained, relating to any gender, shall refer also to other genders as appropriate.

The undersigned, by virtue of their execution hereof, hereby certify that : (a) they are the sole Trustees of 22 Bartlett Road Realty Trust; (b) said Trust has not been altered, amended, revoked, or terminated; (c) no beneficiary of said Trust is a minor or under any incapacity; and (d) that they have been authorized and directed by all of the beneficiaries of said Trust to execute and acknowledge the foregoing Declaration of Restrictions and Easements.

Executed and sealed as of August 15, 1997.

D. Eric McKechnie
D. Eric McKechnie, as Trustee
of 22 Bartlett Road Realty
Trust as aforesaid

Duncan R. Winter
Duncan R. Winter, as Trustee
of 22 Bartlett Road Realty
Trust as aforesaid

COMMONWEALTH OF MASSACHUSETTS

Nantucket, ss.

August 15, 1997

Then personally appeared the above-named D. Eric McKechnie and acknowledged the foregoing instrument to be his free act and deed, before me,

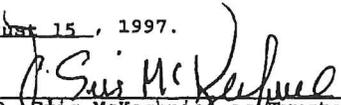
Marianne Farley
Notary Public

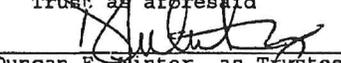
Printed name: Marianne Farley
My commission expires: November 8, 2002

GRANT OF RIGHT OF ENFORCEMENT OF RESTRICTIONS

We, D. ERIC MCKECHNIE and DUNCAN F. WINTER, as Trustees of 22 BARTLETT ROAD REALTY TRUST under Declaration of Trust dated September 16, 1995, recorded with Nantucket Deeds in Book 482, Page 327, in consideration of the approval by the Nantucket Planning Board of a definitive plan of a subdivision of land, prepared by Blackwell & Associates, Inc., dated January 28, 1997, of land located on Bartlett Road, Nantucket, Massachusetts, and showing forty-two building lots and a new roadway called Essex Road, recorded with Nantucket Deeds in Plan File 51-6, acting pursuant to Section 5.02 of that certain Declaration of Restrictions and Easements dated August 15, 1997, recorded herewith at Nantucket Registry of Deeds in Book 555, Page 220, hereby grants to the Town of Nantucket, acting by and through its Planning Board, the right to enforce all of the Restrictions under Sections 3.02, 3.04, 3.06, 3.07, 3.08, and 3.09, only, as set forth therein.

Executed and sealed as of August 15, 1997.


 D. Eric McKechnie, as Trustee
 of 22 Bartlett Road Realty
 Trust as aforesaid


 Duncan F. Winter, as Trustee
 of 22 Bartlett Road Realty
 Trust as aforesaid

COMMONWEALTH OF MASSACHUSETTS

Nantucket, ss.

August 15, 1997

Then personally appeared the above-named D. Eric McKechnie and acknowledged the foregoing instrument to be his free act and deed, before me,

Marlene Hawley
Notary Public

Printed name: Marlene Hawley
My commission expires: November 8, 1997

DEED

We, D. ERIC McKECHNIE and DUNCAN F. WINTER, Trustees of **22 BARTLETT ROAD REALTY TRUST** under Declaration of Trust dated September 16, 1985, recorded with Nantucket Deeds in Book 482, Page 327, as affected by Amendment of Trust dated May 1, 1998, recorded with Nantucket Deeds in Book 577, Page 31, c/o 76 North Liberty Street, Nantucket, Massachusetts 02554, for consideration paid in the amount of \$115,000.00, grant to **LESLIE B. JOHNSON**, of Post Office Box 1412, Nantucket, Massachusetts 02554, with QUITCLAIM COVENANTS,

That certain parcel of land, located in Nantucket, Nantucket County, Massachusetts, now known and numbered as **10 Essex Road**, bounded and described as follows:

- WESTERLY by Lot 43 on plan hereinafter mentioned, forty-five and 25/100 (45.25) feet;
- SOUTHERLY by Lot 39 on said plan, one hundred ninety-eight and 43/100 (198.43) feet;
- EASTERLY by land now or formerly of H. Flint Ranney & Charron P. Ranney, forty-six and 49/100 (46.49) feet, and
- NORTHERLY by Lot 41 on said plan, two hundred thirteen and 99/100 (213.99) feet.

Said land is shown as **Lot 40** on plan recorded with Nantucket Deeds in Plan File 51-G, and contains 9,314± square feet, more or less, according to said plan.

There is expressly excluded from this conveyance the fee and soil in Essex Road, as shown upon said plan.

Said land is conveyed **subject to the following matters:**

- (a) A Statement of Conditions of Subdivision Approval recorded with Nantucket Deeds in Book 555, Page 189.
- (b) A Declaration of Restrictions and Easements recorded with Nantucket Deeds in Book 555, Page 220 as affected by a Grant of Right of Enforcement of Restriction, recorded with Nantucket Deeds in Book 555, Page 236.
- (c) A Road Maintenance and Endowment Agreement recorded with Nantucket Deeds in Book 555, Page 239.
- (d) An Instrument of Trust of Essex Homeowners Association Trust dated August 15, 1997, recorded with Nantucket Deeds in Book 555, Page 198.
- (e) A Covenant to the Nantucket Planning Board, recorded with Nantucket Deeds in Book 555, Page 184, as affected by that certain Form J Release dated July 27, 1998, recorded in Book 587, Page 46.
- (f) A Grant of Easement to the Town of Nantucket, recorded with Nantucket Deeds in Book 555, Page 250.

(g) A Grant of Easement to Nantucket Electric Company, recorded with Nantucket Deeds in Book 555, Page 244.

(h) Grant of Right of Enforcement of Restrictions dated September 18, 1995, recorded with Nantucket Deeds in Book 482, Page 323, as affected by an Amendment of Restriction recorded with Nantucket Deeds in Book 555, Page 179.

(i) Real estate taxes assessed by the Town of Nantucket for fiscal year 1999.

(j) Easement Agreement dated March 25, 1996, recorded with Nantucket Deeds in Book 519, Page 328, as affected by Amendment to Easement Agreement, recorded with Nantucket Deeds in Book 579, Page 40.

(k) Easement to New England Telephone and Telegraph Company, dated May 11, 1998, recorded with Nantucket Deeds in Book 577, Page 32.

(l) A restriction hereby imposed upon said Lot 40 for the benefit of grantor's other land, that the commercial uses upon said Lot 40 shall be restricted to wholesale storage of ice cream products. The right of enforcement of this restriction is hereby granted to D. Eric McKechnie and Duncan F. Winter, Trustees of the Essex Road Homeowners Association under Instrument of Trust dated August 15, 1997, recorded with Nantucket Deeds in Book 555, Page 198, (the "Association"), and said restriction may be amended, modified or waived by the Association upon a finding by the Association that such amendment, modification or waiver shall not result in a commercial use upon said Lot which is substantially more detrimental to the neighborhood than the existing commercial use upon said Lot.

(m) The provisions of §139-12B, which prohibit the following uses upon said Lot 40:

(a) All uses prohibited in the underlying district.

(b) The manufacture, use, pipeline transport, storage, disposal or treatment of hazardous or toxic materials, except as noted in By-law Section 139-12.B(1)(b), (c), (d) and (e).

(c) Sanitary landfills, dumps, junkyards or disposal or landfilling of solid waste, sludge, sewage or septage.

(d) Animal feedlots and manure storage.

(e) Washing, painting, repair or other servicing of motorized vehicles in garages or in the open.

(f) On-site disposal of wastewater exceeding two thousand gallons (2,000) gallons per day.

(g) Road salt storage.

(h) Truck or bus terminals.

(i) Public or private sewage treatment facilities in excess of two thousand (2,000) gallons per day.

(j) Commercial servicing, repair or construction of boats or boat motors.

(k) Dry cleaning establishments.

(l) Coin or commercial laundries which rely on on-site septic systems.

(m) Chemical and bacteriological laboratories.

(n) Salvage yards.

(o) Leather tanning and finishing.

(p) Stockpiling and disposal of snow or ice which contains de-icing materials.

(q) New underground fuel storage tanks with the exception of propane.
(r) Land uses that result in rendering impervious more than fifteen per cent (15%) or two thousand five hundred (2,500) square feet of any lot, whichever is greater, unless a system for artificial recharge of precipitation is provided that will not result in the degradation of ground water quality.

(n) A Grant of Easement recorded with Nantucket Deeds in Book 550, Page 256.

Pursuant to the provisions of Nantucket Zoning By-law §139-24 A.(2), the grantor hereby designates the year 2004 as the earliest calendar year in which a building permit may be issued for the premises.

For title, see deed recorded with Nantucket Deeds in Book 482, Page 335.

The undersigned, by virtue of their execution hereof, hereby certify that : (a) they are the sole Trustees of 22 Bartlett Road Realty Trust; (b) said Trust has not been altered, amended, revoked, or terminated; (c) no beneficiary of said Trust is a minor or under any incapacity; and (d) that they have been authorized and directed by all of the beneficiaries of said Trust to execute, acknowledge, and deliver the within deed to Leslie B. Johnson.

Executed and sealed on September 14, 1998.

For authority of one Trustee to sign, see Amendment to Trust, dated May 1, 1998 recorded at Book 577, Page 31.

D. Eric McKechnie
D. Eric McKechnie, Trustee as aforesaid

Duncan F. Winter, Trustee as aforesaid

COMMONWEALTH OF MASSACHUSETTS

Nantucket, ss.

September 14, 1998

Then personally appeared the above-named D. Eric McKechnie, and acknowledged the foregoing instrument to be his free act and deed, before me,

Marianne Parley
Notary Public

SECRET LAND BASE CERTIFICATE
 X \$ 8,300.00
 17453 9/28/98
 C. Winter

DEEDS REG
 NANTUCKET
 DEEDS & EASEMENTS
 CANCELLED
 SEP 28 1998
 NANTUCKET COUNTY
 REC'D ENTERED
 EXCISE TAX

Printed name:
My commission expires:

SEP 28 1998
NANTUCKET COUNTY
REC'D ENTERED

2:17 PM
SANDRA M CHADWICK
ATTEST REGISTER

End of Instrument

DEED

LESLIE B. JOHNSON, of Post Office Box 1412, Nantucket, Massachusetts 02554, for consideration paid in the amount of \$285,000.00 grant to AUDREY STERK, of Post Office Box 3251, Nantucket, Massachusetts 02584, with QUITCLAIM COVENANTS,

That certain parcel of vacant land, located in Nantucket, Nantucket County, Massachusetts, now known and numbered as 10 Essex Road, bounded and described as follows:

- WESTERLY by Lot 43 on plan hereinafter mentioned, forty-five and 25/100 (45.25) feet;
- SOUTHERLY by Lot 39 on said plan, one hundred ninety-eight (198.43) feet;
- EASTERLY by land now or formerly of H. Flint Ranney & Charron P. Ranney, forty-six and 49/100 (46.49) feet, and
- NORTHERLY by Lot 41 on said plan, two hundred thirteen and 99/100 (213.99) feet.

Said land is shown as Lot 40 on plan recorded with Nantucket Deeds in Plan File 51-G.

There is expressly excluded from this conveyance the fee and soil in Essex Road, as shown upon said plan.

Said land is conveyed subject to the following matter of record:

- (a) Real estate taxes for fiscal years 2004 and 2005.
- (b) Matters set forth on Deed recorded with Nantucket Deeds in Book 594, Page 42.

Pursuant to the provisions of Nantucket Zoning By-law §139-24 A.(2) 2004 has been designated as the earliest calendar year in which a building permit may be issued for the Premises.

For title, see Deed recorded with Nantucket Deeds in Book 594, Page 42.

Executed and sealed on MAY 13, 2004

Leslie B. Johnson
Leslie B. Johnson

COMMONWEALTH OF MASSACHUSETTS

Nantucket, ss

MAY 13, 2004

Then personally appeared the above named Leslie B. Johnson, and acknowledged the foregoing instrument to be her free act and deed before me,

Patricia A. Halsted
Notary Public

Printed Name: PATRICIA A. HALSTED
My commission expires: 1/27/04

NANTUCKET LAND BANK CERTIFICATE	
<input checked="" type="checkbox"/> Paid \$	<u>1,700.00</u>
<input checked="" type="checkbox"/> Exempt	<u>M</u>
<input type="checkbox"/> Non-applicable	
No.	<u>24352</u>
Date	<u>5/14/04</u>
Authorization	<u>Chattel</u>

NANTUCKET
REG DEEDS 16
NANTUCKET

Cancelled
05/14/04 12:39PM 01
000000 #5110

Nantucket County Received & Entered
Date: MAY 14 2004 Time: 1:25pm
Attest: Jeanne J. Kelley Register of Deeds

FEE \$1299.60
CASH \$1299.60

End of
Instrument

Certificate No: OP-2008-0350

Building Permit No.: BP-2005-0207

Commonwealth of Massachusetts

Town of Nantucket

Building Electrical Mechanical Permits

This is to Certify that the MIXED USE located at Dwelling Type

10 ESSEX RD Address

in the

TOWN OF NANTUCKET Town/City Name

IS HEREBY GRANTED A PERMANENT CERTIFICATE OF OCCUPANCY

Mixed use private building 5B construction use groups R-3 & B 3 Bedrooms 3 bathrooms CO for permit 395-05 M/P 67-639

This permit is granted in conformity with the Statutes and ordinances relating thereto, and expires unless sooner suspended or revoked. Expiration Date

Issued On: Wed Aug 13, 2008

GeoTMS® 2008 Des Lauriers Municipal Solutions, Inc.

Signature: Bernard Baillif

MASSACHUSETTS NANTUCKET Map 67 Parcel 639

PARTMENT

Building Inspector FEE \$ 2003 500

May 6 20 05

PERMIT

HAS

10 Essex Road PROVIDED THAT

FORM TO THE TERMS OF THE APPLICATION ON THE PROVISIONS OF THE STATUTES AND THE MAINTENANCE AND INSPECTION OF BUILDINGS UNDER ITS STATE BUILDING CODE 780 CMR.

ON RETURN OF THIS PERMIT ONLY AFTER ALL CONDITIONS STATED BY THE APPROPRIATE INSPECTOR.

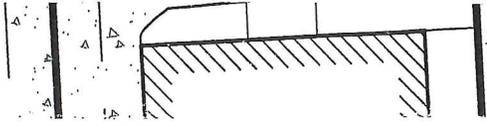
FROM THE DATE OF ISSUE IF THE WORK IS NOT BEING CONTINUOUSLY TO COMPLETION AS

SPICUOUS PLACE ON THE PREMISES.

Signature: Bernard Baillif BUILDING INSPECTOR

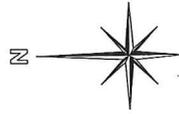
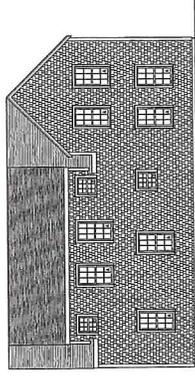
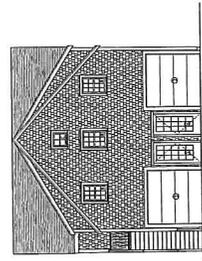
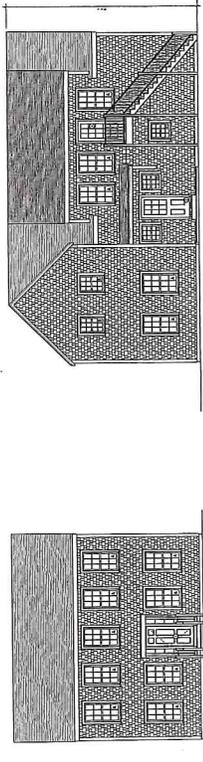
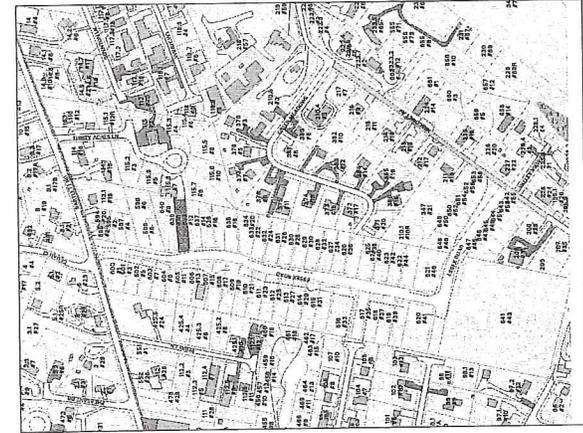
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& DRAIN 4 of 59

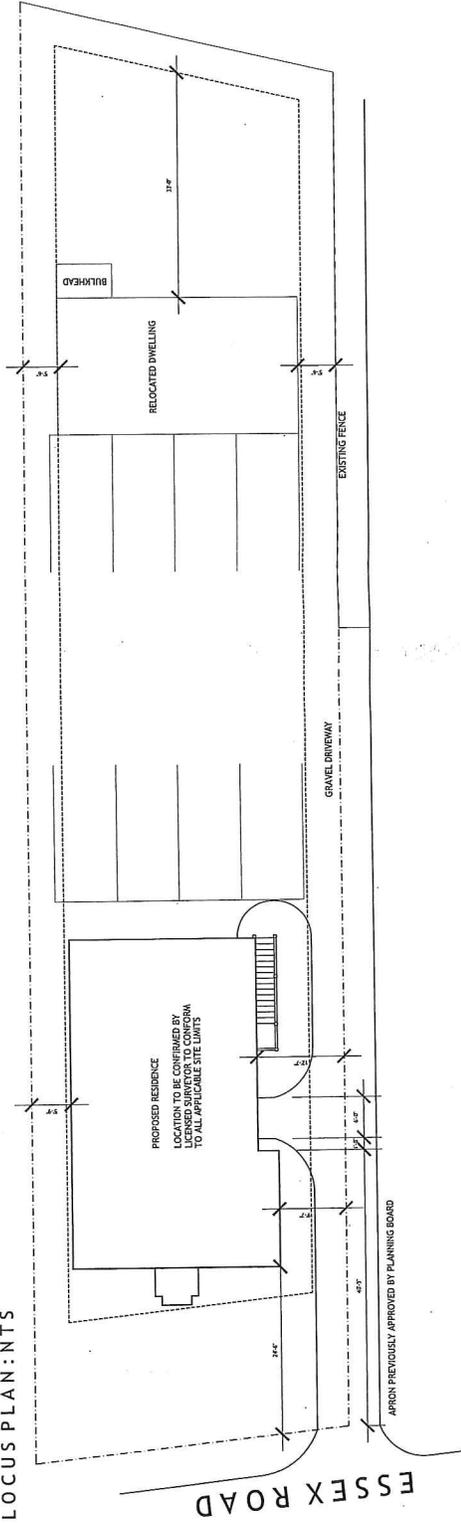


RD. CERTIFICATE... 6-20-08.d

Sterk Residence



LOCUS PLAN: NTS



APP - 8 2005

SHEET LIST

- C1.1 COVER LOCUS / SITE / ELEVATIONS @ 1/8" = 1'-0"
- A1.1 ELEVATIONS
- A2.0 BASEMENT PLAN & DOOR & WINDOW SCHEDULE
- A2.1 FIRST & SECOND FLOOR PLANS

SITE PLAN: 1/16" = 1'-0"

PELLINGER
PELLINGER
CUTONE
ARCHITECTURE

100 MAIN STREET
NANTUCKET, MA 02554
P 508 221 2722
F 508 374 6898

Sterk Residence
Nantucket, MA

HDC Revisions

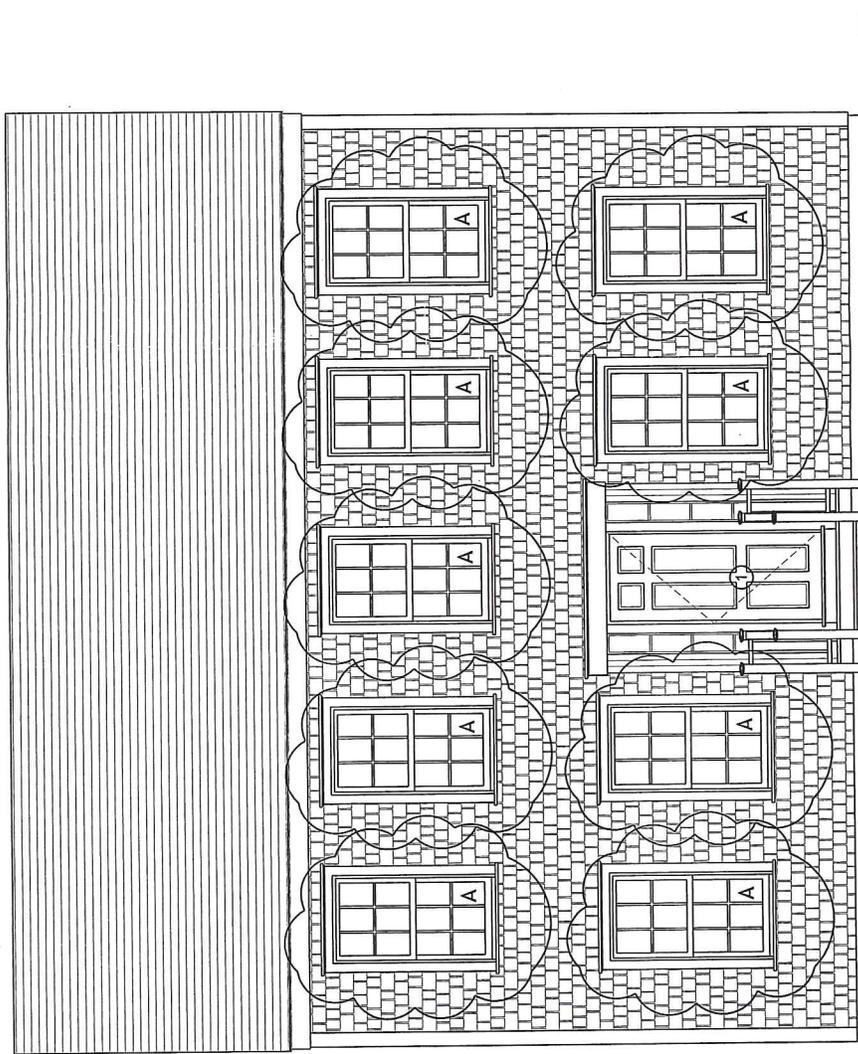
Cover

C1.1
12.APR.05

APPROVED

APR 19 10 30 07

BY SA. ERICUS CHANGES
WITHOUT H.D.C. APPROVA



27'-8" +/-
GRADE TO RIDGE

8'-0"
PLATE HEIGHT

6'-11"
WINDOW HEADER

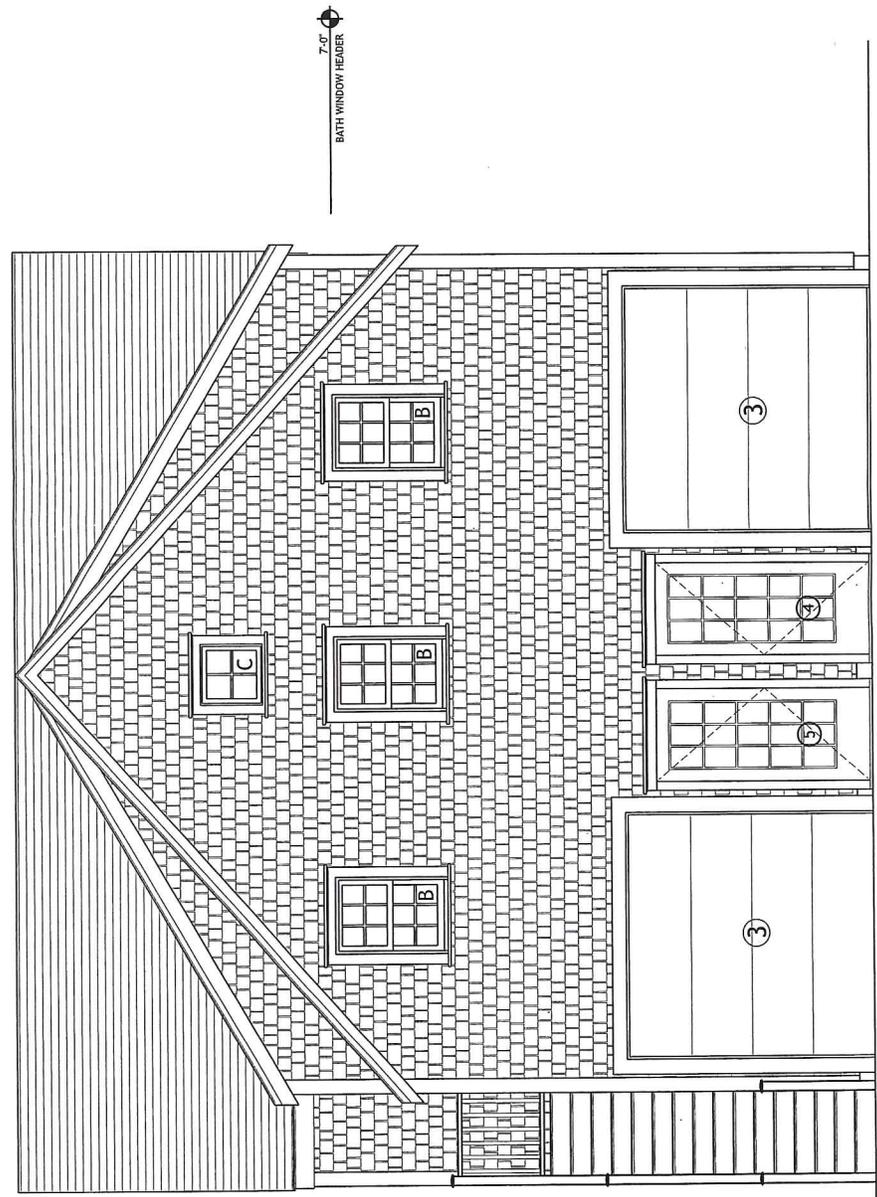
0'-0"
SECOND FLOOR HEIGHT

8'-0"
PLATE HEIGHT

6'-11"
WINDOW HEADER

0'-0"
FIRST FLOOR HEIGHT

1 WEST ELEVATION
1/4" = 1'-0"



- 27'-8" - 1/4" GRADE TO RIDGE
- 11'-3" GABLE WINDOW HEADER
- 8'-6" DORMER PLATE HEIGHT
- 6'-11" WINDOW HEADER
- 4'-5" KNEE WALL HEIGHT
- 0'-0" SECOND FLOOR HEIGHT
- 9'-6" PLATE HEIGHT
- 8'-0" GARAGE DOOR HEADER
- 6'-11" DOOR HEADER
- 1'-8" FIRST FLOOR HEIGHT
- 8'-0" FLOOR SLAB HEIGHT

APPROVED

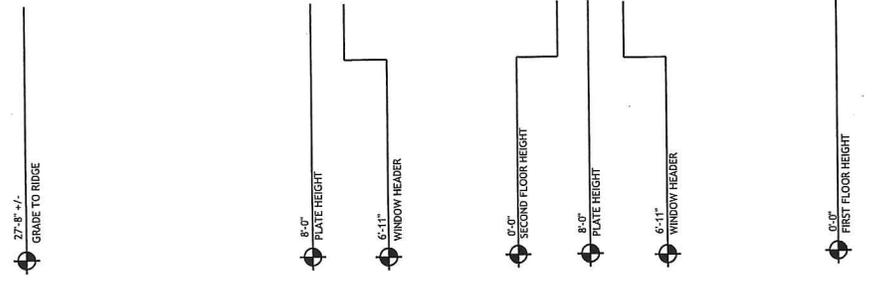
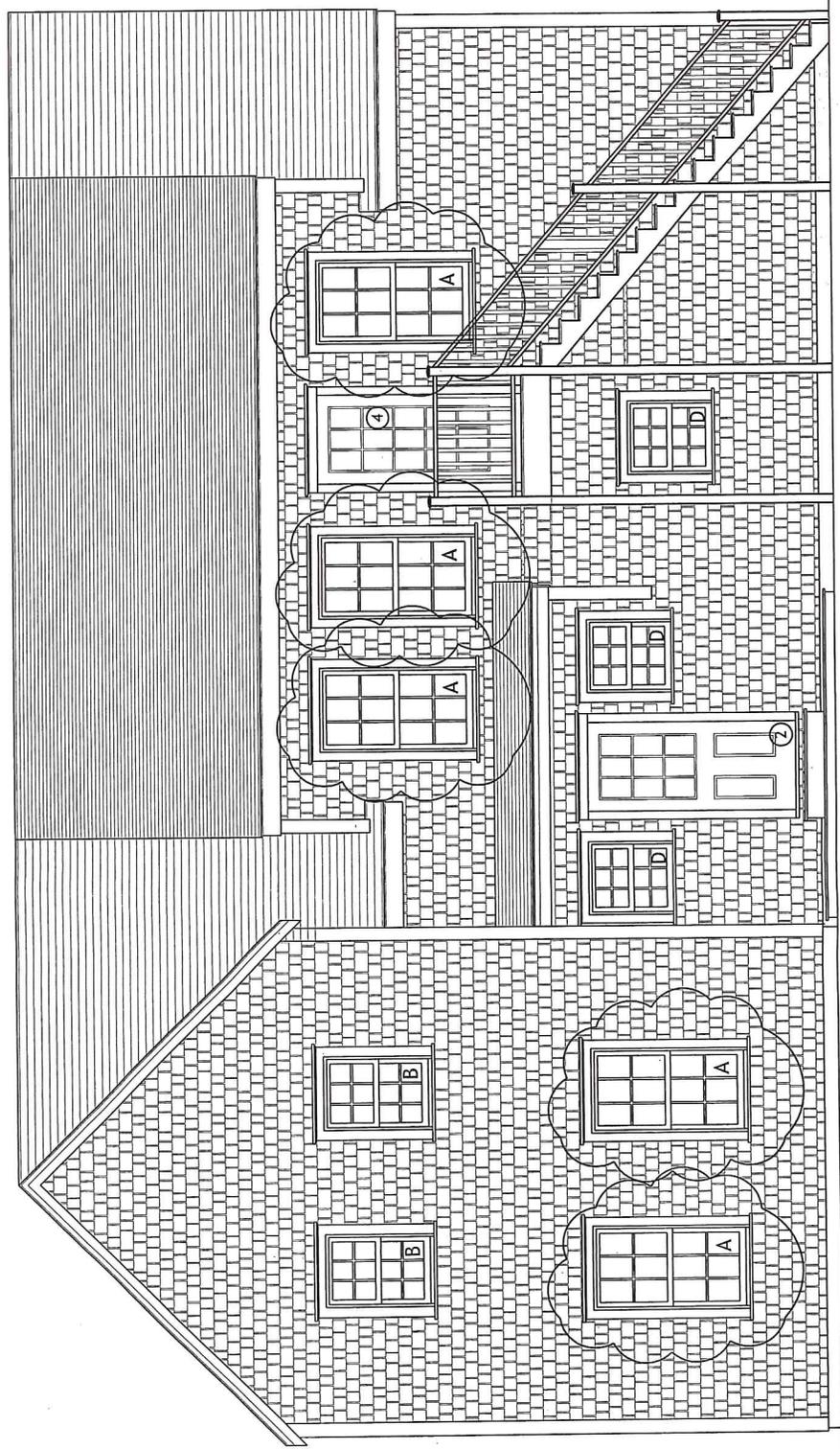
APR 19 10 10 7
 CA. ERIC R. LANGES
 WITHOUT H.D.C. APPROVA

2 EAST ELEVATION
 1/4" = 1'-0"

APPROVED

APP. 9 7

NO CHANGES WITHOUT H.D.C. APPROVAL

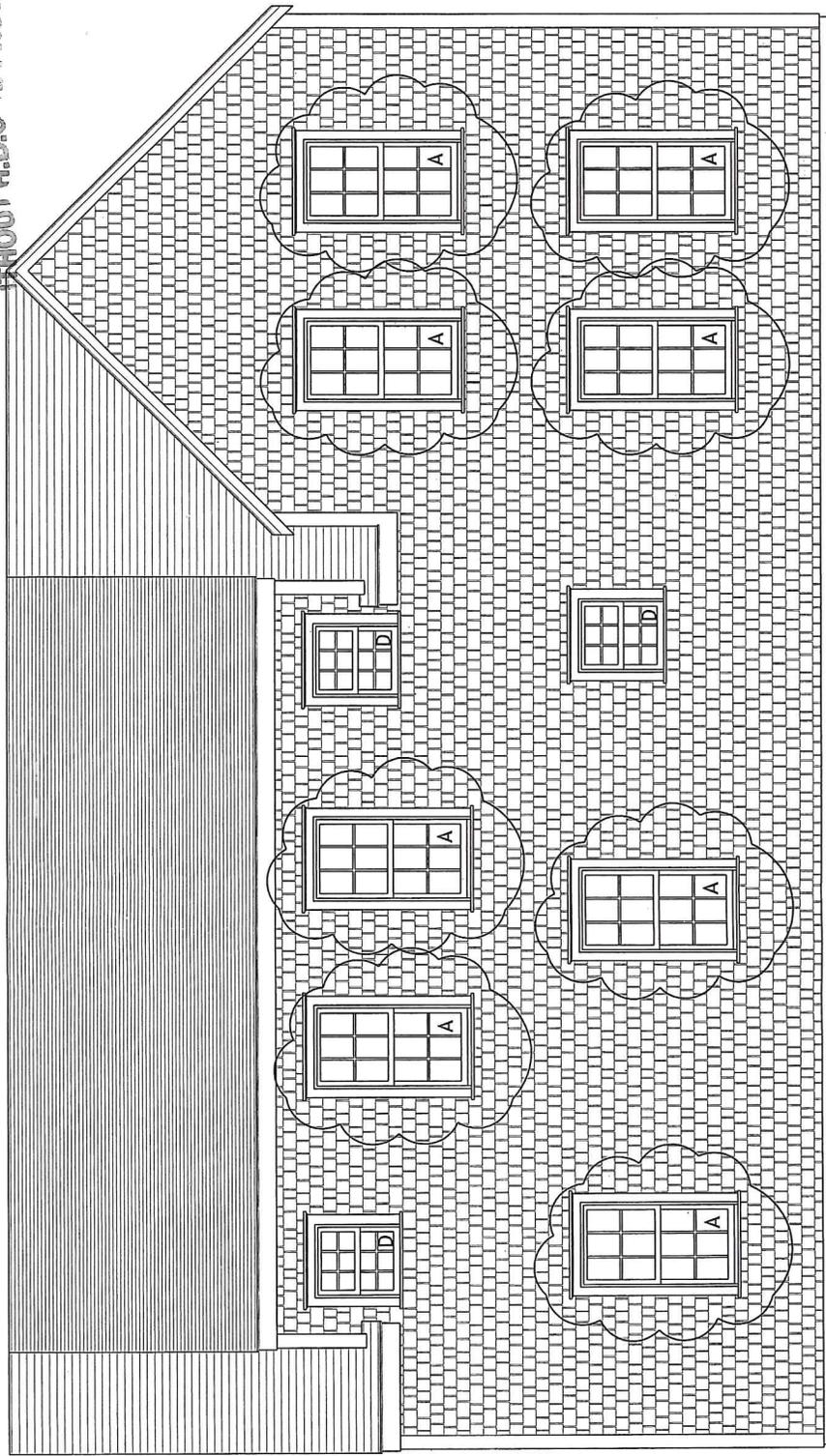


3 SOUTH ELEVATION
1/4" = 1'-0"

APPROVED

APR 19 2017

CHANGES WITHOUT H.D.C. APPROVAL



27'-8" +/-
GRADE TO RIDGE

8'-0"
DORMER PLATE HEIGHT

6'-11"
WINDOW HEADER

4'-5"
KNEE WALL HEIGHT

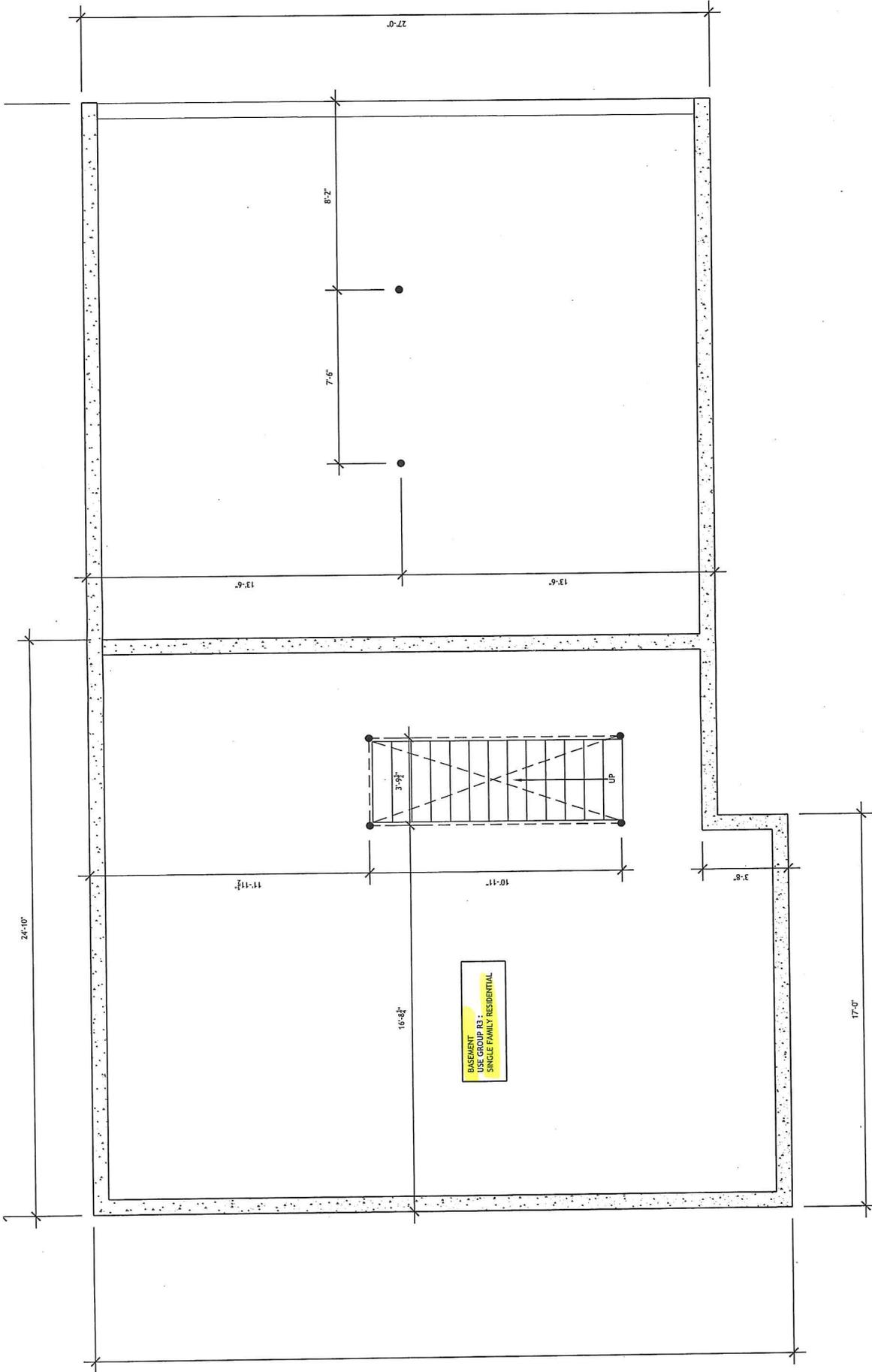
0'-9"
SECOND FLOOR HEIGHT

8'-0"
PLATE HEIGHT

8'-5"
GARAGE WINDOW HEADER

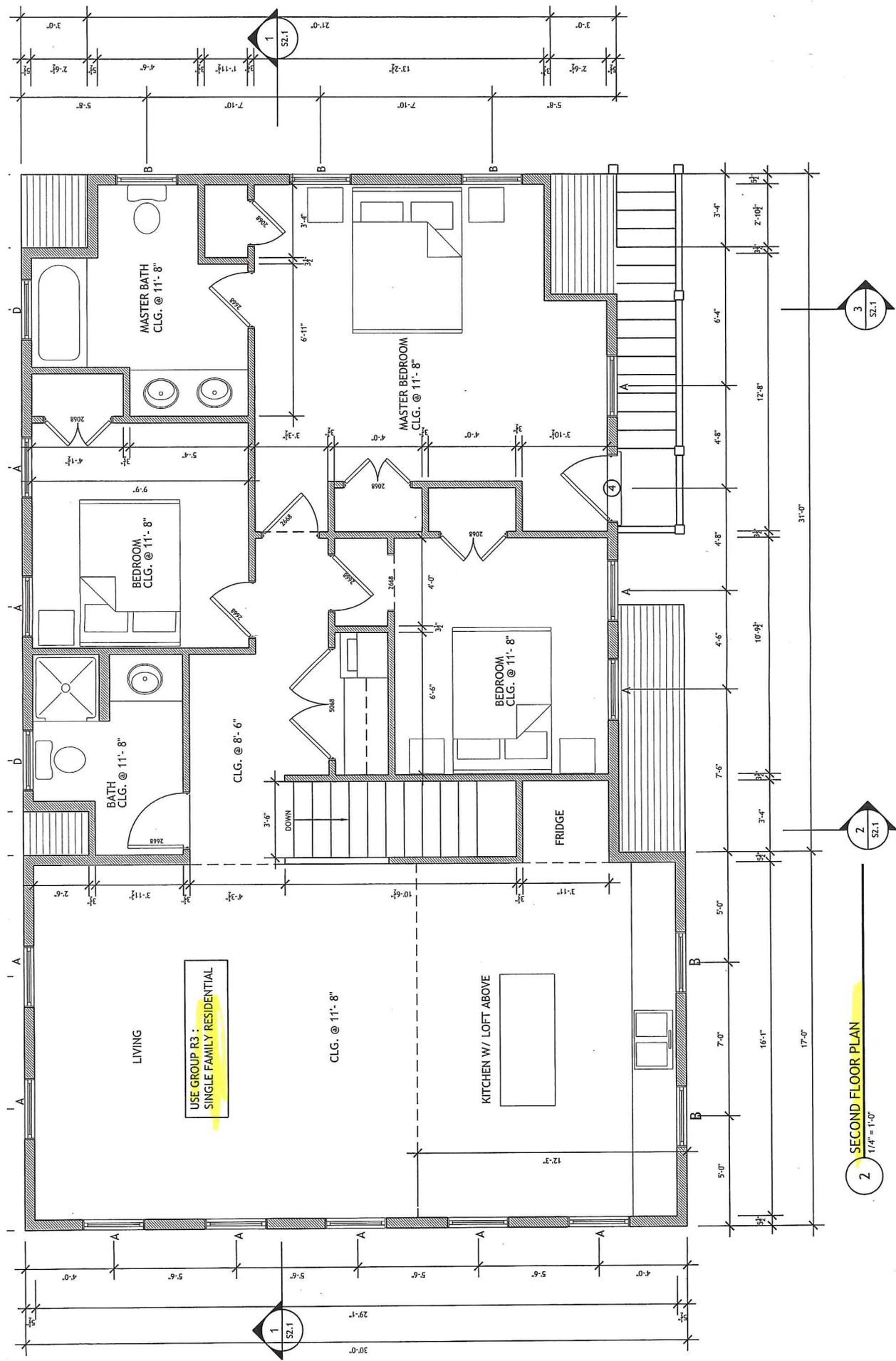
0'-0"
FLOOR SLAB HEIGHT

4 NORTH ELEVATION
1/4" = 1'-0"

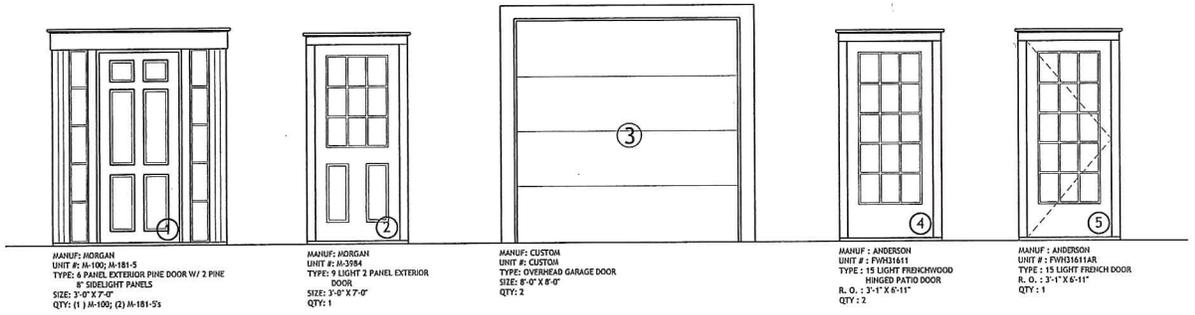


JD-02

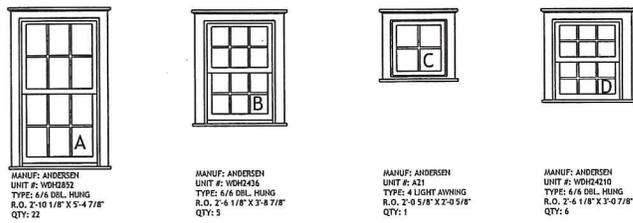
1 BASEMENT PLAN
1/4" = 1'-0"



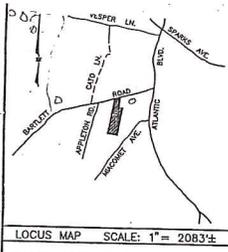
2 SECOND FLOOR PLAN
1/4" = 1'-0"



1 DOOR SCHEDULE
1/4" = 1'-0"



2 WINDOW SCHEDULE
1/4" = 1'-0"



NO DISTURB BUFFER: VEGETATION WITHIN THE 20 FOOT BUFFER STRIP SHALL BE REQUIRED TO REMAIN IN ITS NATURAL STATE, WITH THE EXCEPTION OF PRUNING AND TRIMMING OF DEAD MATERIAL, MAINTENANCE CUTTING IN ACCORDANCE TO THE CODING OF THE FOREST. SHALL BE EXCLUDED FROM THIS REQUIREMENT.

PHYSICAL ACCESS TO LOT ONE SHALL BE FROM ESSEX ROAD ONLY AND NOT THROUGH AND PORTION OF THE 20' BUFFER STRIP.

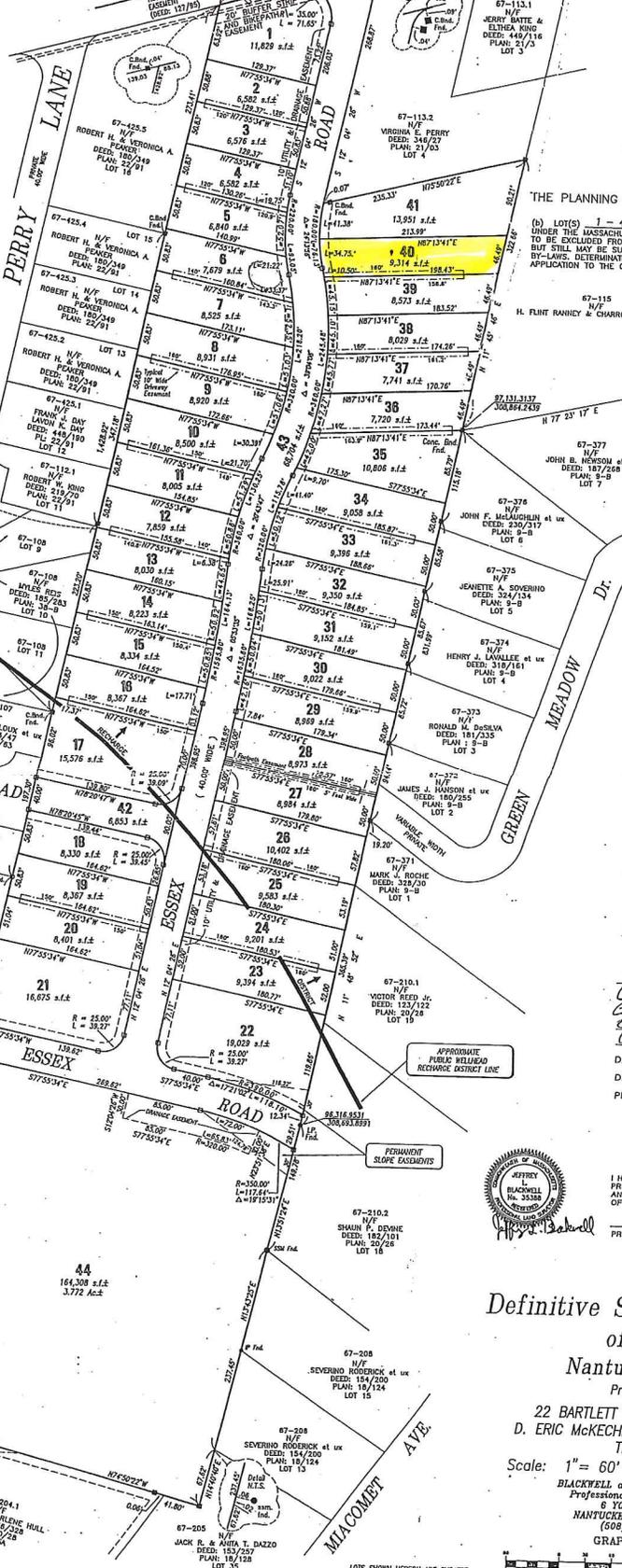
BARTLETT ROAD

1975 TAKING (DEED 151/230) COUNTY LAYOUT PLAN, 1928 PUBLIC - 30' WIDE

PROPOSED ONE WAY 14.5' WIDE SEE MAP RECORDS IN COUNTY RECORDS DEED 151/230 AND 151/231

NANTUCKET REGISTRY OF DEEDS
 Date: Dec. 3, 1997
 Time: 9:29 AM
 Plan Bk.: Pg.
 Plan File: 51-G
 Anna M. Lachar
 Registrar
 RESERVED FOR REGISTRY USE

CURRENT ZONING CLASSIFICATION: Residential Commercial (RC-2)
 MINIMUM LOT SIZE: 5000 S.F.
 MINIMUM FRONTAGE: 40 FT.
 FRONT YARD SETBACK: 20 FT.
 REAR/SIDE SETBACK: 5 FT.
 GROUND COVER %: 50%



THE PLANNING BOARD DETERMINES THAT:
 (b) LOT(S) 1-44 DO NOT CONTAIN AREAS SUBJECT TO PROTECTION UNDER THE MASSACHUSETTS WETLANDS PROTECTION ACT WHICH ARE REQUIRED TO BE EXCLUDED FROM LOT AREA UNDER THE NANTUCKET ZONING BY-LAW BUT STILL MAY BE SUBJECT TO PROTECTION UNDER STATE AND LOCAL WETLAND BY-LAWS. DETERMINATION OF APPLICABILITY MAY BE OBTAINED THROUGH APPLICATION TO THE CONSERVATION COMMISSION.

- LEGEND**
- DENOTES CONCRETE BOUND TO BE SET.
 - DENOTES CONCRETE BOUND FOUND.
 - DENOTES STEEL SURVEY MARKER FOUND.
 - DENOTES TYPICAL 10' WIDE DRIVEWAY EASEMENT.

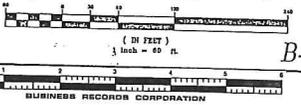
Nantucket Planning Board
 APPROVAL UNDER THE
 SUBDIVISION CONTROL LAW
 REQUIRED
 [Signatures]
 DATE APPROVED: June 23, 1997
 DATE ENDORSED: 9/19/97
 PLANNING BD. FILE No. 6158



I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.
 [Signature]
 PROFESSIONAL LAND SURVEYOR DATE 7-80-97

**Definitive Subdivision Plan
 of Land
 Nantucket, Mass.**

Prepared for:
 22 BARTLETT ROAD REALTY TRUST
 D. ERIC McKECHNIE, DUNCAN F. WINTER
 TRUSTEES
 Scale: 1" = 60' JANUARY 28, 1997
 BLACKWELL AND ASSOCIATES, Inc.
 Professional Land Surveyors
 6 YOUNG'S WAY
 NANTUCKET, MASS. 02554
 (508) 228-8026
 GRAPHIC SCALE



ASSESSOR MAP 67, PARCEL 113 DEED REFERENCE: 482/335

B-4509

FORM J
CERTIFICATE OF COMPLETION
AND
RELEASE OF MUNICIPAL INTEREST IN
SUBDIVISION PERFORMANCE SECURITY

July 27, 1998

Planning Board, Nantucket, Massachusetts

Subdivision Name: Ernestina Way II Subdivision
Owner: D. Eric McKechnie and Duncan F. Winter, Trustees of 22 Bartlett Road Realty Trust
Owner's Address: 76 North Liberty Street, Nantucket, Massachusetts
Applicant, if other than owner: n/a
Applicant's Address: n/a
Date of Subdivision Plan: January 28, 1997
Planning Board File No.: 6158
Land Located: Essex Road, Nantucket, Massachusetts

Plan Recorded: Nantucket Registry of Deeds
or Plan Book 51-G, Page
Plan Registered: Nantucket Land Registry, Land Court
Plan No. _____

Type of Performance Security:

- () Covenant, dated: August 15, 1997
Covenant recorded: Nantucket Registry of Deeds, Book 555, Page 184
or
Covenant registered: Nantucket Land Registry District as
Document No. _____ and noted on Certificate of Title
No. _____ in Registration Book _____, Page _____.
- () Bond, Agreement dated: _____
Surety Company: _____
Address of Surety: _____
- () Deposit of Money, agreement dated: _____
Bank, if bank passbook: _____
Address of Bank: _____
- () Other Security, agreement dated: _____
- () Letter of Credit, agreement dated: _____
Bank: _____
Address of Bank: _____

The undersigned, being a majority of the Planning Board of Nantucket have determined that the construction of ways and installation of municipal services in the subdivision referred to above have been () completed () partially completed by the applicant in accordance with the Board's rules and regulations to adequately serve the following enumerated lots: Lot 1, 6, 9, 11, 14, 23, 30, 31, 5, 27, and 40*

Pursuant to Section 81.U of Chapter 41, M.G.L. and in consideration of said construction and installation, the Town of Nantucket, a Massachusetts corporation, acting through its Planning Board, hereby releases its interest in the Performance Security referred to above.

Duly executed as a sealed instrument this 27 day of July, 19 98

*Pursuant to the Statement of Conditions of Subdivision Approval dated August 15, 1997, and recorded with Nantucket Deeds in Book 555, Page 189, each of the foregoing lots are eligible for the construction of secondary dwellings.

Handwritten signatures of board members: Michael Wood, David Barfk, [unclear], and [unclear]

Signed by a Majority of the Planning Board of the Town of Nantucket

COMMONWEALTH OF MASSACHUSETTS

NANTUCKET, SS

July 28, 19 98

Then personally appeared C. Marsu one of the above-named members of the Planning Board of Nantucket, Massachusetts and acknowledged the foregoing instrument to be (his/her) free act and deed before me.

Notary Public signature and title

My Commission Expires:

Duplicate copy to Planning Board.

A True Copy Attest ANDREW V. VORCE NOTARY PUBLIC My commission expires Feb. 11, 2005



JUL 29 1998 NANTUCKET COUNTY REC'D ENTERED

9:26 AM SANDRA M CHADWICK ATTEST REGISTER

End of Instrument

Holly Backus

To: Dr. Mary Russell
Cc: Catherine Ancero; Eleanor Antonietti; Leslie Snell; Andrew Vorce
Subject: RE: #7905-Audrey Sterk-10 Essex Rd

Good Morning Dr. Russell,

Thank you for your comments and concerns regarding the above referenced Planning Board matter. Your email will be included in the packet given to the Board members prior to the Planning Board hearing on January 11th. If you are on island, you are also welcome to attend this hearing during which there will be a chance for you and your neighbors to comment before the Board. The hearing is in the 1st floor Community Room of the Public Safety Building (Nantucket Police Station) located at 2 Fairgrounds Road and starts at 6:30pm.

Please let me know if you have any questions or if I can be of further assistance.
Take care,

Holly E. Backus
Land Use Specialist

Town of Nantucket
Planning & Land Use Services
2 Fairgrounds Road
Nantucket, MA 02554

Tel: 508-325-7587 X 7026
Fax: 508-228-7298
hbackus@nantucket-ma.gov
<http://www.nantucket-ma.gov>



From: Dr. Mary Russell [<mailto:drmaryrussell@yahoo.com>]
Sent: Sunday, January 03, 2016 10:25 AM
To: Holly Backus
Subject: #7905-Audrey Sterk-10 Essex Rd

Dear Nantucket Planning Board- we have significant concerns related to the after effects of the proposed amended subdivision restrictions so that multiple dwelling units of varying types may be permitted on all lots within the subdivision. Ernestina Way II. There is already a problem of owners, renters and lodgers finding parking places. On Essex Road, the homeowner's association had placed barriers on the curbs adjoining the grassy areas. Overflow parking is taking place on Cedar Circle, a private road. We have personally been impacted and threatened by this as it creates a hostile situation when we approach these car owners asking them not to park there. This is compounded by a lack of English proficiency. They park on the grass blocking the sidewalk for children and adults on their way to the bus stop. This is a big problem at night when there is near-zero visibility. We have replaced our mailbox twice from cars backing up into our post. Our sidewalk is being degraded by these vehicles and we are unable to grow grass between the sidewalk and the road due to these cars parking. In this area of Nantucket, it is commonplace for two persons to live in each room; This is not just limited to bedrooms. Please be sure that there is ample parking provided at each unit on Essex Road. We would also appreciate complementary law enforcement when uninvited vehicles park on Cedar Circle. There is already a no parking sign on both sides of the road on Cedar Circle, but it is being ignored. We also posted a no parking sign on our property but this was stolen once and knocked down once. We appreciate your consideration of this concern. Please reply that you received is message. Thank you.

Donald and Mary Russell

2 Cedar Circle
Nantucket, MA 02554

Wintertime address:
680 NE Harbour Drive
Boca Raton, FL 33431
drmaryrussell@yahoo.com or don602@yahoo.com

Catherine Ancero

From: Audrey sterk [audreysterk@me.com]
Sent: Thursday, November 19, 2015 10:03 AM
To: Catherine Ancero; Andrew Vorce
Subject: Letter to accompany the subdivision modification

Hello Catherine,

I spoke with Andrew and he assisted me in drafting this letter, please let me know if you have any questions.

Best,

Audrey

Proposing:

The needs for housing has changed since 1997, when the Essex Subdivision was founded. The building cap and concerns on overbuilding has shifted to attention on the interest for different types of housing in this current housing crisis on Nantucket. The demand for housing has never been more apparent as we have Nantucket families, and important members of the community needing to leave the island because they cannot find housing.

I am proposing to lift the restriction of a two dwelling limitation in the subdivision to include tertiary dwellings as it will assist with the need for housing. I would also like to remove the restriction of one single family dwelling and one secondary dwelling to allow for different forms of family units. In the original document for the subdivision the literal read is restricting duplexes, however there are many existing today on Essex Rd. In light of the passing of tertiary dwellings on Nantucket, I would like lift the Two dwelling restriction in the subdivision to allow for a third dwelling/tertiary dwelling.

Thank you!

Audrey

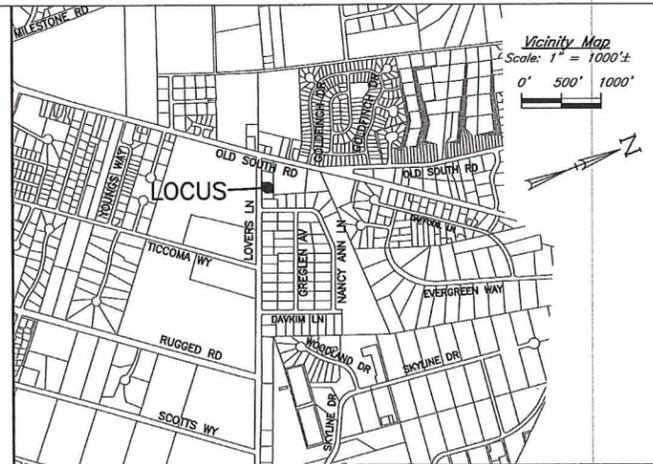
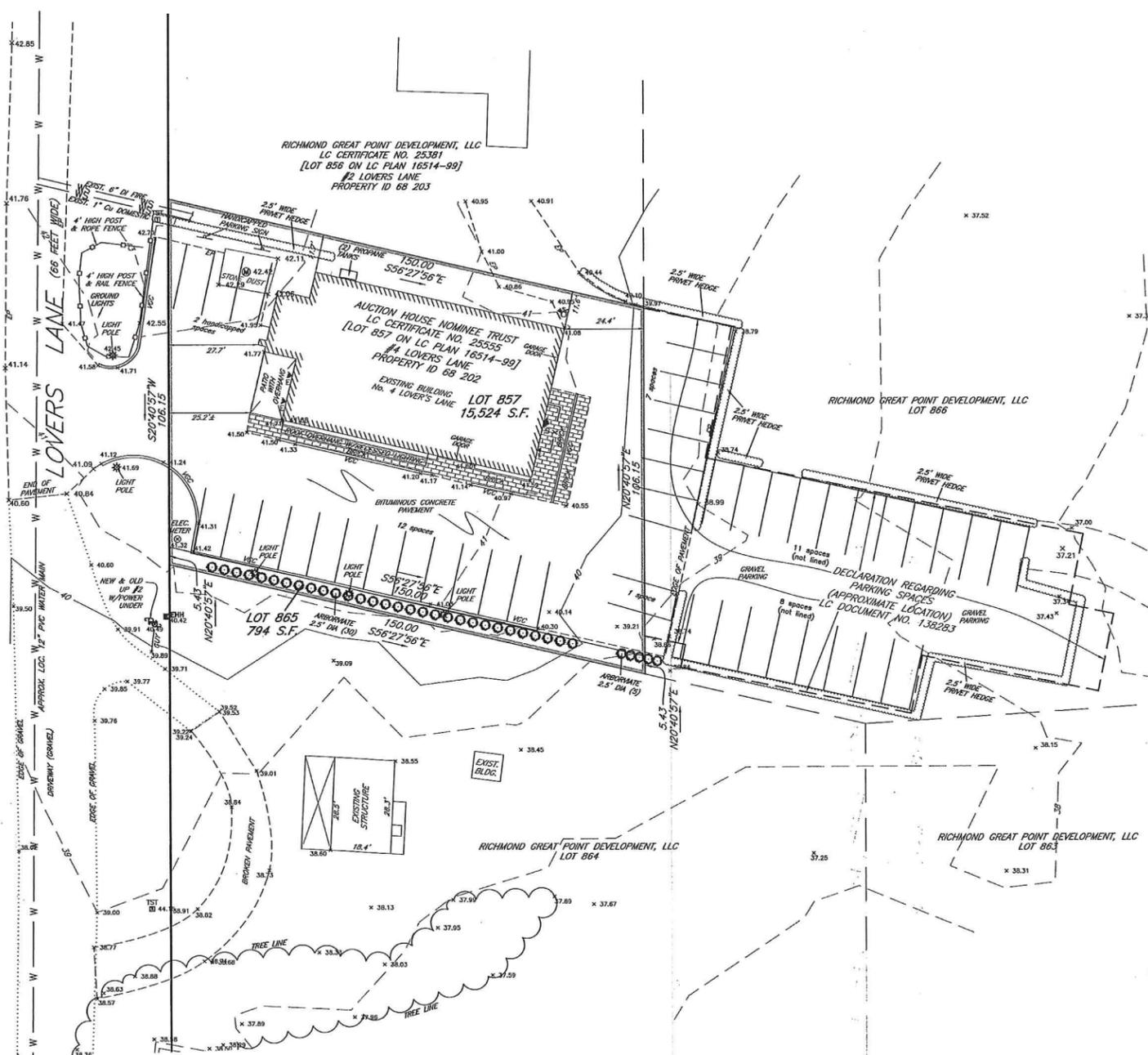
Audrey Sterk Design
Studio: 18 Broad St.
Nantucket MA 02554
(508) 221-6996
www.AudreySterk.com





Planning Board #44-15
Trustees of Auction House Realty Trust
4 Lovers Lane
Map 68 Parcel 202





ZONING TABLE		
ZONE	CN	SITE
DIMENSIONAL CONTROLS	REQUIRED/ALLOWED	PROVIDED
FRONT YARD SETBACK	10 ft.	25.2± ft.
SIDE YARD SETBACK	5 ft.	11.6 ft.
REAR YARD SETBACK	10 ft.	24.4 ft.
MIN. FRONTAGE	50 ft.	111.58 ft.
MIN. LOT AREA	7,500 s.f.	16,318 sf.
MAX. GROUND COVER RATIO	40%	23.5%
MIN. OPEN AREA	30%	20.8%



- NOTES:**
- PROPERTY BOUNDARIES DEPICTED ON THIS PLAN ARE THE RESULT OF AN ACTUAL FIELD SURVEY PERFORMED BY HAYES ENGINEERING, INC. ON JULY 16, 2015.
 - LOT 865 IS NOT TO BE CONSIDERED A SEPARATE BUILDING LOT BUT IS TO BE HELD IN COMMON OWNERSHIP WITH ADJOINING LAND OF AUCTION HOUSE NOMINEE TRUST [LOT 857 ON LC PLAN 16514-99] TO FORM ONE BUILDING LOT (TOTAL AREA = 16,318 S.F.) (rf = 0.954).
 - LOT 865 DEPICTED HEREON IS TAKEN FROM "SUBDIVISION PLAN OF LAND IN NANTUCKET, MASS." DATE JULY 16, 2015 PREPARED BY HAYES ENGINEERING, INC.
 - TOPOGRAPHIC INFORMATION DEPICTED HEREON IS THE RESULT OF AN ACTUAL FIELD SURVEY PERFORMED BY HAYES ENGINEERING, INC. ON THE FOLLOWING DATES:
 - SEPTEMBER 22, 2014
 - JUNE 16, 2015
 - SEPTEMBER 17, 2015
 - DECEMBER 4, 2015
 - THE DATUM IS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
 - THE ENTIRE PARCEL IS LOCATED WITHIN THE WATER RESOURCE PROTECTION DISTRICT, ZONE II WELLHEAD PROTECTION AREA.
 - THE UNDERGROUND UTILITIES SHOWN HAVE BEEN COMPILED FROM FIELD SURVEY INFORMATION AND AVAILABLE EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHER, THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES AND DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE.

- LEGEND:**
- - BOLLARD
 - ▭ - CATCH BASIN
 - ⊙ - CATCH BASIN ROUND
 - ⊕ - HYDRANT
 - ⊖ - WATER SHUTOFF
 - ⊗ - WATER METER
 - ⊘ - WATER GATE
 - ⊙ - IRRIGATION CONTROL VALVE
 - ⊙ - SEWER MANHOLE
 - ⊙ - MANHOLE
 - ⊙ - WELL
 - ⊙ - UTILITY POLE
 - - SIGN
 - BIT BERM - BITUMINOUS CONCRETE CURB
 - CCB - CAPE COD BERM
 - VCC - VERTICAL GRANITE CURB
 - CCWC - CONCRETE
 - TRANS PAD - TRANSFORMER AND CONCRETE PAD
 - - EDGE OF PAVEMENT
 - x 37.54 - EXISTING SPOT ELEVATION
 - - EXISTING CONTOUR
 - - EXISTING FENCE
 - ⊙ - EXISTING SPOT LIGHT
 - ⊙ - EXISTING EXTERIOR LIGHT
 - ⊙ - EXISTING LIGHT POLE

Prepared For:
 Applicant:
 Auction House Realty Trust
 Peter D. Kyburg, Trustee
 18 Broad Street
 Nantucket, MA 02554
 508-225-2790

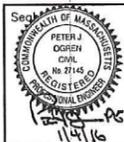
Prepared By:
 Hayes Engineering, Inc.
 603 Salem Street
 Nantucket, MA 02554
 508-225-2790
 www.hayeseng.com

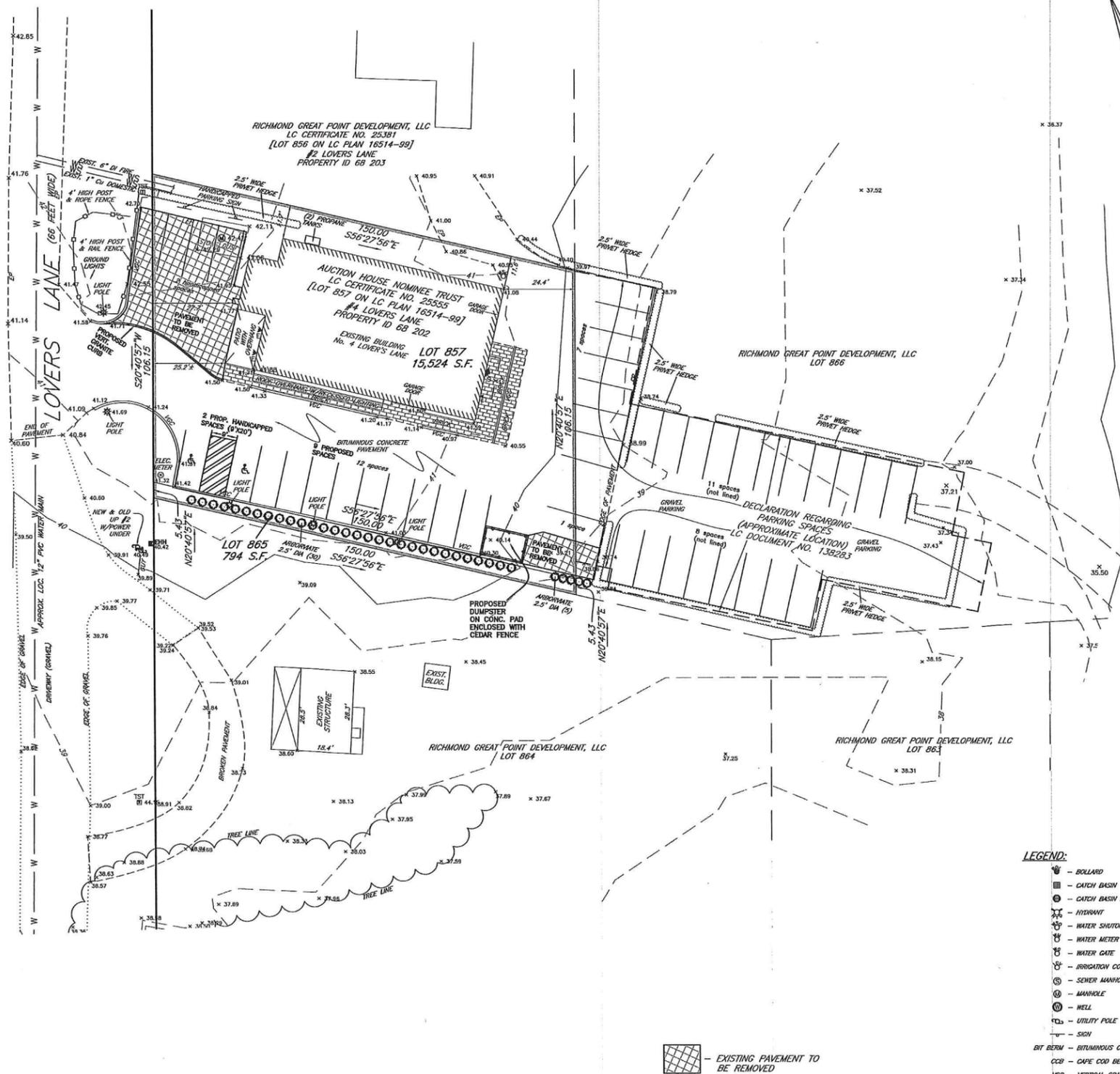
Design By: JO
 Drawn By: JO
 Checked By:
 Project File: NAN-0142
 Comp. No: NAN66
 Issued For Permit
 Issued For Review
 Issued For Bid
 Issued For Construction
 Not For Construction

Scale: 1" = 20'
 0' 10' 20' 40'
 Date: December 7, 2015

Drawing Title:
**Major Commercial Development
 Existing Conditions & Site Plan
 4 Lovers Lane
 NANTUCKET, MASS.**

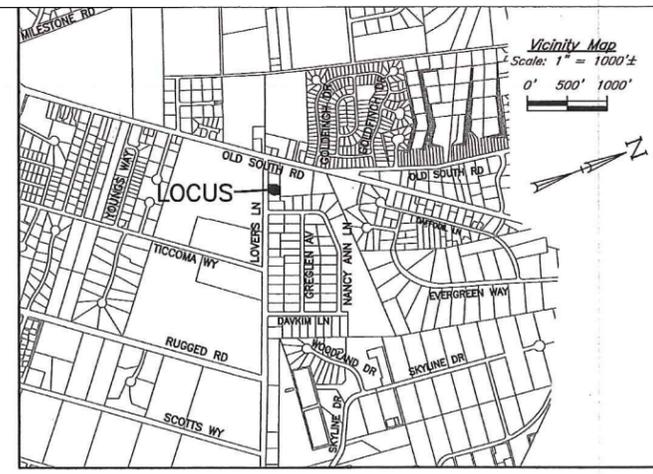
Drawing No.:
E1
 SHEET 1 OF 2





- LEGEND:**
- ⊕ - BOLLARD
 - ⊞ - CATCH BASIN
 - ⊙ - CATCH BASIN ROUND
 - ⚡ - HYDROVENT
 - ⊕ - WATER SHUTOFF
 - ⊕ - WATER METER
 - ⊕ - WATER GATE
 - ⊕ - IRRIGATION CONTROL VALVE
 - ⊕ - SEWER MANHOLE
 - ⊕ - MANHOLE
 - ⊕ - WELL
 - ⊕ - UTILITY POLE
 - - SIGN
 - BIT BERM - BITUMINOUS CONCRETE CURB
 - CCB - CAPE COD BERM
 - VCC - VERTICAL GRANITE CURB
 - CCNC - CONCRETE
 - TRANS PAD - TRANSFORMER AND CONCRETE PAD
 - - EDGE OF PAVEMENT
 - x 37.54 - EXISTING SPOT ELEVATION
 - 30 --- - EXISTING CONTOUR
 - - EXISTING FENCE
 - ⊕ - EXISTING SPOT LIGHT
 - ⊕ - EXISTING EXTERIOR LIGHT
 - ⊕ - EXISTING LIGHT POLE

EXISTING PAVEMENT TO BE REMOVED



ZONING TABLE

ZONE	CN	SITE
DIMENSIONAL CONTROLS	REQUIRED/ALLOWED	PROVIDED
FRONT YARD SETBACK	10 ft.	25.2± ft.
SIDE YARD SETBACK	5 ft.	11.6 ft.
REAR YARD SETBACK	10 ft.	24.4 ft.
MIN. FRONTAGE	50 ft.	111.58 ft.
MIN. LOT AREA	7,500 s.f.	16,318 sf.
MAX. GROUND COVER RATIO	40%	23.5%
MIN. OPEN AREA	30%	30.2%

- PARKING REQUIREMENTS:**
- RESTAURANTS: 1.0 PARKING SPACE PER 3 SEATS
REQUIRED: 70 seats X 1 sp./3 seats = 23.3 spaces
 - EMPLOYEES: 1.0 PARKING SPACE PER 3 EMPLOYEES ON PEAK SHIFT
REQUIRED: 6 employees X 1 sp./3 employees = 2 spaces
 - TOTAL REQUIRED: 25 spaces
 - PROPOSED: 38 PARKING SPACES (19 gravel spaces not lined; 17 & 2 HP paved spaces)

- NOTES:**
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Prepared For:
 Applicant:
 Auction House Realty Trust
 Peter D. Kyoung, Trustee
 18 Broad Street
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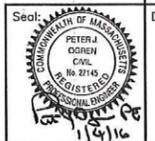
Prepared By:
 Hayes Engineering, Inc.
 603 Salem Street
 Weymouth, MA 01980
 PH: 781.246.2800
 FAX: 781.246.7500
 www.hayeseng.com

No.	Date	Revision
10		
9		
8		
7		
6		
5		
4		
3		
2		
1		

Scale: 1"=20'
 0' 10' 20' 40'

Date: December 7, 2015

Drawing Title:
**Major Commercial Development
 Site Plan
 4 Lovers Lane
 NANTUCKET, MASS.**



Drawing No.:
SP1
 SHEET 2 OF 2

Holly Backus

From: Catherine Ancero
Sent: Tuesday, January 05, 2016 10:50 AM
To: 'PETER KYBURG'
Cc: Holly Backus; Leslie Snell
Subject: RE: #44-15 Arthur I. Reade, Jr. & Peter D. Kyburg, Trustees of Auction House Realty Trust, As Owners, and Walter J. Glowacki, as Applicant, 4 Lovers Lane

Categories: Planning Board Matters

Thanks Peter I will follow up with Leslie.

-Catherine

From: PETER KYBURG [<mailto:pkyburg@gmail.com>]
Sent: Tuesday, January 05, 2016 10:31 AM
To: Catherine Ancero
Cc: Holly Backus
Subject: Re: #44-15 Arthur I. Reade, Jr. & Peter D. Kyburg, Trustees of Auction House Realty Trust, As Owners, and Walter J. Glowacki, as Applicant, 4 Lovers Lane

Catherine

We will be moving forward. I have had John Ogden forward the plans on to Leslie. I believe all has been addressed with the exception of what the Board might like to see with respect to drainage, if anything.

I look forward to hearing from you.

Peter

Sent from my iPhone

On Jan 5, 2016, at 8:21 AM, Catherine Ancero <CAncero@nantucket-ma.gov> wrote:

Morning Peter-

Could you let me know if you are moving forward with the application for the January 11th meeting? I am putting the agenda together and will be posting the agenda by Wednesday the latest.

Thank you,

Catherine Ancero,
Administrative Specialist
Planning Board

Planning and Land Use Services (PLUS)
Planning Board Office
2 Fairgrounds Road
Nantucket, MA 02554

Telephone#: 508.325.7587 (PLUS) Ext. 7008
Facsimile#: 508.228.7298

PB #44-15

Holly Backus

From: Catherine Ancero
Sent: Wednesday, December 09, 2015 12:05 PM
To: Holly Backus
Cc: Leslie Snell; Eleanor Antonietti
Subject: FW: Major Commercial Development; Existing Conditions & Site Plan 4 Lovers Lane
Attachments: 12022015111409 (1).pdf

Follow Up Flag: Follow up
Flag Status: Completed

Categories: Planning Board Matters

See below.

From: Peter Kyburg [mailto:pykyburg@gmail.com]
Sent: Wednesday, December 09, 2015 10:43 AM
To: Catherine Ancero; Sol Costa; Nikki; pogren@hayeseng.com
Subject: Re: Major Commercial Development; Existing Conditions & Site Plan 4 Lovers Lane

Catherine:

In partial response to the Board's request for information;

1. The parking is shown on the plan and the calculations will be reviewed at the hearing with a chart if necessary. It is the same amount of parking as before, which is based on 70 seats.
2. The hours of operation will be from 10AM to 10PM.
3. We would request 8 events and 3 auctions.
4. Please see attached copy of the recorded easement
5. Landscaping is indicated on the plan. We can add privet to the parking areas if necessary.
6. Handicap spaces are indicated on the plan.
7. There will be no outdoor seating
8. There will be regular porch lighting over the entrance to the restaurant with additional flood lights on the peaks of the building.
9. Open space is shown on the plan; if we are missing open space, we will lower the seating to 50 and use some of the excess parking as open space, if necessary. Our engineer can speak to this matter at the hearing. I believe open space was determined when the original MCD permit was issued.
10. Trash receptacles are behind the building and should be shown on the plan, as as the Board determined when the MCD permit was issued.
11. Drainage is as currently existing and as already determined by the Board when the MCD permit was issued.
12. Loading zone is as shown on the plan.
13. There will be no amplified music.
14. The Food Truck delivery or pick up will happen between 8AM and 4 PM.
15. There will be a waiting bar only. This bar will be used by people waiting to be seated.
16. We hope there will be as many as three seatings on a busy day.

Our engineer will help flesh some of these details out at the hearing with respect to the plan details. I have the original hard copy of the plan which I bring to your office Thursday.
Please do not hesitate to contact me for any reason on the above.

Peter.

On Tue, Dec 8, 2015 at 2:10 PM, Catherine Ancero <CAncero@nantucket-ma.gov> wrote:

Hi Peter-

I believe these were some of the Boards concerns from last October meeting. I have cc'd my associates in case I may have left something out.

1. Parking should be shown in compliance with plan (parking calculation chart and # of space)
2. Show Hours of operation
3. Number of events that will take place on the site annually
4. Recorded Easement should be filed with us
5. Type of screening and landscaping
6. Handicap accessible spaces
7. Show outdoor seating
8. Exterior light – show type
9. Open space
10. Trash receptacles needs to show on plan
11. Drainage
12. Location of loading zone
13. Amplified music
14. Food truck delivery (hours of time/days/
15. Bar
16. Number of seatings/people????

Again the Planning Board packet will be picked up by the Board Thursday, December 10th

Thank you,

Catherine Ancero,

Administrative Specialist

Planning Board

Planning and Land Use Services (PLUS)

Planning Board Office

2 Fairgrounds Road

Nantucket, MA 02554

Telephone#: 508.325.7587 (PLUS) Ext. 7008

Facsimile#: 508.228.7298

Email: cancero@nantucket-ma.gov

Town website: http://www.nantucket-ma.gov



From: Peter Kyburg [mailto:pkyburg@gmail.com]

Sent: Tuesday, December 08, 2015 1:48 PM

To: Catherine Ancero

Subject: Fwd: Major Commercial Development; Existing Conditions & Site Plan 4 Lovers Lane

----- Forwarded message -----

From: **Peter Kyburg** <pkyburg@gmail.com>

Date: Mon, Dec 7, 2015 at 2:49 PM

Subject: Major Commercial Development; Existing Conditions & Site Plan 4 Lovers Lane

To: Sol Costa <solange.costa.sol@hotmail.com>, Nikki <nikki@nantucket.net>

Sol and Nikki:

Please find enclosed a Site Plan plan for the proposed restaurant at 4 Lovers Lane to be used at the Planning Board. As of now, it can be changed and the Planning Board will likely request changes etc.

I look forward to hearing from you.

Peter

--

--

Peter D. Kyburg, Esq.
Law Offices of Peter D. Kyburg, P.C.
18 Broad Street
Nantucket, MA 02554
Telephone (508) 228-2790

Fax (508) 228-7852

email: pkyburg@gmail.com

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--

Peter D. Kyburg, Esq.
Law Offices of Peter D. Kyburg, P.C.
18 Broad Street
Nantucket, MA 02554
Telephone (508) 228-2790

138283



Cert: 4825 Doc: DECL
Registered: 09/20/2012 11:47 AM

Commonwealth of Massachusetts

Nantucket, ss

DECLARATION

WHEREAS WALTER J. GLOWACKI (hereinafter "GLOWACKI") is the owner of the property located at 4 Lover's Lane, more particularly described as Lot 66 on Land Court Plan No. 16514-O, as evidenced by Certificate of Title No. 4825, (hereinafter "LOCUS"), which is the subject of a Modification to a Special Permit for a Major Commercial Development (Planning Board File No. 22-12), recorded herewith as Document No. 138282;

WHEREAS, LOCUS does not have sufficient parking to meet the parking requirements as set forth in said Special Permit Modification;

WHEREAS, GLOWACKI owns property adjacent to LOCUS, more particularly described as Lot 185 on Land Court Plan No. 16514-Z, as evidenced by Certificate of Title No. 4825, and presented to the Planning Board during the Special Permit Modification hearing, that twenty-eight (28) parking spaces, servicing LOCUS, would be permitted on said Lot 185 as shown on Exhibit A attached hereto;

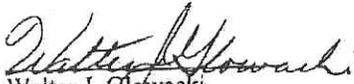
WHEREAS, the decision of the Planning Board in approving said Special Permit Modification was based, in part, on such representation, written evidence of said parking arrangement is required as a condition of said decision;

WHEREAS GLOWACKI, in consideration of the Planning Board's approval of the Modification of Special Permit, hereby memorializes the existence of said parking arrangement to insure that current and future owners of both LOCUS and Lot 185 on Land Court Plan No. 16514-Z will be aware of the rights and obligations relative to such parking arrangement;

NOW THEREFORE, GLOWACKI hereby establishes a parking easement for the benefit of LOCUS, and burdening Lot 185 on Land Court Plan 16514-Z, for parking twenty-eight (28) cars, as shown on the sketch plan attached hereto.

In consideration of the approval by the Nantucket Planning Board of that certain Modification of Special Permit for Major Commercial Development by the Nantucket Planning Board on August 13, 2012 (Planning Board File No. 22-12), recorded with the Nantucket Registry District for the Land Court herewith as Document No. 138282, hereby grant to the Town of Nantucket, acting by and through its Planning Board, the right to enforce this parking easement.

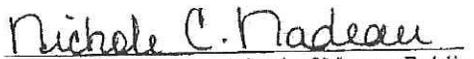
Witness my hand and seal this 20th day of August, 2012

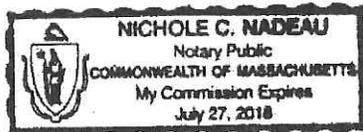

Walter J. Glowacki

COMMONWEALTH OF MASSACHUSETTS

County of Nantucket

On this 20th day of August, 2012, before me, the undersigned notary public, personally appeared Walter J. Glowacki (a) personally known to me, or (b) proved to me through satisfactory evidence of identification, which was _____, (type of identification) to be the person whose name is signed on the preceding or attached document, and acknowledged to me that he signed it voluntarily for its stated purpose.


Official Signature and Seal of Notary Public
My Commission expires:



ACCEPTANCE BY PLANNING BOARD

We, as a majority of the members of the Nantucket Planning Board, hereby accept and approve the foregoing Grant of Right of Enforcement of Restrictions.

Dated: 8/20/12

Barry Rector

Sylvia Howard
Sylvia Howard

John McLaughlin
John McLaughlin

Linda Williams
Linda Williams

Nathaniel Lowell
Nathaniel Lowell

Commonwealth of Massachusetts

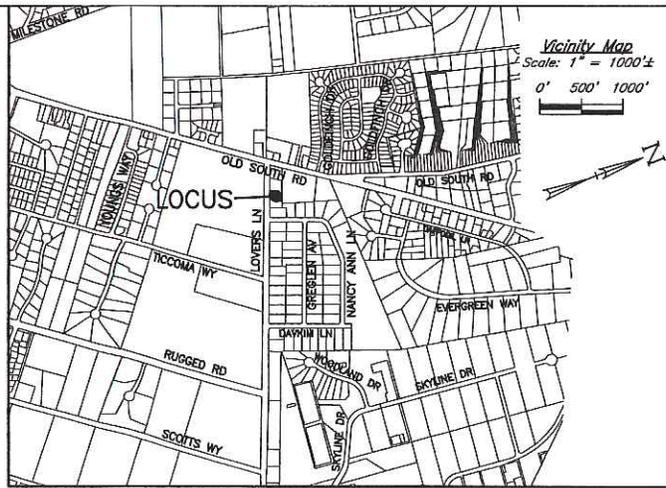
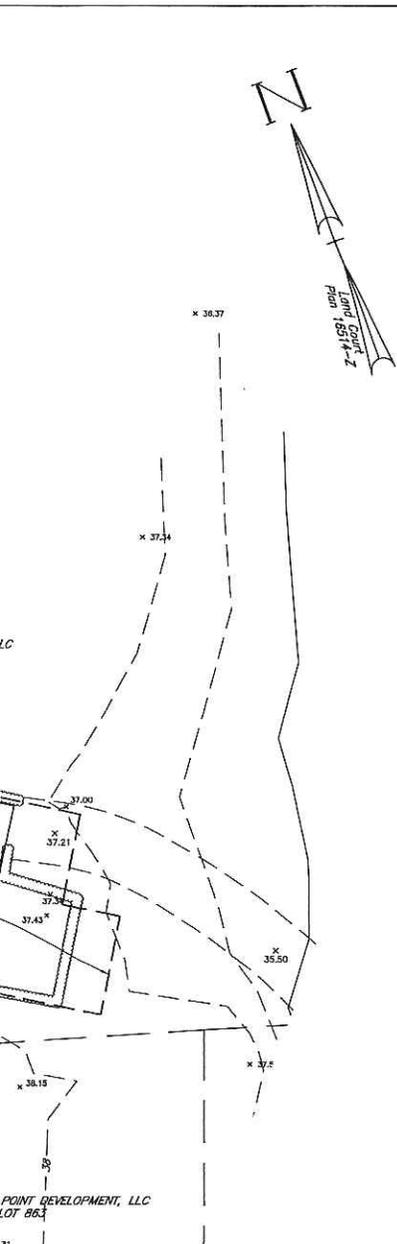
Nantucket, ss

On this 20th day of August, 2012, before me, the undersigned notary public, personally appeared Sylvia Howard, being one of the members of the Nantucket Planning Board, (a) personally known to me, or (b) _____ proved to me through satisfactory evidence of identification, which was _____, (type of identification) to be the person whose name is signed on the preceding or attached document, and acknowledged to me that he/she signed it voluntarily for its stated purpose.

Lynell D. Vollans
Notary Public

My Commission Expires: **LYNELL D. VOLLANS**
Notary Public
Commonwealth of Massachusetts
My Commission Expires
December 28, 2018





ZONING TABLE		
ZONE	CN	SITE
DIMENSIONAL CONTROLS	REQUIRED/ALLOWED	PROVIDED
FRONT YARD SETBACK	10 ft.	25.2± ft.
SIDE YARD SETBACK	5 ft.	11.6 ft.
REAR YARD SETBACK	10 ft.	24.4 ft.
MIN. FRONTAGE	50 ft.	111.58 ft.
MIN. LOT AREA	7,500 s.f.	16,318 sf.
MAX. GROUND COVER RATIO	40%	23.5%
MIN. OPEN AREA	30%	20.8%

PARKING REQUIREMENTS:

- RESTAURANTS: 1.0 PARKING SPACE PER 3 SEATS
 REQUIRED: 70 seats X 1 sp./3 seats = 23.3 spaces
 - EMPLOYEES: 1.0 PARKING SPACE PER 3 EMPLOYEES ON PEAK SHIFT
 REQUIRED: 6 employees X 1 sp./3 employees = 2 spaces
- TOTAL REQUIRED: 25 spaces

EXISTING: 41 PARKING SPACES (19 gravel spaces not lined; 20 & 2 HP paved spaces)

WAIVERS/SPECIAL PERMITS REQUESTED:

- §139-11.0(1) MCD OPEN SPACE: ALLOW LESS THAN 30 PERCENT OPEN SPACE AS ALLOWED BY SPECIAL PERMIT PER §139-11.0(3).

NOTES:

- PROPERTY BOUNDARIES DEPICTED ON THIS PLAN ARE THE RESULT OF AN ACTUAL FIELD SURVEY PERFORMED BY HAYES ENGINEERING, INC. ON JULY 16, 2015.
- LOT 865 IS NOT TO BE CONSIDERED A SEPARATE BUILDING LOT BUT IS TO BE HELD IN COMMON OWNERSHIP WITH ADJOINING LAND OF AUCTION HOUSE NOMINEE TRUST [LOT 857 ON LC PLAN 16514-99] TO FORM ONE BUILDING LOT (TOTAL AREA = 16,318 S.F.) (rf = 0.954).
- LOT 865 DEPICTED HEREON IS TAKEN FROM "SUBDIVISION PLAN OF LAND IN NANTUCKET, MASS." DATE JULY 16, 2015 PREPARED BY HAYES ENGINEERING, INC.
- TOPOGRAPHIC INFORMATION DEPICTED HEREON IS THE RESULT OF AN ACTUAL FIELD SURVEY PERFORMED BY HAYES ENGINEERING, INC. ON THE FOLLOWING DATES:
 - SEPTEMBER 22, 2014
 - JUNE 16, 2015
 - SEPTEMBER 17, 2015
 - DECEMBER 4, 2015
- THE DATUM IS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- THE ENTIRE PARCEL IS LOCATED WITHIN THE WATER RESOURCE PROTECTION DISTRICT, ZONE II WELLHEAD PROTECTION AREA.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN COMPILED FROM FIELD SURVEY INFORMATION AND AVAILABLE EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHER, THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES AND DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE.

- LEGEND:**
- ⊕ - BOLLARD
 - ▭ - CATCH BASIN
 - ⊙ - CATCH BASIN ROUND
 - ⊕ - HYDRANT
 - ⊕ - WATER SHUTOFF
 - ⊕ - WATER METER
 - ⊕ - WATER GATE
 - ⊕ - IRRIGATION CONTROL VALVE
 - ⊕ - SEWER MANHOLE
 - ⊕ - MANHOLE
 - ⊕ - WELL
 - ⊕ - UTILITY POLE
 - ⊕ - SIGN
 - BIT BERM - BITUMINOUS CONCRETE CURB
 - CCB - CAPE COD BERM
 - VGC - VERTICAL GRANITE CURB
 - CONC - CONCRETE
 - TRANS PAD - TRANSFORMER AND CONCRETE PAD
 - EDGE OF PAVEMENT
 - x 37.54 - EXISTING SPOT ELEVATION
 - JB --- EXISTING CONTOUR
 - EXISTING FENCE

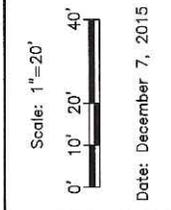
Prepared For:
 Auction House Realty Trust
 Peter D. Kyburg, Trustee

Prepared By:

 Hayes Engineering, Inc.
 603 Salem Street
 Wakefield, MA 01880
 Ph: 781.246.2800
 Fax: 781.246.7596
 www.hayeseng.com

Design By: JO
 Drawn By: JO
 Checked By:
 Project File: NAN-0142
 Comp. No: NAN66
 Issued For Permit
 Issued For Review
 Issued For Bid
 Issued For Construction
 Not For Construction

No.	Revision	Date
10		
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Drawing Title:
**Major Commercial Development
 Existing Conditions & Site Plan
 4 Lovers Lane
 NANTUCKET, MASS.**

Drawing No.:

 SHEET 1 OF 1



Holly Backus

From: Holly Backus
Sent: Thursday, December 10, 2015 4:27 PM
To: 'pkyburg@gmail.com'
Cc: Catherine Ancero
Subject: RE: 4 Lovers Lane

Good Afternoon Mr. Kyburg,

Thank you for your email. We will provide these photos to the board.
Thanks,

Holly E. Backus
Land Use Specialist

Town of Nantucket
Planning & Land Use Services
2 Fairgrounds Road
Nantucket, MA 02554

Tel: 508-325-7587 X 7026
Fax: 508-228-7298
hbackus@nantucket-ma.gov
<http://www.nantucket-ma.gov>



From: Catherine Ancero
Sent: Thursday, December 10, 2015 11:26 AM
To: Holly Backus
Subject: FW: 4 Lovers Lane

From: Peter Kyburg [<mailto:pkyburg@gmail.com>]
Sent: Thursday, December 10, 2015 11:10 AM
To: Catherine Ancero
Subject: Fwd: 4 Lovers Lane

Catherine:

With respect to plantings on the 4 Lovers Lane,
I've attached 2 pictures in this email:

1. Is the side toward 6 Lovers Lane (which Richmond Group is planning to demolish). It has Leyland Cypress trees planted already.
2. Is the rear parking area (in the field, which is actually a portion of the lot behind 4 Lovers Ln, permission granted through Planning Board already). That has privet planted all the way around it already.

I will drop of copies of the original plan today.

Thank you

PK

--

Peter D. Kyburg, Esq.

Law Offices of Peter D. Kyburg, P.C.

18 Broad Street

Nantucket, MA 02554

Telephone (508) 228-2790

Fax (508) 228-7852

email: pkyburg@gmail.com

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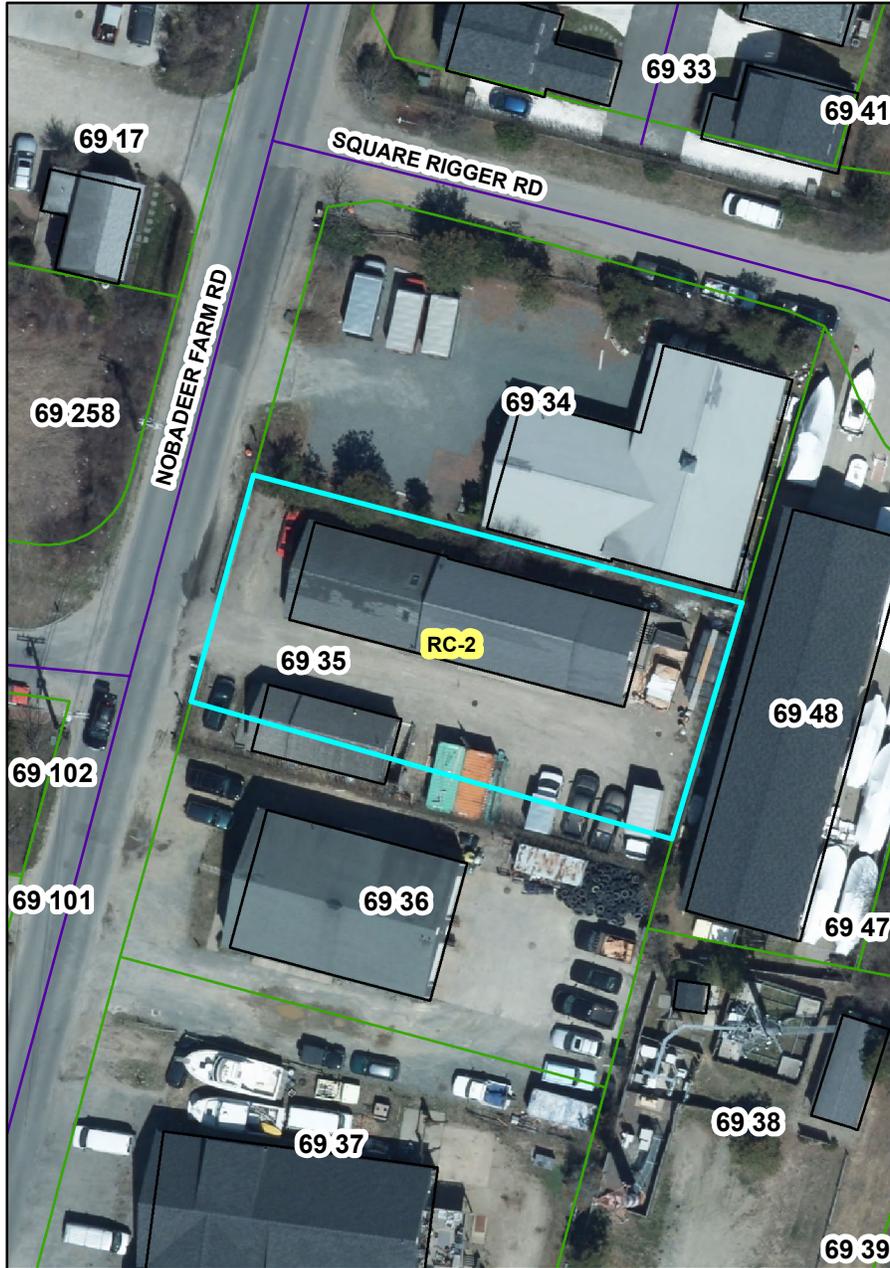
Rear parking area with privet
Provided via email 12/10/15 from Mr. Peter Kyburg, Esq.



Side Parking Area towards 6 Lovers Lane
Provided via email 12/10/15 from Mr. Peter Kyburg, Esq.



Planning Board #61-15
Seamus M. Crowley & Elizabeth Gennaro
46 Nobadeer Farm Road
Map 69 Parcel 35



CURRENT ZONING CLASSIFICATION:
Residential Commercial (RC-2)

MINIMUM LOT SIZE: 5000 S.F.
MINIMUM FRONTAGE: 40 FT.
FRONT YARD SETBACK: 10 FT.
REAR/SIDE SETBACK: 5 FT.
GROUND COVER % : 50%

EXISTING:
12,000 S.F.±
SEE PLAN
SEE PLAN
SEE PLAN
28.8% ±

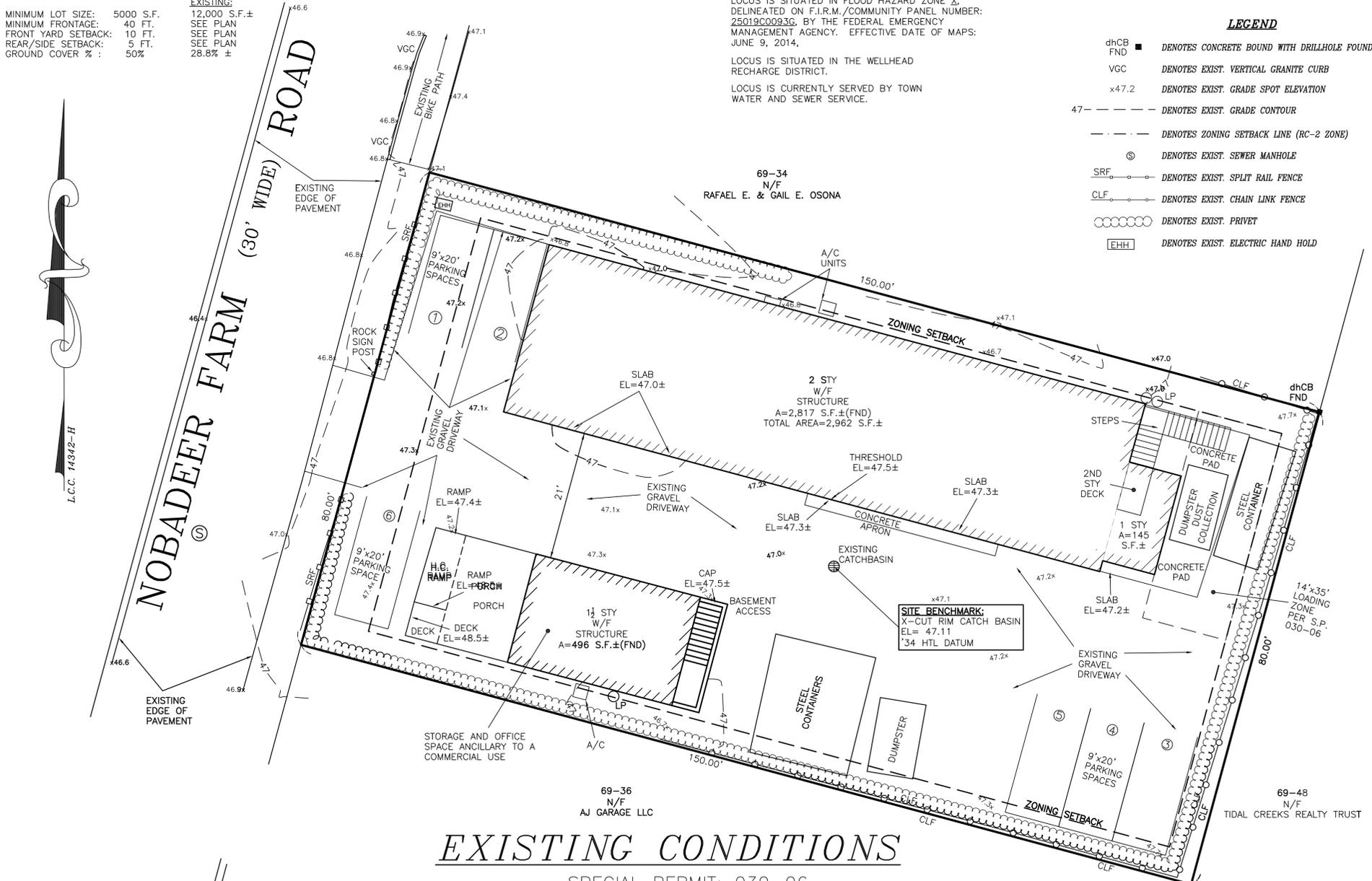
NOTE

LOCUS IS SITUATED IN FLOOD HAZARD ZONE X,
DELINEATED ON F.I.R.M./COMMUNITY PANEL NUMBER:
25019C0093G, BY THE FEDERAL EMERGENCY
MANAGEMENT AGENCY. EFFECTIVE DATE OF MAPS:
JUNE 9, 2014.

LOCUS IS SITUATED IN THE WELLHEAD
RECHARGE DISTRICT.
LOCUS IS CURRENTLY SERVED BY TOWN
WATER AND SEWER SERVICE.

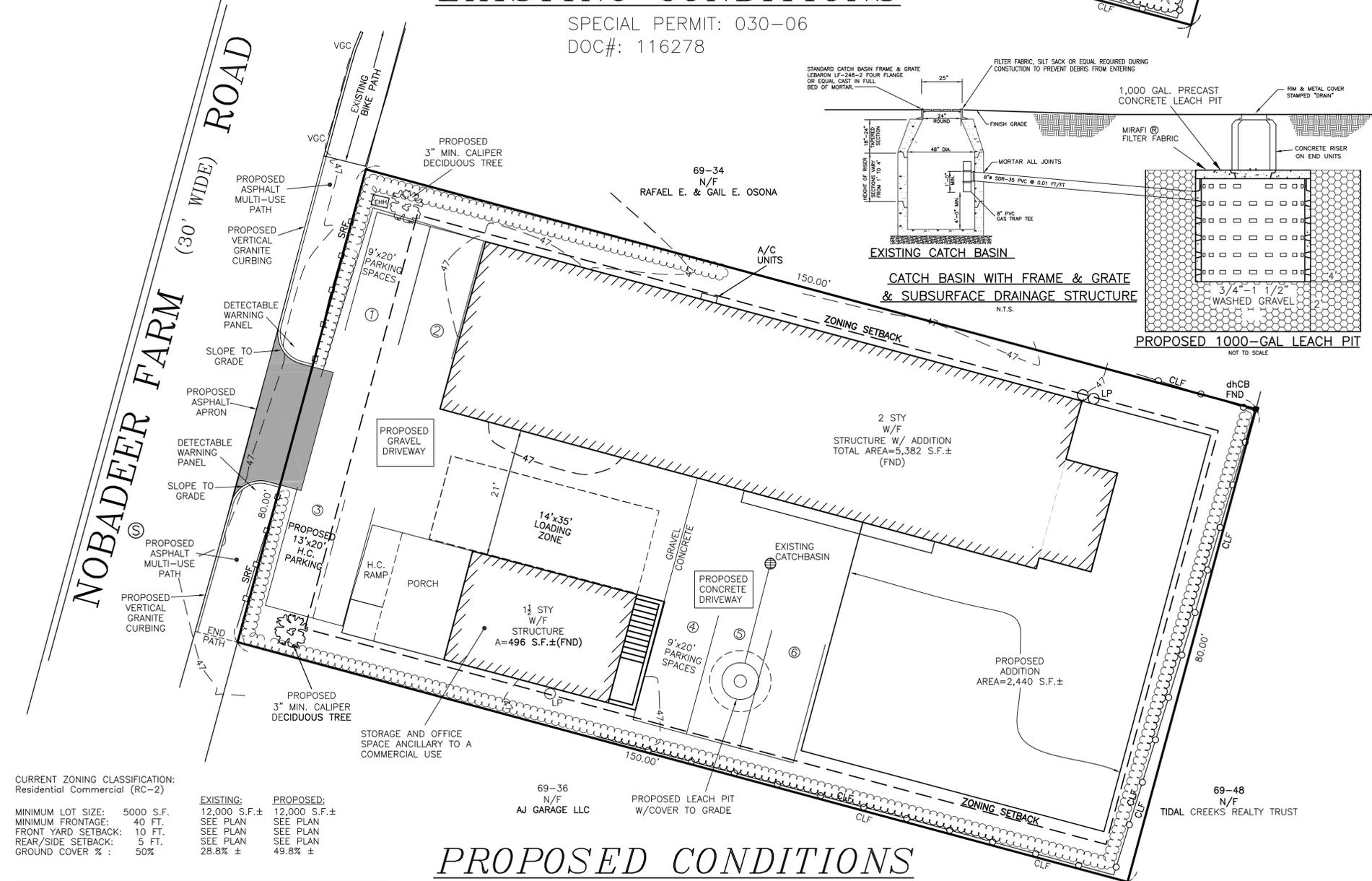
LEGEND

- dhCB ■ DENOTES CONCRETE BOUND WITH DRILLHOLE FOUND
- FND ■ DENOTES EXIST. VERTICAL GRANITE CURB
- VGC --- DENOTES EXIST. GRADE SPOT ELEVATION
- x47.2 --- DENOTES EXIST. GRADE CONTOUR
- 47 --- DENOTES EXIST. GRADE CONTOUR
- DENOTES ZONING SETBACK LINE (RC-2 ZONE)
- ⊙ DENOTES EXIST. SEWER MANHOLE
- SRF --- DENOTES EXIST. SPLIT RAIL FENCE
- CLF --- DENOTES EXIST. CHAIN LINK FENCE
- ○ ○ ○ ○ DENOTES EXIST. PRIVET
- [EHH] DENOTES EXIST. ELECTRIC HAND HOLD



EXISTING CONDITIONS

SPECIAL PERMIT: 030-06
DOC#: 116278



PROPOSED CONDITIONS

NOTES:
DOWNSPOUTS TO BE CONNECTED TO CATCHBASIN
SITE LIGHTING TO CONFORM TO CHAP. 102 "DARK SKIES"

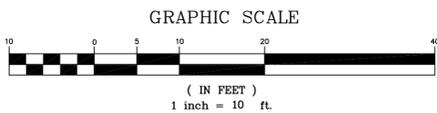
PARKING CALCULATIONS (RC-2 DISTRICT)

COMMERCIAL INDUSTRIAL 5,382 S.F. = 6 SPACES
ANCILLARY OFFICE & STORAGE = 0 SPACES
TOTAL REQUIRED = 6 SPACES
TOTAL PROVIDED = 6 SPACES

OPEN SPACE FOR MAJOR COMMERCIAL DEVELOPMENT (MCD)	
GROUND COVER	AREA
PARKING AREA	3,263± S.F.
IMPERVIOUS BUILDING	6,284± S.F.
OPEN AREA	2,403± S.F.
LOT AREA	12,000± S.F.
MINIMUM REQUIRED OPEN SPACE = 30% OF LOT AREA = 3,600 S.F.	
OPEN AREA PROVIDED = 20% OF LOT AREA = 2,403± S.F.	

OWNER OF RECORD

SEAMUS M. CROWLEY &
ELIZABETH CROWLEY
FORTY SIX NOBADEER FARM ROAD CONDOMINIUM
UNITS 1, 2 & 3
CERT. OF TITLE #C50
L.C.C. 14342-H, LOT 7
ASSESSOR'S MAP 69, PARCEL 35
#46 NOBADEER FARM ROAD



M.C.D.
Site Plan Review
In Nantucket, MA
SCALE: 1" = 10' DATE: JANUARY 7, 2016
FORTY SIX NOBADEER FARM ROAD CONDOMINIUM
Owners:
Cert. of Title: #C50 . . . Plan: L.C.C. 14342-H . . .
Tax Map-Parcel: . . . 69-35
Locus: . . . #46 NOBADEER FARM ROAD . . .
BLACKWELL & ASSOCIATES, Inc.
Professional Land Surveyors
20 TEASDALE CIRCLE
NANTUCKET, MASS. 02554
(508) 228-9026

Nantucket Planning Board

Barry Rector, Chairman
Linda Williams, Vice-Chairman
Nathaniel Lowell
John McLaughlin
Joseph Marcklinger

DATE SIGNED _____ FILE # _____



LOCUS

2 WASHED ASHORE OFF LOCUS MAP
SCALE: 1" = 10'



3 NANTUCKET WINDOW & DOOR SHOP PERSPECTIVE
SCALE: 1/8" = 1'-0"



TOPHAM DESIGN, INC.

18 Hummock Pond Road Nantucket MA 02554

Tel: 508-221-1530 email: joseph@tophamdesignack.com

MARK	DATE	DESCRIPTION
	//	

SITE PLAN & LOCUS MAP

HDC Submission: xx June 2015
HDC Approval: xx MAY 2015 Certificate No: Building Permit No:

**NANTUCKET
WINDOWS &
DOOR, inc.**
46 Nobadeser Farm Road
Nantucket, MA 02554

APPROVAL THRU STAFF
11/4/15

PROJECT NO:	2015-04	3028
Map No:	69	Parcel No: 35
Zoning:	RC2M	Allowable G.C.

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A O.I

LETTER OF TRANSMITTAL

BLACKWELL & ASSOCIATES, INC.

Professional Land Surveyors

20 Teasdale Circle

NANTUCKET, MASSACHUSETTS 02554

(508) 228-9026

Fax (508) 228-5292

DATE: January 7, 2016

ATTENTION: Catherine Ancero

RE: 46 Nobadeer Farm Rd

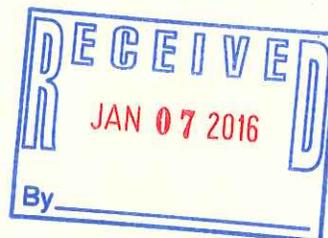
Nan. Windows & Doors MCD

Job: #B8216

TO: Nantucket Planning Board

2 Fairgrounds Road

Nantucket, MA 02554



WE ARE SENDING YOU Attached Under separate cover via _____ the following items:

Shop drawings

Prints

Plans

Samples

Specifications

Copy of letter

Change order

Other

COPIES	DATE	DESCRIPTION
--------	------	-------------

7

1/7/16

M.C.D. SITE PLAN

THESE ARE TRANSMITTED as checked below:

For approval For your use As requested For review and comment

REMARKS:

Please contact me with any questions or concerns regarding this matter.

Sincerely,

Blackwell & Associates, Inc.

Arthur D. Gasbarro, PE, PLS, LEED AP

BLACKWELL & ASSOCIATES, INC
PROFESSIONAL CIVIL & LAND SURVEYORS

B8216

NANTUCKET WINDOWS & DOORS, INC.

**DRAINAGE ANALYSIS
&
STORMWATER MANAGEMENT
OPERATION AND MAINTENANCE PLAN**

- The proposed stormwater management system will be owned by the owner/applicant, who will be responsible for the operation and maintenance of the system.
- The concrete paved area will be swept by hand twice per year.
- The catch basin sumps will be inspected and cleaned annually. When the depth of solids is greater than twelve inches in the bottom of the catchbasin, the structure shall be cleaned by removing the solids.
- The routine tasks to be undertaken are regular inspection and cleaning as described above. The non-routine tasks would include any necessary repairs to the system that may be discovered during the annual inspection. The property owner will be responsible for both routine and non-routine tasks associated with the stormwater management system.
- The owner will maintain records of performed maintenance activities.
- The structures will have gutters and downspouts connected to the drainage system.
- The drainage system is designed to infiltrate a 25-year storm, and will not result in an increase in run-off from the site.

20 TEASDALE CIRCLE • NANTUCKET, MA • 02554
PHONE: 508-228-9026 • FAX: 508-228-5292

BLACKWELL & ASSOCIATES, INC.

Professional Land Surveyors
20 Teasdale Circle
Nantucket, Massachusetts 02554
www.blackwellsurvey.com
(508) 228-9026
Fax (508) 228-5292

JOB B8216 - CROWLEY
SHEET NO. _____ OF _____
CALCULATED BY ADG DATE 1/4/16
CHECKED BY _____ DATE _____
SCALE _____

DRAINAGE ANALYSIS - SITE REDEVELOPMENT - NEARLY FLAT 1/4-ACRE SITE.

USE RATIONAL METHOD - $Q = C_i A = \text{FLOW IN C.F.S.}$

$C = 0.85$ - INDUSTRIAL/BUSINESS USE -

$i = 2.2$ INCHES/HOUR - 1-HR DURATION - 25-YR STORM

$A = 0.28$ ACRES

$Q = (0.85)(2.2 \text{ in/hr})(0.28 \text{ acres}) = 0.524 \text{ CFS}$

INFILTRATION RATE - MED. SAND SOILS - LESS THAN 2 in/inch ← USE RATE

RATE: $2 \text{ in/inch} = 0.50 \text{ gal/ft}^2/\text{min} \times 0.1337 \text{ ft}^3/\text{gal} / 60 \text{ sec/min} = 0.0011 \text{ ft}^3/\text{ft}^2/\text{sec}$

STRUCTURE SIZING

AREA REQUIRED = $Q / \text{INFIL RATE} = \frac{0.524 \text{ CFS}}{0.0011 \text{ ft}^3/\text{ft}^2/\text{s}} = 476 \text{ S.F.}$

LEACHING AREA PROVIDED = 480 SF > 476 SF. ✓

* NOTE: STRUCTURES TO HAVE GUTTERS & DOWNSPOUTS CONNECTED TO THE CATCHBASIN,

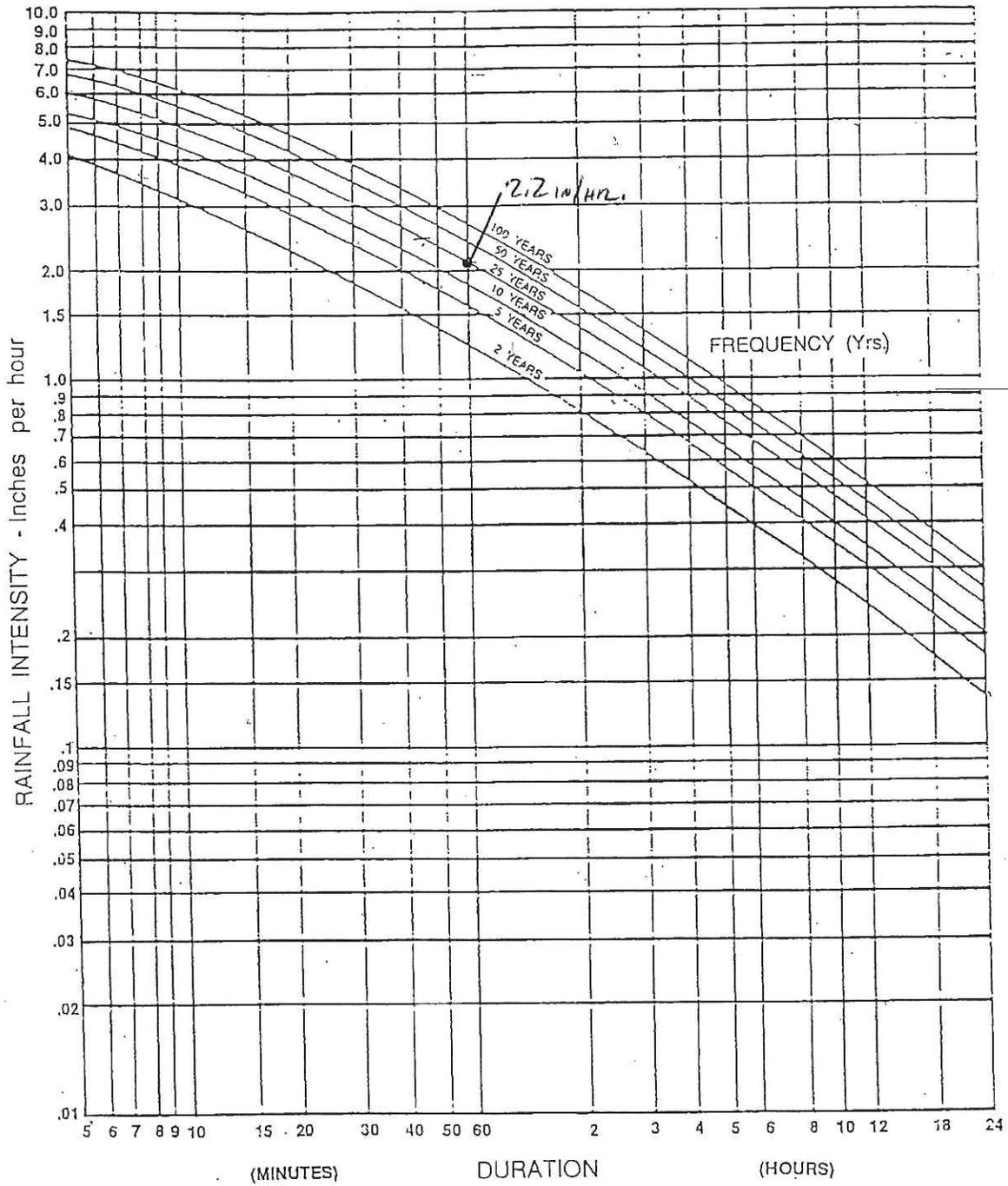


Figure 10-5. Intensity — Duration — Frequency Curve for Barnstable, MA

Peak Discharge Estimation ■ 7-11

shed area (acres). Some add a dimensional conversion factor to this equation, but since $1 \text{ ft}^3/\text{sec} = 1.008 \text{ acre-in}/\text{hr}$, the conversion factor is usually ignored as the other factors in the equation are not known with such accuracy. Table 7-3, adapted from Ref. 1, gives reasonable ranges for C for various surfaces, as well as some guidance in selecting a value in the range.

Table 7-3 Runoff Coefficients, C

Description of Area	Runoff Coefficients
Business	
Downtown	0.70 to 0.95
Neighborhood	0.50 to 0.70
Residential	
Single-family	0.30 to 0.50
Multi-units, detached	0.40 to 0.60
Multi-units, attached	0.60 to 0.75
Residential (suburban)	0.25 to 0.40
Apartment	0.50 to 0.70
Industrial	
Light	0.50 to 0.80
Heavy	0.60 to 0.90
Parks, cemeteries	0.10 to 0.25
Playgrounds	0.20 to 0.35
Railroad yard	0.20 to 0.35
Unimproved	0.10 to 0.30

← USE 0.85

Engineering Hydrology

It often is desirable to develop a composite runoff coefficient based on the percentage of different types of surface in the drainage area. This procedure often is applied to typical "sample" blocks as a guide to selection of reasonable values of the coefficient for an entire area. Coefficients with respect to surface type currently in use are:

Character of Surface	Runoff Coefficients
Pavement	
Asphaltic and Concrete	0.70 to 0.95
Brick	0.70 to 0.85
Roofs	0.75 to 0.95
Lawns, sandy soil	
Flat, 2 percent	0.05 to 0.10
Average, 2 to 7 percent	0.10 to 0.15
Steep, 7 percent	0.15 to 0.20
Lawns, heavy soil	
Flat, 2 percent	0.13 to 0.17
Average, 2 to 7 percent	0.18 to 0.22
Steep, 7 percent	0.25 to 0.35

The coefficients in these two tabulations are applicable for storms of 5- to 10-yr frequencies. Less frequent, higher intensity storms require the use of higher coefficients because infiltration and other losses have a proportionally smaller effect on runoff. The coefficients are based on the assumption that the design storm does not occur when the ground surface is frozen.

Source: *Design and Construction of Sanitary and Storm Sewers*, Manual No. 37, 1986; reproduced by permission of ASCE.

Holly Backus

From: Holly Backus
Sent: Thursday, January 07, 2016 1:20 PM
To: 'Arthur Gasbarro'; Catherine Ancero; Eleanor Antonietti
Cc: Bill Hunter; 'Ed Pesce'
Subject: RE: Nantucket Windows & Doors MCD

Thank you Art. It was nice to meet you and Bill today.

Thanks for the hard copies as well.

Quick question, have these plans been submitted to Ed Pesce's office yet?

Thanks,

Holly E. Backus
Land Use Specialist
Town of Nantucket

From: Arthur Gasbarro [<mailto:art@blackwellsurvey.com>]
Sent: Thursday, January 07, 2016 12:15 PM
To: Holly Backus; Catherine Ancero; Eleanor Antonietti
Cc: Bill Hunter
Subject: Nantucket Windows & Doors MCD

Thank you all for taking the time to meet with us this morning.

Attached is an updated site plan that includes:

- a loading zone within the driveway area
- specifies that the site lighting shall conform to Ch. 102,
- specifies that the trees shall be deciduous of 3" minimum caliper,
- adds detectable warning panels on both sides of the driveway within the proposed multi-use path

I have also attached the architectural drawing that I have which is a perspective view of the structure. If you would like more architectural details, please let me know and I will obtain them from the owner.

Finally I have included a 2014 aerial photo of the area that may be helpful. I drop off hard copies within an hour.

Please feel free to contact me with any questions, comments or concerns.

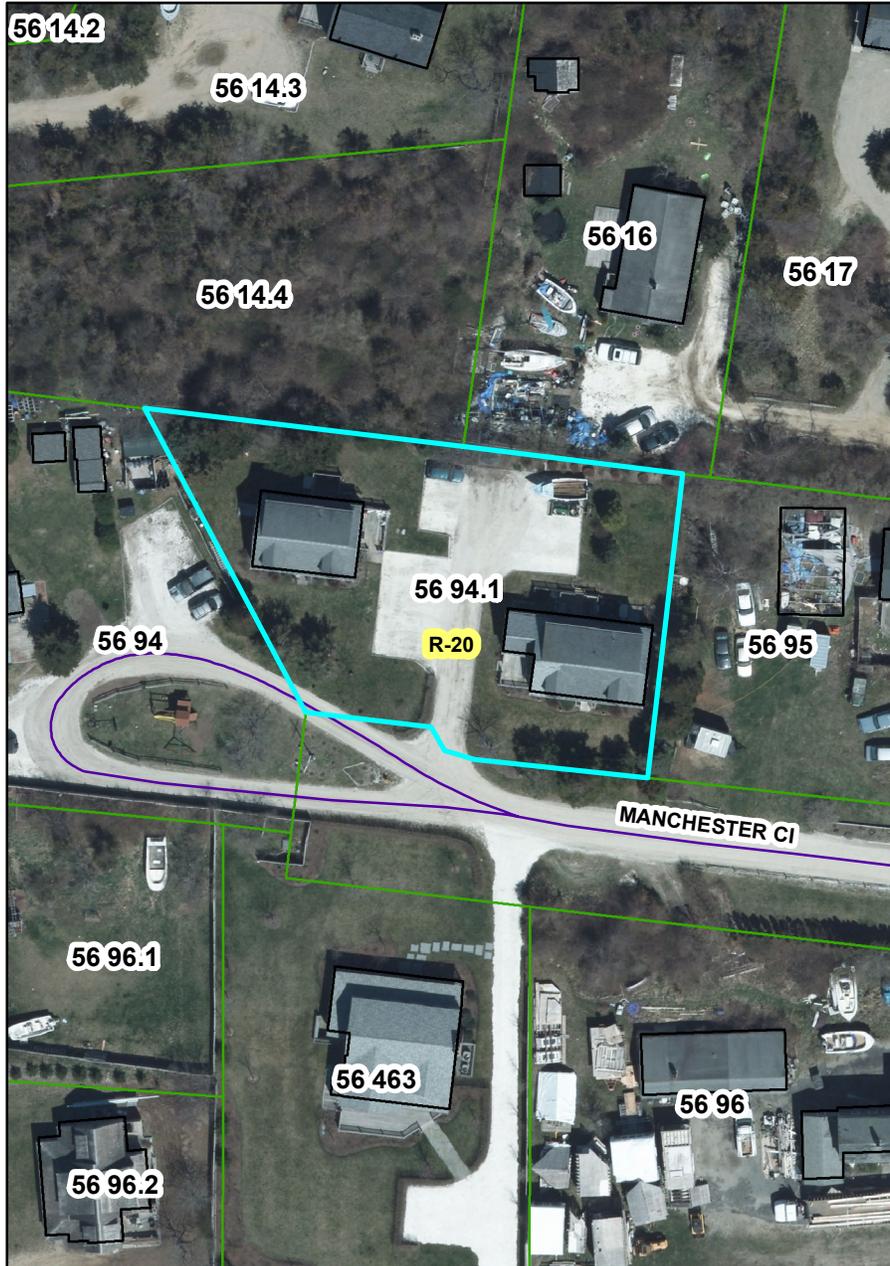
Thank you,

Art

Blackwell & Associates, Inc.
By: Arthur D. Gasbarro, PE, PLS, LEED AP
20 Teasdale Circle
Nantucket, MA 02554
508-228-9026 x13



Planning Board #62-15
Secondary Residential Lot
Manchester Circle
Map 56 Parcel 94.1



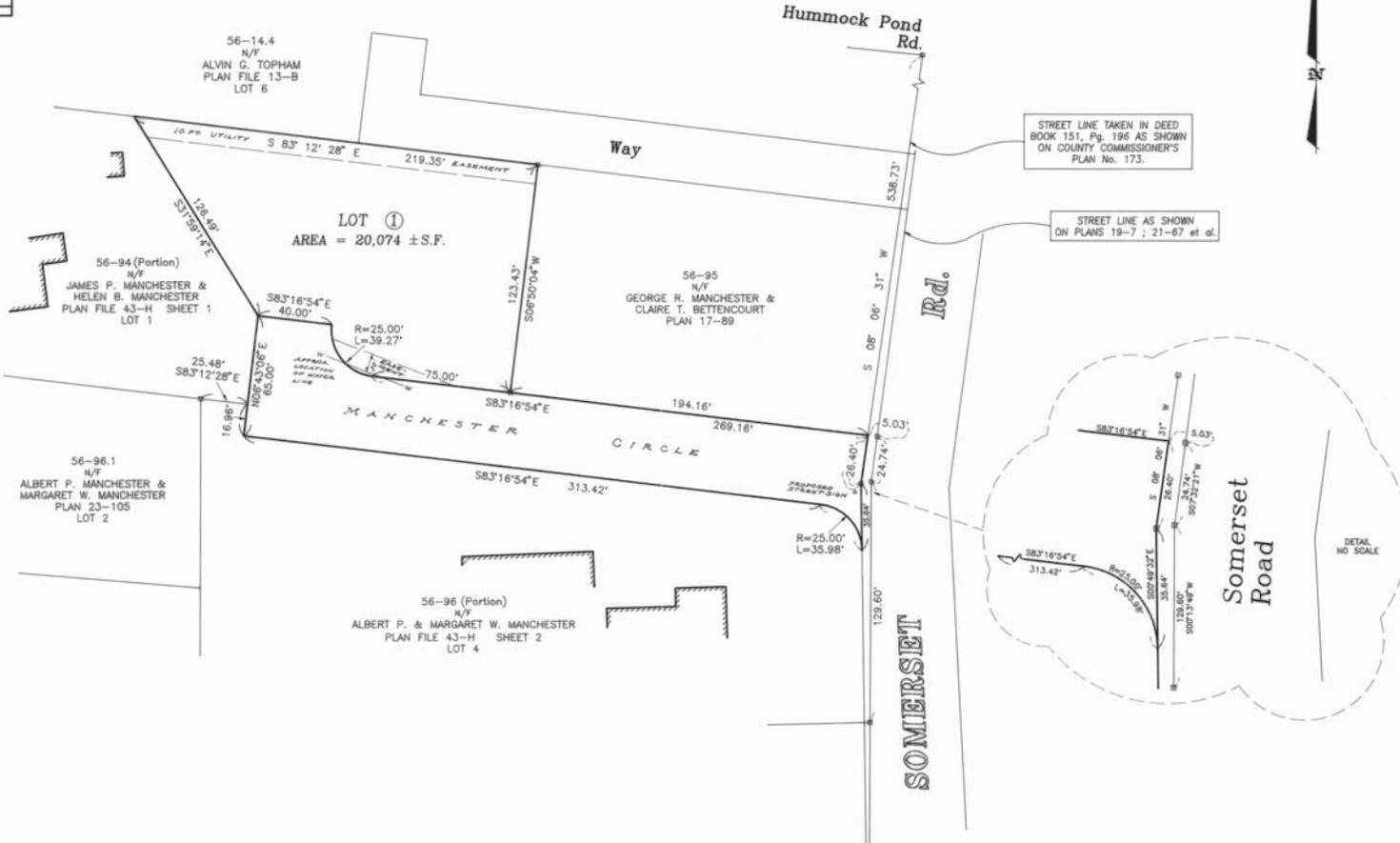
THE PLANNING BOARD DETERMINES THAT:

(b) LOT(S) 1 DO NOT CONTAIN AREAS SUBJECT TO PROTECTION UNDER THE MASSACHUSETTS WETLANDS PROTECTION ACT WHICH ARE REQUIRED TO BE EXCLUDED FROM LOT AREA UNDER THE NANTUCKET ZONING BY-LAW BUT STILL MAY BE SUBJECT TO PROTECTION UNDER STATE AND LOCAL WETLAND BY-LAWS. DETERMINATION OF APPLICABILITY MAY BE OBTAINED THROUGH APPLICATION TO THE CONSERVATION COMMISSION.



NANTUCKET REGISTRY OF DEEDS
 180 B B WH
 Date: 9:02 AM
 Plan No.: 45-E
 Plan File:
 Jander M. Ederwick
 Register

RESERVED FOR REGISTRY USE



I, REBECCA J. LOHMAN, CLERK OF THE TOWN OF NANTUCKET, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE THIRTY DAY PERIOD AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.
 TOWN CLERK: Rebecca J. Lohman
 DATE: Aug. 13, 1994

NOTE: THE NEW ROAD SHOWN ON THIS PLAN IS APPROVED ONLY FOR THE LOT SHOWN ON THIS PLAN AND FURTHER DIVISION OF LAND CREATING BUILDING LOTS WITH LEGAL FRONTAGE ON THIS ROAD WILL REQUIRE APPROVAL UNDER THE SUBDIVISION CONTROL LAW BY THE NANTUCKET PLANNING BOARD.

Nantucket Planning Board
 APPROVAL UNDER THE
 SUBDIVISION CONTROL LAW

James P. Manchester
Helen B. Manchester
Albert P. Manchester

DATE APPROVED: May 26, 1994
 DATE ENDORSED: August 24, 1994
 PLANNING BD. FILE NO. 5084

NOTE: THIS PLAN IS SUBJECT TO A STATEMENT OF CONDITIONS OF SUBDIVISION APPROVAL DATED AND RECORDED AT THE NANTUCKET COUNTY REGISTRY OF DEEDS IN DEED BOOK 154, PAGE 105.

PLAN of LAND
 in
 NANTUCKET, MASS.

Prepared For
**James P. Manchester &
 Helen B. Manchester**

Scale: 1" = 30' March 18, 1994
 CHARLES W. HART & ASSOCIATES, INC.
 SANFORD BOAT BUILDING
 49 SPARKS AVENUE
 NANTUCKET, MASS. 02554
 (508) 228-8910



LEGEND
 □ DENOTES CONCRETE BOUND FOUND

CURRENT ZONING CLASSIFICATION:
 Residential 2 (R-2)
 MINIMUM LOT SIZE: 20,000 S.F.
 MINIMUM FRONTAGE: 75 FT.
 FRONT YARD SETBACK: 30 FT.
 REAR/SIDE SETBACK: 10 FT.
 GROUND COVER %: 12.5%

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

Charles W. Hart 3-18-94
 PROFESSIONAL LAND SURVEYOR DATE

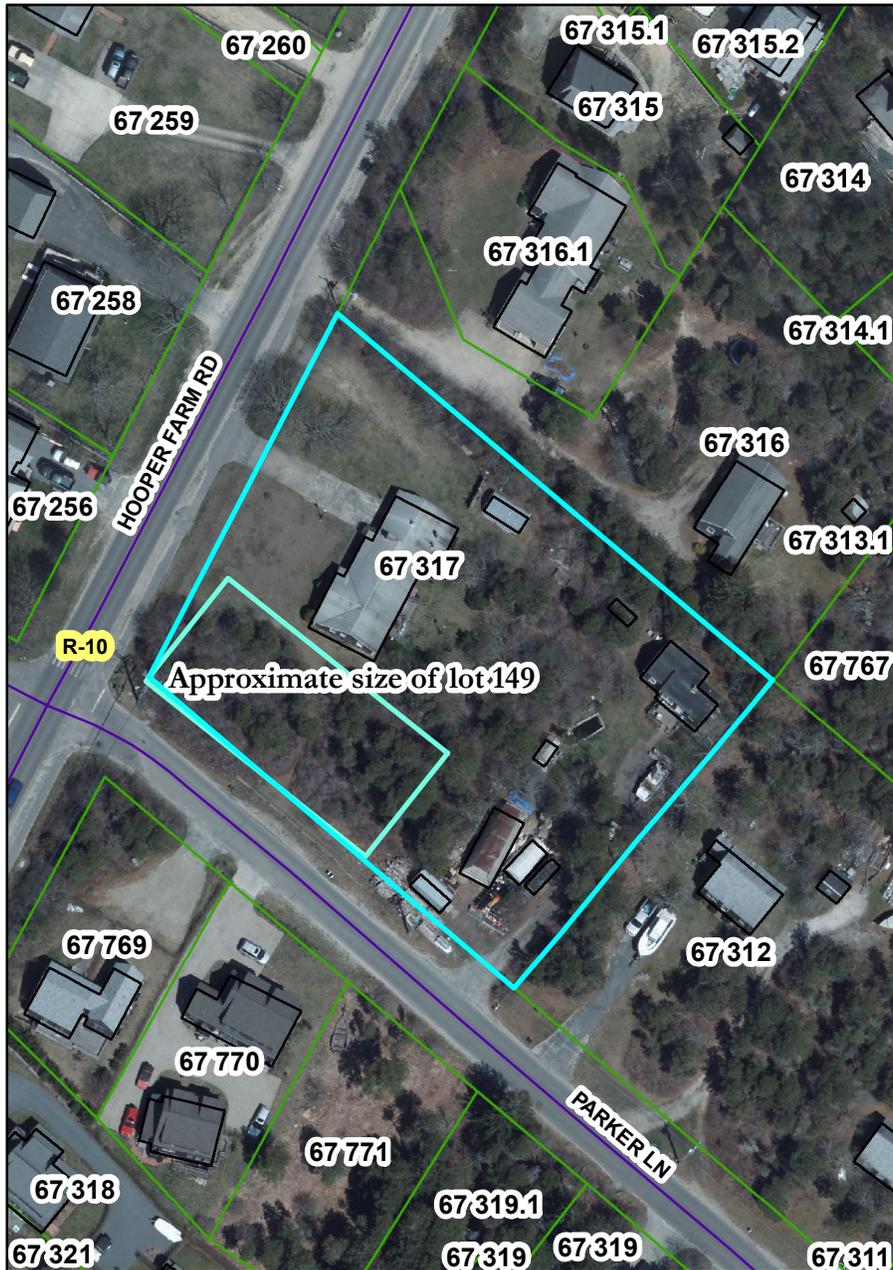


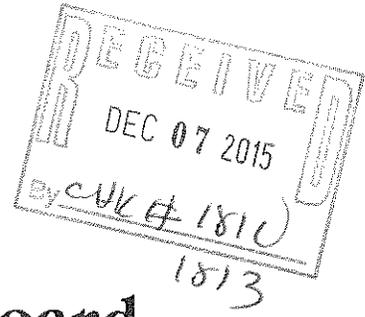
ASSESSOR MAP 56, PARCELS 94 & 96 (Portion)

H-543



Planning Board #01-16
56C Hooper Farm Road
Map 67 Parcel 317 (portion of)





Nantucket Planning Board

Application for a Special Permit

Date: 12/7/15

File #: 01-16

Name of development: _____

Owner(s) name(s): Tess Anderson

Mailing address: 4 Aurora Way

Phone number: 508-364-0044 Fax number: _____ E-mail: tess@nantucketislandinc.com

Applicant's name: Tess Anderson

Mailing address: _____

Phone number: _____ Fax number: _____ E-mail: _____

Engineer / surveyor's name: Mike Connolly

Mailing address: 149 Surfside Road

Phone number: 508-228-8910 Fax number: _____ E-mail: michael.connolly5@verizon.net

Location of lot(s): _____

Street address Sleethooper Farm Rd.

Tax Assessors Map 67 Parcel 317

Nantucket Registry of Deed: Plan Book _____ and Page _____ OR

Plan File # _____ OR Land Court Plan # _____ at Certificate # _____

Size of parcel: 10,500 sq. ft. Zoning District: 10,000

Special Permit sought: (check one)

- Cluster subdivision
- Commercial WECS
- Driveway Access/Curb Cut Special Permit
- Harbor Overlay District (HOD)
- Major Commercial Development (MCD)

- Multi-family Special Permit
- Moorlands Management District Subdivision or Construction (MMD)
- NEHOD (Neighborhood Employee Housing Overlay District)
- MRD (Major Residential Development)
- MIPOD (Mid-Island Planned Overlay District)
- Other Uses Requiring a Special Permit (specify all uses and *Nantucket Code* sections)

Section	Description
139-16A	tertiary dwelling exceeds 300 sq ft.
139-2.A	To be 595 sq ft.

Specify all associated Zoning Code relief sought:

Section	Description

Only the zoning relief expressly requested above will be considered as part of this application.

If applying for a Major Commercial Development, specify how the application will comply with Section 139-11 (J) of the *Zoning Code of the Town of Nantucket*, also known as the Town's Affordable Housing Effort:

Planning Board filing fee due: \$ 250.00

Engineering Inspection Escrow Deposit due: \$ 303.30

I/ we hereby certify that the applicant(s) cited above have been authorized by me/ us to file a Special Permit application with the Planning Board on property that I/ we own.

Owner(s)' Signature(s)

Applicant's Signature

I/we _____, the undersigned, hereby authorize
_____ to act as agent(s) on my/our behalf and to
make any necessary revisions on this filed application as they may be requested by the Board to meet its governing
rules and guidelines.

Owner(s)' signature(s)

Check List:

- Planning Board Special Permit abutters list – to be obtained at the Tax Assessor's office
- Completed application form entitled "Application to the Planning Board for a Special Permit"
- Application fee of \$250.00 payable to Town of Nantucket
- Abutters fee of \$6.74 per abutters payable to Pitney Bowes Reserved Funds
- Four (4) sets of mailing labels with each abutter's name and address
 - 1" x 2 5/8" size, typed labels, are preferred
 - duplicate labels are not necessary if the same owner is listed for more than one abutting property
- Completed application form
- Town Clerk's stamped application (provide 2 copies-one for Town Clerk and one for Planning Board)



2015 00150017
Cert: 25875 Doc: DD
Registered: 11/24/2015 11:36 AM

QUITCLAIM DEED

We, **Carl Nielsen and Sharon Nielsen**, of PO Box 151, Pequannock, NJ 07440, being married to each other

For consideration paid, and in full consideration of Three Hundred Ninety Thousand and 00/100 (\$390,000.00) Dollars

Grant to **Tess Anderson**, of 4 Aurora Way, Nantucket, Massachusetts 02554

With QUITCLAIM COVENANTS

that certain parcel of land together with the improvements thereon situate at 56C Hooper Farm Road, Nantucket Town and County, Massachusetts, bounded and described as follows:

Lot 149 upon Land Court Plan 34507-18 entitled, "Plan of Land in Nantucket, Mass, Scale 1"=30' dated February 20, 2015 prepared for: Carl Nielsen and Sharon Nielsen by Earle & Sullivan, Inc., Professional Land Surveyors, 6 Youngs Way, Nantucket, MA 02554".

Subject to rights, easements and restrictions of record as set out in Certificate of Title No. 25367 insofar as the same are in force and applicable.

The Grantors hereby release any and all rights of homestead in the property and swear under pains and penalties of perjury there are no other persons entitled to the protection of the Homestead Act.

Being a portion of the premises conveyed to Grantor by deed dated September 30, 2014 and recorded with the Nantucket District Registry of the Land Court as Document No. 145857.

Property Address: 56C Hooper Farm Road, Nantucket

LAND COURT, BOSTON. The land herein described will be shown on our approved plan to follow as

REFER TO

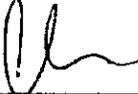
NOV 10 2015

Plan **34507-18** Lot **149**
(EXAMINED AS DESCRIPTION ONLY)

T.C. PONTBRIAND
ACTING CHIEF ENGINEER

JAN

Witness my hand and seal this 9th day of November, 2015.



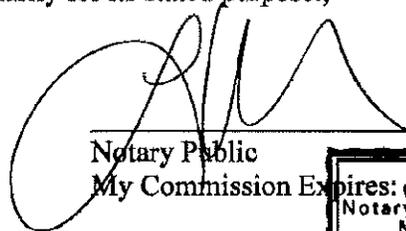
Carl Nielsen

STATE OF NEW JERSEY

Essex County, ss.

November 9, 2015

On this 9th day of November, 2015, before me, the undersigned notary public, personally appeared Carl Nielsen, proved to me through satisfactory evidence of identification, which was ___ photographic identification with signature issued by a federal or state government agency, ___ oath or affirmation of a credible witness, personal knowledge of the undersigned, to be the person whose name is signed on the preceding document, and acknowledged to me that she signed it voluntarily for its stated purpose.,



Notary Public
My Commission Expires

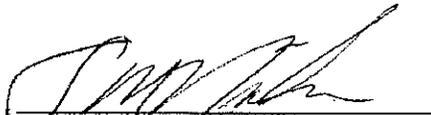


LAUREN WILSON
Notary Commission # 2383537
Notary Public, State of New Jersey
My Commission Expires
April 16, 2019

NANTUCKET LAND BANK
CERTIFICATE
 Paid \$ 7800.00
 Exempt
 Non-applicable
36934 11/24/15
No. Date
Authorization 

MASSACHUSETTS EXCISE TAX
Nantucket County ROD #16 001
Date: 11/24/2015 11:36 AM
Ctrl# 462050 20683 Doc# 00150017
Fee: \$1,778.40 Cons: \$390,000.00

Witness my hand and seal this 9th day of November, 2015.

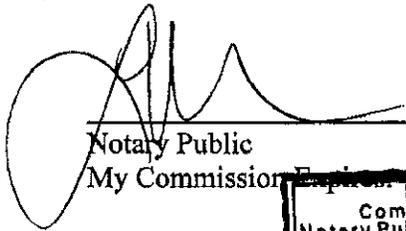

Sharon Nielsen

STATE OF NEW JERSEY

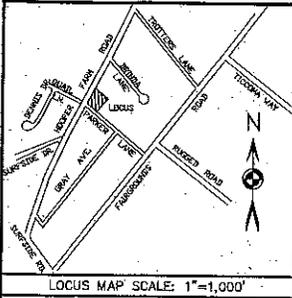
Essex County, ss.

November 9, 2015

On this 9th day of November, 2015, before me, the undersigned notary public, personally appeared Sharon Nielsen, proved to me through satisfactory evidence of identification, which was ___ photographic identification with signature issued by a federal or state government agency, ___ oath or affirmation of a credible witness, personal knowledge of the undersigned, to be the person whose name is signed on the preceding document, and acknowledged to me that she signed it voluntarily for its stated purpose.,


Notary Public
My Commission Expires

LAUREN WILSON
Commission # 2303527
Notary Public, State of New Jersey
My Commission Expires
April 16, 2019



" I CERTIFY THAT THIS ACTUAL SURVEY WAS MADE ON THE GROUND IN ACCORDANCE WITH THE LAND COURT INSTRUCTIONS OF 2006 ON OR BETWEEN SEPT. 8, 2014 & FEB. 20, 2015."

Earle & Sullivan
PROFESSIONAL LAND SURVEYOR

FEB 20 2015
DATE



LEICA TCR405 POWER
2mm + 2ppm

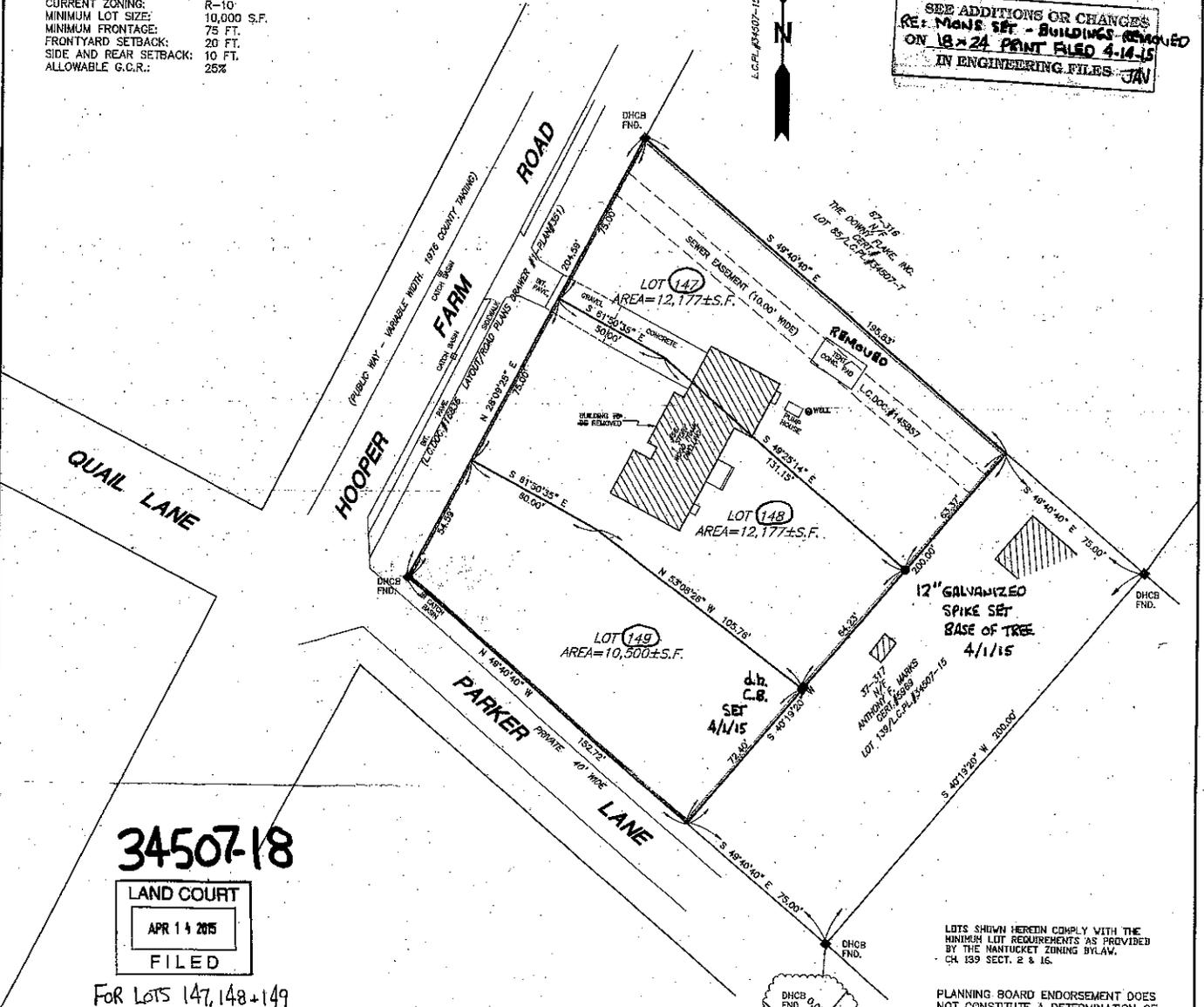
TRAVERSE DATA
PRECISION: 1 IN 82,226
ERROR OF CLOSURE:
LINEAR: 0.01'
ANGULAR: 00° 00' 03"
DIRECTION: S 23°21'31" E

OFF SITE EDM COMPARISON BASE LINE
492.08: MAL/SC/M/S. CAPE COD BASE LINE
492.08: 08/22/07 COMPARISON MEASUREMENT
597.777: E & S BASELINE#3 8/23/07 (FOREST AVE.)
597.782: 8/03/2014 COMPARISON MEASUREMENT

OVERLAY DISTRICTS:
PUBLIC WELLHEAD RECHARGE

CURRENT ZONING: R-10
MINIMUM LOT SIZE: 10,000 S.F.
MINIMUM FRONTAGE: 75 FT.
FRONTYARD SETBACK: 20 FT.
SIDE AND REAR SETBACK: 10 FT.
ALLOWABLE G.C.R.: 25%

SEE ADDITIONS OR CHANGES
RE: **MONS SET - BUILDINGS REMOVED**
ON **18x24 PRINT FILED 4-14-15**
IN ENGINEERING FILES - JAN



34507-18

LAND COURT
APR 14 2015
FILED

FOR LOTS 147, 148 & 149

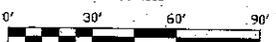
BEING A SUBDIVISION OF LOT 138
AS SHOWN ON L.C.P.L.#34507-15

**PLAN OF LAND
IN
NANTUCKET, MASS.**

SCALE: 1"=30' DATE: FEB. 20, 2015

PREPARED FOR: CARL NIELSEN and SHARON NIELSEN

EARLE & SULLIVAN, INC.
PROFESSIONAL LAND SURVEYORS
6 YOUNGS WAY
NANTUCKET, MA 02554
508-332-4808



REFERENCES:

DEED REF.: L.C.DOC.#145857
PLAN REF.: L.C.P.L.#34507-15
ASSESSORS REF.: MAP 67 PARCEL 317

I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE THAT THE PREMISES SHOWN ON THIS PLAN ARE NOT LOCATED WITHIN A FLOOD ZONE AS DELINEATED ON THE F.I.R.M. OF COMMUNITY NO. 28023X, MASS. EFFECTIVE JUNE 9, 2014 BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

THE PLANNING BOARD DETERMINES THAT:

LOT(S) 147-149 DO NOT CONTAIN AREAS SUBJECT TO PROTECTION UNDER THE MASSACHUSETTS WETLANDS PROTECTION ACT WHICH ARE REQUIRED TO BE EXCLUDED FROM LOT AREA UNDER THE NANTUCKET ZONING BY-LAW BUT STILL MAY BE SUBJECT TO PROTECTION UNDER STATE AND LOCAL WETLAND BY-LAWS. DETERMINATION OF APPLICABILITY MAY BE OBTAINED THROUGH APPLICATION TO THE CONSERVATION COMMISSION.

LOTS SHOWN HEREIN COMPLY WITH THE MINIMUM LOT REQUIREMENTS AS PROVIDED BY THE NANTUCKET ZONING BYLAW, CA 139 SECT. 2 & 16.

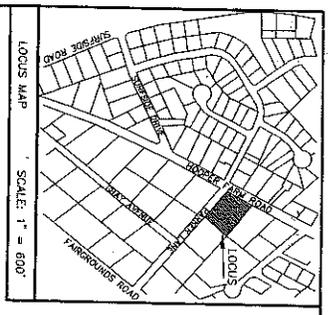
PLANNING BOARD ENDORSEMENT DOES NOT CONSTITUTE A DETERMINATION OF CONFORMANCE UNDER ZONING.

NANTUCKET PLANNING BOARD

APPROVAL UNDER THE SUBDIVISION CONTROL LAW NOT REQUIRED

Earle & Sullivan
Stephen J. Sullivan
Professional Land Surveyor

DATE SIGNED: 03-09-15
FILE NO.: 7806



LEGEND

■ d&g PND DENOTES DRILL HOLE IN CONCRETE BOUND FOUND

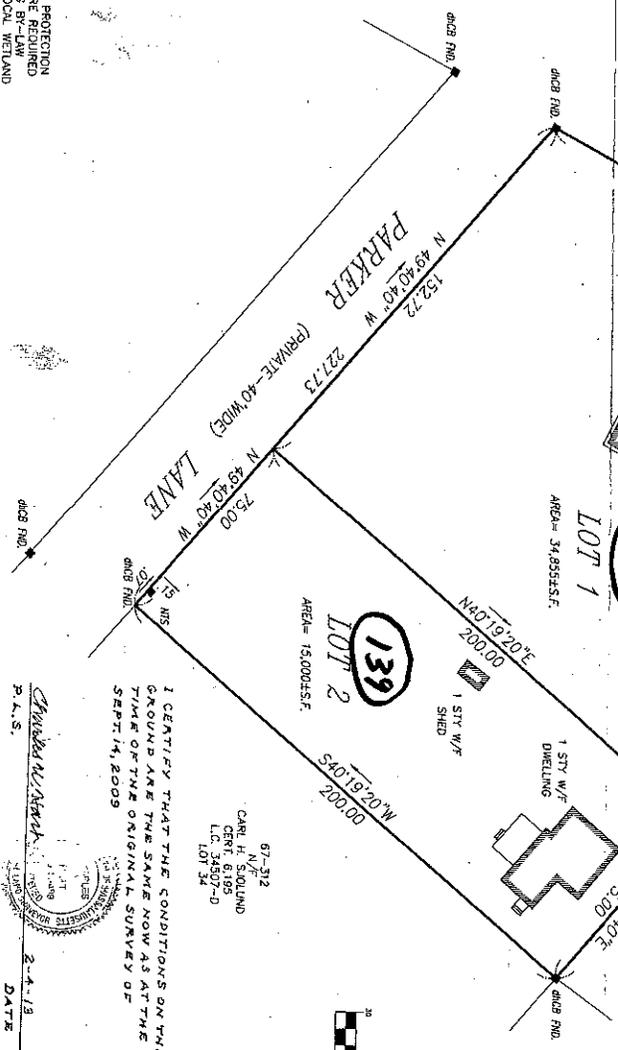
INSTRUMENT/ACCURACY : MLD 101000 4(1mm+2.0ppm)
 DIRECTIONAL ERROR OF CLOSURE : S70°13'56.3"E
 LINEAR ERROR OF CLOSURE : 0.0130
 SURVEY PRECISION : 1:82,295

TOTAL LOT AREA
 49,855S.S.F.

CURRENT ZONING CLASSIFICATION:
 RESIDENTIAL-10 (R-10)
 MINIMUM LOT SIZE: 10,000 S.F.
 MINIMUM FRONT SETBACK: 75 FT.
 FRONT YARD SETBACK: 20 FT.
 REAR/SIDE SETBACK: 10 FT.
 GROUND COVER % : 25%

67-316
 RICHARD W. F. GLUDEN
 CERT. 22,889
 L.C. 34507-T
 LOT 88

HOOPER FARM ROAD
 (PUBLIC-VARIABLE WIDTH)
 N28°08'25"E
 204.59



I CERTIFY THAT THIS PLAN WAS DRAWN FROM AN ACTUAL SURVEY MADE ON THE GROUND IN ACCORDANCE WITH THE LAND COURT INSTRUCTIONS OF 2008 ON OR BETWEEN 2/22/08 AND 2/22/08.
 PROFESSIONAL LAND SURVEYOR DATE 4-24-08
 [Signature]

THE PLANNING BOARD DETERMINES THAT:

(b) LOT(S) 1 & 2 DO NOT CONTAIN AREAS SUBJECT TO PROTECTION UNDER THE MASSACHUSETTS WETLANDS PROTECTION ACT WHICH ARE REQUIRED TO BE EXCLUDED FROM LOT AREA UNDER THE NANTUCKET ZONING BY-LAW BY-LAWS. RETURN SUBJECT TO PROTECTION UNDER STATE AND LOCAL WETLAND APPLICATION TO THE CONSERVATION COMMISSION.

I CERTIFY THAT THE CONDITIONS ON THE GROUND ARE THE SAME NOW AS AT THE TIME OF THE ORIGINAL SURVEY OF SEPT. 14, 2009

67-312
 CARL H. SLOLAND
 CERT. 6185
 L.C. 34507-D
 LOT 34

67-312
 CARL H. SLOLAND
 CERT. 6185
 L.C. 34507-D
 LOT 34



ANTHONY F. & COLLEEN M. MARKS
 L. C. CERT. 5969
 L. C. PLAN 34507-D LOT 35
 CHARLES W. HART and ASSOCIATES, Inc.
 PROFESSIONAL LAND SURVEYORS
 8 WILLIAMS LANE
 NANTUCKET, MA. 02554
 (508) 228-8910
 GRAPHIC SCALE

NANTUCKET PLANNING BOARD
 APPROVAL UNDER THE
 SUBDIVISION CONTROL LAW
 NOT REQUIRED

DATE SIGNED: 08-25-09
 FILE NO.: 1154

PLAN OF LAND

IN NANTUCKET, MA.

SCALE: 1"=30' DATE: SEPTEMBER 14, 2009
 OWNER'S REFERENCE:

BEING A SUBDIVISION OF LOT 35
 SHOWN ON LAND COURT PLAN 34507-D

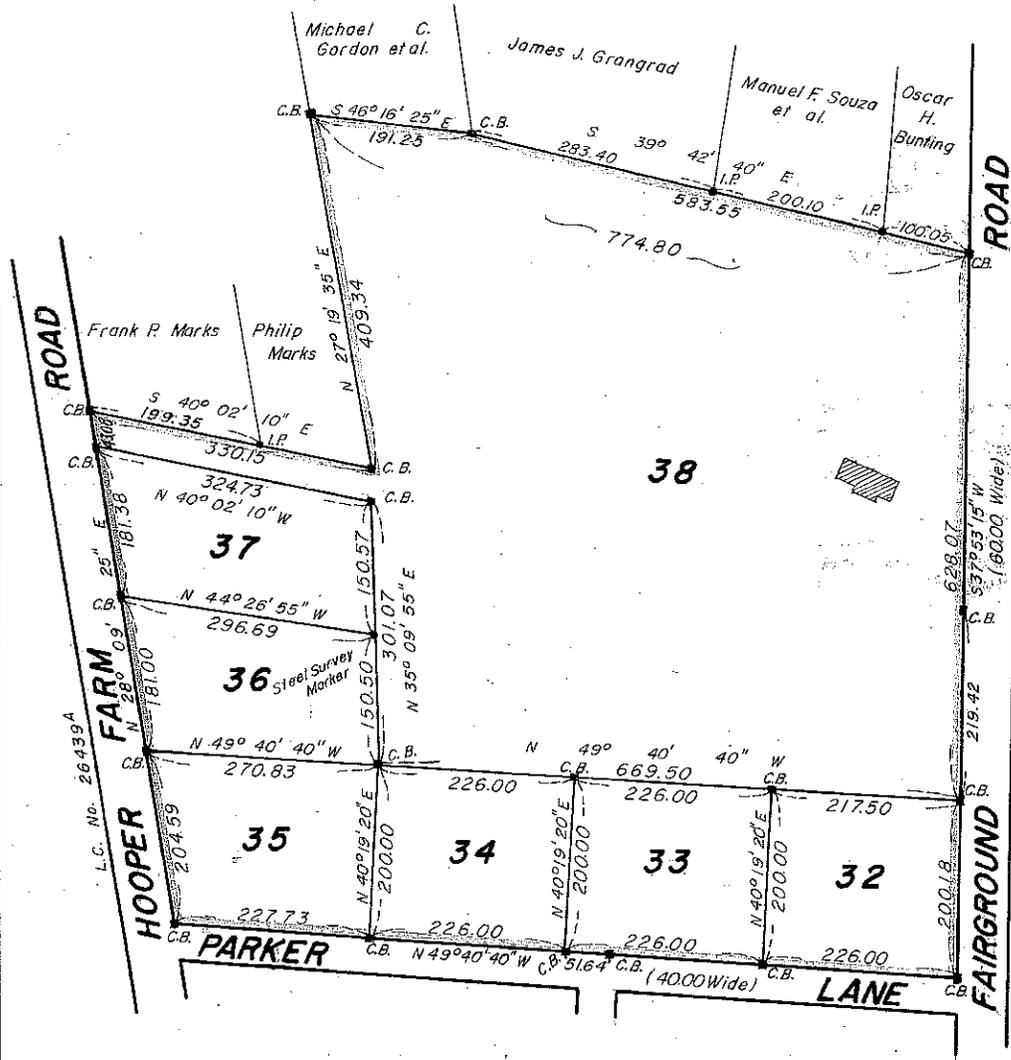
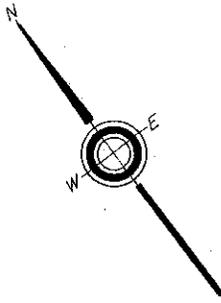
34507-15
 LAND COURT
 MAY 08 2010
 FILED

SUBDIVISION PLAN OF LAND IN NANTUCKET

34507 D

Josiah S. Barrett, Surveyor

March 28, 1970



Subdivision of Lot 31
Shown on Plan 34507^C
Filed with Cert. of Title No. 5921
Registry District of Nantucket County

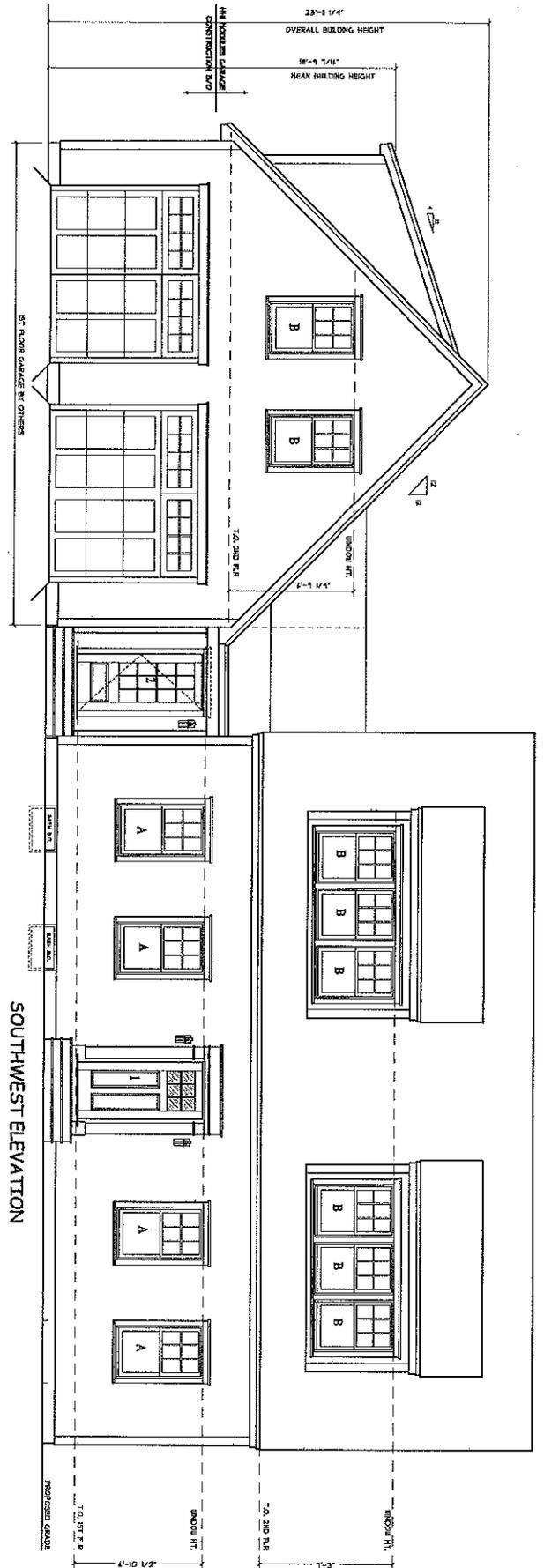
Separate certificates of title may be issued for land
shown hereon as Lots 32 thru 38
By the Court.

APRIL 3, 1970
M.G.E.

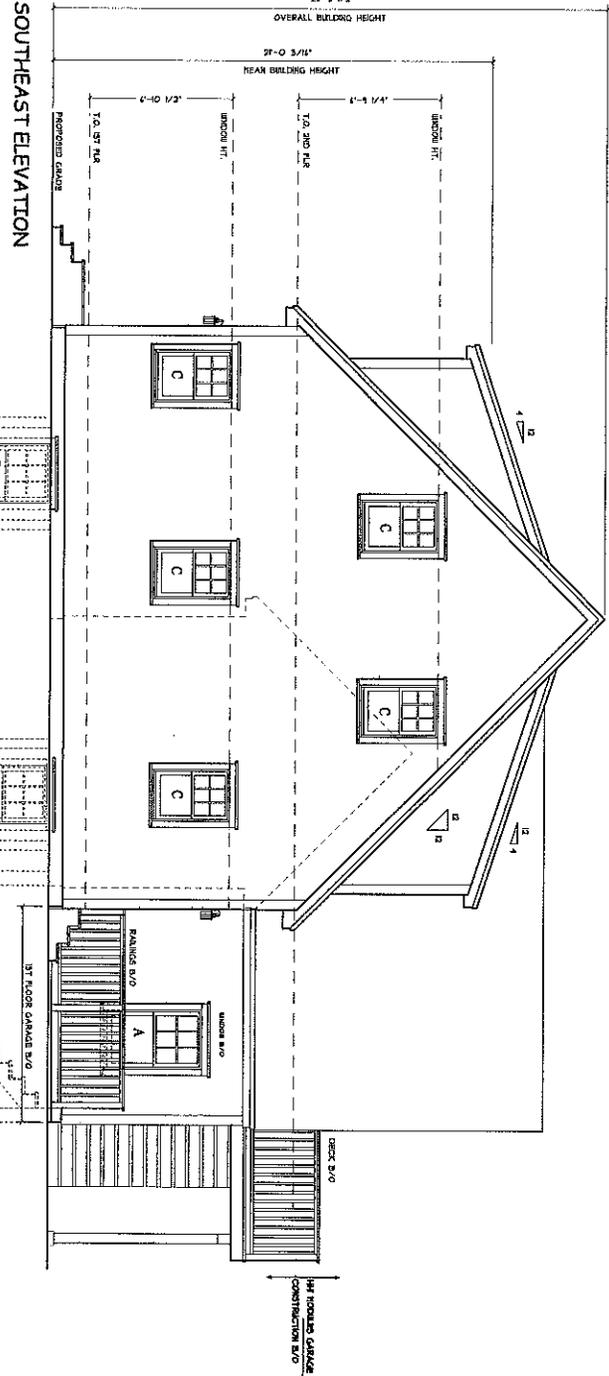
Margaret M. Daly
Recorder

Copy of part of plan
filed in
LAND REGISTRATION OFFICE
APRIL 3, 1970
Scale of this plan 150 feet to an inch
R.L. Woodbury, Engineer for Court

This plan filed with Certificate No. 5969



SOUTHWEST ELEVATION



SOUTHEAST ELEVATION

DATE	7/26/23
BY	1/1/2023
NO.	

FOR PRIMARY PLANS
NOT FOR CONSTRUCTION

ELEVATIONS

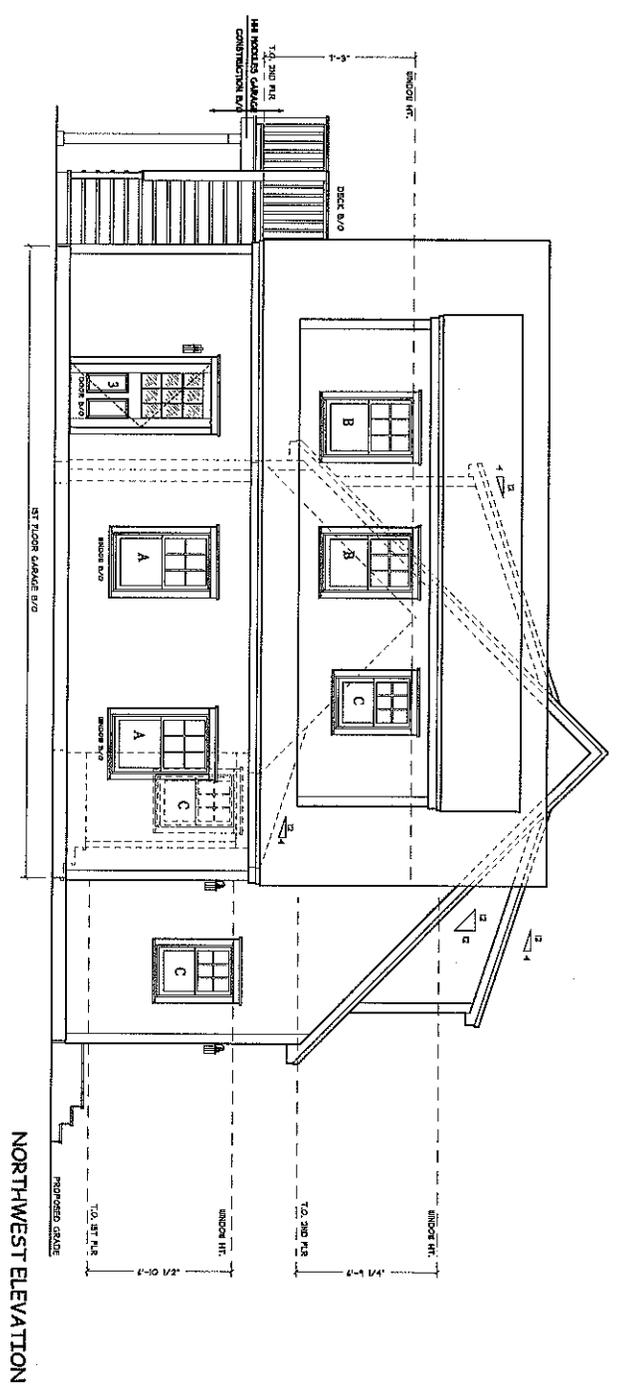
ANDERSON #1

SCALE
1/4" = 1'-0"

SHEET SIZE 18x24
PROJECT # 9181

HUNTINGTON
HOMES, INC.
141 NORTH ST. 2ND FL. - 1ST FLOOR PLAN
1000 W. 10TH ST. - 1ST FLOOR PLAN

DRAWING NO. EL-1



NORTHWEST ELEVATION



NORTHEAST ELEVATION

PROJECT NO.	9881
DATE	12/07/15
PERIODIC	
REVISIONS	

PRELIMINARY PLANS
NOT FOR CONSTRUCTION

ELEVATIONS

ANDERSON #1

SCALE
1/4" = 1'-0"

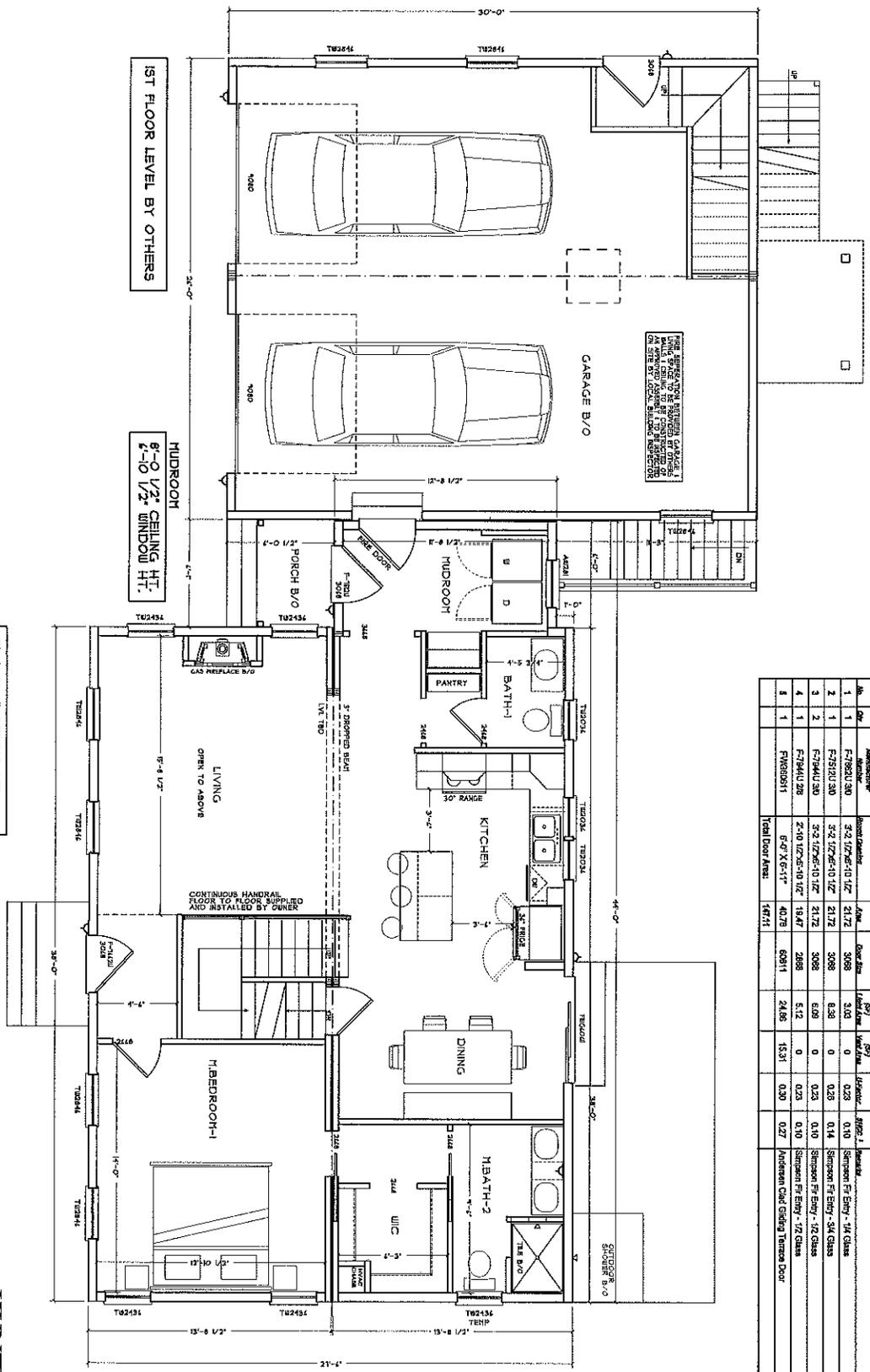
HUNTINGTON
HOMES, INC.
PROJECT # 9881
SHEET SIZE 18x24
DRAWING NO. **EL-2**

WINDOW SCHEDULE Require Egress: 3/4 SF Mark Double Hinged Window Opening

No.	Qty	Manufacturer	Model	Req'd	Actual	U-Value	R-Value	Notes
A	7	TW2946	2'-10 1/2" X 4'-6"	13.26	5.03	0.28	0.31	Anderson Chad Tri-Vision Low-E Window
B	14	TW2942	2'-0 1/2" X 4'-5"	12.24	4.81	0.28	0.31	Anderson Chad Tri-Vision Low-E Window
C	6	TW2938	2'-4 1/2" X 3'-5"	8.20	3.28	0.28	0.31	Anderson Chad Tri-Vision Low-E Window
D	3	TW2938	2'-4 1/2" X 3'-5"	7.88	2.77	0.28	0.31	Anderson Chad Tri-Vision Low-E Window
E	1	AW281	2'-8" X 2'-5"	6.20	1.2	0.28	0.31	Anderson Chad Tri-Vision Low-E Window
Total Window Area:		378.51						

DOOR SCHEDULE

No.	Qty	Manufacturer	Model	Req'd	Actual	U-Value	R-Value	Notes
1	1	F-73831-30	3'-2 1/2" X 6'-10 1/2"	21.72	3.08	0.28	0.14	Anderson Chad Tri-Vision Low-E Window
2	1	F-73831-30	3'-2 1/2" X 6'-10 1/2"	21.72	3.08	0.28	0.14	Anderson Chad Tri-Vision Low-E Window
3	2	F-73841-30	3'-2 1/2" X 6'-10 1/2"	43.44	6.16	0.28	0.14	Anderson Chad Tri-Vision Low-E Window
4	1	F-73841-30	3'-2 1/2" X 6'-10 1/2"	21.72	3.08	0.28	0.14	Anderson Chad Tri-Vision Low-E Window
5	1	PW282815	6'-0" X 6'-11"	40.78	6.0811	24.85	13.31	Anderson Chad Tri-Vision Low-E Window
Total Door Area:		147.11						



DATE	12/20/15
BY	ARCHITECT

PRELIMINARY PLANS
NOT FOR CONSTRUCTION

ARCH FIRST FLOOR

ANDERSON #1

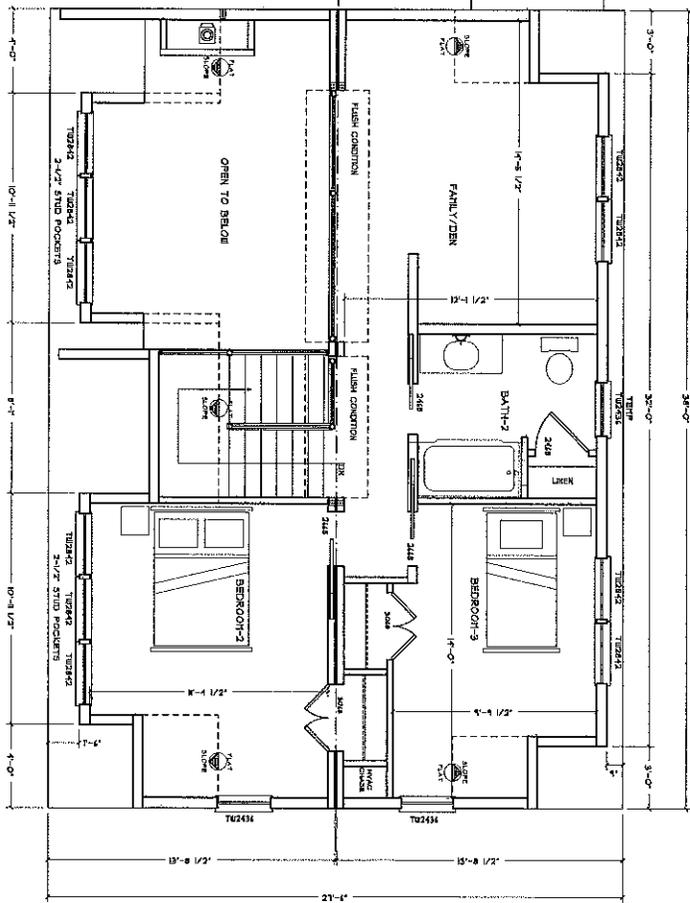
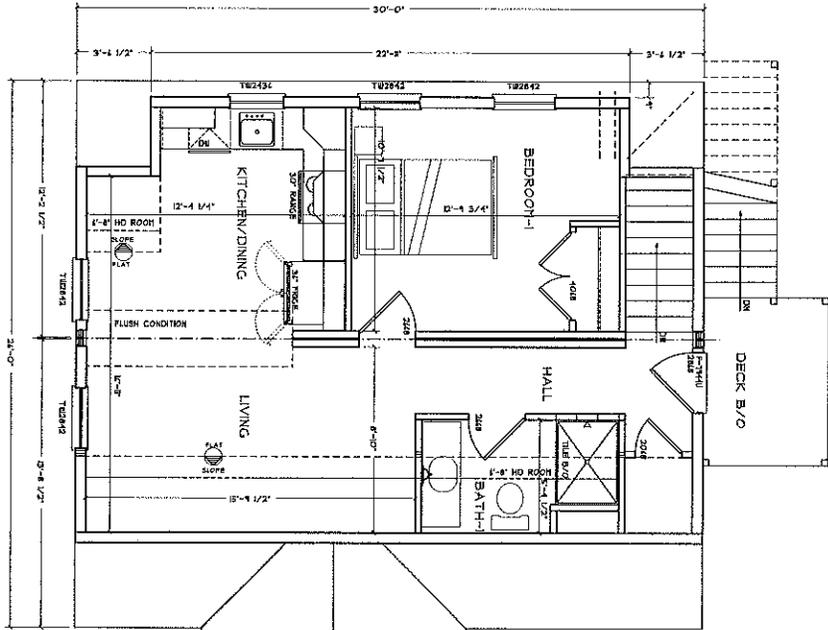
FL-1 8'-6" CEILING HT.
8'-0 1/2" WINDOW HT.

FL-2 8'-6" CEILING HT.
8'-0 1/2" WINDOW HT.

SCALE
1/4" = 1'-0"

HUNTINGTON HOMES, INC.
PROJECT # 9881
SHEET SIZE 18x24
DRAWING NO. 1-1

RECEIVED
 DEC 07 2015



DATE	DESCRIPTION
12/23/15	ISSUED FOR PERMITS

PRELIMINARY PLANS
 NOT FOR CONSTRUCTION

ARCH SECOND FLOOR

ANDERSON #1

300 GARDEN AVENUE, VA
 SUITE 200, RESTON, VA 20191
 (703) 791-1000

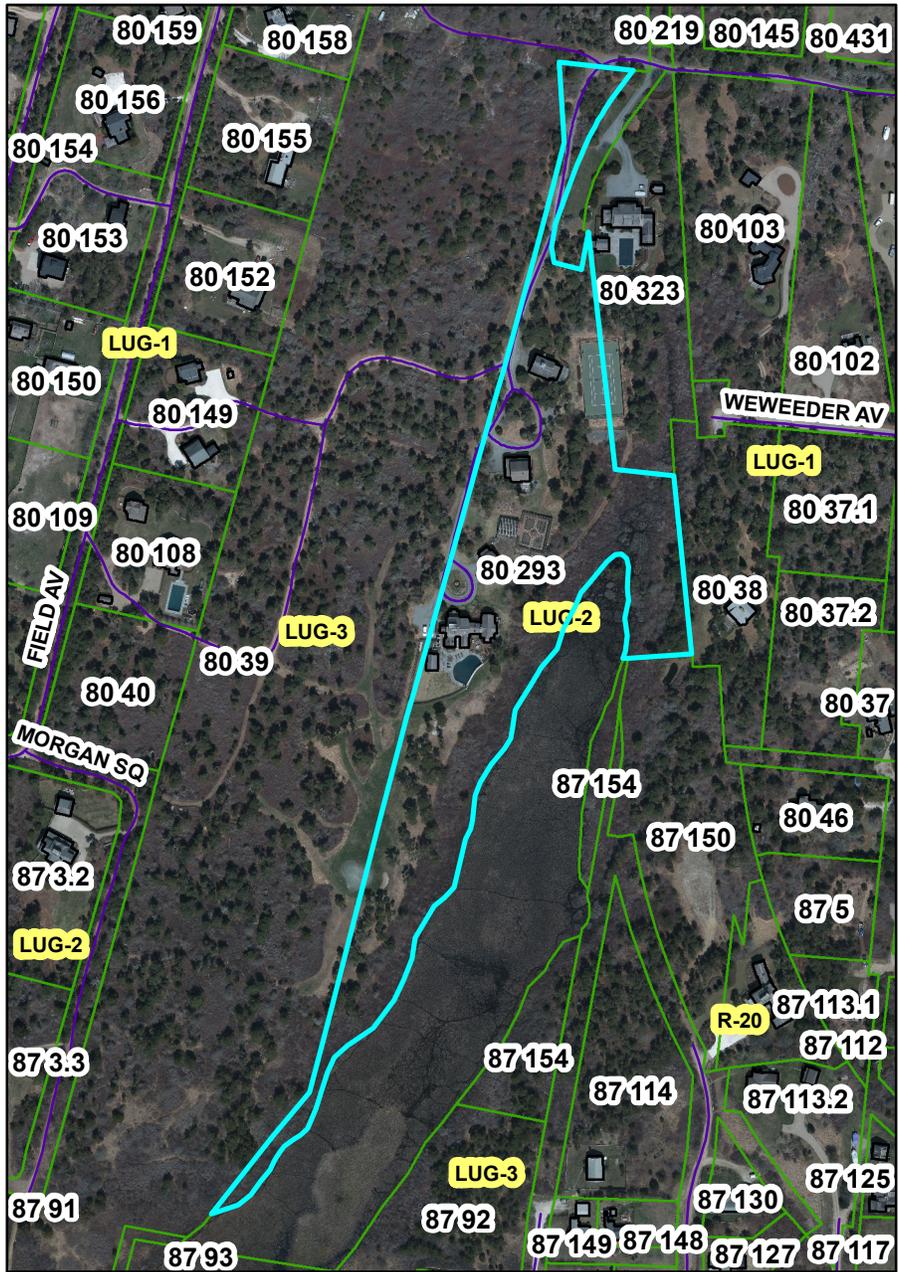
SCALE
 1/4" = 1'-0"

PROJECT # 9881
 SHEET SIZE 18x24
 DRAWING NO. R-2

HUNTINGTON
 HOMES, INC.



Planning Board #02-16
1 Pochick Avenue
Map 80 Parcel 293





Rec'd Town Clerk's
Town Clerk's
M. Holmes
Dec. 04 2015
3:03 p.m.
PB# 02-16

Nantucket Planning Board

Form B1

Application for Approval of a Definitive Subdivision Modification

File one completed form with the Planning Board and one copy with the Town Clerk.

Date: December 14, 2015 File #: 6353

To the Planning Board of Nantucket:

The undersigned, being the applicant as defined under Chapter 41, Section 81-L, for approval of a proposed subdivision *modification* shown on a plan entitled Definite Plan of Land designed by Island Surveyors, LLC dated December 14, 2015, and described as follows: located on 1 Pochick Avenue, Nantucket

_____, number of lots proposed 4, 2 buildable, total acreage of tract 5, hereby submits said plan as a **definitive plan modification** in accordance with the *Rules and Regulations Governing the Subdivision of Land* of the Nantucket Planning Board and makes application to the Board for approval of said modification.

The undersigned's title to said land is derived from Mark and Maureen Lombardi by deed dated April 1, 2008 and recorded in the Nantucket Registry of Deeds Book 1142, Page 44, registered in the Nantucket Registry District of the Land Court, Certificate of Title # _____ and shown on Nantucket Assessor's Map # 80, Parcel 293, and said land is free of encumbrances except for the following: see attached

Said plan has has not evolved from a preliminary plan submitted to the Board on _____ (date) and approved disapproved on _____ (date).

The undersigned hereby applies for the approval of said **definitive plan modification** by the Board, in belief that the plan conforms to the Board's *Rules and Regulations*.

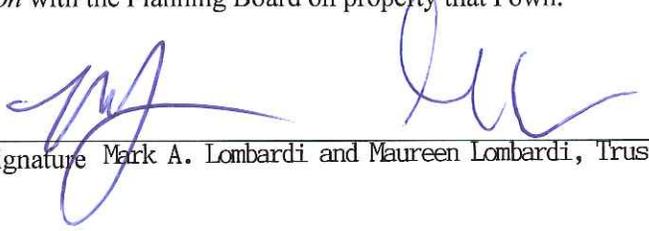
Name(s) and address(es) of the Applicant(s):
(to include all the names and addresses of the principals of the owner entity such as principal officers of the corporation, trustees

Contact Phone #: 508-325-1695 Contact Fax #: _____

Name of owner(s): Mark A. Lombardi and Maureen Lombardi, Trustees of Lombardi Realty Trust

Address of owner(s): Post Office Box 2364, Nantucket, Massachusetts 02584

I hereby certify that the applicant(s) listed above have been authorized by me to file a subdivision plan *modification* with the Planning Board on property that I own.



Owner's signature Mark A. Lombardi and Maureen Lombardi, Trustees

Received by Town Clerk:
Date: Dec. 14 2015
Time: 3:05 p.m.

Received by Board of Health:
Date: 12/14/15
Time: 3:00 pm

Planning Board File #: 02-16



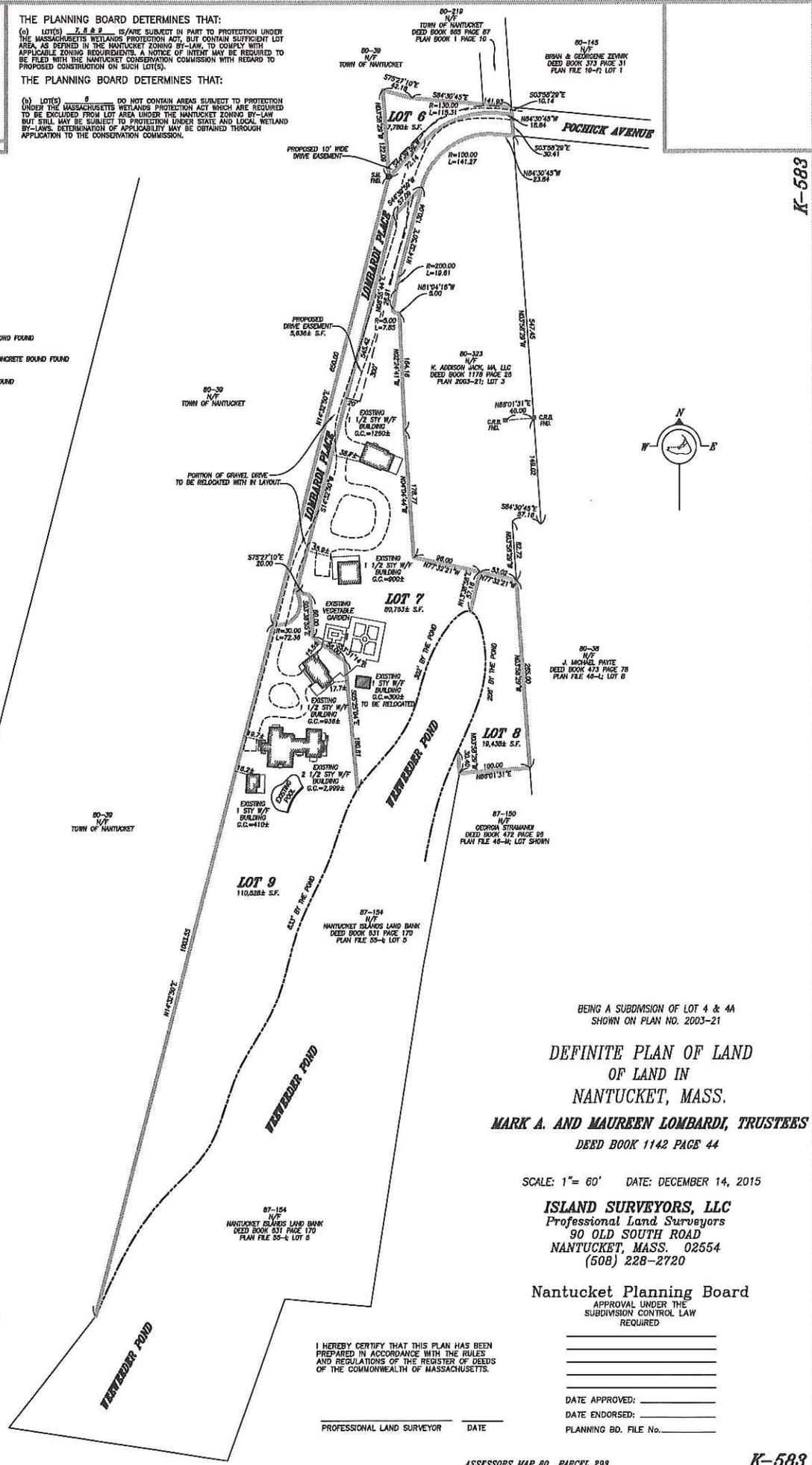
LOCUS MAP SCALE 1" = 2000'

CURRENT ZONING CLASSIFICATION:
 Limited Use General 2 (L.U.G.-2)
 MINIMUM LOT SIZE: 80,000 S.F.
 MINIMUM FRONTAGE: 150 FT.
 FRONT YARD SETBACK: 35 FT.
 REAR/SIDE SETBACK: 10 FT.
 GROUND COVER R: 4%

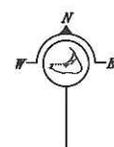
LEGEND

- CRB FIN. DENOTES COUNTY ROAD BOUND FOUND
- DRH FIN. DENOTES DRILL HOLE IN CONCRETE BOUND FOUND
- SM FIN. DENOTES STEEL MARKER FOUND

THE PLANNING BOARD DETERMINES THAT:
 (c) LOT(S) 7, 8 & 9 IS/ARE SUBJECT IN PART TO PROTECTION UNDER THE MASSACHUSETTS WETLANDS PROTECTION ACT, BUT CONTAIN SUFFICIENT LOT AREA AS DEFINED IN THE NANTUCKET ZONING BY-LAW, TO COMPLY WITH APPLICABLE ZONING REQUIREMENTS. A NOTICE OF INTENT MAY BE REQUIRED TO BE FILED WITH THE NANTUCKET CONSERVATION COMMISSION WITH REGARD TO PROPOSED CONSTRUCTION ON SUCH LOT(S).
 THE PLANNING BOARD DETERMINES THAT:
 (b) LOT(S) 8 DO NOT CONTAIN AREAS SUBJECT TO PROTECTION UNDER THE MASSACHUSETTS WETLANDS PROTECTION ACT WHICH ARE REQUIRED TO BE EXCLUDED FROM LOT AREA UNDER THE NANTUCKET ZONING BY-LAW BUT STILL MAY BE SUBJECT TO PROTECTION UNDER STATE AND LOCAL WETLAND BY-LAWS. DETERMINATION OF APPLICABILITY MAY BE OBTAINED THROUGH APPLICATION TO THE CONSERVATION COMMISSION.



K-583



BEING A SUBDIVISION OF LOT 4 & 4A
 SHOWN ON PLAN NO. 2003-21

**DEFINITE PLAN OF LAND
 OF LAND IN
 NANTUCKET, MASS.**

MARK A. AND MAUREEN LOMBARDI, TRUSTEES
 DEED BOOK 1142 PAGE 44

SCALE: 1" = 60' DATE: DECEMBER 14, 2015

ISLAND SURVEYORS, LLC
 Professional Land Surveyors
 90 OLD SOUTH ROAD
 NANTUCKET, MASS. 02554
 (508) 228-2720

Nantucket Planning Board
 APPROVAL UNDER THE
 SUBDIVISION CONTROL LAW
 REQUIRED

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN
 PREPARED IN ACCORDANCE WITH THE RULES
 AND REGULATIONS OF THE REGISTER OF DEEDS
 OF THE COMMONWEALTH OF MASSACHUSETTS.

PROFESSIONAL LAND SURVEYOR _____ DATE _____

DATE APPROVED: _____
 DATE ENDORSED: _____
 PLANNING BD. FILE No. _____

Waivers requested:

Any applicable to original plan, plus if needed,

- 2.06a(2), (5), (9), (10), (11) and (12)
Submission Requirements
- 2.06b(6) Bounds
- 2.06b(10) Topography
- 2.06b(13) Utility Plan
- 2.06b(14) Landscape Plan
- 2.06b(16) Location of Curbs and Gutters
- 2.06b(17) Roadway Cross-section
- 2.06b(18) On-site Brush Disposal
- 2.06b(19) Storm Drainage
- 2.06b(20) Profiles of Streets and Utilities
- 2.06b(21) Erosion Control Plans
- 2.06e Staking of Subdivision
- 3.02 Public Open Space
- 4.04b Dead-End Street
- 4.05 Street Construction
- 4.16 Landscape Plan
- 4.18 Sidewalks
- 4.19 Bicycle Paths
- 4.20 Street Lights
- 4.22 Curbing and Berms
- 4.23 Soil Surveys
- 4.24 Driveway Aprons

ENCUMBRANCES
1 Pochick Avenue

1. Provisions of an Easement dated May 4, 1995, recorded with Nantucket Deeds in Book 473, Page 81.
2. Provisions of Statement of Conditions of Subdivision Approval dated August 6, 1999, recorded with Nantucket Deeds in Book 631, Page 25.
3. Provisions of Instrument of Trust of Lombardi Acres Homeowner's Association Trust, dated August 6, 1999, recorded with Nantucket Deeds in Book 631, Page 32.
4. Provisions of a Road Maintenance and Endowment Agreement dated August 6, 1999, recorded with Nantucket Deeds in Book 631, Page 53.
5. Provisions of Declaration of Restrictions and Easements dated August 6, 1999, recorded with Nantucket Deeds in Book 631, Page 58, as affected by an Amendment dated April 3, 2007, recorded with Nantucket Deeds in Book 1077, Page 22.
6. Provisions of Grant of Right of Enforcement of Restrictions in favor of the Nantucket Planning Board, dated August 6, 1999, recorded with Nantucket Deeds in Book 631, Page 70.
7. Provision of Grant of Easement in favor of the Nantucket Islands Land Bank dated August 6, 1999, recorded with Nantucket Deeds in Book 631, Page 161.
8. Provisions of an Easement Agreement dated December 10, 1999, recorded with Nantucket Deeds in Book 643, Page 338.
9. Grant of Easement dated April 16, 2007, recorded with Nantucket Deeds in Book 1132, Page 117.
10. Provisions of an Easement with the Nantucket Electric Company dated June 17, 2003, recorded with Nantucket Deeds in Book 831, Page 331.
11. Mortgage by Mark A. Lombardi and Maureen Lombardi, to ING Bank, FSB, dated March 26, 2008, recorded with Nantucket Deeds in Book 1132, Page 117.

READE, GULLICKSEN, HANLEY & GIFFORD, LLP

SIX YOUNG'S WAY

NANTUCKET, MASSACHUSETTS 02554

(508) 228-3128

FAX: (508) 228-5630

ARTHUR I. READE, JR., P.C.
KENNETH A. GULLICKSEN
MARIANNE HANLEY
WHITNEY A. GIFFORD

MAILING ADDRESS
POST OFFICE BOX 2669
NANTUCKET, MASS. 02584

December 14, 2015



BY HAND DELIVERY

Catherine Ancero, Administrative
Assistant
Planning and Land Use Services
2 Fairgrounds Road
Nantucket, Massachusetts 02554

Re: 1 Pochick Avenue

Dear Catherine:

Enclosed please find a Form B1 Application for Approval of a Definitive Subdivision Modification. Please place this matter on the agenda for the January 11, 2016 Planning Board meeting.

Please let me know if you need anything further. Thank you for your assistance.

Sincerely,

Marianne Hanley

Enclosures

Cc: Mr. & Mrs. Mark A. Lombardi



Property Information

Property ID 80%20293
Location 1 POCHICK AV
Owner LOMBARDI MARK A & MAUREEN TRST



**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**

Town and County of Nantucket, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Registered Entered
JUN 04 2003 Time: 2:57
Nantucket County Deeds
Book: 276 Page: 124
Joanne L. Kelley
Register of Deeds



COPY

(LOBARDI)
SUBDIVISION)POCHICK
AVENUE
05/13/2003 SUBDIVISION

NANTUCKET PLANNING BOARD

DECISION

Subdivision Modification
Mark Lombardi
(Map 80, Parcel 104 & 293)
Planning Board File # 6353

May 12, 2003

Requested Modification:

The applicant, Mark Lombardi, requested that the Planning Board modify the decision for the Lombardi Subdivision dated January 14, 1998, to modify the approved definitive subdivision plan as follows:

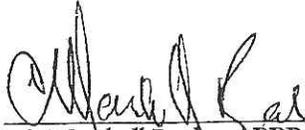
- Changing the asphalt apron to cobblestone
- Relocating the driveway layout from Pochick Avenue
- Relocating the catch basins
- Adjusting property lines
- Adjusting the road layout

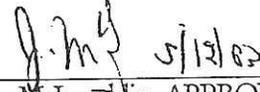
Findings:

The Planning Board, at its April 28, 2003 meeting found that the proposed modification of the Definitive Subdivision Plan did not affect the intent or findings of the original decision. Horsley & Witten (engineering consultants for the Town) recommended the proposed modification.

Decision and Vote:

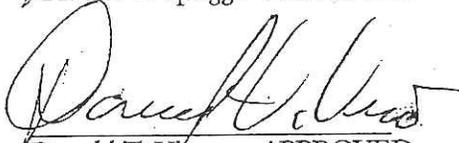
A motion was made and duly seconded to allow the Modification of the definitive subdivision plans for property owned by Mark Lombardi, located off of Pochick Avenue. On April 28, 2003 the Planning Board voted 5-0 to **APPROVE** this subdivision modification and on May 12, 2003 the Planning Board voted 5-0 to **ENDORSE** the revised definitive plans entitled "Subdivision of Land off of Pochick Avenue in Nantucket, MA, modified April 8, 2003" prepared for Mark Lombardi by Daylor Consulting Group, Braintree MA.


C. Marshall Beale APPROVED

 5/12/03
John McLaughlin APPROVED


Francis T. Spriggs APPROVED


Barry Rector APPROVED

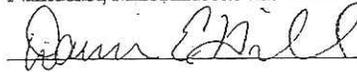

Donald T. Visco APPROVED

COMMONWEALTH OF MASSACHUSETTS

Nantucket, SS

May 12, 2003

Then personally appeared John McLaughlin one of the above-named members of the Planning Board of Nantucket, Massachusetts and acknowledged the fore-going instrument to be his/her free act and deed before me.

 Notary Public

DAWN E. HILL Date my Commission Expires
Notary Public
My Commission Expires
October 24, 2008

TOWN CLERK

'03 MAY 13 AM 1:50

RECEIVED

ATTEST: A TRUE COPY


NANTUCKET TOWN CLERK

I CERTIFY THAT 30 DAYS HAVE ELAPSED AFTER MY DECISION WAS FILED IN THE OFFICE OF THE TOWN CLERK, AND THAT NO APPEAL HAS BEEN FILED PURSUANT TO GENERAL LAWS 81A, SECTION 11



JUN 03 2003



NANTUCKET PLANNING BOARD

June 16, 1999

BY CERTIFIED MAIL

Mark A. Lombardi
14 Folger Avenue
Nantucket, MA 02554

Re: Definitive Plan of Land off Pochick Avenue (File #6353)

Dear Mr. Lombardi:

It is hereby certified that the Planning Board of the Town of Nantucket, at a meeting held on June 14, 1999, voted to Approve your Definitive Plan for a tract of land south of Pochick Avenue, north and west of Station Street, as shown on the Town of Nantucket Assessor's Map 80 Parcels 104 and 293. This subdivision approval is based on plans prepared by Daylor Consulting Groups, Inc., and entitled "Subdivision Plan of Land off Pochick Avenue in Nantucket, MA" dated April 7, 1999, and revised 5/20/99 (as further revised in accordance with the conditions of this decision), and is granted conditional upon compliance with the Town's *Rules and Regulations Governing the Subdivision of Land*, (as amended through January 28, 1991), and on the following additional requirements and agreements:

1. Lot 5 is not a buildable lot and is to be conveyed to the Nantucket Land Bank, which will be combined with abutting parcels also owned by the Nantucket Land Bank.
2. All required infrastructure improvements to Pochick Avenue shall be completed in accordance with the endorsed definitive plans within two years from the date of definitive plan endorsement. The Planning Board may grant extension of this deadline without a public hearing.
3. Pochick Avenue shall be graded to a width of 10', and vegetation cut to a width of 12' and a height of 13', in accordance with the standards for a stabilized gravel road as set down in Appendix A and Plate #6 of the *Rules and Regulations*. The definitive subdivision plans provide this information accordingly.
4. Upon receiving this subdivision approval, the Applicant has agreed to restrict any further subdivision of Lots 3, 4 and 5 that create additional building lots. Information to this effect has been added to the subdivision plans and the appropriate legal documentation shall be recorded with the Nantucket Registry of Deeds. Proof of recording shall be provided to the Planning Board prior to any lot release.

5. A Homeowner's Association shall be established by the applicant, along with a Road Maintenance Endowment Fund, for the maintenance of all required improvements for Pochick Street, including grading, drainage facilities, swales, and utilities. The Association shall be initially endowed in the amount of \$500 per building lot (\$1,000 total). Proof of said endowment should be presented to the Board prior to the release of the first building lot. This fund shall be administered by the Homeowner's Association, with the Planning Board named as a third party enforcing agent.

6. Per Section 1.05 of the *Rules and Regulations* the following waivers are granted:
 - Section 2.06a(5) - Master Plan of adjacent unsubdivided land
 - Section 2.06a(6) - House Lot Numbers
 - Section 2.06a(11) - Storm Drainage Runoff Flow Calculations
 - Section 2.06a(12) - Site Analysis Report and Map
 - Section 2.06b(6) - Mass Coordinate System. Waiver granted upon condition that subdivision information will be submitted in digital form upon Plan endorsement.
 - Section 2.06b(10) - Topographical Map
 - Section 2.06b(13) - Existing and Proposed Utilities
 - Section 2.06b(14) - Landscape Plan
 - Section 2.06b(16) - Location of Curbs and Gutters
 - Section 2.06b(18) - Location of On-Site Disposal Area
 - Section 2.06b(20) - Profiles of Streets and Utilities
 - Section 4.03 - Streets. Waiver granted to allow the Applicant to construct roadway under the Rural Road Alternative.
 - Section 4.04a - Dead End Streets, Length. Planning Board grants a waiver to allow roadway distance of 1,040 feet based on low-density of subdivision, Lot 5 being conveyed to the Nantucket Land Bank and condition that Applicant agrees to no further subdivision restriction.
 - Section 4.04b - Dead End Streets, Turnaround. Planning Board grants a waiver from construction of any turnaround.
 - Section 4.09 - Shoulders
 - Section 4.10 - Guard Rails and Posts
 - Section 4.12 - Water Pipes and Related Equipment
 - Section 4.13 - Dry Sewer Lines
 - Section 4.16 - Landscaping
 - Section 4.17 - *Fire Alarm Systems and Emergency Water Supply System*
 - Section 4.18 - Sidewalks
 - Section 4.19 - Bike Paths
 - Section 4.20 - Street Lights
 - Section 4.21 - Bridges
 - Section 4.22 - Curbing and Berms

7. Plans and all required legal documents shall be presented to the Planning Board for endorsement within three (3) months of the date of this approval (September 14, 1999). The Planning Board may grant extensions of this deadline without a public hearing.

8. Recorded copies of all legal documents (Homeowners' Association document, Road Maintenance and Endowment Agreement, Statement of Conditions, Grant of Right of Enforcement, and Covenant) shall be presented to the Planning Board prior to the release of any lot from the Covenant.
9. Lots 3 and 4 shall not be released from the covenant until the drainage structures and the specified improvements for the 10' wide gravel spec roadway of Pochick Avenue and the interior subdivision road have been installed and approved by the Planning Board.
10. Roadway and associated infrastructure improvements shall not commence until the definitive plan has been endorsed by the Planning Board.
11. The applicant agrees that no further clearing or construction for roadway and drainage systems shall occur until a pre-construction meeting has been held. Such meeting shall, at a minimum, include representatives from the Planning Board, Department of Public Works, the Nantucket Electric Company, the developer, and construction contractors.

APPROVED

Marshall Keane
James G. ...
Ray ...
Donald Visco
 NANTUCKET PLANNING BOARD

COMMONWEALTH OF MASSACHUSETTS

NANTUCKET, SS

June 23, 1999

Donald Visco

Then personally appeared, one of the above-named members of the Planning Board of Nantucket, Massachusetts and acknowledged the fore-going instrument to be his her free act and deed before me.

Allen Donnelly Notary Public
 My Commission Expires:

RECEIVED
 TOWN CLERK'S OFFICE
 NANTUCKET, MA 02554

JUN 23 1999

TIME: 3:22 pm

Asst. CLERK: XL Carpenter



Planning Board #03-16
21 Greglen Ave
Map 68 Parcel 142

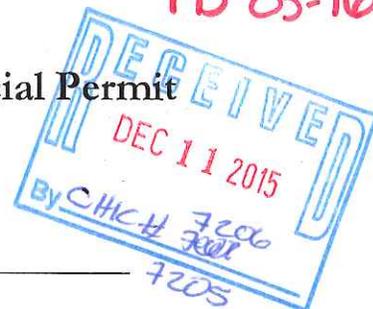




Bevel Town
Clubs
Dec. 11, 2015
12:12 pm
N.J. Holmes
PB# 03-16

Nantucket Planning Board

Application for an Amendment to a Previously Granted Special Permit



Date: 12/11/2015

Name of Development: _____

Planning Board File No.: 32-15 / ANR# 7859

Owner(s)' Name(s): GREG W. GLOWACKI

Mailing Address: 22A EVERGREEN, NANTUCKET, MA 02554

Phone number: 508-325-2548 Fax number: _____ E-mail: _____

Applicant's Name: _____

Mailing Address: _____

Phone number: _____ Fax number: _____ E-mail: _____

Engineer/Surveyor: EDWARD F. KING JR.

Mailing Address: Box 1197 NANTUCKET MA 02554

Phone number: 228-7720 Fax number: _____ E-mail: _____

Location of Lots:

Street Address: 21 GREGLEM AVENUE

Tax Assessor's Map: 68 Parcel: 142

Nantucket County Registry of Deeds:

Land Court Plan 16514-2 or Plan Book _____ Page _____

or Plan File #: _____

Size of Parcel 22,913 square feet

Zoning District R10

Describe proposed modification in detail:

UPDATED SUBDIVISION WITH GROUND COVER,
OFFSETS, & PARKING. (Attached plan)
Waiver of the shared driveway requirement pursuant to Section 139.8C(4)
Reconfiguration of Lots C + D to accommodate setback issues.

I/we hereby certify that the applicant cited above have been authorized by me/us to file a Special Permit application with the Nantucket Planning Board on property that I/we own.

Owner(s)' Signature(s):

Guy Glowacki

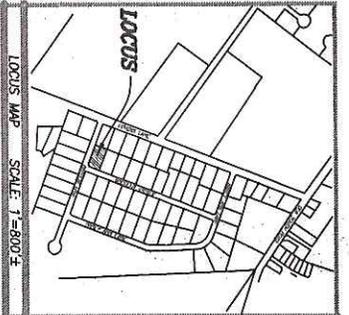
Applicant's Signature:

I/we _____, the undersigned, hereby authorize _____ to act as agent(s) on my/our behalf and to make any necessary revision on this filed application as may be requested by the Board to meet its governing rules and guidelines.

Owner(s)' Signature(s):

This application must be accompanied by a filing fee of \$250.00 payable to Town of Nantucket plus \$6.74 per abutters notice payable to Pitney Bowes Reserved Funds to cover the mailing of the public notices to the abutters and for the notices to abutters of the Board's decision, four sets of mailing labels (1 inch in height and 2.63 inches in width), as well sufficient materials (e.g. site plan, list of proposed modifications, drainage calculations, engineering changes, etc.) as necessary to permit the Planning Board to adequately evaluate the proposal. A list of abutters may be obtained from the Nantucket Tax Assessors office at 37 Washington Street. Each abutters name and address shall be recorded on the mailing labels. If the special permit modification pertains to a Major Commercial Development (MCD) the establishment of an escrow account may be necessary.

In addition, a "pdf" electronic copy of applications, plans and materials is requested. Electronic and pdf's can be submitted by disks or email to cancero@nantucket-ma.gov.



LOCUS MAP SCALE: 1"=800'±

CURRENT ZONING CLASSIFICATION:
Residential 10 (R-10)

MINIMUM LOT SIZE: 10,000 S.F.
MINIMUM FRONTAGE: 75 FT.
FRONT YARD SETBACK: 20 FT.
REAR/SIDE SETBACK: 10 FT.
GROUND COVER %: 25%

LEGEND

- dhCB DENOTES DRILL HOLE IN CONCRETE FOUND
- SSM DENOTES STEEL SURVEY MARKER FOUND
- N/F NOT FOUND

68-144 N/F
JEFFERY & KIMBERLY A REMICK
CERTIFICATE 1918A
L.C. 16514-R LOT 91

68-145 N/F
JOHN M. III & JULIE M. JORDAN
CERTIFICATE 20283
L.C. 16514-R LOT 90

68-185 N/F
KIMBERLY E. SPARKS
CERTIFICATE 24286
L.C. 16514-Z LOT 149

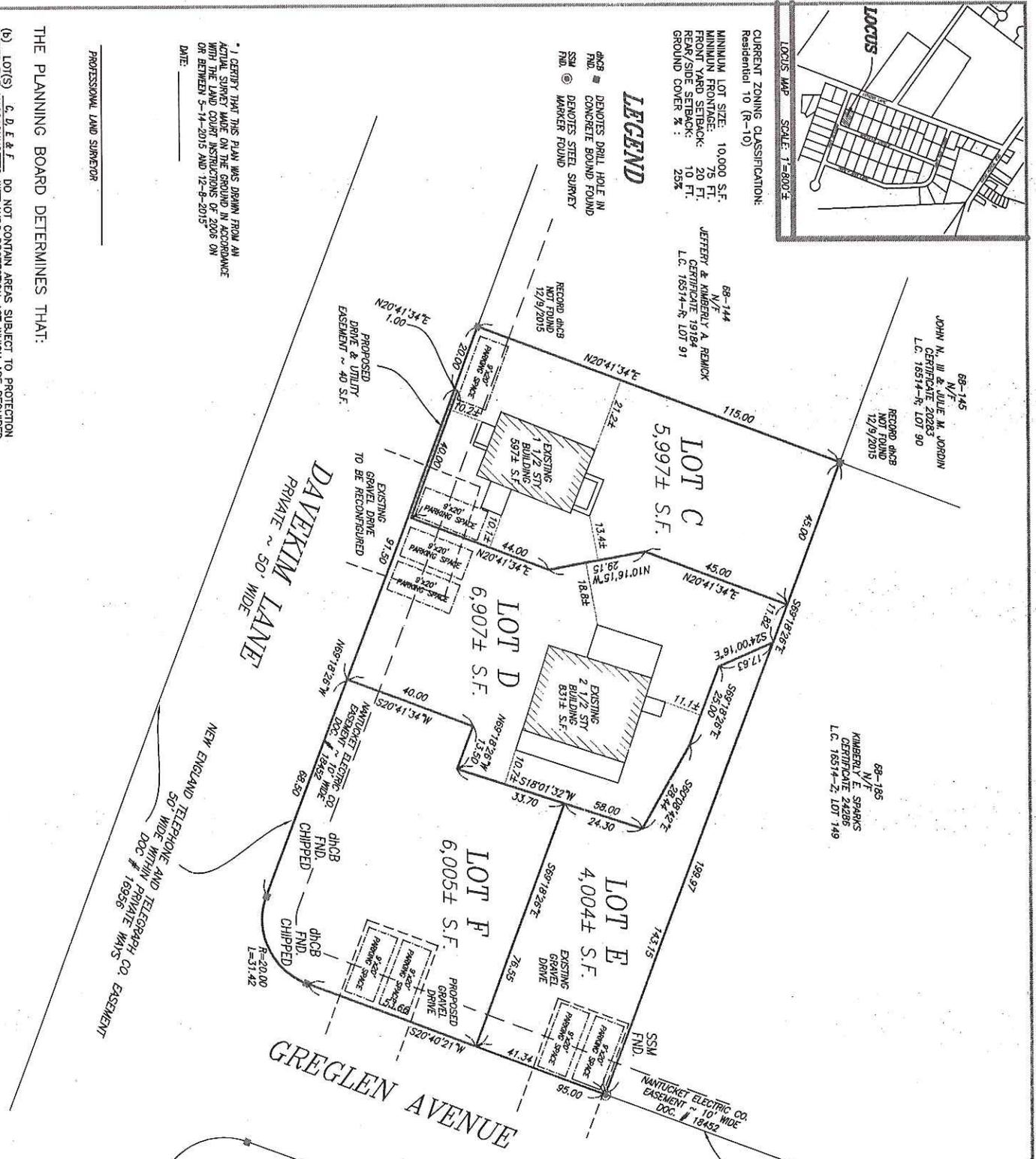
* I CERTIFY THAT THIS PLAN WAS DRAWN FROM AN ACTUAL SURVEY MADE ON THE GROUND IN ACCORDANCE WITH THE LAND COURT INSTRUCTIONS OF 2006 ON OR BETWEEN 5-14-2015 AND 12-8-2015
DATE: _____

PROFESSIONAL LAND SURVEYOR

THE PLANNING BOARD DETERMINES THAT:

(b). LOTS (C, D, E & F) DO NOT CONTAIN AREAS SUBJECT TO PROTECTION UNDER THE MASSACHUSETTS WETLANDS PROTECTION ACT WHICH ARE REQUIRED TO BE EXCLUDED FROM LOT AREA UNDER THE NANTUCKET ZONING BY-LAW BUT STILL MAY BE SUBJECT TO PROTECTION UNDER STATE AND LOCAL WETLAND BY-LAWS. DETERMINATION TO APPLICATION MAY BE OBTAINED THROUGH APPLICATION TO THE CONSERVATION COMMISSION.

SURVEY PRECISION: 1:111667
LINEAR ERROR OF CLOSURE: 0.0197
DIRECTIONAL ERROR OF CLOSURE: N46°07'44.2"E
INSTRUMENT/ACCURACY: WILD T0800 f13mm+2ppm)



NEW ENGLAND TELEPHONE AND TELEGRAPH CO. EASEMENT
50' WIDE WITHIN PRIVATE WAYS
DOC # 16956

L.C. PLAN 16514-U

BEING A SUBDIVISION OF LOT 148
SHOWN ON LAND COURT PLAN 16514-Z

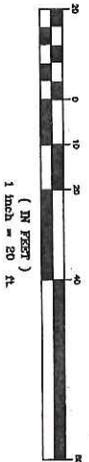
PLAN OF LAND

NANTUCKET, MASS.

PREPARED FOR
GREG W. GLOWACKI

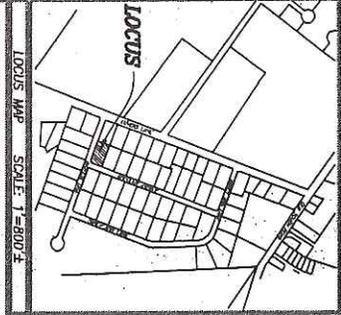
CERTIFICATE OF TITLE # 28280
SCALE: 1"=20' DATE: DECEMBER 9, 2015

ISLAND SURVEYORS, LLC
Professional Land Surveyors
90 OLD SOUTH ROAD
NANTUCKET, MASS. 02554
(508) 228-2720
GRAPHIC SCALE



Nantucket Planning Board
APPROVAL UNDER THE
SUBDIVISION CONTROL LAW
NOT REQUIRED

DATE SIGNED _____ TITLE # _____



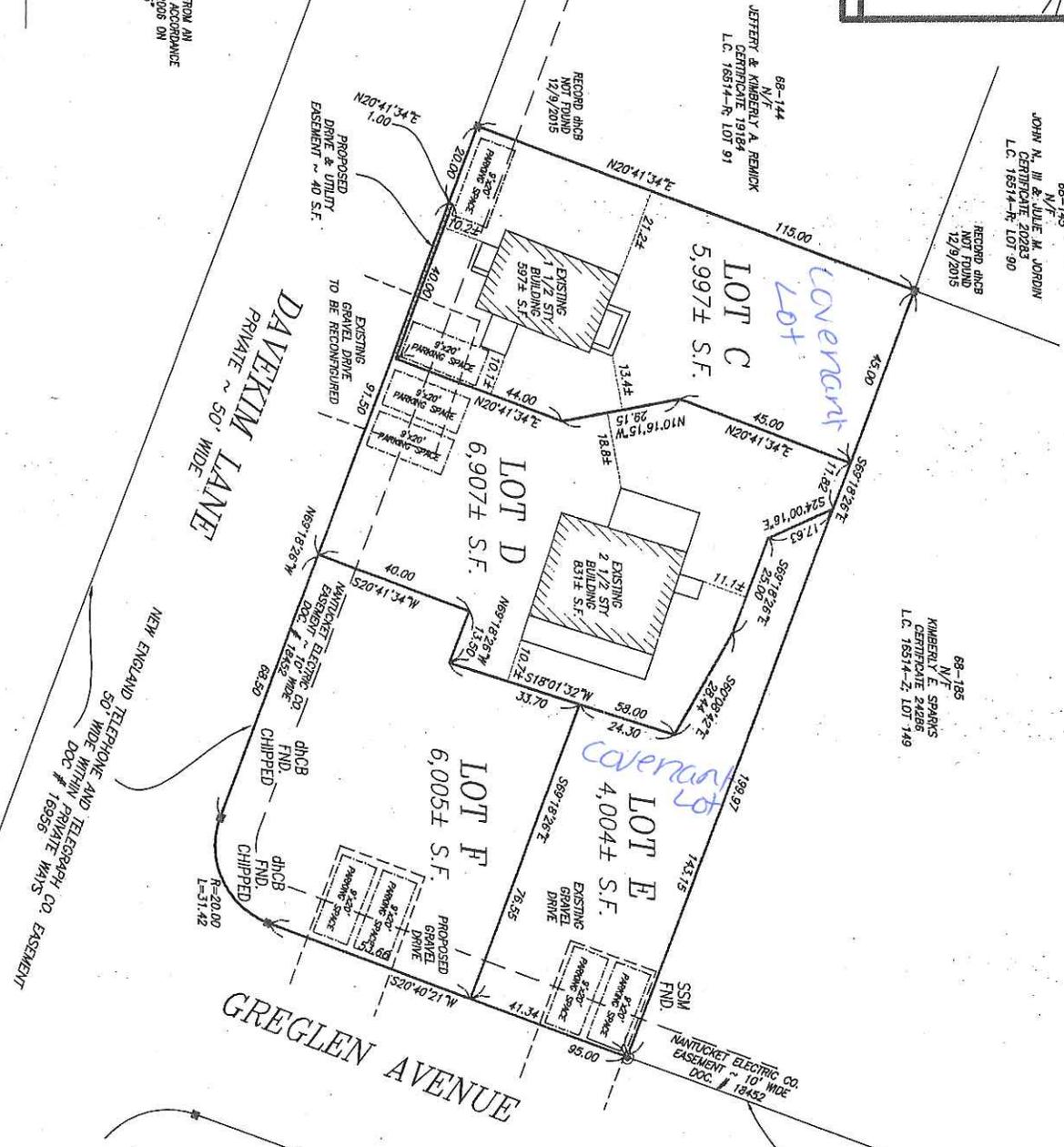
CURRENT ZONING CLASSIFICATION:
Residential 10 (R-10)

MINIMUM LOT SIZE: 10,000 S.F.
MINIMUM FRONT SETBACK: 20 FT.
MINIMUM REAR/SIDE SETBACK: 10 FT.
GROUND COVER %: 25%

LEGEND

Ø Ø Ø DENOTES DRILL HOLE IN CONCRETE FOUND FOUND

SSM DENOTES STEEL SURVEY MARKER FOUND



THE PLANNING BOARD DETERMINES THAT:

(b) LOT(S) C, D, E & F DO NOT CONTAIN AREAS SUBJECT TO PROTECTION UNDER THE MASSACHUSETTS WETLANDS PROTECTION ACT WHICH ARE REQUIRED TO BE EXCLUDED FROM LOT AREA UNDER THE NAUTUCKET ZONING BY-LAW BUT STILL MAY BE SUBJECT TO PROTECTION UNDER STATE AND LOCAL WETLAND BY-LAWS. DETERMINATION OF APPLICABILITY MAY BE OBTAINED THROUGH APPLICATION TO THE CONSERVATION COMMISSION.

* I CERTIFY THAT THIS PLAN WAS DRAWN FROM AN ACTUAL SURVEY MADE ON THE GROUND IN ACCORDANCE WITH THE LAND COURT INSTRUCTIONS OF 2006 ON OR BETWEEN 5-14-2015 AND 12-9-2015.

DATE: _____

PROFESSIONAL LAND SURVEYOR

SURVEY PRECISION: 1:111,667
LINEAR ERROR OF CLOSURE: 0.0197
DIRECTIONAL ERROR OF CLOSURE: M60°44.2'E
INSTRUMENT/ACCURACY: WILD T6000 ±(3mm+2ppm)

ASSESSORS MAP 88 PARCEL 142

Nantucket Planning Board
APPROVAL UNDER THE
SUBDIVISION CONTROL LAW
NOT REQUIRED



BEING A SUBDIVISION OF LOT 148
SHOWN ON LAND COURT PLAN 16514-Z

PLAN OF LAND
IN
NANTUCKET, MASS.
PREPARED FOR
GREG W. GIOVACCI
CERTIFICATE OF TITLE # 26260
SCALE: 1"=20' DATE: DECEMBER 9, 2015

ISLAND SURVEYORS, LLC
Professional Land Surveyors
90 OLD SOUTH ROAD
NANTUCKET, MASS. 02554
(508) 228-2720
GRAPHIC SCALE



DATE SIGNED _____ TITLE # _____

R-559

From: Holly Backus
Sent: Thursday, December 31, 2015 2:45 PM
To: 'link02554@gmail.com'
Subject: 21 Greglan - PB #03-16
Attachments: #03-16 (21) Greglan Ave - Amendment to SP.pdf

Good Afternoon Tori,

Per our conversation today, please find the attached planning board file (as of today) for 21 Greglan Ave. I state that, because this request is a modification of a previously approved special permit from August of this year where the two secondary lots were created. Once staff has prepared the staff report and packets, a copy of the previous decision will be included in the packet for all.

Second lots require shared driveway access, however this application is asking for a waiver of that requirement (Section 139-8Ch.)

They are also proposing to reconfigure lots C & D to accommodate setback issue; per their application.

Please let me know if you have any questions or if I can be of further assistance.

Take care and Happy New Year!

Holly E. Backus
Land Use Specialist

Town of Nantucket
Planning & Land Use Services
2 Fairgrounds Road
Nantucket, MA 02554

Tel: 508-325-7587 X 7026

Fax: 508-228-7298

hbackus@nantucket-ma.gov

<http://www.nantucket-ma.gov>





Planning Board #04-16
37 West Miacomet Road
Map 81 Parcel 147





CHK#1371 1370 1372 1373
 CHK#1751 1750
 PB#04-16
 RECEIVED
 DEC 11 2015
 BY CHK#1370

Nantucket Planning Board

Application for an Amendment to a Previously Granted Special Permit

Date: 12/10/15

Name of Development: _____

Planning Board File No.: 27-12

Owner(s)' Name(s): Christine + Joseph P. Donelan II

Mailing Address: 9 Barclay Court, Rowayton, CT 06853

Phone number: 2036554514 Fax number: _____ E-mail: DONELANCT@aol.com

Applicant's Name: Structures UNLTD

Mailing Address: 2 Gireaten Ave, Pmb #64, NANTUCKET, MA 02554

Phone number: 508-325-3119 Fax number: 508-825-2067 E-mail: structuresunltd@gmail.com

Engineer/Surveyor: BRACKEN Engineering, Inc.

Mailing Address: 19 Old South Rd

Phone number: 508-325-0044 Fax number: 508-833-2282 E-mail: Brackeneng.com

Location of Lots:

Street Address: 37 West Miacomet Road

Tax Assessor's Map: 81 Parcel: 147

Nantucket County Registry of Deeds:

Land Court Plan 17368-0 (LOT 49) or Plan Book _____ Page _____

or Plan File #: _____

Size of Parcel 133,799 square feet

Zoning District MMD

Describe proposed modification in detail:

- Amending Existing Special Permit to add shed
- Expand Limit of Clearing for shed (1985sf), determination being less than 2005sf is exempt from ground cover.

I/we hereby certify that the applicant cited above have been authorized by me/us to file a Special Permit application with the Nantucket Planning Board on property that I/we own.

Owner(s)' Signature(s):

Christine Donelan Christine Donelan 11/10/15
Joseph P. Donelan II Joseph P. Donelan II 11/10/15

Applicant's Signature:

Kim Glowacki, Kim Glowacki

I/we _____, the undersigned, hereby authorize _____ to act as agent(s) on my/our behalf and to make any necessary revision on this filed application as may be requested by the Board to meet its governing rules and guidelines.

Owner(s)' Signature(s):

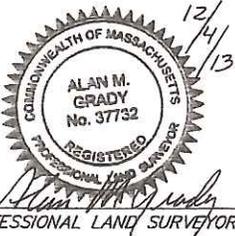
Christine Donelan Christine Donelan
Joseph P. Donelan II Joseph P. Donelan II

This application must be accompanied by a filing fee of \$250.00 payable to Town of Nantucket plus \$6.74 per abutters notice payable to Pitney Bowes Reserved Funds to cover the mailing of the public notices to the abutters and for the notices to abutters of the Board's decision, four sets of mailing labels (1 inch in height and 2.63 inches in width), as well sufficient materials (e.g. site plan, list of proposed modifications, drainage calculations, engineering changes, etc.) as necessary to permit the Planning Board to adequately evaluate the proposal. A list of abutters may be obtained from the Nantucket Tax Assessors office at 37 Washington Street. Each abutters name and address shall be recorded on the mailing labels. If the special permit modification pertains to a Major Commercial Development (MCD) the establishment of an escrow account may be necessary.

* In addition, a "pdf" electronic copy of applications, plans and materials is requested. Electronic and pdfs can be submitted by disks or email to cancero@nantucket-ma.gov.

TO THE TOWN OF NANTUCKET:

"I CERTIFY THAT THE BUILDING AND IMPROVEMENTS SHOWN WERE LOCATED BY AN ACTUAL FIELD SURVEY AND THE DIMENSIONS SHOWN ARE ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF."



WEST MIACOMET ROAD
MAP 81 PARCEL 53

WEST MIACOMET ROAD
MAP 81 PARCEL 52

WEST MIACOMET ROAD
MAP 81 PARCEL 147.1

DWELLING HEIGHT TO BE NO GREATER THAN 25' ABOVE ELEVATION 19 per SPECIAL PERMIT #04-12 DECISION #5.

EXISTING HOUSE IS CONFORMING AT 24.1' ABOVE ELEVATION 19.

MAP 81
PARCEL 147
133,794± s.f.
3.07± ac.

ZONING CLASSIFICATION (MMD)

	REQUIRED	EXISTING
LOT AREA:	435,600 s.f.	133,799± s.f.
FRONTAGE:	300'	502.51'
FRONT YARD:	50'	104.0'
SIDE YARD:	50'	160.4'
REAR YARD:	50'	100.7'
GROUND COVER:	0.5%(MAX) (669± s.f.)*	0.8% (1,497 s.f.)*

* MAXIMUM ALLOWABLE GROUND COVER IS 1,500 s.f. PER SECTION 139-33 E (2)(b).

NOTES:

- OWNER: JOSEPH P. DONELAN and CHRISTINE A. DONELAN
- DEED REF: CERT #24235 (DOC #136932)
- PLAN REF: LCC #17368-0 (LOT 49)
- SPECIAL PERMIT: DOC #136925 (MODIFICATION: DOC #138769)



49 HERRING POND ROAD BUZZARDS BAY, MA 02532
19 OLD SOUTH ROAD NANTUCKET, MA 02554

(tel) 508.833.0070 (tel) 508.325.0044
(fax) 508.833.2282 www.brackeneng.com

Sheet Title:
FINAL AS-BUILT PLAN
IN NANTUCKET, MASSASHUSETTS

Prepared for:
JOSEPH P. DONELAN and
CHRISTINE A. DONELAN
#37 WEST MIACOMET ROAD
MAP 81 PARCEL 147

PLAN SCALE



1 inch = 50 feet

Date: NOVEMBER 20, 2013
Drawn: RMM/JRL/DLH
Checked: AMG
Job: 0716-001



2012 00138769
Cert: 24235 Doc: MSP
Registered: 11/02/2012 09:31 AM



Nantucket Planning Board

RECEIVED
2012 OCT 12 AM 11:12
NANTUCKET TOWN CLERK

MODIFICATION: SPECIAL PERMIT DECISION NO. 04-12

Owners and Applicants: Joseph P. Donelan and Christine A. Donelan

37 West Miacomet Road

Tax Assessor's Map 81, Parcel 147
Land Court Plan No. 17368-0 (Lot 49)

September 20, 2012

PREVIOUS DECISIONS ON FILE WITH THE TOWN CLERK

PROPOSAL AND GENERAL DESCRIPTION

w/d
The Applicants initially requested a modification of Special Permit No. 04-12 to construct a small shed on the property, to reconfigure but not enlarge the limit of clearing on the property and to add first floor decks and porches to the proposed new dwelling in accordance with the revised site plan submitted by the Applicants drawn by Bracken Engineering, Inc. dated January 9, 2012 and revised August 30, 2012 (the "Site Plan") and supporting documentation. A copy of the revised Site Plan is attached hereto as Exhibit "A".

w/d
The Nantucket Planning Board held a public hearing on August 13, 2012 which was continued to September 10, 2012 to consider an application for the modification of Special Permit No. 04-12 and Site Plan review pursuant to Section 139-13C and D of the Nantucket Zoning By-Law (the "By-Law"). The Applicants, Christine and Joseph Donelan, sought to modify Special Permit No. 04-12 by constructing a small shed on the property located at 37 West Miacomet Road (the "Property"), by reconfiguring but not expanding the limit of clearing on the Property and by adding first floor porches and decks to the proposed new dwelling on the Property.

The Property is located in the Moorlands Management District ("MMD") and has an area of approximately 133,799 square feet (3.07 acres). The minimum lot size required in the MMD is 10 acres (435,600 sq. ft.). The maximum allowable ground cover in the MMD is 0.05% of lot area. The subject lot was created in 1982, prior to the adoption of the MMD (1984). As such, the lot is a pre-existing, non-conforming lot entitled to a maximum ground cover of 1,500 square feet pursuant to Section 139-33E(2)(b) of the By-Law. In addition, the existing single family dwelling on the Property has a ground cover of approximately 1,021± sq. feet and is a pre-existing and non-conforming structure pursuant to ~~Section 139-13(B)~~ of the By-Law.

The Applicants have withdrawn their request to construct a small shed on the Property but seek a modification of Special Permit No. 04-12 to ~~configure the limit of clearing on the Property and~~ to construct a new dwelling with a ground cover of approximately 1,497± sq. ft. as shown on the revised Site Plan.

BASIS OF THE FINDINGS:

- An Application for Modification of Special Permit No. 04-12 dated July 16, 2012.
- Letters and other materials submitted by the Applicants.
- Letter from the Commonwealth of Massachusetts Division of Fisheries and Wildlife dated August 13, 2012.
- Staff Reports dated August 9, 2012 and September 7, 2012.
- Site Viewings conducted by the individual Board Members.
- Representations and testimony received in connection with the public hearings held on August 13, 2012 and September 10, 2012.
- Other assorted documents on file with the Planning Board.

FINDINGS:

The Planning Board, through provisions of "site plan approval", finds that the modification of Special Permit No. 04-12 was consistent with the performance standards set forth in Section 139-13 (D)(1)-(3) of the By-Law and conformed with the Minor Site Plan Review requirements set forth in Section 139-23 of the By-Law.

In addition, the Board finds that the Applicants' modification proposal has no negative effect upon the environmental and scenic integrity of the MMD and finds further that by incorporating appropriate conditions in its modification decision, the Applicants' proposal will comply with the applicable "Performance Standards" for projects in the MMD in accordance with the provisions of Section 139-13(D)(1)-(3) of the By-Law.

Based upon the foregoing description, and above-referenced documents, testimony and information, the Nantucket Planning Board finds that the Applicants' proposal to modify Special

Permit No. 04-12 in accordance with the revised Site plan is acceptable and is in harmony with the general purpose and intent of the Zoning By-Law.

DECISION:

The Board's approval is based upon compliance with the Proposal as shown on the revised Site Plan, the "Findings" as set forth in this Decision, and compliance with Sections 139-13 and 139-23 of the By-Law.

On September 10, 2012, a motion was made, duly seconded, and adopted unanimously to approve the revised Site Plan and requested modification of Special Permit No. 04-12 subject to the following conditions:

1. The Applicants shall build their proposed dwelling and clear the site on the Property in accordance with the revised Site Plan attached hereto as "Exhibit A"; and,
2. In all other respects, the terms and conditions of Special Permit No. 04-12 shall remain in full force and effect.

In addition, while not a condition of this Special Permit Modification Decision, the Board noted that Applicants, through counsel, represented to the Board at its public hearing on September 10, 2012 that the Applicants will use their best efforts to preserve, protect and maintain the existing pine tree located on the southwest side of the proposed dwelling next to the deck as shown on the revised Site Plan and will replace the pine tree with a like-kind pine tree in the event of its demise.

RECORD OF VOTE:

At the September 10, 2012 meeting, a motion was made and duly seconded to close the public hearing, the vote was 5-0 in favor. A motion was made and duly seconded to APPROVE this modification application and to ENDORSE this decision, the vote was 5-0 in favor.

WITNESS our hands and seals this _____ day of September 2012.

[Signature]
JOHN McLAUGHLIN, APPROVED

[Signature]
NATHANIEL LOWELL, APPROVED

[Signature]
SYLVIA HOWARD, APPROVED

[Signature]
LINDA F. WILLIAMS, APPROVED

[Signature]
BARRY RECTOR, APPROVED

COMMONWEALTH OF MASSACHUSETTS

Nantucket, ss.

September 26, 2012

On this 26th day of September 2012, before me, the undersigned notary public, personally appeared Sylvia Howard and proved to me through satisfactory evidence of identification, which were known to me personally be the person whose name is signed on the preceding or attached document, and acknowledged to me that he/she signed it voluntarily for its stated purpose.

I CERTIFY THAT 20 DAYS HAVE ELAPSED AFTER THE DECISION WAS FILED IN THE OFFICE OF THE TOWN CLERK, AND THAT NO APPEAL HAS BEEN FILED, PURSUANT TO GENERAL LAWS 40A, SECTION 11

TOWN CLERK

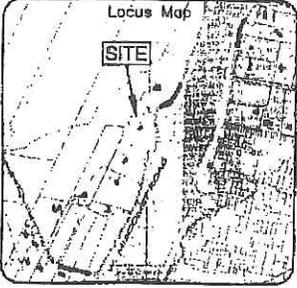
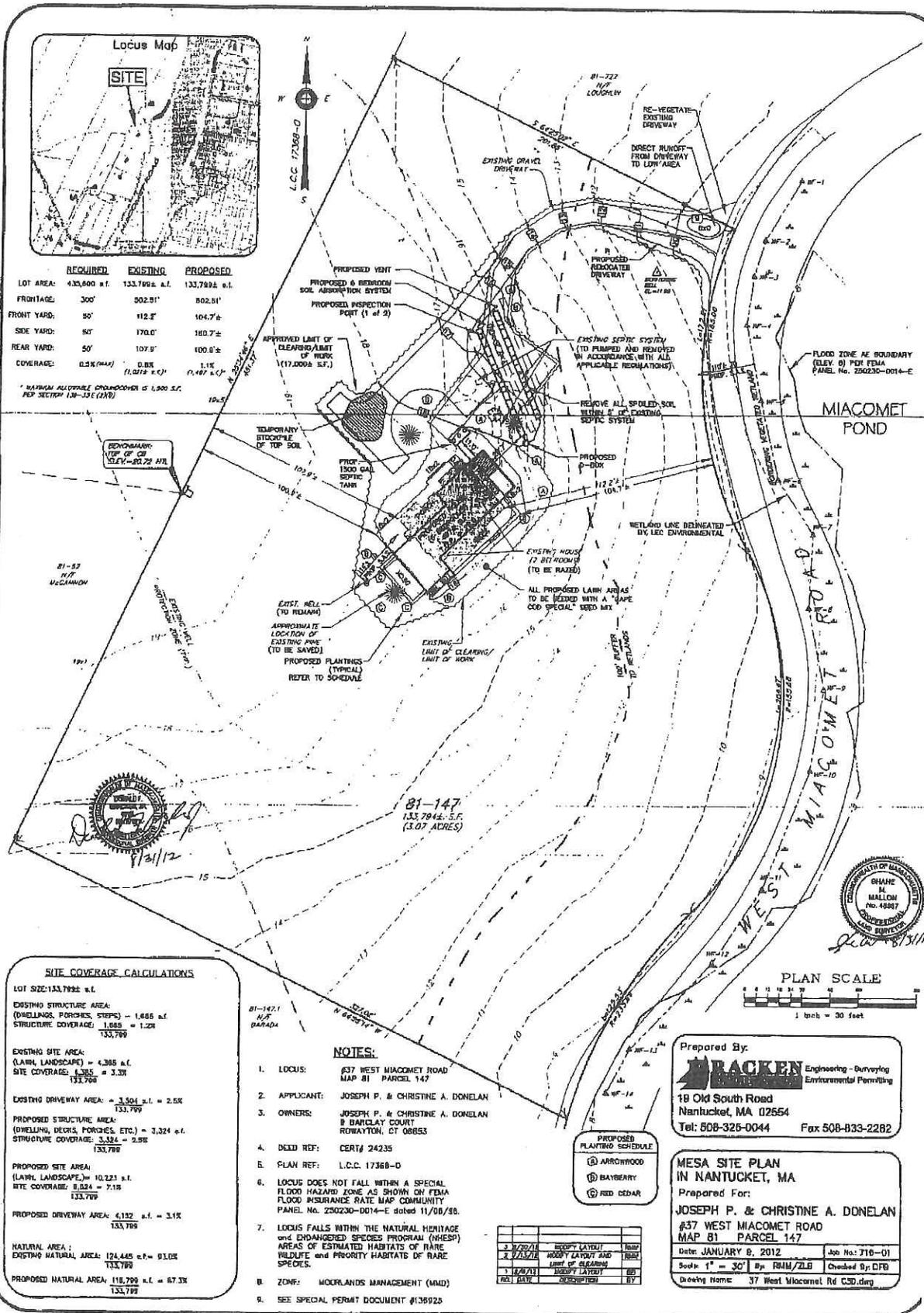
[Signature]
NOTARY PUBLIC

My Commission Expires  LYNN D. VOLLANS
Notary Public
Commonwealth of Massachusetts
My Commission Expires
December 28, 2013

[Signature]

ATTEST: A TRUE COPY
[Signature]
NANTUCKET TOWN CLERK

EXHIBIT "A"



	REQUIRED	EXISTING	PROPOSED
LOT AREA:	435,000 s.f.	133,799 s.f.	133,799 s.f.
FRONTAGE:	300'	302.51'	302.51'
FRONT YARD:	50'	112.2'	104.7'±
SIDE YARD:	50'	170.0'	180.7'±
REAR YARD:	50'	107.5'	100.8'±
COVERAGE:	0.53% (MAX)	0.33% (1,021± s.f.)	1.1% (1,497± s.f.)

* MAXIMUM ALLOWABLE COVERAGE IS 1,500 S.F. PER SECTION 138-13E (1)(B)

SITE COVERAGE CALCULATIONS

LOT SIZE: 133,799 s.f.

EXISTING STRUCTURE AREA: (DWELLINGS, PORCHES, STEPS) = 1,486 s.f.
STRUCTURE COVERAGE: 1,085 = 1.2%
133,799

EXISTING SITE AREA: (LAWN, LANDSCAPE) = 4,385 s.f.
SITE COVERAGE: 3,300 = 3.3%
133,799

EXISTING DRIVEWAY AREA: = 1,304 s.f. = 2.5%
133,799

PROPOSED STRUCTURE AREA: (DWELLING, DECKS, PORCHES, ETC.) = 3,324 s.f.
STRUCTURE COVERAGE: 3,324 = 2.5%
133,799

PROPOSED SITE AREA: (LAWN, LANDSCAPE) = 10,221 s.f.
SITE COVERAGE: 8,224 = 7.1%
133,799

PROPOSED DRIVEWAY AREA: 4,102 s.f. = 3.1%
133,799

NATURAL AREA:
EXISTING NATURAL AREA: 124,445 s.f. = 93.0%
133,799

PROPOSED NATURAL AREA: 118,799 s.f. = 87.3%
133,799

- NOTES:**
- LOCUS: #37 WEST MIACOMET ROAD MAP 81 PARCEL 147
 - APPLICANT: JOSEPH P. & CHRISTINE A. DONELAN
 - OWNERS: JOSEPH P. & CHRISTINE A. DONELAN
BARCLAY COURT
ROWAYTON, CT 06883
 - DEED REF: CERT# 24235
 - PLAN REF: L.C.C. 17368-D
 - LOCUS DOES NOT FALL WITHIN A SPECIAL FLOOD HAZARD ZONE AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP COMMUNITY PANEL No. 250230-0014-E dated 11/08/88.
 - LOCUS FALLS WITHIN THE NATURAL HERITAGE and EXPANDED SPECIES PROGRAM (NHESP) AREAS OF ESTIMATED HABITATS OF RARE WILDLIFE and PRIORITY HABITATS OF RARE SPECIES.
 - ZONE: WOODLANDS MANAGEMENT (MWD)
 - SEE SPECIAL PERMIT DOCUMENT #138925

NO.	DATE	DESCRIPTION	BY
3	2/20/11	HOOPY LAYOUT	MM
2	2/17/11	HOOPY LAYOUT AND PART OF CLEARING	MM
1	1/16/11	HOOPY LAYOUT	MM

Prepared By:
RACKEN Engineering - Surveying
Environmental Permitting
18 Old South Road
Nantucket, MA 02554
Tel: 508-325-0044 Fax 508-333-2282

MESA SITE PLAN
IN NANTUCKET, MA
Prepared For:
JOSEPH P. & CHRISTINE A. DONELAN
#37 WEST MIACOMET ROAD
MAP 81 PARCEL 147
Date: JANUARY 8, 2012 Job No: 216-01
Scale: 1" = 30' By: RMM/ZLE Checked By: DFB
Drawing Name: 37 West Miacomet Rd CSD.dwg



Cert: 14675 Doc: SP
Registered: 05/01/2012 09:53 AM



Nantucket Planning Board

RECEIVED
2012 APR 10 PM 12 54
NANTUCKET TOWN CLERK

DECISION: SPECIAL PERMIT# 04-12

Owner: Patricia J. Elliott and Katherine A. Margerum
Applicant: Joseph P. and Christine A. Donelan

37 West Miacomet Road

Tax Assessor's Map 81, Parcel 147
Land Court Plan 17368-O (Lot 49)

March 12, 2012

PROPOSAL AND GENERAL DESCRIPTION

The Applicants are proposing to demolish the existing structure on the Property and to replace it with a new dwelling in accordance with the revised Site Plan submitted by the Applicants drawn by Bracken Engineering, Inc., dated February 6, 2011 (the "Site Plan"), and supporting documentation.

The Nantucket Planning Board held a public hearing on January 19, 2012 which was continued to February 13, 2012 and March 12, 2012 to consider an application for a Special Permit and Site Plan Review pursuant to Sections 139-13C and D of the Nantucket Zoning By-Law (the "By-Law"). The applicants, Christine and Joseph Donelan (the "Applicants") seek to demolish the existing dwelling on the property located at 37 West Miacomet Road (the "Property") and to replace it with a new dwelling.

The Property is located in the Moorlands Management Zoning District (the "MMD") and has an area of approximately 133,799 square feet (3.07 acres). A minimum lot size of 435,600 square feet (10 acres) is required in the MMD with a maximum ground cover of 0.05%. The lot was created in 1982, prior to the adoption of the MMD in 1984. As such, the lot is pre-existing and non-conforming with respect to the MMD and therefore is permitted to have 1,500 square feet of ground cover by right pursuant to Section 139-33E(2)(b) of the By-Law.

Additionally, pursuant to Section 139-13(B), the By-Law limits the permitted uses in the MMD, in part, to a single family dwelling not exceeding 800 square feet in ground cover, plus no more than 400 square feet of area in the aggregate devoted to ancillary structures, unless a Special Permit is granted under Section 139-13-(C)(1) of the By-Law. The existing single family dwelling constructed in 1982 has a ground cover of approximately 1,021 +/- square feet. Accordingly, the structure is pre-existing non-conforming with respect to Section 139-13(B) of the By-Law.

MOORLANDS MANAGEMENT DISTRICT

The MMD was established in 1984. The purpose of this district is "to promote areas of the island known to be excellent examples of temperate zone heath. These areas represent an extremely fragile and unique environment, and are a rare endangered landform in North America. It is the intention of this district to permit special ecological systems." The Planning Board is the Special Permit granting authority whose responsibility is to protect these fragile lands through measures listed in Chapter 139-13 of the Zoning By-Law. These measures include, but are not limited to the siting of structures, limiting construction activities to certain times of the year, and placing limitations on physical disruptions to the indigenous natural systems.

BASIS OF THE FINDINGS

The Planning Board based their findings on the following:

- An Application for a Special Permit dated December 23, 2011;
- Letters and other material submitted by the Applicants;
- Letter from Haines Hydrogeologic Consulting dated January 13, 2012, January 19, 2012, and February 8, 2012;
- Letters from the Commonwealth of Massachusetts Division of Fisheries and Wildlife dated February 14, 2012;
- Staff reports dated January 14, 2012 and March 8, 2012;
- Site viewings conducted by the individual Board members;
- Representation and testimony received in connection with the public hearings held on January 19, 2012 and March 12, 2012. Minutes of each meeting are on file with the Planning Board;
- Other assorted documents on file with the Planning Board.

FINDINGS

The Planning Board, through provisions of "site plan approval", found that the application was consistent with the following three basic "performance standards" set forth in Section 139-13(D)(1)-(3) of the By-Law:

- To maximize the protection of endangered plant and animal species through the siting of structures and uses a maximum distance away from known habitat of such species, even when such habitats are located off-site; to minimize disturbance by limiting construction activities to certain times of the year;
- To maximize the protection of scenic views through the siting of structures on lower elevations and clustering of structures near other structures located off site;
- To maximize the protection of the heathland vegetation and landforms through the use of various measures including but not limited to limitations on grading, fencing, landscaping, driveway and parking facilities, and other physical disruptions to indigenous natural systems.

In addition, the Board reviewed the application for conformance with Minor Site Plan Review (Section 139-23 of the By-Law) and made the following findings:

- That the scale of the Site Plan is appropriate at 1"=30'.

- That adequate information has been provided as required by Section 139-23(F)(1) of the By-Law notwithstanding minor omissions, which are largely not applicable, or are unnecessary, and waives the requirement for reasons as noted for the following:
 - (a) No waiver required-meets requirement (Site Plan prepared by Bracken Engineering, Inc., dated February 6, 2012)
 - (b) Waiver granted;
 - (c) No waiver required-meets requirement;
 - (d) No waiver required-meets requirement;
 - (e) No waiver required-meets requirement;
 - (f) No waiver required-meets requirement;
 - (g) No waiver required-meets requirement;
 - (h) Waiver granted;
 - (i) No waiver required-meets requirement;
 - (j) No waiver required-meets requirement;
 - (k) Waiver from the Flood Hazard Overlay District granted as not applicable because the site is not within this area;
 - (l) Waiver granted from the Public Wellhead Recharge District Boundary as the site is not within this area;
 - (m) No waiver required-meets requirement;
 - (n) Waiver granted from requirement of submitting location of wetlands due to lack of wetlands on the site;
 - (o) Waiver granted to the extent that the Zoning Classification table on the submitted plan together with other applicable material demonstrates a degree of non-compliance with the Zoning By-Law;
 - (p) Waiver granted;
 - (q) Waiver granted as the Board finds that site-specific improvements beyond what have been submitted are unnecessary to this process;
 - (r) Waiver granted from this requirement of a second landscaping plan;
 - (s) Waiver granted as applicant represented height of the proposed structure through testimony by Applicants' attorneys.

- That the application is complete.

Under Section 139-23(I) of the By-Law, the Planning Board "shall review the site plan and supporting documentation, and shall take into consideration the reasonable fulfillment of the following review objectives":

- (1) **Conformance with provisions of the Zoning Code;**
The Board finds that the proposed project is allowed pursuant to Sections 139-13(C) and 139-33(E) of the By-Law provided that the conditions suggested are adopted to "minimize adverse effects on the moorlands environment and its scenic integrity." Based upon the detailed record above, the Board concludes that the Applicants' proposal has no negative effect upon the environment or the scenic integrity.

- (2) **Protection of public amenities and abutting properties through the mitigation of any detrimental impacts on proposed uses;**

The Board finds that the proposed use of the Property as a single family structure has a minimal impact on public amenities and minimal effects on the MMD.

- (3) **Protection of unique, natural, scenic, or historic features of the site, and the minimization of the obstruction of scenic views;**
The Board finds that the Applicants' proposed plans for the Property are acceptable as the proposed plans have a minimal impact on the natural, scenic, or historic features of the site and the obstruction of scenic views and are consistent with the interests of the MMD. The applicants voluntary restriction on ridge height and limits of clearing reduce the impact of the project on the natural, scenic, and historic features of the MMD district.
- (4) **The safety and convenience of pedestrians and vehicular movements within the site, and in relation to the right of way properties in proximity to the site;**
The Board finds that there is no impact to pedestrians and or the safe operation of vehicles.
- (5) **Adequate sewage and refuse disposal, and drainage of surface and subsurface water;**
The Property will be served by a septic system that must meet Board of Health requirements and the Applicants' have proposed an infiltration storm water management area ("SWMA") which will be installed adjacent to the lowest grade of the driveway in order to mitigate the direct runoff associated with the driveway. The driveway grades shall be such that the runoff will be directed to the SWMA.
- (6) **Protection of the island's sole source aquifer;**
Not applicable as the Property is not located within the recharge area nor does the volume of water usage have any substantial impact.
- (7) **Protection of the public health and safety within and adjacent to flood prone areas;**
Not applicable, the Property is not located within said areas.
- (8) **Adequate off street parking;**
The Board finds that adequate parking and access will be provided as shown on the site plan.
- (9) **Minimization of traffic and safety impacts upon public and private ways;**
The Board finds that the proposed use will have no negative impact traffic or safety upon public or private ways.
- (10) **Adequacy of water supply system;**
The Board finds that there is no evidence that the use will place excessive demands on the area's water supply. The site will be served by private well as are other properties.
- (11) **The project will not place excessive demands on Town services and infrastructure;**

The Board finds that the proposed plans for the Property will have minimal effects and demands on Town services.

The Board finds that the "Performance Standards" set forth in Section 123-23(J)(1-12) are related to large scale commercial development, repetitive and not applicable to this application. The Board finds that any applicability has already been addressed in the review standards of Section 139-13 of the By-Law and the *Review Objectives* above. The Board finds that, by incorporating appropriate conditions within the decision, the Applicant's proposal will comply with the applicable "Performance Standards".

Based on the foregoing description, and above referenced documents, testimony and information, the Nantucket Planning Board finds that this application presents an acceptable use in the MMD. The Board also finds that the Applicants' proposal, as revised, is in harmony with the general purpose and intent of the Zoning By-Law.

DECISION

The Board's approval is based and conditioned upon compliance with the "Proposal and General Description" and "Findings" as set forth in this decision, and as shown on the plans referenced herein. The Planning Board renders this decision based on compliance with the following sections of the Nantucket Zoning Bylaw: Moorlands Management District (139-13) and Major Site Plan Review (139-23).

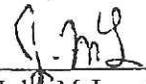
On March 12, 2012 a motion was made, duly seconded, and adopted to **APPROVE** the site plan and the requested special permit subject to the following conditions:

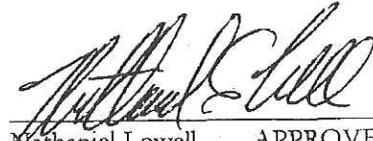
1. That all exterior construction work shall be prohibited between March 1, and July 31, 2012;
2. That the limit of disturbance shall be in accordance with the approved Site Plan and shall be defined with erosion control or other type of construction fencing;
3. That no outdoor flood lighting shall be permitted;
4. That the maximum ground cover shall not exceed 1,500 square feet;
5. That the Applicants have agreed to limit the height of the dwelling to no greater than twenty-five (25) feet above elevation level nineteen (19) feet; and
6. That the Applicants shall submit to the Planning Board an As-Built of all site improvements, including the height of the structure. An inspection shall be completed by Planning Staff prior to the issuance of the Certificate of Occupancy to ensure compliance with this decision.

SIGNATURE PAGE TO FOLLOW

RECORD OF VOTE

At the March 12, 2012 meeting, a motion was made and duly seconded to close the public hearing, the vote was 5-0 in favor. A motion was made and duly seconded to APPROVE this application and to ENDORSE this decision, the vote was 5-0 in favor.


John McLaughlin APPROVED


Nathaniel Lowell APPROVED


Sylvia Howard APPROVED


Linda F. Williams APPROVED

Commonwealth of Massachusetts

Nantucket, ss.

~~March~~ ^{April} 9, 2012

On this 9th day of April, 2012 before me, the undersigned notary public, personally appeared Sylvia Howard, one of the member of the Nantucket Planning Board, and proved to me through satisfactory identification evidence, which was photographic identification with signature issued by a federal or state governmental agency, oath or affirmation of a credible witness, personal knowledge of the undersigned, to be the person whose name is signed on the preceding document, and acknowledged to me that he signed it voluntarily for its stated purpose.


Notary Public
My Commission expires:



LYNELL D. VOLLANS
Notary Public
Commonwealth of Massachusetts
My Commission Expires
December 28, 2018

I CERTIFY THAT 20 DAYS HAVE ELAPSED AFTER THE DECISION WAS FILED IN THE OFFICE OF THE TOWN CLERK, AND THAT NO APPEAL HAS BEEN FILED, PURSUANT TO GENERAL LAWS 40A, SECTION 11


TOWN CLERK

MAY 01 2012

ATTEST: A TRUE COPY

NANTUCKET TOWN CLERK



Planning Board #05-16
6B Greglen Avenue
Map 68 Parcel 178.1





*Ma Holmes
Beach Town Club
Dec 94, 2015
3:08 p.m.
PB# 05-16*

Nantucket Planning Board

Application for an Amendment to a Previously Granted Special Permit

Date: 12/14/2015

Name of Development: South Valley Industrial Park

Planning Board File No.: 3 - 94

Owner(s)' Name(s): Nantucket Boating Club, LLC

Mailing Address: 14 Plum Street, Nantucket, MA 02554

Phone number: 508-221-8473 Fax number: _____ E-mail: Ryanfitch@nantucketboatingclub.com

Applicant's Name: John B. Brescher

Mailing Address: 37 Centre Street, Nantucket, MA 02554

Phone number: 508-228-0771 Fax number: 508-228-6205 E-mail: john@gliddenandglidden.com

Engineer/Surveyor: Michael Connolly & Associates, Inc.

Mailing Address: 149 Surfside Road, Nantucket, MA 02554

Phone number: 228-8910 Fax number: _____ E-mail: _____

Location of Lots:

Street Address: 6B Greglen Avenue

Tax Assessor's Map: 68 Parcel: 178.1

Nantucket County Registry of Deeds:

Land Court Plan Lot 841, LC P1 16514 or Plan Book _____ Page _____

or Plan File #: -93

Size of Parcel 11,255 square feet

Zoning District CTEC

Describe proposed modification in detail:

Please see attached letter.

Owner(s)' Signature(s)

Applicant's Signature

I/we Ryan Fitch, the undersigned, hereby authorize
John B Breschur to act as agent(s) on my/our behalf and to
make any necessary revisions on this filed application as they may be requested by the Board to meet its governing
rules and guidelines.

Owner(s)' signature(s)

Check List:

- Planning Board Special Permit abutters list – to be obtained at the Tax Assessor's office
- Completed application form entitled "Application to the Planning Board for a Special Permit"
- Application fee of \$250.00 payable to Town of Nantucket
- Abutters fee of \$6.74 per abutters payable to Pitney Bowes Reserved Funds
- Four (4) sets of mailing labels with each abutter's name and address
 - 1" x 2 5/8" size, typed labels, are preferred
 - duplicate labels are not necessary if the same owner is listed for more than one abutting property
- Completed application form
- Town Clerk's stamped application (provide 2 copies-one for Town Clerk and one for Planning Board)

GLIDDEN & GLIDDEN, P.C.
ATTORNEYS AT LAW
P. O. BOX 1079
37 CENTRE STREET
NANTUCKET, MASSACHUSETTS 02554
508-228-0771
FAX 508-228-6205
OFFICE@GLIDDENANDGLIDDEN.COM

RICHARD J. GLIDDEN
JESSIE M. GLIDDEN BRESCHER
JOHN B. BRESCHER

JAMES K. GLIDDEN
(1917 – 2009)

December 14, 2015

Ms. Leslie Snell
Deputy Director of Planning
Planning and Land Use Services
2 Fairgrounds Road
Nantucket, MA 02554

RE: Modification for Major Commercial Development
South Valley Industrial Park – 6B Greglen Avenue

Dear Leslie,

Enclosed on behalf of Nantucket Boating Club, LLC, the owner of 6B Greglen Avenue (Map 68, Parcel 178.1) is a Modification to a previously granted Major Commercial Development Special Permit (Planning Board File No. 03-94). The Applicant hereby requests the following:

1. To construct a structure with approximately 4500 square feet of ground cover as shown on the attached plan. Said structure to be used for light manufacturing, a contractor's shop, storage and warehousing, and fabrication and assembly of component parts for off-site construction of use. Said structure will have a full basement beneath that will be used for storage. There will be approximately 9,000 square feet of commercial gross floor area in conjunction with this project.
2. A waiver of the open space requirement pursuant to Nantucket Zoning Bylaw Section 139-11(G)(3). The owner intends to construct a gravel driveway with six (6) parking spaces. Per the requirements of the previous MCD, there is a thirty (30) foot landscaping buffer from Greglen Avenue.
3. A waiver of the inclusionary housing requirement pursuant to Nantucket Zoning Bylaw Section 139-11(J).

4. A waiver of the drainage calculations and traffic study for Major Site Plans as required in Section 139-23(F)(2)(a and b) per Section 139-23(G).
5. Approve the forthcoming site plan entitled “ _____ ”, prepared by Michael Connolly & Associates, Inc.

Furthermore, per Condition 4 on page 9 of the Decision of the South Valley Industrial Park Major Commercial Development Special Permit, which is enclosed herewith, a:

“...proposed change to the site plan shall be presented to the Planning Board for a determination as to whether the change should be reviewed as a modification or an amendment. Upon submission of a site plan for the new uses, the Planning Board may approve both “by right” commercial uses and special permit commercial uses under 139-9B(2) with requiring a public hearing if they find that the proposed modification does not change the findings that the original decision was based upon and that no major infrastructure improvements would be needed to service the proposed use.”

Because there is municipal water and sewer access to the premises, it is our contention that no further infrastructure is needed. Furthermore, because the uses proposed for are those allowed under the original Major Commercial Development Special Permit, this modification would not change the findings of the original decision.

Finally, although this would be a new Special Permit because it is a Major Commercial Development, we contend that the Planning Board has the authority grant this Special Permit without necessitating a Public Hearing and may do so as an amendment to a Previous Plan.

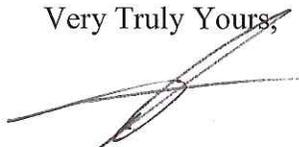
In the event the Planning Board and staff do not agree with this assertion, please prepare public notice for public hearing on the application at the Planning Board’s January 11, 2016 meeting.

I have also enclosed the filing fee of \$250.00 made payable to the Town of Nantucket and two (2) copies of the application and supporting documentation.

Also please note that I reserve the right to supplement this application with further materials at a later time.

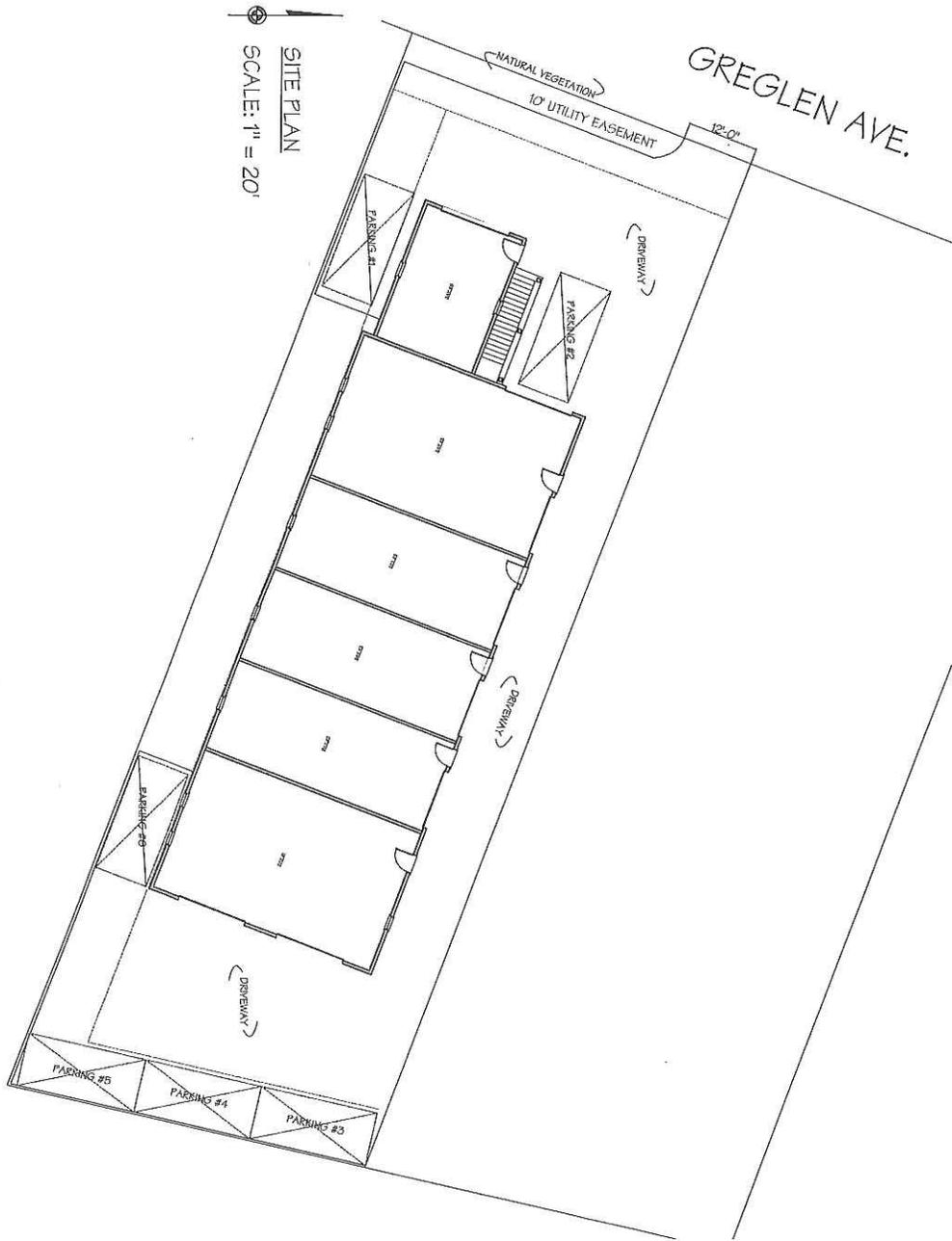
If you have any questions, please do not hesitate to contact me. Trusting you find everything in order, I remain,

Very Truly Yours,



John B. Brescher, Esq.

Enclosure(s)
Cc: Nantucket Boating Club, LLC

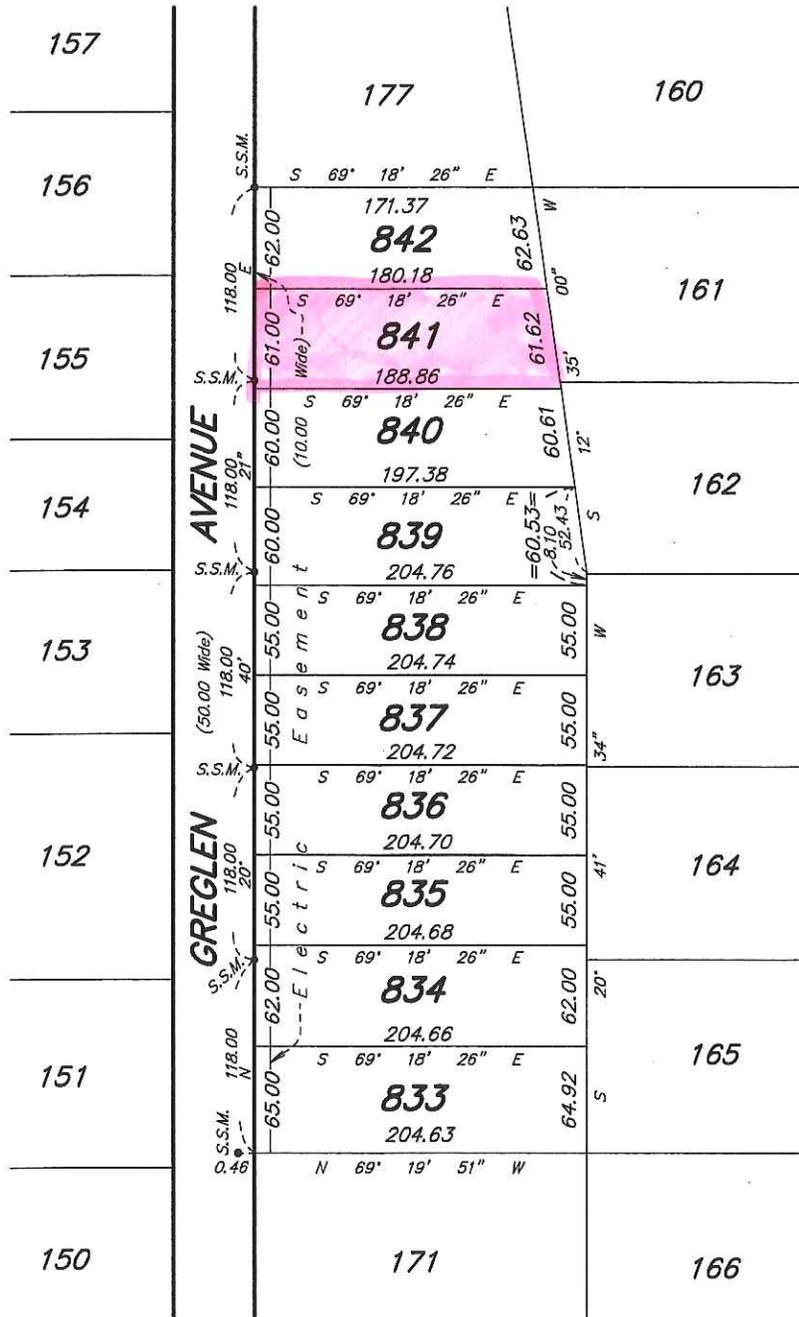
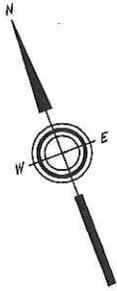


SUBDIVISION PLAN OF LAND IN NANTUCKET

Hayes Engineering, Inc., Surveyors

16514-93

August 27, 2014



Subdivision of Lots 172 through 176
 Shown on Plan 16514-Z Sh. 2
 Filed with Cert. of Title No. 7778
 Registry District of Nantucket County

Separate certificates of title may be issued for land
 shown hereon as Lots 833 thru 842
 By the Court.

Deborah J. Patterson Recorder

OCT. 30, 2014

ABH-0886

Copy of part of plan
 filed in
LAND REGISTRATION OFFICE
 OCT. 30, 2014
 Scale of this plan 80 feet to an inch
 T.C. Pontbriand, Engineer for Court



091088

NANTUCKET PLANNING BOARD

1 EAST CHESTNUT STREET NANTUCKET, MASSACHUSETTS 02554
(508) 228-7233

DECISION: SPECIAL PERMIT # 3-94
South Valley Industrial Park
Major Commercial Development
August 17, 1995

RECEIVED
TOWN CLERK'S OFFICE
NANTUCKET, MA 02554
AUG 18 1995
TIME: 11:00 AM
CLERK: *Rebecca Lohman*

*26 PD
South Valley Industrial Park*

RELIEF SOUGHT

The Nantucket Planning Board, at its public hearings from June 13, 1994 through August 17, 1995, regarding this application, considered the application of Walter J. Glowacki, et al, for a Major Commercial Development Special Permit (MCD) under Section 139-11 for an approximately 35.7 acre tract of land located off of Old South Road. The property for which the Special Permit is sought is described on Assessor's Map 68 as Parcels 57, 58, 59, 60, 61, 62, 63, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 156, 157, 158, 176, 177, 178, 179, 180, 181, 182, 183, 184, 200, 201, 202, 203, 204, 205, 206, 207 ;

In addition to a Special Permit for a Major Commercial Development for the entire tract, the following Special Permits under the Zoning Code are sought based on a letter from the applicant's attorney dated 11/28/94, Section 4, "Clarification of uses sought":

- §139-9B(2) (a) Light manufacturing
- (b) Storage and warehousing, including properly screened open storage of goods and materials.
- (c) Fabrication and assembly of component parts for off-site construction of use.

for Map 68, Parcels 61, 62, 63, 132, 133, 135, 137, 138, 139, 141, 157, 176, 177, 178, 179, 180, 181, 182, 183, 184, 200, 202, 204, 205, 206, 207.

- §139-9B(2) (b) Storage & warehousing, including properly screened open storage of goods and materials
- (g) Garages for storage, repair, washing, painting or other servicing of motor vehicles

for Map 68, Parcels 58, 60, 134.

IDENTIFY THAT 21 DAYS HAVE ELAPSED AFTER THE DECISION WAS FILED IN THE OFFICE OF THE TOWN CLERK, AND THAT NO APPEAL HAS BEEN FILED, PURSUANT TO GENERAL LAWS 40A, SECTION 11

Christina Blazynski Stone

TOWN CLERK

NOV 28 2000

** and Aine Glowacki*

South Valley Industrial Park MCD
 Special Permit #3-94
 August 17, 1995

- §139-9B(2) (b) Storage and warehousing, including properly screened open storage of goods and materials.
 (c) Fabrication and assembly of component parts for off-site construction of use.

for Map 68, Parcel 136.

- §139-9B(2) (d) Petrochemical storage and transfer facilities in properly constructed packaging containers.

for Map 68, Parcel 57.

DESCRIPTION OF PROPOSED PROJECT

The applicant, Walter J. Glowacki, is seeking an overall MCD Special Permit for the entire 35.7 acre tract known as the South Valley Industrial Park which consists of 39 individual lots. In addition to the MCD Special Permit, the applicant, pursuant to §139-9B(2), seeks several commercial use special permits as described above.

The tract of land which is the subject of this special permit application contains residentially developed lots, commercially developed lots, lots with both residential and commercial uses, undeveloped lots, and lots with proposed uses, all shown on the plans submitted.

BASIS OF FINDINGS

The Planning Board is rendering a decision on the application for a "Major Commercial Development" based on Section 139-11 of the Nantucket Zoning By-Law which incorporates the Board's Requirements and Guidelines for Major Commercial Development and construction standards found in the Rules and Regulations Governing the Subdivision of Land in Nantucket (as amended through January 28, 1991).

In addition, the Board is rendering decisions on applications for additional special permit uses under §139-9B based on §139-30. In accordance with §139-11D(1), the Planning Board is designated as the special permit granting authority.

The Board's findings and decision refer to plans entitled "Site Plan of Land in Nantucket, MA" prepared by John J. Shugrue Inc., and dated May 2, 1994 (revised November 18, 1994); the engineering reports "Drainage Calculations and Report" dated December 1994 and "Plans and Specifications" dated July 1995 both prepared by Hunter Engineering Associates, and are based

upon the application, plans, papers, representations and testimony received prior to or at public - hearings held between June 13, 1994 and August 17, 1995.

FINDINGS AND DECISIONS

SECTION 1:

FINDINGS - with regard to Major Commercial Development application

The Planning Board finds that the entire tract of land involved in this application is zoned Residential Commercial-2 (RC-2). In addition, the Board finds the tract is subject to the zoning regulations of §139-12B, The Public Wellhead Recharge District, an overlay district which was expanded by vote of the 1995 Annual Town Meeting on April 10, 1995, and approved by the Attorney General May 22, 1995. A map of said overlay district is on file with the Town Clerk and the Building Inspector.

The Board further finds as follows:

Open Space: The open space requirement has been met as shown on the plan. Any modification or amendment to the plan shall comply with the 30% open space requirement.

Parking: The parking requirements have been met as shown on the plan. Any modification or amendment to the plan shall comply with the parking requirements.

Landscaping: Adequate landscaping has been provided for the developed areas. At the time of application for any modification or amendment to the plan the Board will review proposed landscaping provisions.

Inclusionary

Housing: The applicant has committed three dwelling units within the MCD project to provide for on-site employee housing. In addition, the applicant has committed two additional dwellings on a lot abutting this project to employee housing.

In general, the Board finds this tract of land appropriate for industrial development and finds the existing infrastructure is generally adequate to serve the currently proposed uses. Given the fact that this tract is located in close proximity to the new public water supply and is within the Wellhead Recharge District, currently proposed and future proposed uses will be reviewed in accordance with §139-12B, "The Public Wellhead Recharge District".

South Valley Industrial Park MCD
Special Permit #3-94
August 17, 1995

DECISION - with regard to the Major Commercial Development application

Based on the above findings and above-referenced documents and information, the Nantucket Planning Board, by a vote of 5-0, votes to GRANT a Special Permit for a Major Commercial Development pursuant to Section 139-11 of the Nantucket Code for the uses of the lots shown on the site plan referenced in "Basis of Findings", to be modified as herein after provided, excluding however, any of such uses identified in the following votes, and any other uses for which a special permit may be required under §139-11D(1). This Major Commercial Development Special Permit approval is subject to the "Conditions of Approval" set forth below.

COMMONWEALTH OF MASSACHUSETTS

NANTUCKET, SS 8/17/95

Then personally appeared Joan S. Barnes, one of the above-named members of the Planning Board of Nantucket, MA, and acknowledged the foregoing instrument to be her free act and deed before me.

Margaret E. Pamy October 5, 1995
Notary Public My Commission Expires

Joan S. Barnes
Marshall Beale
STO. Bull
Charles J. Zappala
Dennis T. Vero

SECTION 2:

FINDINGS - with regard to maritime service station use

Glyn's Marine (Map 68 Parcel 57), a maritime service station allowed "by right" in the RC-2 District, has been lawfully in existence since approximately prior to the adoption of the "Wellhead Recharge District" which prohibits such uses. Accordingly the Board finds that Glyn's Marine qualifies as a pre-existing, nonconforming use.

SECTION 3:

FINDINGS - with regard to application for a special permit pursuant to §139-9B(2)(d) and §139-11D(1) to permit the establishment of a gasoline service station and a home heating oil distribution business for Assessor's Map 68, Parcel 57:

1. The Nantucket Zoning Bylaws were amended through the adoption of Article 45 at the 1995 Annual Town Meeting (approved by the Attorney General 5/22/95) with the establishment of new boundaries for the Public Wellhead Recharge District ("Wellhead District"). The new boundaries place the entire Glowacki tract within the Wellhead District including the proposed locations of the gasoline service station, and the storage and distribution facility for home heating

South Valley Industrial Park MCD
Special Permit #3-94
August 17, 1995

5

oil.

2. The Wellhead District regulations, codified in Section 139-12B(2) of the Nantucket Zoning Bylaws, prohibits "(T)he manufacture, use, pipeline transport, storage, disposal or treatment of hazardous or toxic materials..." within said Wellhead District.
3. Section 139-2 of the Nantucket Zoning Bylaws defines hazardous or toxic materials as "(L)iquid hydrocarbon products, including but not limited to residual oil, gasoline, fuel oil, diesel oil...".
4. The Applicant did not receive a Special Permit as required under §139-9B(2)(d) for the gasoline service station or home heating oil business prior to the first publication of notice of the change in the Wellhead District, in accordance with Section 139-33A of the Nantucket Zoning Bylaws and M.G.L. Chapter 40A, Section 6.

Based on the evidence presented by the Applicant, the Planning Board finds that the Applicant installed and maintained 3 - 2000± gallon and one 500± gallon underground fuel storage tanks on the property in question either prior to the establishment of the Nantucket Zoning Bylaws, or prior to the expiration of a zoning freeze on this tract of land created by way of a subdivision application filed prior to the adoption of zoning on Nantucket. Said tanks were installed and used as ancillary uses in connection with Applicant's contracting business. Said tanks have been registered with the Commonwealth of Massachusetts Department of Public Safety, but not with the Nantucket Board of Health.

In addition, the Planning Board finds that there is little or no evidence to support a finding that retail sales, or the wholesale distribution of petroleum product, were legally conducted from the premises, noting only that infrequent, sporadic, and occasional sales to subcontractors may have occurred.

Therefore, the Board finds that the Applicant is not entitled to a claim of pre-existing nonconforming status with respect to the establishment of the wholesale distribution of home heating oil, or the establishment of a gasoline service station.

The Board further finds that the establishment of these uses would constitute a change of use, and **not** an expansion or modification of a preexisting nonconforming use. Although the Board has the discretion to permit expansions of preexisting nonconforming uses, the Board does not have the authority to approve any change of use to a use prohibited in the Wellhead District, pursuant to Section 139-12 of the Nantucket Zoning Bylaws.

DECISION - with regard to application for a special permits under §139-9B(2)(d)

South Valley Industrial Park MCD
Special Permit #3-94
August 17, 1995

Based on the above finding, the Planning Board, by a vote of 1 in favor, 3 opposed, and 1 abstention, the motion fails on the applicant's request for Special Permit uses under §139-9B(2)(d) "Petrochemical storage and transfer facilities in properly constructed packaging containers" to allow the establishment of a gasoline service station and a distribution facility for home heating oil on the lot described as Assessor's Map 68, Parcel 57.

COMMONWEALTH OF MASSACHUSETTS
NANTUCKET, SS 8/17/95

Then personally appeared Joan S. Barnes, one of the above-named members of the Planning Board of Nantucket, MA, and acknowledged the foregoing instrument to be her free act and deed before me.

Margaret R. Poy October 5, 1995
Notary Public My Commission Expires

Joan S. Barnes
Charshell Beak
John B. Kelly
William G. Vanecko
Charles J. Farnsworth

SECTION 4:

FINDINGS AND DECISION - with regard to application for a special permit pursuant to §139-9B(2)(a),(b), & (c) to permit light manufacturing, storage and warehousing, and fabrication, for Assessor's Map 68, Parcels 135, 136, 139, 180, and 181.

The Board finds that the proposed uses would not be detrimental to this area given the already existing industrial character of the surrounding area and are in harmony with the general purpose and intent of the Zoning Bylaw. Therefore, by a vote of 5-0, votes to approve the following special permits, subject to the "Conditions of Approval" set forth below at the end of this document, for Assessor's Map 68, Parcels 135, 136, 139, 180, 181:

- §139-9B(2) (a) Light manufacturing
- (b) Storage and warehousing, including properly screened open storage of goods and materials.
- (c) Fabrication and assembly of component parts for off-site construction of use.

Joan S. Barnes
Charshell Beak
John B. Kelly
William G. Vanecko
Charles J. Farnsworth

South Valley Industrial Park MCD
Special Permit #3-94
August 17, 1995

SECTION 5:

FINDINGS AND DECISION - with regard to application for a special permit pursuant to §139-9B(2)(b) & (g), to permit storage and warehousing, and garages for storage, repair, washing, painting or other servicing of motor vehicles, for Assessor's Map 68, Parcels 58, 60, and 134

The Board finds that the proposed use would not be detrimental to this area given the already existing industrial character of the surrounding area and is in harmony with the general purpose and intent of the Zoning Bylaw. Therefore, by a vote of 5-0, votes to approve the following special permits, subject to the "Conditions of Approval" set forth at the end of this document, for Assessor's Map 68, Parcels 58, 60, and 134:

§139-9B(2) (b) Storage and warehousing, including properly screened open storage of goods and materials.

COMMONWEALTH OF MASSACHUSETTS
NANTUCKET, SS 8/17/95

Then personally appeared Joan S. Barnes, one of the above-named members of the Planning Board of Nantucket, MA, and acknowledged the foregoing instrument to be her free act and deed before me.

Myra K. Kay October 5, 1995
Notary Public My Commission Expires

[Signature]
Charukal Beal
[Signature]
Charles J. Fowler
Joan S. Barnes

In addition, the Board finds that the application for a special permit under §139-9B(2)(g) to permit garages for storage, repair, washing, painting or other servicing of motor vehicles, is prohibited by §139-12B(2)(e) in the Wellhead Recharge District and therefore, by a vote of 3 opposed and 2 in favor, the motion fails on the application for a special permit under §139-9B(2)(g) to permit garages for storage, repair, washing, painting or other servicing of motor vehicles, for Assessor's Map 68, Parcels 58, 60, and 134

[Signature]
Charukal Beal
[Signature]
Charles J. Fowler
Joan S. Barnes

South Valley Industrial Park MCD
Special Permit #3-94
August 17, 1995

SECTION 6:

FINDINGS AND DECISION - with regard to application for a special permit pursuant to §139-9B(2)(b) & (c), to permit storage and warehousing, and fabrication, for Assessor's Map 68, Parcel 136

The Board finds that the proposed uses would not be detrimental to this area given the already existing industrial character of the surrounding area and are in harmony with the general purpose and intent of the Zoning Bylaw. Therefore, by a vote of 5-0, votes to approve the following special permits, subject to the "Conditions of Approval" set forth at the end of this document, for Assessor's Map 68, Parcel 136:

- §139-9B(2) (b) Storage and warehousing, including properly screened open storage of goods and materials.
- (c) Fabrication and assembly of component parts for off-site construction of use.

COMMONWEALTH OF MASSACHUSETTS
NANTUCKET, SS 8/17/95

Then personally appeared Joan S. Barnes, one of the above-named members of the Planning Board of Nantucket, MA, and acknowledged the foregoing instrument to be her free act and deed before me.

Margaret R. Fay October 5 1995
Notary Public My Commission Expires

Joan S. Barnes
Marshall Beach
James D. Bell
Donald E. Viro
Charles J. Switzer

CONDITIONS OF APPROVAL

In addition to approving the project substantially as shown on the plans referenced above, the Board conditions its approval on the following requirements:

1. Lover's Lane shall be paved to a width of 20 feet up to its intersection with Nancy Ann Lane as per approved MCD Plans within one year from the date of this approval.
2. A minimum buffer of ten (10) feet shall be maintained with dense vegetation where all commercially used lots within the industrial park abut residentially zoned property. These lots are Assessor's Map 68, Parcels 57, 58, 59, 60, 61, 62, 63, 130, 176. All foreign materials (ie.

South Valley Industrial Park MCD
 Special Permit #3-94
 August 17, 1995

9

junk cars, construction materials etc.) shall be removed from these buffer areas prior to the issuance of any new building permits or certificates of occupancy for lots covered by the MCD Special Permit. This requirement shall not apply to lots developed solely for residential use.

3. The lots which are along Greglen Avenue, Assessor's Map 68 Parcels 131, 141, 177, 178, 179, 180, 181, 182, 183, 184, shall maintain a densely vegetated buffer with a minimum depth of 30 feet from Greglen Avenue (excluding driveway access) in order to protect the residential properties across the street. This requirement shall not apply to lots developed solely for residential use.

4. Amendments and Modifications to this Special Permit:
 Any proposed change to the approved site plan shall be presented to the Planning Board for a determination as to whether the change should be reviewed as a modification or an amendment. Upon submission of a site plan for new uses proposed, the Planning Board may approve both "by right" commercial uses and special permit commercial uses under §139-9B(2) without requiring a public hearing if they find that the proposed modification does not change the findings that the original decision was based upon and that no major infrastructure improvements would be needed to service the proposed use. The site plans shall include such information as deemed necessary, by the Board, in order to make a decision.

Lots covered by this MCD Special Permit proposed to be developed for residential uses only shall not require modification of the approved plan.

5. An access easement across Map 68 Parcels 157 and 206 shall be recorded along with this decision granting rights to all lots within this Major Commercial Development Special Permit. A recorded copy shall be provided to the Planning Board prior to issuance of any new building permits or certificates of occupancy for lots covered by the MCD Special Permit.

6. No open storage or display of merchandise shall be permitted on the lots with frontage along Old South Road (Map 68, Parcels 156, 157, 158) unless this special permit is modified or amended.

7. All open storage areas shall be delineated on the above referenced plan including appropriate screening by means of landscaping and/or fencing.

8. The five dwelling units located on Assessor's Map 68, Parcels 59, 64, and 140 shall be rented to employees of the businesses subject to this MCD Special Permit. The applicant shall submit an annual report documenting compliance with this condition each year on the anniversary of the date of this approval.

9. No new building permits or certificates of occupancy shall be issued until the Planning Board has endorsed an acceptable site plan with revisions including but not limited to:

South Valley Industrial Park MCD
Special Permit #3-94
August 17, 1995

- A. Removal of proposed fuel uses.
- B. Delineation of open storage areas w/ appropriate screening.
- C. Revisions to the Lover's Lane/Old South Road intersection.

The Special Permits granted above are issued for properties described as Nantucket Assessor's Map 68 Parcels 57, 58, 59, 60, 61, 62, 63, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 156, 157, 158, 176, 177, 178, 179, 180, 181, 182, 183, 184, 200, 201, 202, 203, 204, 205, 206, 207.



2015 00149668

Cert: 25833 Doc: DD
Registered: 10/22/2015 02:11 PM

QUITCLAIM DEED

Richmond Great Point Development, LLC, a Delaware Limited Liability Company, having a principal place of business at 23 Concord Street, Wilmington, Massachusetts 01887, for consideration paid and in full consideration of Four Hundred Sixty-Six Thousand Two Hundred Fifty and NO/100 (\$466,250.00) Dollars, grants to Nantucket Boating Club, LLC, a duly organized Massachusetts Limited Liability Company, having an address at 14 Plum Street, Nantucket, Massachusetts 02554, with quitclaim covenants:

That certain parcel of land with all improvements thereon known and numbered as 6B Greglen Avenue, Nantucket Town and County Massachusetts, bounded and described as follows:

Lot 841, on plan titled, "Subdivision Plan of Land in Nantucket", drawn by Hayes Engineering, Inc., Surveyors, dated August 27, 2014, numbered 16514-93 and filed with Certificate of Title No. 7778 at the Registry District of the Land Court of Nantucket County.

This conveyance is made subject to the following encumbrances:

1. Easement in favor of Nantucket Electric Company, dated November 7, 1974, registered as Document No. 15706, at the Nantucket Registry District for the Land Court;
2. Covenant with the Nantucket Planning Board dated March 25, 1985, registered as Document No. 16117 at the Nantucket District for the Land Court, as affected by Form J. Release dated April 1, 1996, registered as Document No. 71641.
3. Provisions of a Special Permit issued by the Nantucket Board of Appeals in Case No. 018-75, dated August 1, 1975 and registered as Document No. 16377 at said Registry District;
4. Easement in favor of New England Telephone and Telegraph Company, dated March 9, 1976 and registered as Document No. 16956 at said Registry District;
5. Easement in favor of Nantucket Electric Company, dated August 18, 1977 and registered as Document No. 18452 at said Registry District;
6. Provisions of a Special Permit issued by the Nantucket Planning Board in File No. 3-94 on August 17, 1995, registered as Document No. 91088 at Nantucket Registry District, as affected by Minor Modification issued on April 26, 1999, registered as Document No. 91119 at Nantucket Registry District, as affected by affected by a Minor Modification issued on September 28, 2001, registered as Document No. 94694 at Nantucket Registry District, and as affected by a Modification issued on August 13, 2012, registered as Document No. 138281 at Nantucket Registry District.
7. Declaration of Restrictions and Covenants dated October 9, 2014, registered as Document No. 145956 at Nantucket Registry District.
8. Real estate taxes assessed by the Town of Nantucket for the fiscal year 2016 not now due and payable.

6B Greglen Avenue, Nantucket, MA 02554

The grantor hereby certifies that it has not elected to be treated as a corporation for federal tax purposes for the current taxable year and that this sale does not constitute all or substantially all of the assets of the Company.

The Grantor herein states the subject premises are not homestead property.

Being a portion of the premises as conveyed to the herein grantor by deed of Walter J. Glowacki, Cedar Crest III Development Company, Inc., and Walter J. Glowacki and Sons, Inc., dated August 7, 2013 and filed with the Nantucket County District of the Land Court as Document Number 141845 with Certificate of Title No. 24872

WITNESS my hand and seal this 19 day of October, 2015.

For title, see Certificate of Title No. 24872 at Nantucket Registry District for the Land Court.

[END OF DOCUMENT. SIGNATURE PAGE TO FOLOW]

RICHMOND GREAT POINT
DEVELOPMENT, LLC

By: 
PHILIP PASTAN, MANAGER

*For Authority, See Certificate of Good
Standing filed with the Nantucket County
District of the Land Court herewith.
Doc 149661

COMMONWEALTH OF MASSACHUSETTS

Maddux, ss.

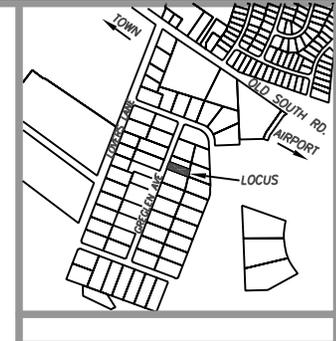
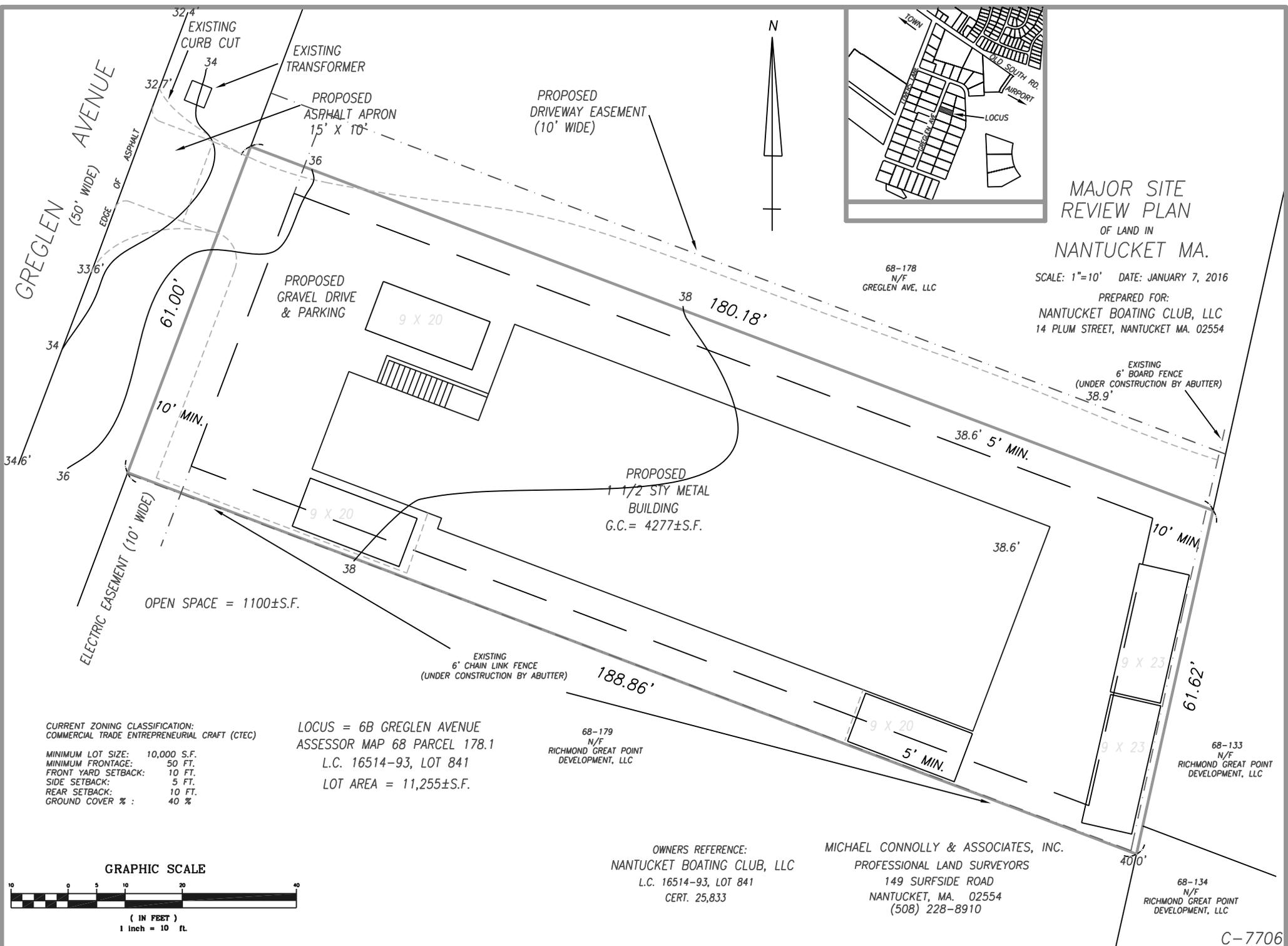
On this 19 day of October, 2015, before me, the undersigned notary public,
personally appeared, PHILIP PASTAN, Manager of Richmond Great Point Development, LLC
and proved to me through satisfactory evidence of identification, which were
personally known to me to be the person whose name is signed on the preceding or attached
document, and acknowledged to me that he signed it voluntarily, in his capacity as aforesaid, for
its stated purpose.


NOTARY PUBLIC
My Commission Expires:



NANTUCKET LAND BANK
CERTIFICATE
 Paid \$ 9325.00
 Exempt
 Non-applicable
No. 36828 Date 10/22/15
Authorization SN

MASSACHUSETTS EXCISE TAX
Nantucket County ROD #16 001
Date: 10/22/2015 02:11 PM
Ctrl# 461980 02297 Doc# 00149668
Fee: \$2,127.24 Cons: \$466,250.00



MAJOR SITE REVIEW PLAN
OF LAND IN
NANTUCKET MA.

SCALE: 1"=10' DATE: JANUARY 7, 2016
PREPARED FOR:
NANTUCKET BOATING CLUB, LLC
14 PLUM STREET, NANTUCKET MA. 02554

68-178
N/F
GREGHEN AVE. LLC

EXISTING
6' BOARD FENCE
(UNDER CONSTRUCTION BY ABUTTER)
38.9'

68-179
N/F
RICHMOND GREAT POINT
DEVELOPMENT, LLC

68-133
N/F
RICHMOND GREAT POINT
DEVELOPMENT, LLC

68-134
N/F
RICHMOND GREAT POINT
DEVELOPMENT, LLC

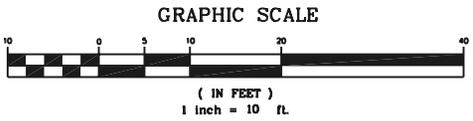
CURRENT ZONING CLASSIFICATION:
COMMERCIAL TRADE ENTREPRENEURIAL CRAFT (CTEC)

MINIMUM LOT SIZE: 10,000 S.F.
MINIMUM FRONTAGE: 50 FT.
FRONT YARD SETBACK: 10 FT.
SIDE SETBACK: 5 FT.
REAR SETBACK: 10 FT.
GROUND COVER % : 40 %

LOCUS = 6B GREGHEN AVENUE
ASSESSOR MAP 68 PARCEL 178.1
L.C. 16514-93, LOT 841
LOT AREA = 11,255±S.F.

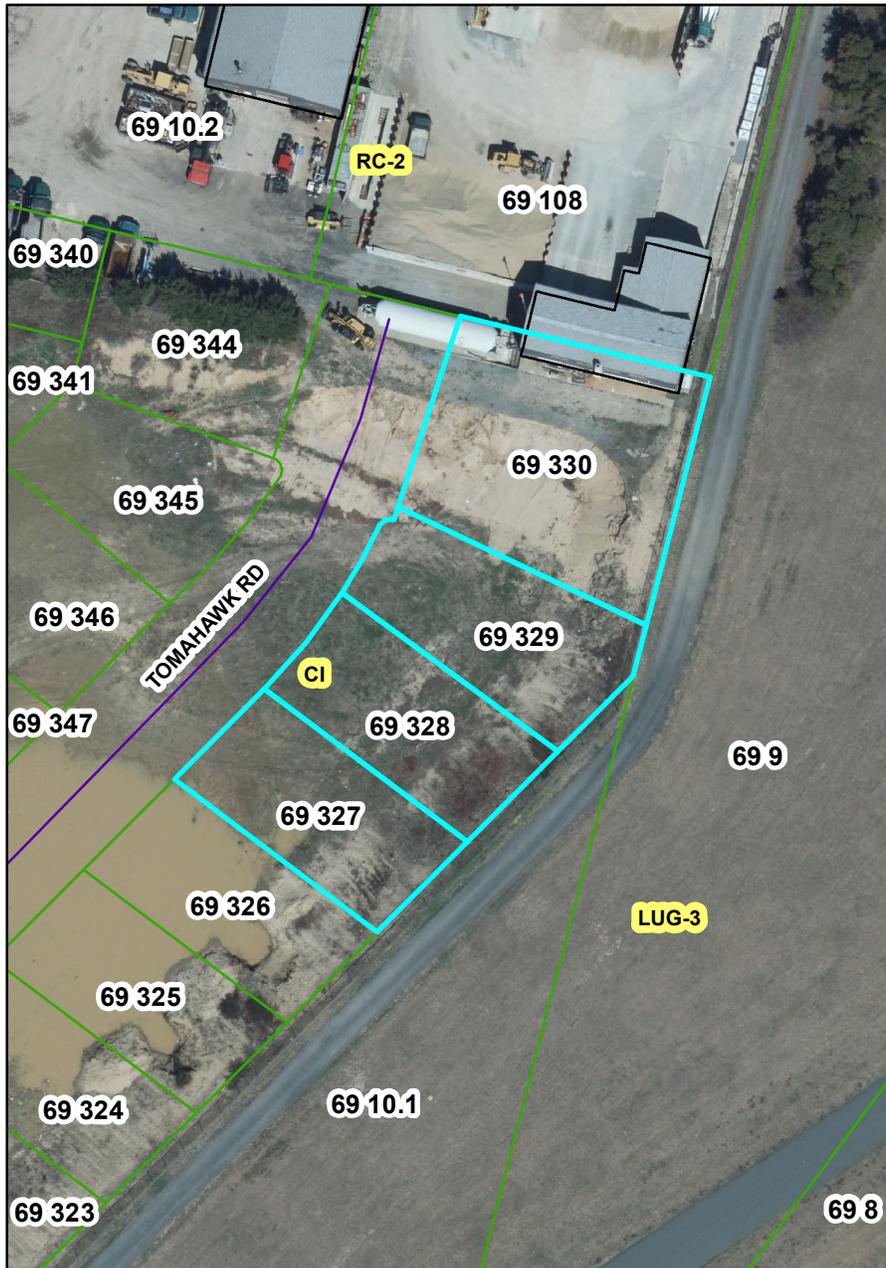
OWNERS REFERENCE:
NANTUCKET BOATING CLUB, LLC
L.C. 16514-93, LOT 841
CERT. 25,833

MICHAEL CONNOLLY & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
149 SURFSIDE ROAD
NANTUCKET, MA. 02554
(508) 228-8910





Planning Board #06-16
39, 41, 43 & 45 Tomahawk Road
Map 69 Parcel 327, 328, 329 & 330

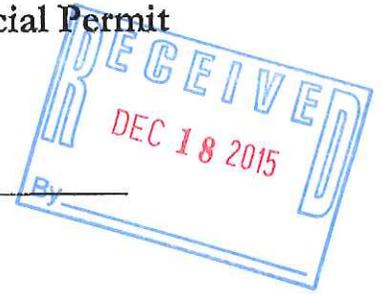




NANTUCKET
Dec. 2015
TOWN CLERK
18PM12:53:58

Nantucket Planning Board

Application for an Amendment to a Previously Granted Special Permit



Date: December 18, 2015

Name of Development: Nantucket Tents

Planning Board File No.: 46-15

Owner(s)' Name(s): Anderson G. Grennan; Kenneth C. Coffin

Mailing Address: c/o 2 Whaler's Lane, Nantucket, MA 02554

Phone number: 508-228-4455 Fax number: 508-228-3070 E-mail: rick@vdhlaw.com; rick@vdhlaw.com

Applicant's Name: Anderson G. Grennan, Manager of Nantucket Tents

Mailing Address: same

Phone number: same Fax number: same E-mail: same

Engineer/Surveyor: Blackwell & Associates, Inc.

Mailing Address: 20 Teasdale Circle, Nantucket, MA 02554

Phone number: 508-228-9026 Fax number: _____ E-mail: art@blackwellsurvey.com

Location of Lots:

Street Address: 39, 41, 43 and 45 Tomahawk Road

Tax Assessor's Map: 69 Parcel: 327, 328, 329 and 330

Nantucket County Registry of Deeds:

Land Court Plan 26984 or Plan Book _____ Page _____

or Plan File #: _____

Size of Parcel _____ square feet

Zoning District RC-2

Describe proposed modification in detail:

As shown on the revised Site Plan, prepared by Blackwell & Associates (copy enclosed), Applicant proposes changes to the previously approved MCD Site Plan.

I/we hereby certify that the applicant cited above have been authorized by me/us to file a Special Permit application with the Nantucket Planning Board on property that I/we own.

Owner(s)' Signature(s):

Anderson G. Grennan, Owner of 41, 43, and 45 Tomahawk Rd. and contract purchaser of

39 Tomahawk Rd.

Kenneth C. Coffin, Owner of 39 Tomahawk Rd.

Applicant's Signature:

Anderson G. Grennan, Manager of Nantucket Tents, LLC

I/we Anderson G. Grennan, the undersigned, hereby authorize
Vaughan, Dale, Hunter & Beaudette, P.C. to act as agent(s) on my/our behalf and to make any necessary
revision on this filed application as may be requested by the Board to meet its governing rules and guidelines.

Owner(s)' Signature(s):

Anderson G. Grennan

This application must be accompanied by a filing fee of \$250.00 payable to Town of Nantucket plus \$6.11 per abutters notice payable to Pitney Bowes Reserved Funds, four sets of mailing labels (1 inch in height and 2.63 inches in width), as well sufficient materials (e.g. site plan, list of proposed modifications, drainage calculations, engineering changes, etc.) as necessary to permit the Planning Board to adequately evaluate the proposal. A list of abutters may be obtained from the Nantucket Tax Assessors office. Each abutters name and address shall be recorded on the mailing labels. If the special permit modification pertains to a Major Commercial Development (MCD) the establishment of an escrow account may be necessary.

VAUGHAN, DALE, HUNTER AND BEAUDETTE

PROFESSIONAL CORPORATION

ATTORNEYS AT LAW

WHALER'S LANE

P.O. BOX 659

NANTUCKET, MASSACHUSETTS 02554

TEL: (508) 228-4455

FAX: (508) 228-3070

EDWARD FOLEY VAUGHAN

KEVIN F. DALE

RICHARD P. BEAUDETTE

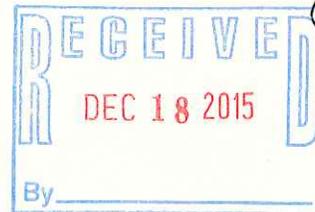
—
LORI D'ELIA

BRYAN J. SWAIN

WILLIAM F. HUNTER

OF COUNSEL

December 18, 2015



18PM12:53:47

Dec. 2015
Ward

NANTUCKET

TOWN CLERK

Catherine Ancero
Administrative Specialist
Nantucket Planning Board
2 Fairgrounds Road
Nantucket, Massachusetts 02554

*Re: Major Commercial Development
Amendment to Special Permit Application
Nantucket Tents, LL;
39, 41, 43 and 45 Tomahawk Road, Nantucket*

Dear Catherine:

Enclosed please find an Application for an Amendment to a Major Commercial Development Special Permit submitted on behalf of Anderson G. Grennan, Manager of Nantucket Tents, LLC with respect to 39, 41, 43 and 45 Tomahawk Road, Nantucket, MA 02554 (the "Premises"). As shown on the revised Site Plan prepared by Blackwell & Associates, attached hereto, the Applicant proposes changes to the previously approved MCD Site Plan.

Further to this application, enclosed please find the following documents:

1. Application for an Amendment to a MCD Special Permit.

2. Revised Site Plan prepared by Blackwell & Associates, Inc.
3. Revised Architecture Plans prepared by Chip Webster Architecture.
4. Two checks: one check in the amount of \$107.84 made payable to Pitney Bowes Reserved Funds representing the abutters fee; and, one check in the amount of \$250 made payable to the Town of Nantucket representing the requisite filing fee.
5. Certified Lists of the Parties in Interest (Abutters) to the project and four sets of mailing labels.

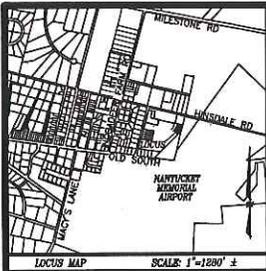
Please mark this matter for hearing by the Planning Board at its meeting scheduled for January 11, 2015. Please feel free to call me should you or any of the Staff or Board members have questions or concerns.

Sincerely,



Richard P. Beaudette

RPB/
Enclosures
cc: Anderson G. Grennan

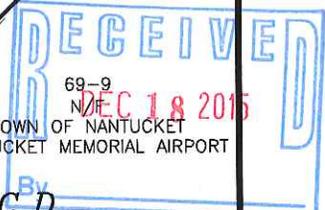
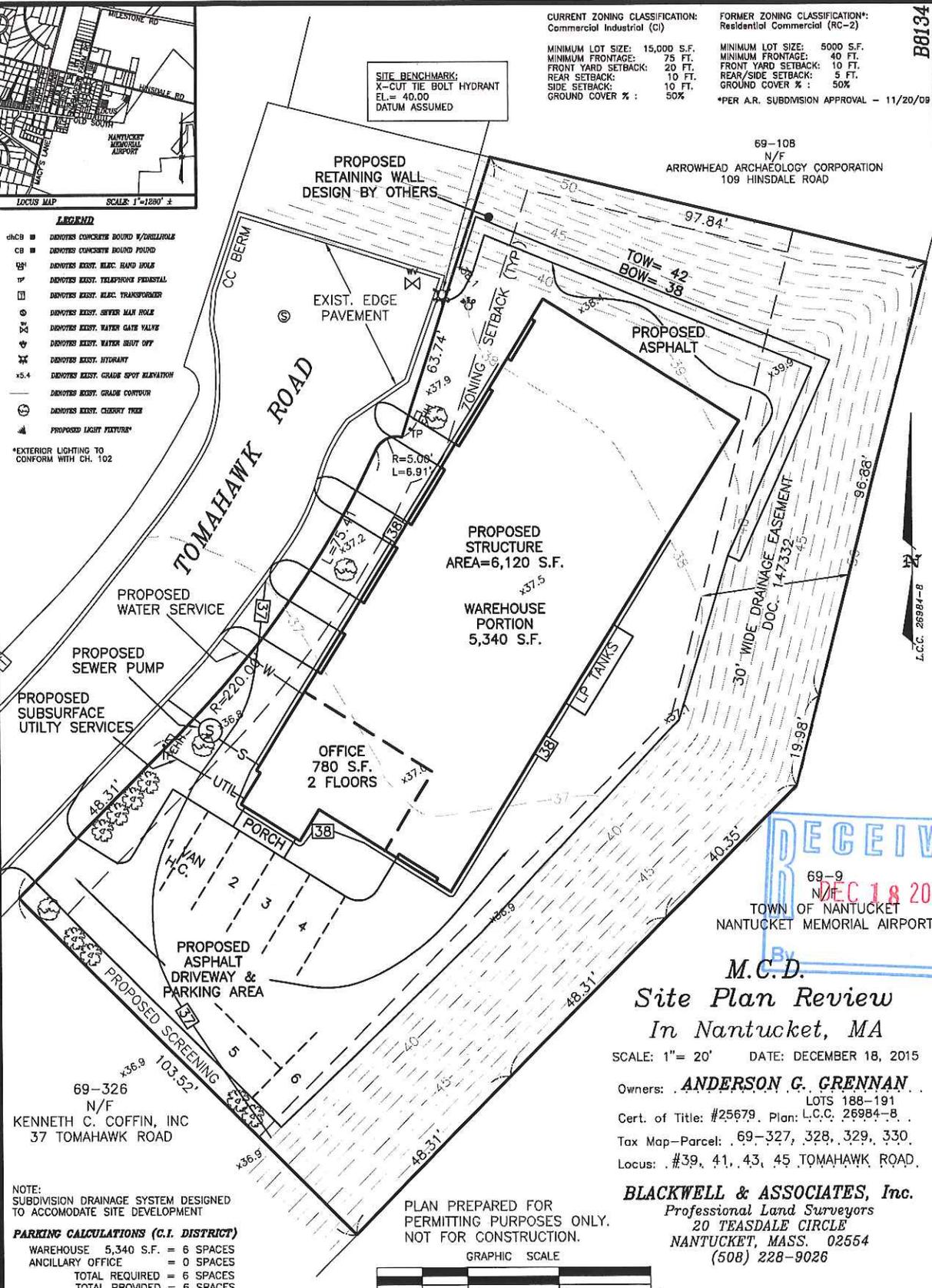


CURRENT ZONING CLASSIFICATION: Commercial Industrial (CI)
 FORMER ZONING CLASSIFICATION*: Residential Commercial (RC-2)
 MINIMUM LOT SIZE: 15,000 S.F.
 MINIMUM FRONTAGE: 75 FT.
 FRONT YARD SETBACK: 20 FT.
 REAR SETBACK: 10 FT.
 SIDE SETBACK: 10 FT.
 GROUND COVER % : 50%
 *PER A.R. SUBDIVISION APPROVAL - 11/20/09

B8134

SITE BENCHMARK:
 X-CUT TIE BOLT HYDRANT
 EL. = 40.00
 DATUM ASSUMED

- LEGEND**
- chCB ■ DENOTES CONCRETE BOUND W/DRILLHOLE
 - CB ■ DENOTES CONCRETE BOUND POUND
 - CBH ■ DENOTES EXIST. ELEC. HAND HOLE
 - TP ■ DENOTES EXIST. TELEPHONE FERRISIAL
 - TP ■ DENOTES EXIST. ELEC. TRANSFORMER
 - SM ■ DENOTES EXIST. SEWER MAN HOLE
 - WV ■ DENOTES EXIST. WATER GATE VALVE
 - WV ■ DENOTES EXIST. WATER SHUT OFF
 - HT ■ DENOTES EXIST. HYDRANT
 - 5.4 ■ DENOTES EXIST. GRADE SPOT ELEVATION
 - ■ DENOTES EXIST. GRADE CONTOUR
 - ■ DENOTES EXIST. CHERRY TREE
 - ■ PROPOSED LIGHT FIXTURE*
- *EXTERIOR LIGHTING TO CONFORM WITH CH. 102



69-9
 N/F
 TOWN OF NANTUCKET
 NANTUCKET MEMORIAL AIRPORT

M.C.D.
Site Plan Review
In Nantucket, MA

SCALE: 1" = 20' DATE: DECEMBER 18, 2015
 Owners: **ANDERSON G. GRENNAN**, LOTS 188-191
 Cert. of Title: #25679. Plan: L.C.C. 26984-8.
 Tax Map-Parcel: 69-327, 328, 329, 330.
 Locus: #39, 41, 43, 45 TOMAHAWK ROAD.

BLACKWELL & ASSOCIATES, Inc.
 Professional Land Surveyors
 20 TEASDALE CIRCLE
 NANTUCKET, MASS. 02554
 (508) 228-9026

PLAN PREPARED FOR PERMITTING PURPOSES ONLY.
 NOT FOR CONSTRUCTION.



NOTE:
 SUBDIVISION DRAINAGE SYSTEM DESIGNED TO ACCOMMODATE SITE DEVELOPMENT

PARKING CALCULATIONS (C.I. DISTRICT)

WAREHOUSE 5,340 S.F.	= 6 SPACES
ANCILLARY OFFICE	= 0 SPACES
TOTAL REQUIRED	= 6 SPACES
TOTAL PROVIDED	= 6 SPACES

OPEN SPACE FOR MAJOR COMMERCIAL DEVELOPMENT (MCD)	
GROUND COVER	AREA
PAVED PARKING	7,670± S.F.
IMPERVIOUS BUILDING	6,120± S.F.
OPEN AREA	9,507± S.F.
COMBINED LOT AREA	23,297± S.F.
MINIMUM REQUIRED OPEN SPACE = 30% OF LOT AREA = 6,989 S.F.	
OPEN AREA PROVIDED = 41% OF LOT AREA = 9,507± S.F.	

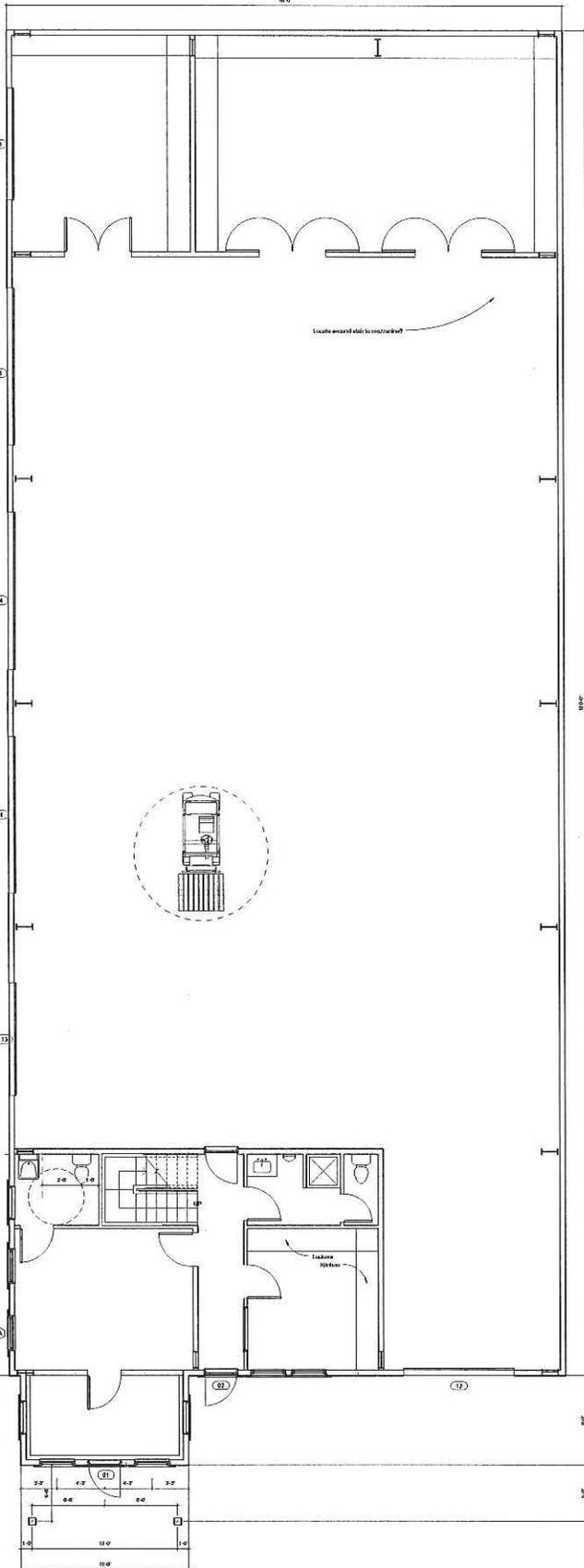
OWNER OF RECORD
 ANDERSON G. GRENNAN
 CERT. OF TITLE #25679
 L.C.C. 26984-8, LOTS 189, 190, 191
 ASSESSOR'S MAP 69 PARCELS 328-330
 #41, 43, 45 TOMAHAWK ROAD

KENNETH C. COFFIN, INC.
 CERT. OF TITLE #11,346
 L.C.C. 26984-8, LOT 188
 ASSESSOR'S MAP 69 PARCEL 327
 #39 TOMAHAWK ROAD

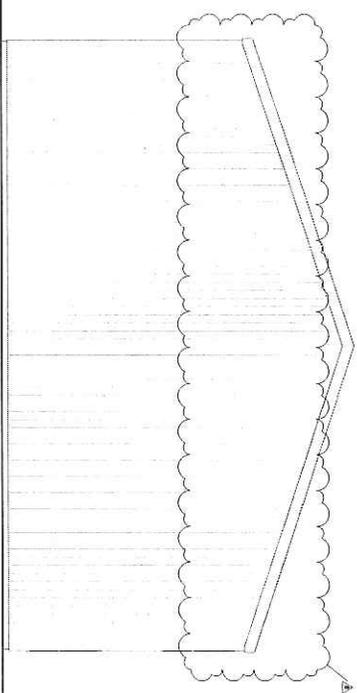
Planning Board

FILE NO. _____ DATE: _____

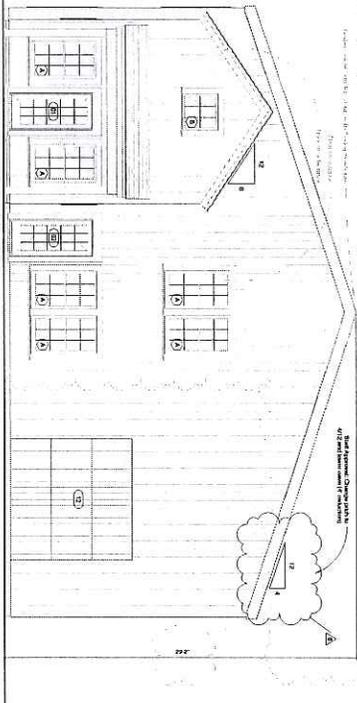
THIS DESIGN AND DRAWINGS ARE COPYRIGHTED BY CHIP WEBSTER ARCHITECTURE AND ARE NOT TO BE REPRODUCED OR USED IN ANY WAY WITHOUT EXPRESS WRITTEN CONSENT FROM CHIP WEBSTER ARCHITECTURE



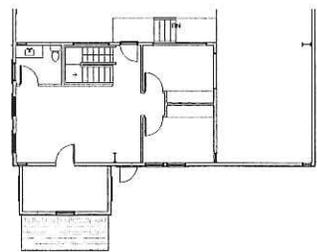
1 Floor 1
118' x 11'-0"



3 South
118' x 11'-0"



4 South
118' x 11'-0"



2 Floor 2
118' x 11'-0"

RECEIVED
 DEC 18 2015
 BY _____

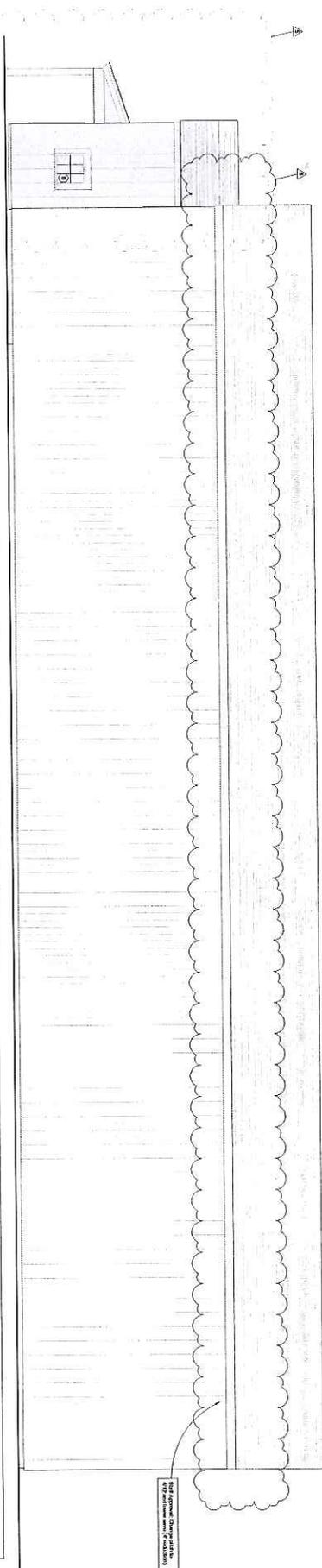
A1.1

NO.	DATE	DESCRIPTION
1	01/05/2015	Initial Design
2	01/05/2015	Final Design
3	01/05/2015	Final Design
4	01/05/2015	Final Design
5	01/05/2015	Final Design
6	01/05/2015	Final Design
7	01/05/2015	Final Design
8	01/05/2015	Final Design
9	01/05/2015	Final Design
10	01/05/2015	Final Design

Nantucket Tents
 Warehouse
 Tomahawk Road, Nantucket, MA

DD - Not For Construction

CHIP WEBSTER
 ARCHITECTURE
 5 AMTIA DRIVE NANTUCKET MA 06541 508-526-3300 CHIPWEBSTER.COM

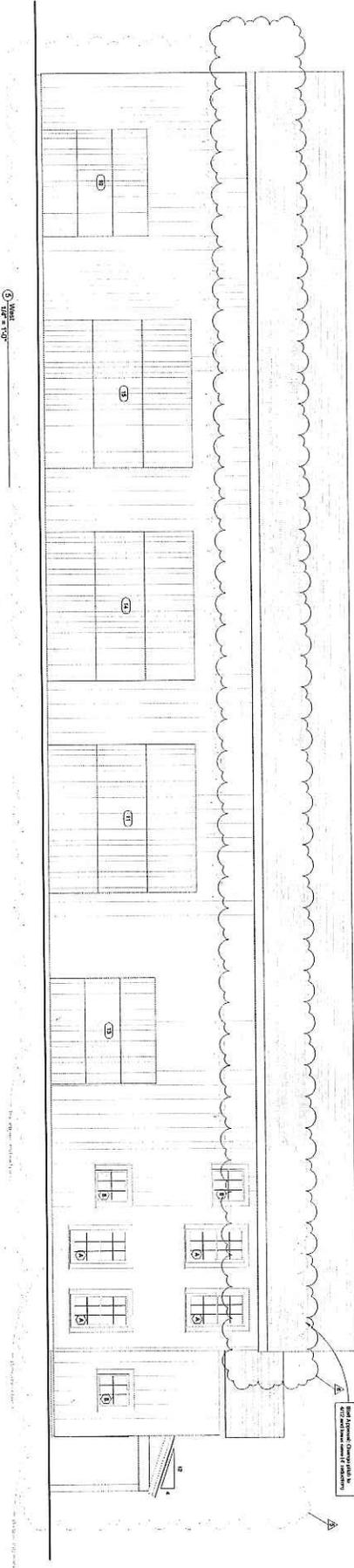


2 ELEVATION
1/4" = 1'-0"

NO.	DESCRIPTION	QUANTITY	UNIT	REMARKS
1	WOOD SHAKES	1000	SQ. FT.	ROOFING
2	WOOD SHAKES	500	SQ. FT.	ROOFING
3	WOOD SHAKES	200	SQ. FT.	ROOFING
4	WOOD SHAKES	100	SQ. FT.	ROOFING
5	WOOD SHAKES	50	SQ. FT.	ROOFING
6	WOOD SHAKES	25	SQ. FT.	ROOFING
7	WOOD SHAKES	12.5	SQ. FT.	ROOFING
8	WOOD SHAKES	6.25	SQ. FT.	ROOFING
9	WOOD SHAKES	3.125	SQ. FT.	ROOFING
10	WOOD SHAKES	1.5625	SQ. FT.	ROOFING
11	WOOD SHAKES	0.78125	SQ. FT.	ROOFING
12	WOOD SHAKES	0.390625	SQ. FT.	ROOFING
13	WOOD SHAKES	0.1953125	SQ. FT.	ROOFING
14	WOOD SHAKES	0.09765625	SQ. FT.	ROOFING
15	WOOD SHAKES	0.048828125	SQ. FT.	ROOFING
16	WOOD SHAKES	0.0244140625	SQ. FT.	ROOFING
17	WOOD SHAKES	0.01220703125	SQ. FT.	ROOFING
18	WOOD SHAKES	0.006103515625	SQ. FT.	ROOFING
19	WOOD SHAKES	0.0030517578125	SQ. FT.	ROOFING
20	WOOD SHAKES	0.00152587890625	SQ. FT.	ROOFING
21	WOOD SHAKES	0.000762939453125	SQ. FT.	ROOFING
22	WOOD SHAKES	0.0003814697265625	SQ. FT.	ROOFING
23	WOOD SHAKES	0.00019073486328125	SQ. FT.	ROOFING
24	WOOD SHAKES	0.000095367431640625	SQ. FT.	ROOFING
25	WOOD SHAKES	0.0000476837158203125	SQ. FT.	ROOFING
26	WOOD SHAKES	0.00002384185791015625	SQ. FT.	ROOFING
27	WOOD SHAKES	0.000011920928955078125	SQ. FT.	ROOFING
28	WOOD SHAKES	0.0000059604644775390625	SQ. FT.	ROOFING
29	WOOD SHAKES	0.00000298023223876953125	SQ. FT.	ROOFING
30	WOOD SHAKES	0.000001490116119384765625	SQ. FT.	ROOFING
31	WOOD SHAKES	0.0000007450580596923828125	SQ. FT.	ROOFING
32	WOOD SHAKES	0.00000037252902984619140625	SQ. FT.	ROOFING
33	WOOD SHAKES	0.000000186264514923095703125	SQ. FT.	ROOFING
34	WOOD SHAKES	0.0000000931322574615478515625	SQ. FT.	ROOFING
35	WOOD SHAKES	0.00000004656612873077392578125	SQ. FT.	ROOFING
36	WOOD SHAKES	0.000000023283064365386962890625	SQ. FT.	ROOFING
37	WOOD SHAKES	0.0000000116415321826934814453125	SQ. FT.	ROOFING
38	WOOD SHAKES	0.00000000582076609134674072265625	SQ. FT.	ROOFING
39	WOOD SHAKES	0.000000002910383045673370361328125	SQ. FT.	ROOFING
40	WOOD SHAKES	0.0000000014551915228366851806640625	SQ. FT.	ROOFING
41	WOOD SHAKES	0.00000000072759576141834259033203125	SQ. FT.	ROOFING
42	WOOD SHAKES	0.000000000363797880709171295166015625	SQ. FT.	ROOFING
43	WOOD SHAKES	0.0000000001818989403545856475830078125	SQ. FT.	ROOFING
44	WOOD SHAKES	0.00000000009094947017729282379150390625	SQ. FT.	ROOFING
45	WOOD SHAKES	0.000000000045474735088646111895751953125	SQ. FT.	ROOFING
46	WOOD SHAKES	0.0000000000227373675443230559478759765625	SQ. FT.	ROOFING
47	WOOD SHAKES	0.00000000001136868377216152527973798828125	SQ. FT.	ROOFING
48	WOOD SHAKES	0.000000000005684341886080762639868994140625	SQ. FT.	ROOFING
49	WOOD SHAKES	0.0000000000028421709430403813199344970703125	SQ. FT.	ROOFING
50	WOOD SHAKES	0.00000000000142108547152019065996724853515625	SQ. FT.	ROOFING

NO.	DESCRIPTION	QUANTITY	UNIT	REMARKS
1	WOOD SHAKES	1000	SQ. FT.	ROOFING
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3	WOOD SHAKES	200	SQ. FT.	ROOFING
4	WOOD SHAKES	100	SQ. FT.	ROOFING
5	WOOD SHAKES	50	SQ. FT.	ROOFING
6	WOOD SHAKES	25	SQ. FT.	ROOFING
7	WOOD SHAKES	12.5	SQ. FT.	ROOFING
8	WOOD SHAKES	6.25	SQ. FT.	ROOFING
9	WOOD SHAKES	3.125	SQ. FT.	ROOFING
10	WOOD SHAKES	1.5625	SQ. FT.	ROOFING
11	WOOD SHAKES	0.78125	SQ. FT.	ROOFING
12	WOOD SHAKES	0.390625	SQ. FT.	ROOFING
13	WOOD SHAKES	0.1953125	SQ. FT.	ROOFING
14	WOOD SHAKES	0.09765625	SQ. FT.	ROOFING
15	WOOD SHAKES	0.048828125	SQ. FT.	ROOFING
16	WOOD SHAKES	0.0244140625	SQ. FT.	ROOFING
17	WOOD SHAKES	0.01220703125	SQ. FT.	ROOFING
18	WOOD SHAKES	0.006103515625	SQ. FT.	ROOFING
19	WOOD SHAKES	0.0030517578125	SQ. FT.	ROOFING
20	WOOD SHAKES	0.00152587890625	SQ. FT.	ROOFING
21	WOOD SHAKES	0.000762939453125	SQ. FT.	ROOFING
22	WOOD SHAKES	0.0003814697265625	SQ. FT.	ROOFING
23	WOOD SHAKES	0.00019073486328125	SQ. FT.	ROOFING
24	WOOD SHAKES	0.000095367431640625	SQ. FT.	ROOFING
25	WOOD SHAKES	0.0000476837158203125	SQ. FT.	ROOFING
26	WOOD SHAKES	0.00002384185791015625	SQ. FT.	ROOFING
27	WOOD SHAKES	0.000011920928955078125	SQ. FT.	ROOFING
28	WOOD SHAKES	0.0000059604644775390625	SQ. FT.	ROOFING
29	WOOD SHAKES	0.00000298023223876953125	SQ. FT.	ROOFING
30	WOOD SHAKES	0.000001490116119384765625	SQ. FT.	ROOFING
31	WOOD SHAKES	0.0000007450580596923828125	SQ. FT.	ROOFING
32	WOOD SHAKES	0.00000037252902984619140625	SQ. FT.	ROOFING
33	WOOD SHAKES	0.000000186264514923095703125	SQ. FT.	ROOFING
34	WOOD SHAKES	0.0000000931322574615478515625	SQ. FT.	ROOFING
35	WOOD SHAKES	0.00000004656612873077392578125	SQ. FT.	ROOFING
36	WOOD SHAKES	0.000000023283064365386962890625	SQ. FT.	ROOFING
37	WOOD SHAKES	0.0000000116415321826934814453125	SQ. FT.	ROOFING
38	WOOD SHAKES	0.00000000582076609134674072265625	SQ. FT.	ROOFING
39	WOOD SHAKES	0.000000002910383045673370361328125	SQ. FT.	ROOFING
40	WOOD SHAKES	0.0000000014551915228366851806640625	SQ. FT.	ROOFING
41	WOOD SHAKES	0.00000000072759576141834259033203125	SQ. FT.	ROOFING
42	WOOD SHAKES	0.000000000363797880709171295166015625	SQ. FT.	ROOFING
43	WOOD SHAKES	0.0000000001818989403545856475830078125	SQ. FT.	ROOFING
44	WOOD SHAKES	0.00000000009094947017729282379150390625	SQ. FT.	ROOFING
45	WOOD SHAKES	0.000000000045474735088646111895751953125	SQ. FT.	ROOFING
46	WOOD SHAKES	0.0000000000227373675443230559478759765625	SQ. FT.	ROOFING
47	WOOD SHAKES	0.00000000001136868377216152527973798828125	SQ. FT.	ROOFING
48	WOOD SHAKES	0.000000000005684341886080762639868994140625	SQ. FT.	ROOFING
49	WOOD SHAKES	0.0000000000028421709430403813199344970703125	SQ. FT.	ROOFING
50	WOOD SHAKES	0.00000000000142108547152019065996724853515625	SQ. FT.	ROOFING

3 ELEVATION
1/4" = 1'-0"



THE DESIGN AND DRAWINGS ARE COPYRIGHTED BY CHIP WEBSTER ARCHITECTURE AND ARE NOT TO BE REPRODUCED OR USED IN ANY WAY WITHOUT EXPRESS WRITTEN CONSENT FROM CHIP WEBSTER ARCHITECTURE.

RECEIVED
DEC 18 2015
BY

A2.1

NO.	DESCRIPTION	QUANTITY	UNIT	REMARKS
1	WOOD SHAKES	1000	SQ. FT.	ROOFING
2	WOOD SHAKES	500	SQ. FT.	ROOFING
3	WOOD SHAKES	200	SQ. FT.	ROOFING
4	WOOD SHAKES	100	SQ. FT.	ROOFING
5	WOOD SHAKES	50	SQ. FT.	ROOFING
6	WOOD SHAKES	25	SQ. FT.	ROOFING
7	WOOD SHAKES	12.5	SQ. FT.	ROOFING
8	WOOD SHAKES	6.25	SQ. FT.	ROOFING
9	WOOD SHAKES	3.125	SQ. FT.	ROOFING
10	WOOD SHAKES	1.5625	SQ. FT.	ROOFING
11	WOOD SHAKES	0.78125	SQ. FT.	ROOFING
12	WOOD SHAKES	0.390625	SQ. FT.	ROOFING
13	WOOD SHAKES	0.1953125	SQ. FT.	ROOFING
14	WOOD SHAKES	0.09765625	SQ. FT.	ROOFING
15	WOOD SHAKES	0.048828125	SQ. FT.	ROOFING
16	WOOD SHAKES	0.0244140625	SQ. FT.	ROOFING
17	WOOD SHAKES	0.01220703125	SQ. FT.	ROOFING
18	WOOD SHAKES	0.006103515625	SQ. FT.	ROOFING
19	WOOD SHAKES	0.0030517578125	SQ. FT.	ROOFING
20	WOOD SHAKES	0.00152587890625	SQ. FT.	ROOFING
21	WOOD SHAKES	0.000762939453125	SQ. FT.	ROOFING
22	WOOD SHAKES	0.0003814697265625	SQ. FT.	ROOFING
23	WOOD SHAKES	0.00019073486328125	SQ. FT.	ROOFING
24	WOOD SHAKES	0.000095367431640625	SQ. FT.	ROOFING
25	WOOD SHAKES	0.0000476837158203125	SQ. FT.	ROOFING
26	WOOD SHAKES	0.00002384185791015625	SQ. FT.	ROOFING
27	WOOD SHAKES	0.000011920928955078125	SQ. FT.	ROOFING
28	WOOD SHAKES	0.0000059604644775390625	SQ. FT.	ROOFING
29	WOOD SHAKES	0.00000298023223876953125	SQ. FT.	ROOFING
30	WOOD SHAKES	0.000001490116119384765625	SQ. FT.	ROOFING
31	WOOD SHAKES	0.0000007450580596923828125	SQ. FT.	ROOFING
32	WOOD SHAKES	0.00000037252902984619140625	SQ. FT.	ROOFING
33	WOOD SHAKES	0.000000186264514923095703125	SQ. FT.	ROOFING
34	WOOD SHAKES	0.0000000931322574615478515625	SQ. FT.	ROOFING
35	WOOD SHAKES	0.00000004656612873077392578125	SQ. FT.	ROOFING
36	WOOD SHAKES	0.000000023283064365386962890625	SQ. FT.	ROOFING
37	WOOD SHAKES	0.0000000116415321826934814453125	SQ. FT.	ROOFING
38	WOOD SHAKES	0.00000000582076609134674072265625	SQ. FT.	ROOFING
39	WOOD SHAKES	0.000000002910383045673370361328125	SQ. FT.	ROOFING
40	WOOD SHAKES	0.0000000014551915228366851806640625	SQ. FT.	ROOFING
41	WOOD SHAKES	0.00000000072759576141834259033203125	SQ. FT.	ROOFING
42	WOOD SHAKES	0.000000000363797880709171295166015625	SQ. FT.	ROOFING
43	WOOD SHAKES	0.0000000001818989403545856475830078125	SQ. FT.	ROOFING
44	WOOD SHAKES	0.00000000009094947017729282379150390625	SQ. FT.	ROOFING
45	WOOD SHAKES	0.000000000045474735088646111895751953125	SQ. FT.	ROOFING
46	WOOD SHAKES	0.0000000000227373675443230559478759765625	SQ. FT.	ROOFING
47	WOOD SHAKES	0.00000000001136868377216152527973798828125	SQ. FT.	ROOFING
48	WOOD SHAKES	0.000000000005684341886080762639868994140625	SQ. FT.	ROOFING
49	WOOD SHAKES	0.0000000000028421709430403813199344970703125	SQ. FT.	ROOFING
50	WOOD SHAKES	0.00000000000142108547152019065996724853515625	SQ. FT.	ROOFING

Nantucket Tents Warehouse
Tomahawk Road, Nantucket, MA

DD - Not For Construction



ANR #7911
Seven Eagle Lane Condo - Mark Caushon
5 1/2 & 7 Eagle Lane
Map 55.4.1 Parcel 160





TOWN CLERK

NANTUCKET

Nantucket Planning Board

Form A Application for Endorsement of a Plan Believed Not to Require Approval (ANR)

DEC 29 2015
29AM 10:18:32

Date: 12-29-15 *Name of Owner(s)/Applicant(s): SEVEN EAGLE LANE CONDOMINIUM - MARK CAUCHON.

*Owner's/Applicant's address: 010 MARCKLINGER 3 GROVE LANE
State: _____ Zip Code: _____

*(include all names and addresses of the principals of the owner entity such as principal officer of corporation, trustees of the trust and partners of the partnership)

Location of Property (Street or Area): S 1/2 v 7 EAGLE LANE

Name of Registered Land Surveyor: MARCKLINGER
Surveyor's address: 3 GROVE LANE

The owner's title to the land derived under deed from DEWEZ, date 11-02-15
And recorded in Nantucket Registry of Deed, Book 1509 Page 290 or Land Court Certificate of Title # _____, registered in Nantucket District Book _____, Page _____ and shown on Assessor's Map# 42.3.2, Parcel # 62
To the Planning Board of the Town of Nantucket:

The undersigned wishes to record the accompanying plan and requests a determination and endorsement by said Board that approval by it under the Subdivision Control Law is not required. The undersigned believes that such approval is not required for the following reasons: (check all that apply)

- The accompanying plan is not a subdivision because it does not show a division of land (perimeter plan).
- The division of the tract of land shown on the accompanying plan is not a subdivision because every lot on the plan has frontage of at least such distance as is presently required by the *Nantucket Zoning By-Law* under Section 5 which requires _____ feet for erection of a building on such lot; and every lot shown on the plan has such frontage on:

A. a public way or a way which the City or Town Clerk certifies is maintained and used as a Public way, namely _____; OR

B. a way shown on a plan theretofore approved and endorsed in accordance with the Subdivision Control Law, namely _____ on _____ (date) and Subject to the following conditions _____; OR

C. a way in existence on _____ (date); the date when the Subdivision Control Law became effective in the Town of Nantucket, having in the opinion of the Planning Board, sufficient

width, suitable grades, and adequate construction to provide for the need to vehicular traffic in relation to the proposed use of the land abutting thereon or served thereby, and for the installation of municipal services to serve such land and the buildings erected or to be erected thereon, namely

- The division of the tract of land shown on the accompanying plan is not a subdivision because it shows a proposed conveyance or other instrument, namely _____, which adds to, takes away from or changes the size and shape of lots in such a manner so that no lot affected is left without frontage as required by the *Nantucket Zoning By-Law* under Section 5, which requires _____ feet.
 - The division of the tract of land shown on the accompanying plan is not a subdivision because two or more buildings, specifically _____ buildings were standing on the land prior to 1955, the date when the Subdivision Control Law went into effect in the Town of Nantucket, and one of such building remains standing on each of the lots; said buildings as shown and located on the accompanying plan. Evidence of the existence of such buildings prior to the effective date of the Subdivision Control Law is submitted as follows: _____
-

- Other reasons or comments: (see M.G.L., Chapter 41, Section 81-L)

LOT LINE ADJUSTMENT 2 EXISTING LOTS

I hereby certify that the applicant(s) listed above have been authorized by me to file a plan with the Planning Board of Nantucket on property that I own.

J. M. [Signature]
Owner's Signature AGENT

Planning Board File # _____

Endorsement Date: _____

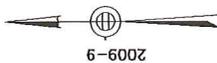
I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

DATE _____ PROFESSIONAL LAND SURVEYOR _____

PLAN OF LAND NANTUCKET, MA.

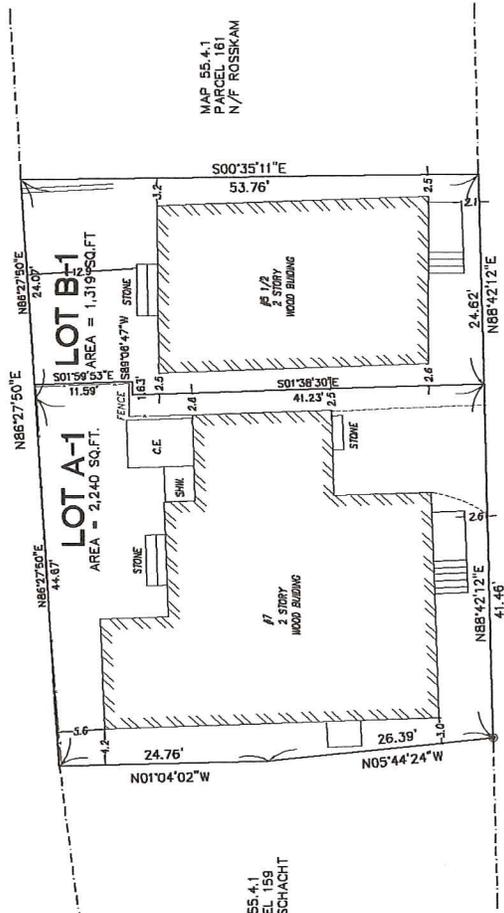
EAGLE LANE
(NANTUCKET COUNTY)

SCALE 1 IN. = 10 FT. OWNED BY: SEVEN EAGLE LANE CONDOMINIUM
DECEMBER 27, 2015 PREPARED FOR: MARK CAUCHON
DEED BOOK 1508, PAGE 292
PLAN 2009-9
PLAN 2011-11
MAP 423J3, PARCEL 62



MAP 55.4.1
PARCEL 200
N/F BERNARD

MAP 55.4.1
PARCEL 121
N/F LE SELECT PROPERTIES LLC



MAP 55.4.1
PARCEL 159
N/F SCHACHT

MAP 55.4.1
PARCEL 101
N/F ROSSKAM

ZONING CLASSIFICATION: R-OH
MINIMUM LOT SIZE = 5,000 SQ. FT.
MINIMUM FRONTAGE = 50 FT.
FRONT YARD SETBACK = 0
REAR YARD SETBACK = 5 FT.
SIDE YARD SETBACK = 5 FT.
GROUND COVER RATIO = 50%

JOSEPH MARCKLINGER P.L.S.
J. MARCKLINGER & ASSOC.
PROFESSIONAL LAND SURVEYORS
P.O. BOX 896
NANTUCKET, MA 02554
(310) 945-7054

LOTS A-1 AND B-1 DO NOT CONTAIN AREAS SUBJECT TO PROTECTION UNDER MASSACHUSETTS PROTECTION OF HISTORIC LANDS ACT WHICH ARE REQUIRED TO BE EXCLUDED FROM AREA UNDER THE NANTUCKET ZONING BY-LAW.
PLANNING BOARD ENDORSEMENT DOES NOT CONSTITUTE DETERMINATION OF CONFORMANCE TO ZONING.

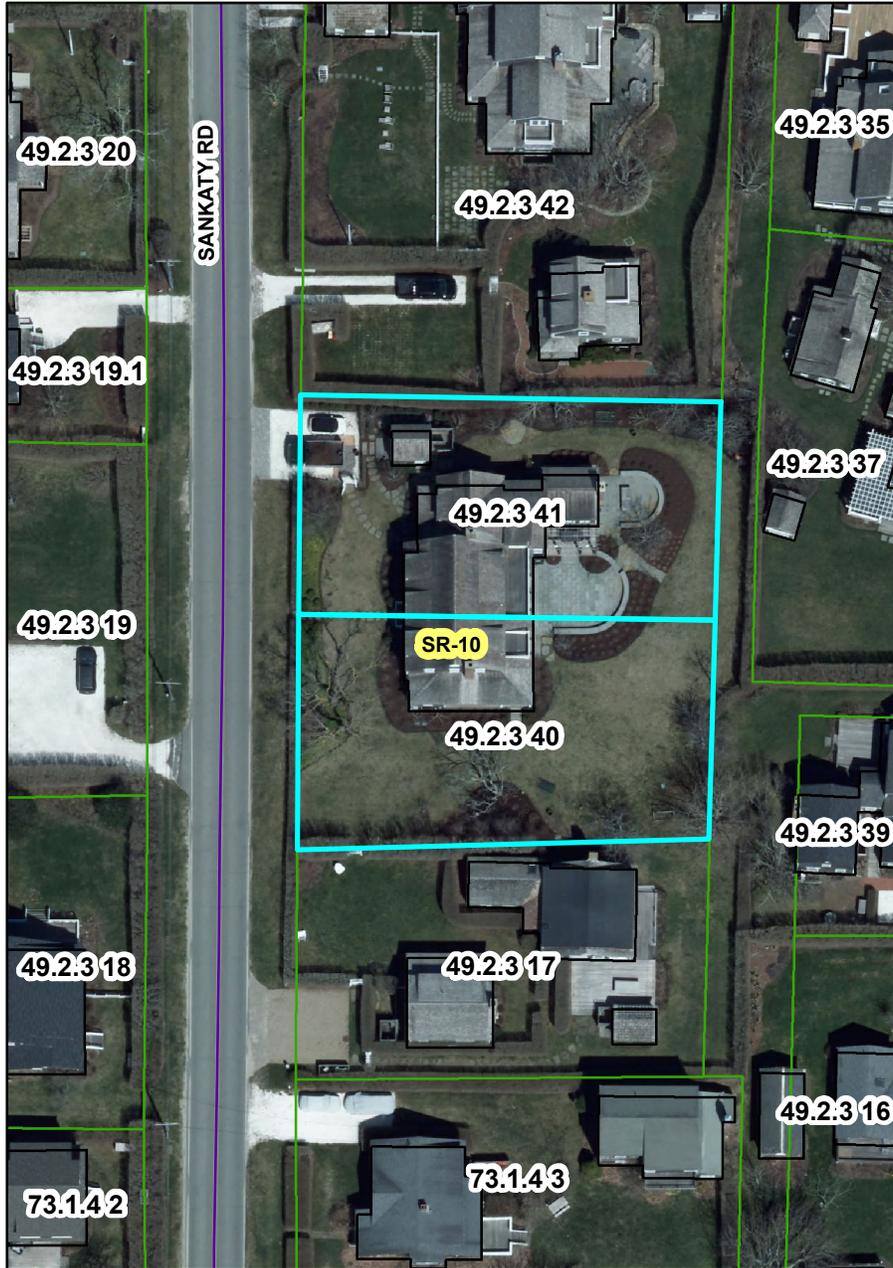
NANTUCKET PLANNING BOARD

APPROVAL UNDER THE SUBDIVISION CONTROL LAW NOT REQUIRED.

DATE SIGNED _____ FILE NUMBER _____

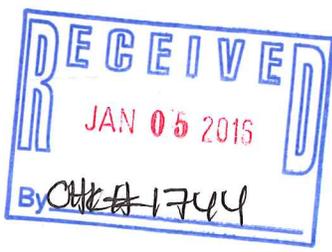


ANR #7912
27 Sankaty, LLC
27 Sankaty Road
Map 49.2.3 Parcel 40 & 41



#7912

TOWN CLERK



NANTUCKET

29PM 3:43:53

DEC 29 2015

Nantucket Planning Board

Form A Application for Endorsement of a Plan Believed Not to Require Approval (ANR)

Date: December 17, 2015 *Name of Owner(s)/Applicant(s): 27 Sankaty, LLC
Trust _____

*Owner's/Applicant's address: 111 Huntington Ave, Boston

State: MA Zip Code: 02199

*(include all names and addresses of the principals of the owner entity such as principal officer of corporation, trustees of the trust and partners of the partnership) Peter W. Riehl, Manager

Location of Property (Street or Area): 27 Sankaty Road

Name of Registered Land Surveyor: Robert A. Emack

Surveyor's address: 2 Washaman Ave., Nantucket, MA 02554

The owner's title to the land derived under deed from Hudson Holland III and John Fuller Holland
And recorded in Nantucket Registry of Deed, Book 1029 /120 Page 120 or Land Court Certificate of Title
_____, registered in Nantucket District Book _____, Page _____ and shown on Assessor's
Map# 49.2.3, Parcel #'s 40 & 41.
To the Planning Board of the Town of Nantucket:

The undersigned wishes to record the accompanying plan and requests a determination and endorsement by said Board that approval by it under the Subdivision Control Law is not required. The undersigned believes that such approval is not required for the following reasons: (check all that apply)

The accompanying plan is not a subdivision because it does not show a division of land (perimeter plan).

The division of the tract of land shown on the accompanying plan is not a subdivision because every lot on the plan has frontage of at least such distance as is presently required by the *Nantucket Zoning By-Law*

under Section 5 which requires _____ feet for erection of a building on such lot; and every lot shown on the plan has such frontage on:

A. a public way or a way which the City or Town Clerk certifies is maintained and used as a Public way, namely _____; **OR**

B. a way shown on a plan theretofore approved and endorsed in accordance with the Subdivision Control Law, namely _____ on _____ (date) and Subject to the following conditions _____; **OR**

C. a way in existence on _____ (date); the date when the Subdivision Control Law became effective in the Town of Nantucket, having in the opinion of the Planning Board, sufficient

width, suitable grades, and adequate construction to provide for the need to vehicular traffic in relation to the proposed use of the land abutting thereon or served thereby, and for the installation of municipal services to serve such land and the buildings erected or to be erected thereon, namely

The division of the tract of land shown on the accompanying plan is not a subdivision because it shows a proposed conveyance or other instrument, namely _____, which adds to, takes away from or changes the size and shape of lots in such a manner so that no lot affected is left without frontage as required by the *Nantucket Zoning By-Law* under Section 5, which requires _____ feet.

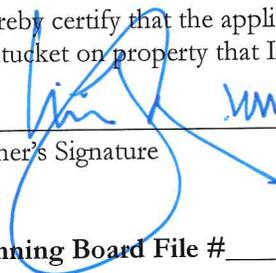
The division of the tract of land shown on the accompanying plan is not a subdivision because two or more buildings, specifically _____ buildings were standing on the land prior to 1955, the date when the Subdivision Control Law went into effect in the Town of Nantucket, and one of such building remains standing on each of the lots; said buildings as shown and located on the accompanying plan. Evidence of the existence of such buildings prior to the effective date of the Subdivision Control Law is submitted as follows: _____

Other reasons or comments: (see M.G.L., Chapter 41, Section 81-L)

The plan shows Lots 4 and 5 and the fee ownership in Adeline Street, all as shown on Plan Book 2, Page 52. The owners abutting Adeline Street mutually closed Adeline Street, see Deed Book 104, Page 228.

I hereby certify that the applicant(s) listed above have been authorized by me to file a plan with the Planning Board of Nantucket on property that I own.

Owner's Signature

 W.M.F. HUNTER, ESQ.

Planning Board File # _____

Endorsement Date: _____



THE PLANNING BOARD DETERMINES THAT :
 THE LOT SHOWN HEREON DOES NOT CONTAIN AREAS SUBJECT TO PROTECTION UNDER
 THE MASSACHUSETTS WETLANDS PROTECTION ACT WHICH ARE REQUIRED
 TO BE EXCLUDED FROM LOT AREA UNDER THE NANTUCKET ZONING BY-LAW,
 BUT STILL MAY BE SUBJECT TO PROTECTION UNDER STATE AND LOCAL WETLAND
 LAWS AND BY-LAWS. DETERMINATION OF APPLICABILITY FOR WETLANDS MAY BE
 OBTAINED THROUGH APPLICATION TO THE NANTUCKET CONSERVATION COMMISSION.

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN
 PREPARED IN ACCORDANCE WITH THE RULES
 AND REGULATIONS OF THE REGISTERS OF DEEDS
 OF THE COMMONWEALTH OF MASSACHUSETTS

PROFESSIONAL LAND SURVEYOR _____ DATE _____

NANTUCKET REGISTRY OF DEEDS

Date _____

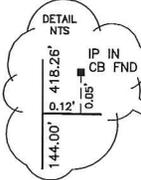
Time _____

Plan BK. _____ PG. _____

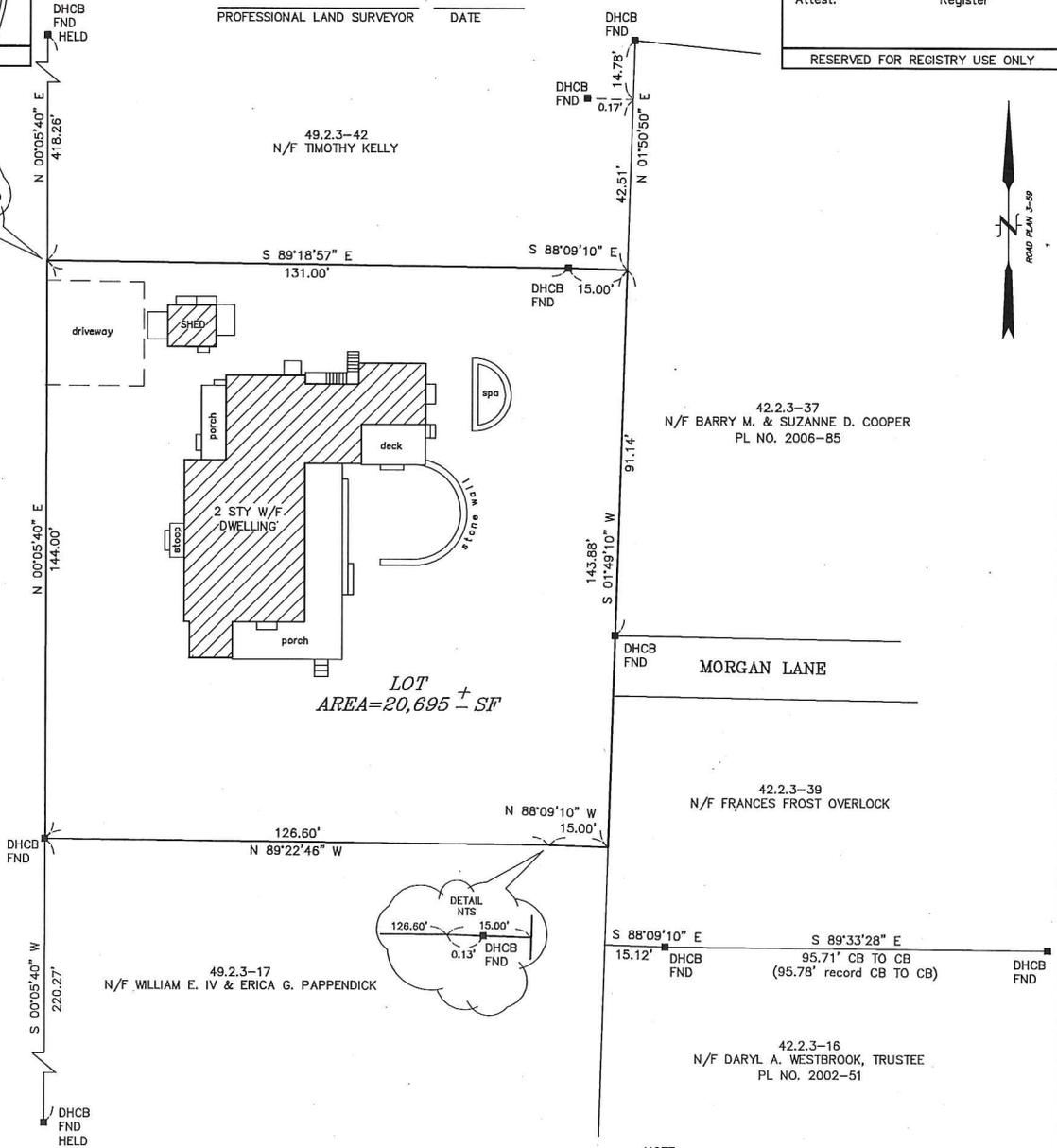
Plan File _____

Attest: _____ Register _____

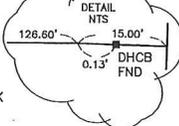
RESERVED FOR REGISTRY USE ONLY



SANKATY (1951 County Layout & Taking) ROAD
 (Road Plan Bk 3, No. 59; Dbk 113/401)



LOT
 AREA=20,695 ± SF



NOTE :
 THIS PLAN IS A PERIMETER PLAN OF EXISTING LOTS 4 & 5
 SHOWN ON PLBK 2/52 AND FEE OWNERSHIP IN ADELINE
 STREET, WHICH WAS DISCONTINUED BY AGREEMENT
 RECORDED OCTOBER 5, 1928 IN DEED BOOK 104/228.

NOTE :
 PLANNING BOARD ENDORSEMENT DOES NOT CONSTITUTE
 A DETERMINATION OF CONFORMANCE UNDER ZONING.

PERIMETER PLAN OF LAND IN
 NANTUCKET, MASSACHUSETTS

PREPARED FOR : 27 SANKATY LLC

SCALE: 1"=20' DATE : DECEMBER 1, 2015



(IN FEET)
 1 inch = 20 ft.

EMACK SURVEYING, LLC
 2 WASHAMAN AVENUE
 NANTUCKET, MA. 02554
 (508) 325-0940

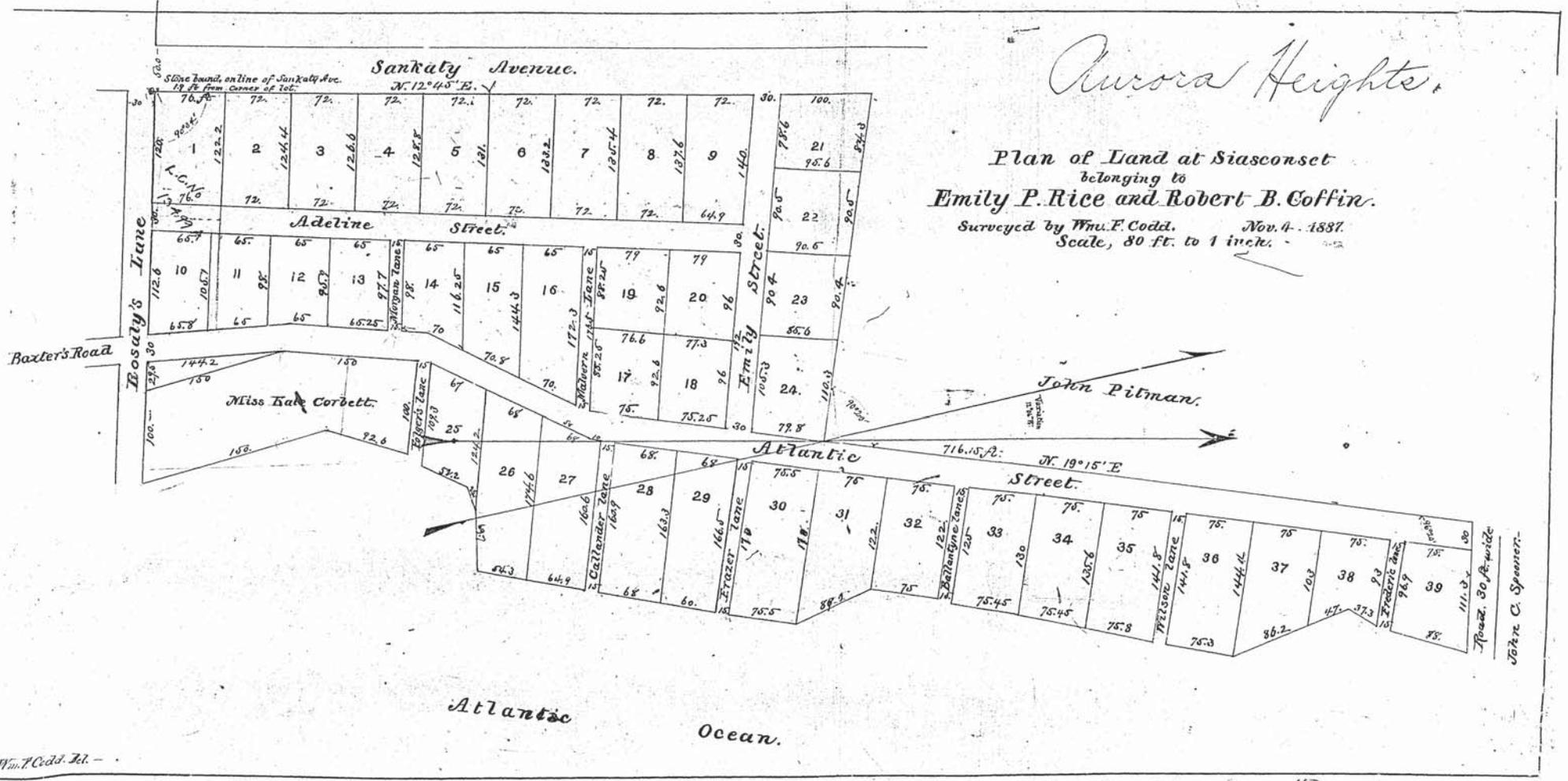
CURRENT ZONING: SR-10
 MINIMUM LOT SIZE: 10,000 SF
 MINIMUM FRONTAGE: 75 FT
 FRONTYARD SETBACK: 15 FT
 SIDE AND REAR SETBACK: 5 FT
 ALLOWABLE G.C.R.: 25%

RECORD INFORMATION
 DEED REFERENCE: DBK 1029, PG 120
 PLAN REFERENCE: PLBK 2/52,
 PL NO. 2006-85, & PL NO. 2002-51
 ASSESSOR'S REFERENCE:
 MAP: 49.2.3 PARCELS: 40 & 41
 27 & 29 SANKATY ROAD

NANTUCKET PLANNING BOARD
 APPROVAL UNDER THE
 SUBDIVISION CONTROL LAW
 NOT REQUIRED

 DATE _____ FILE # _____

LOTS 4 & 5 = 27 SANKATY ROAD



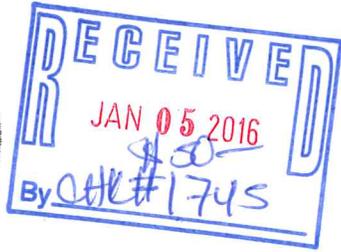
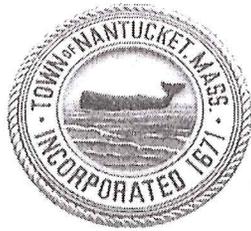
Received and Entered W. F. Codd Jan 15th 1888
 Edward B. Hursey Register



ANR #7913
William Edward Pappendick IV
25 Sankaty Road
Map 49.2.3 Parcel 17



#7913



TOWN CLERK
NANTUCKET
29PM 3:43:31

Nantucket Planning Board

Form A Application for Endorsement of a Plan Believed Not to Require Approval (ANR)

DEC 29 2015

Date: December 17, 2015 *Name of Owner(s)/Applicant(s): William Edward Pappendick IV and Erica G. Pappendick

*Owner's/Applicant's address: P.O. Box 569, Portsmouth,
State: NH Zip Code: 03802

*(include all names and addresses of the principals of the owner entity such as principal officer of corporation, trustees of the trust and partners of the partnership) _____
Location of Property (Street or Area): 25 Sankaty Road

Name of Registered Land Surveyor: Robert A. Emack
Surveyor's address: 2 Washaman Ave., Nantucket, MA 02554

The owner's title to the land derived under deed from Edward F. Vaughan
And recorded in Nantucket Registry of Deed, Book 931 Page 124 or Land Court Certificate of Title
_____, registered in Nantucket District Book _____, Page _____ and shown on Assessor's
Map# 49.2.3, Parcel # 17.
To the Planning Board of the Town of Nantucket:

The undersigned wishes to record the accompanying plan and requests a determination and endorsement by said Board that approval by it under the Subdivision Control Law is not required. The undersigned believes that such approval is not required for the following reasons: (check all that apply)

The accompanying plan is not a subdivision because it does not show a division of land (perimeter plan).

The division of the tract of land shown on the accompanying plan is not a subdivision because every lot on the plan has frontage of at least such distance as is presently required by the *Nantucket Zoning By-Law*

under Section 5 which requires _____ feet for erection of a building on such lot; and every lot shown on the plan has such frontage on:

A. a public way or a way which the City or Town Clerk certifies is maintained and used as a Public way, namely _____; **OR**

B. a way shown on a plan theretofore approved and endorsed in accordance with the Subdivision Control Law, namely _____ on _____ (date) and Subject to the following conditions _____; **OR**

C. a way in existence on _____ (date); the date when the Subdivision Control Law became effective in the Town of Nantucket, having in the opinion of the Planning Board, sufficient

width, suitable grades, and adequate construction to provide for the need to vehicular traffic in relation to the proposed use of the land abutting thereon or served thereby, and for the installation of municipal services to serve such land and the buildings erected or to be erected thereon, namely

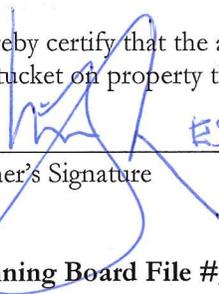
The division of the tract of land shown on the accompanying plan is not a subdivision because it shows a proposed conveyance or other instrument, namely _____, which adds to, takes away from or changes the size and shape of lots in such a manner so that no lot affected is left without frontage as required by the *Nantucket Zoning By-Law* under Section 5, which requires _____ feet.

The division of the tract of land shown on the accompanying plan is not a subdivision because two or more buildings, specifically _____ buildings were standing on the land prior to 1955, the date when the Subdivision Control Law went into effect in the Town of Nantucket, and one of such building remains standing on each of the lots; said buildings as shown and located on the accompanying plan. Evidence of the existence of such buildings prior to the effective date of the Subdivision Control Law is submitted as follows: _____

Other reasons or comments: (see M.G.L., Chapter 41, Section 81-L)

The plan shows Lot 3 and the fee ownership in Adeline Street, as shown on Plan Book 2, Page 52. The owners abutting Adeline Street mutually closed Adeline Street, see Deed Book 104, Page 228.

I hereby certify that the applicant(s) listed above have been authorized by me to file a plan with the Planning Board of Nantucket on property that I own.



Owner's Signature

Planning Board File # _____

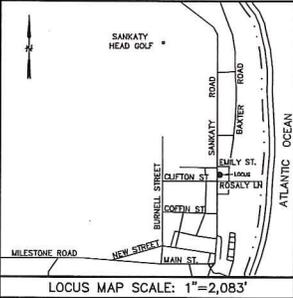
Endorsement Date: _____

NANTUCKET REGISTRY OF DEEDS

Date _____
 Time _____
 Plan BK. _____ PG. _____
 Plan File _____
 Attest: _____ Register

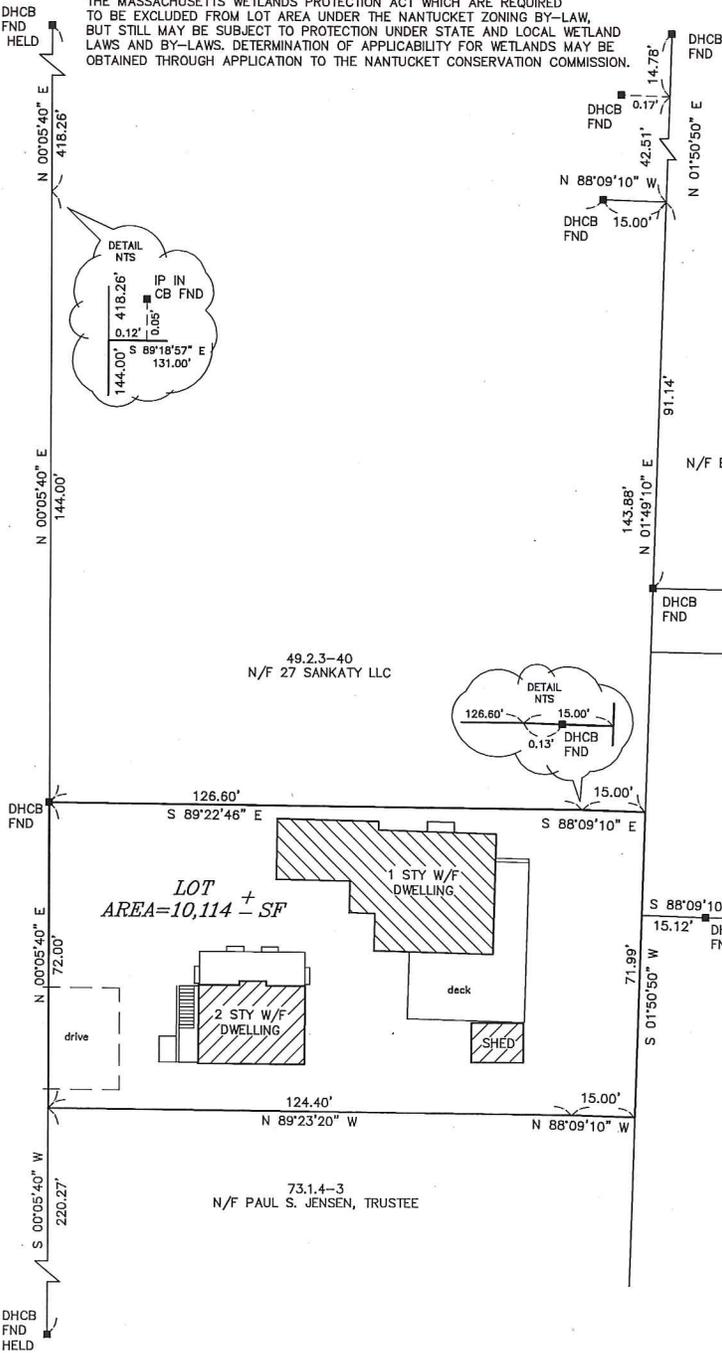
RESERVED FOR REGISTRY USE ONLY

THE PLANNING BOARD DETERMINES THAT :
 THE LOT SHOWN HEREON DOES NOT CONTAIN AREAS SUBJECT TO PROTECTION UNDER
 THE MASSACHUSETTS WETLANDS PROTECTION ACT WHICH ARE REQUIRED
 TO BE EXCLUDED FROM LOT AREA UNDER THE NANTUCKET ZONING BY-LAW,
 BUT STILL MAY BE SUBJECT TO PROTECTION UNDER STATE AND LOCAL WETLAND
 LAWS AND BY-LAWS. DETERMINATION OF APPLICABILITY FOR WETLANDS MAY BE
 OBTAINED THROUGH APPLICATION TO THE NANTUCKET CONSERVATION COMMISSION.



SANKATY (1951 County Layout & Taking) ROAD

(Road Plan Bk 3, No. 59; Dbk 113/401)



I HEREBY CERTIFY THAT THIS PLAN HAS BEEN
 PREPARED IN ACCORDANCE WITH THE RULES
 AND REGULATIONS OF THE REGISTERS OF DEEDS
 OF THE COMMONWEALTH OF MASSACHUSETTS

PROFESSIONAL LAND SURVEYOR _____ DATE _____

NOTE :
 THIS PLAN IS A PERIMETER PLAN OF EXISTING LOT 3
 SHOWN ON PLBK 2/52 AND FEE OWNERSHIP IN ADELINE
 STREET, WHICH WAS DISCONTINUED BY AGREEMENT
 RECORDED OCTOBER 5, 1928 IN DEED BOOK 104/228.

NOTE :
 PLANNING BOARD ENDORSEMENT DOES NOT CONSTITUTE
 A DETERMINATION OF CONFORMANCE UNDER ZONING.

NANTUCKET PLANNING BOARD

APPROVAL UNDER THE
 SUBDIVISION CONTROL LAW
 NOT REQUIRED

 DATE _____ FILE # _____

PERIMETER PLAN OF LAND IN
 NANTUCKET, MASSACHUSETTS

PREPARED FOR : WILLIAM EDWARD PAPPENDICK IV
 and ERICA A. PAPPENDICK

SCALE: 1"=20' DATE : DECEMBER 1, 2015



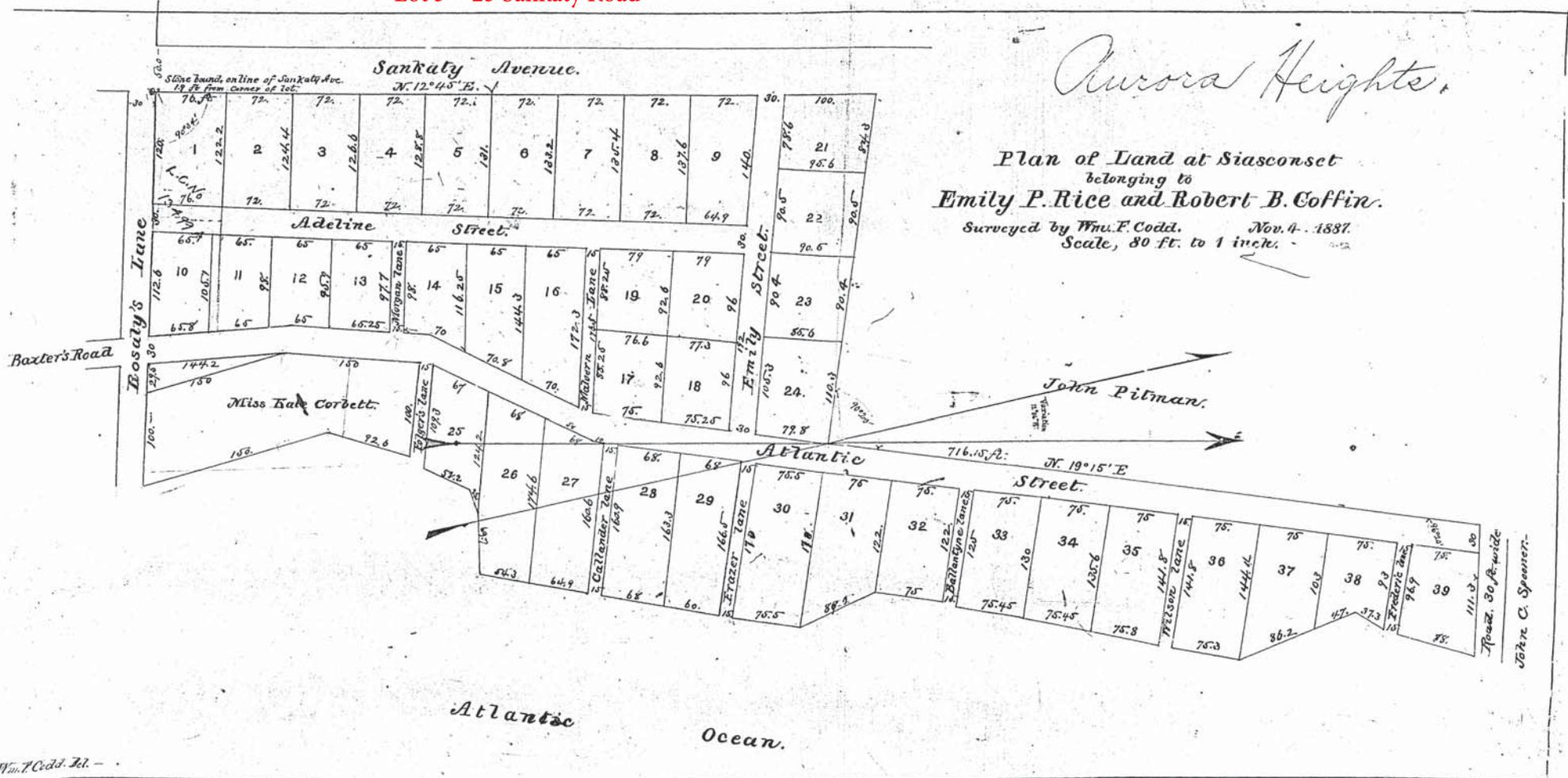
(IN FEET)
 1 inch = 20 ft.

EMACK SURVEYING, LLC
 2 WASHAMAN AVENUE
 NANTUCKET, MA. 02554
 (508) 325-0940

CURRENT ZONING: SR-10
 MINIMUM LOT SIZE: 10,000 SF
 MINIMUM FRONTAGE: 75 FT
 FRONTYARD SETBACK: 15 FT
 SIDE AND REAR SETBACK: 5 FT
 ALLOWABLE G.C.R.: 25%

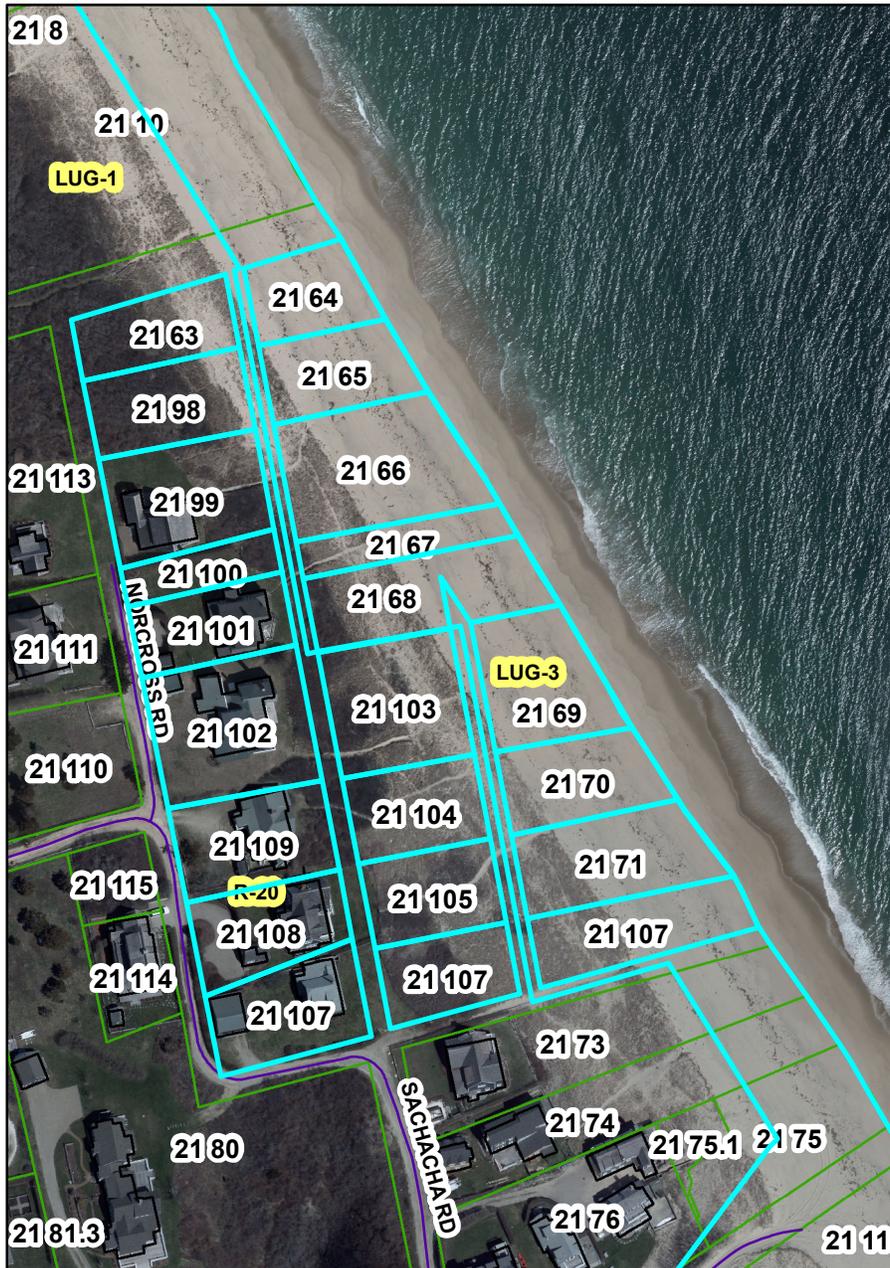
RECORD INFORMATION
 DEED REFERENCE: DBK 931, PG 124
 PLAN REFERENCES: PLBK 2/52,
 PL NO. 2006-85, & PL NO. 2002-51
 ASSESSOR'S REFERENCE:
 MAP: 49.2.3 PARCEL: 17
 25 SANKATY ROAD

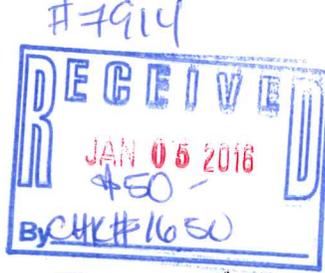
Lot 3 = 25 Sankaty Road





ANR #7914
Roadway Acquisition Plan





TOWN CLERK
NANTUCKET

28PM 1:50:10

Nantucket Planning Board

Form A Application for Endorsement of a Plan Believed Not to Require Approval (ANR)

Date: 12/28/15 *Name of Owner(s)/Applicant(s): B & D REAL ESTATE TRUST

*Owner's/Applicant's address: C/O MARCKLINGER 3 GROVE LANE
State: MA Zip Code: 02554

*(include all names and addresses of the principals of the owner entity such as principal officer of corporation, trustees of the trust and partners of the partnership)

Location of Property (Street or Area): 94 QUINIVET ROAD

Name of Registered Land Surveyor: MARCKLINGER
Surveyor's address: 3 GROVE LANE

The owner's title to the land derived under deed from SIMON, date 10/3/61
And recorded in Nantucket Registry of Deed, Book 128 Page 131 or Land Court Certificate of
Title # _____, registered in Nantucket District Book _____, Page _____ and shown on
Assessor's Map# 21, Parcel # 107
To the Planning Board of the Town of Nantucket:

The undersigned wishes to record the accompanying plan and requests a determination and endorsement by said Board that approval by it under the Subdivision Control Law is not required. The undersigned believes that such approval is not required for the following reasons: (check all that apply)

- The accompanying plan is not a subdivision because it does not show a division of land (perimeter plan).
- The division of the tract of land shown on the accompanying plan is not a subdivision because every lot on the plan has frontage of at least such distance as is presently required by the *Nantucket Zoning By-Law* under Section 5 which requires _____ feet for erection of a building on such lot; and every lot shown on the plan has such frontage on:

A. a public way or a way which the City or Town Clerk certifies is maintained and used as a Public way, namely _____; OR

B. a way shown on a plan theretofore approved and endorsed in accordance with the Subdivision Control Law, namely _____ on _____ (date) and Subject to the following conditions _____; OR

C. a way in existence on _____ (date); the date when the Subdivision Control Law became effective in the Town of Nantucket, having in the opinion of the Planning Board, sufficient

width, suitable grades, and adequate construction to provide for the need to vehicular traffic in relation to the proposed use of the land abutting thereon or served thereby, and for the installation of municipal services to serve such land and the buildings erected or to be erected thereon, namely

- The division of the tract of land shown on the accompanying plan is not a subdivision because it shows a proposed conveyance or other instrument, namely ROADS, which adds to, takes away from or changes the size and shape of lots in such a manner so that no lot affected is left without frontage as required by the *Nantucket Zoning By-Law* under Section 5, which requires _____ feet.
 - The division of the tract of land shown on the accompanying plan is not a subdivision because two or more buildings, specifically _____ buildings were standing on the land prior to 1955, the date when the Subdivision Control Law went into effect in the Town of Nantucket, and one of such building remains standing on each of the lots; said buildings as shown and located on the accompanying plan. Evidence of the existence of such buildings prior to the effective date of the Subdivision Control Law is submitted as follows: _____
-

- Other reasons or comments: (see M.G.L., Chapter 41, Section 81-L)

TAKING PLAN

I hereby certify that the applicant(s) listed above have been authorized by me to file a plan with the Planning Board of Nantucket on property that I own.

J. Mankins
Owner's Signature AGENT.

Planning Board File # _____

Endorsement Date: _____



ANR #7915
23 Federal Street Realty Trust
23 Federal Street
Map 42.3.1 Parcel 9.3





P.O. Box 3627, Nantucket, Massachusetts 02584-3627
Tel. (508) 228-0240 Fax (508) 228-9856
www.nantucketsurveyors.com
nslinfo@nantucketsurveyors.com

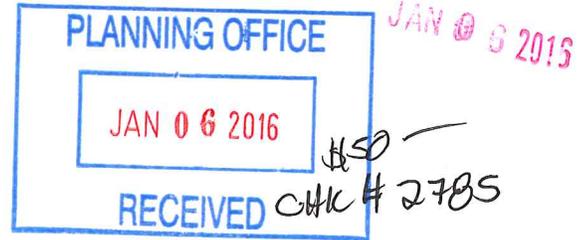
TOWN CLERK

NANTUCKET

January 4, 2016

6AM 9:56:51

Town Clerk, Town of Nantucket
Town and County Building
16 Broad Street, 1st Floor
Nantucket, MA 02554



Re: **NOTICE OF "FORM A" SUBMISSION.**
#23 Federal Street
Map:42.3.1 Parcel:9.3

To the Nantucket Town Clerk:

Pursuant to Massachusetts General Laws, Chapter 41, Section 81P and Section 2.03 of the Nantucket planning Board Rules and Regulation Governing the Subdivision of Land, on behalf of the applicant, we hereby submit the above referenced Form A Plan entitled "Perimeter Plan of Land in Nantucket, Massachusetts" for the endorsement at the next regularly scheduled meeting of the planning board. The owner's name of the locus property is: Robert J. Gendron, Trustee of 23 Federal Street Realty Trust.

A copy of this notification is being forwarded to the Planning Board.

Very Truly Yours,
Nantucket Surveyors, LLC

Paul J. Santos, PLS
Executive Vice President, Associate

Enclosures

CC: Steven L. Cohen
Robert J. Gendron

Office located at 5 Windy Way • Nantucket, MA 02554



P.O. Box 3627, Nantucket, Massachusetts 02584-3627
Tel. (508) 228-0240 Fax (508) 228-9856
www.nantucketsurveyors.com
nslcinfo@nantucketsurveyors.com

January 4, 2016

Nantucket Planning Board
2 Fairgrounds Road
Nantucket, MA 02554

Attn: Leslie Woodson Snell, AICP, LEED AP

Re: **Approval Not Required (Form A Application)**
Applicant: Robert J. Gendron, Trustee
#23 Federal Street
Map:42.3.1 Parcel:9.3

Dear Leslie:

On behalf of the applicant, Nantucket Surveyors, LLC as an agent for the applicant, respectfully requests to be on the agenda for the referenced application at the next regularly scheduled Planning Board meeting, Said application is included with this cover letter. Please contact our office with any questions.

Sincerely,
Nantucket Surveyors, LLC

A handwritten signature in blue ink, appearing to read 'Paul J. Santos', is written over a light blue horizontal line.

Paul J. Santos, PLS
Agent for the Applicant

Enclosures

Cc: Steven L. Cohen
Robert J. Gendron

Office located at 5 Windy Way • Nantucket, MA 02554



TOWN CLERK
NANTUCKET
6AM 9:57:03

Nantucket Planning Board

JAN 06 2016

Form A Application for Endorsement of a Plan Believed Not to Require Approval (ANR)

Date: 1/4/16 *Name of Owner(s)/Applicant(s): 23 Federal Street Realty Trust

*Owner's/Applicant's address: 323 Manley Street, West Bridgewater MA 02379
State: MA Zip Code: 02554

*(include all names and addresses of the principals of the owner entity such as principal officer of corporation, trustees of the trust and partners of the partnership)

Location of Property (Street or Area): 23 Federal Street

Name of Registered Land Surveyor: Paul J. Santos
Surveyor's address: Nantucket Surveyors, LLC 5 Windy Way, Nantucket MA 02554

The owner's title to the land derived under deed from DOWNEYFLAKE, INC, date 8/26/15
And recorded in Nantucket Registry of Deed, Book 1498 Page 271 or Land Court Certificate of
Title # _____, registered in Nantucket District Book _____, Page _____ and shown on
Assessor's Map # 42.3.1, Parcel # 9.3
To the Planning Board of the Town of Nantucket:

The undersigned wishes to record the accompanying plan and requests a determination and endorsement by said Board that approval by it under the Subdivision Control Law is not required. The undersigned believes that such approval is not required for the following reasons: (check all that apply)

- * The accompanying plan is not a subdivision because it does not show a division of land (perimeter plan).
- ▣ The division of the tract of land shown on the accompanying plan is not a subdivision because every lot on the plan has frontage of at least such distance as is presently required by the *Nantucket Zoning By-Law* under Section 5 which requires _____ feet for erection of a building on such lot; and every lot shown on the plan has such frontage on:

A. a public way or a way which the City or Town Clerk certifies is maintained and used as a Public way, namely _____; OR

B. a way shown on a plan theretofore approved and endorsed in accordance with the Subdivision Control Law, namely _____ on _____ (date) and Subject to the following conditions _____; OR

C. a way in existence on _____ (date); the date when the Subdivision Control Law became effective in the Town of Nantucket, having in the opinion of the Planning Board, sufficient

width, suitable grades, and adequate construction to provide for the need to vehicular traffic in relation to the proposed use of the land abutting thereon or served thereby, and for the installation of municipal services to serve such land and the buildings erected or to be erected thereon, namely

- The division of the tract of land shown on the accompanying plan is not a subdivision because it shows a proposed conveyance or other instrument, namely _____, which adds to, takes away from or changes the size and shape of lots in such a manner so that no lot affected is left without frontage as required by the *Nantucket Zoning By-Law* under Section 5, which requires _____ feet.
 - The division of the tract of land shown on the accompanying plan is not a subdivision because two or more buildings, specifically _____ buildings were standing on the land prior to 1955, the date when the Subdivision Control Law went into effect in the Town of Nantucket, and one of such building remains standing on each of the lots; said buildings as shown and located on the accompanying plan. Evidence of the existence of such buildings prior to the effective date of the Subdivision Control Law is submitted as follows: _____
-

- Other reasons or comments: (see M.G.L., Chapter 41, Section 81-L)
-
-

I hereby certify that the applicant(s) listed above have been authorized by me to file a plan with the Planning Board of Nantucket on property that I own.

Steven Cohen AS Attorney
Owner's Signature

Planning Board File # _____

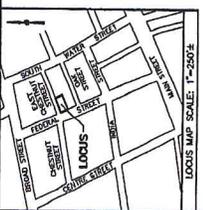
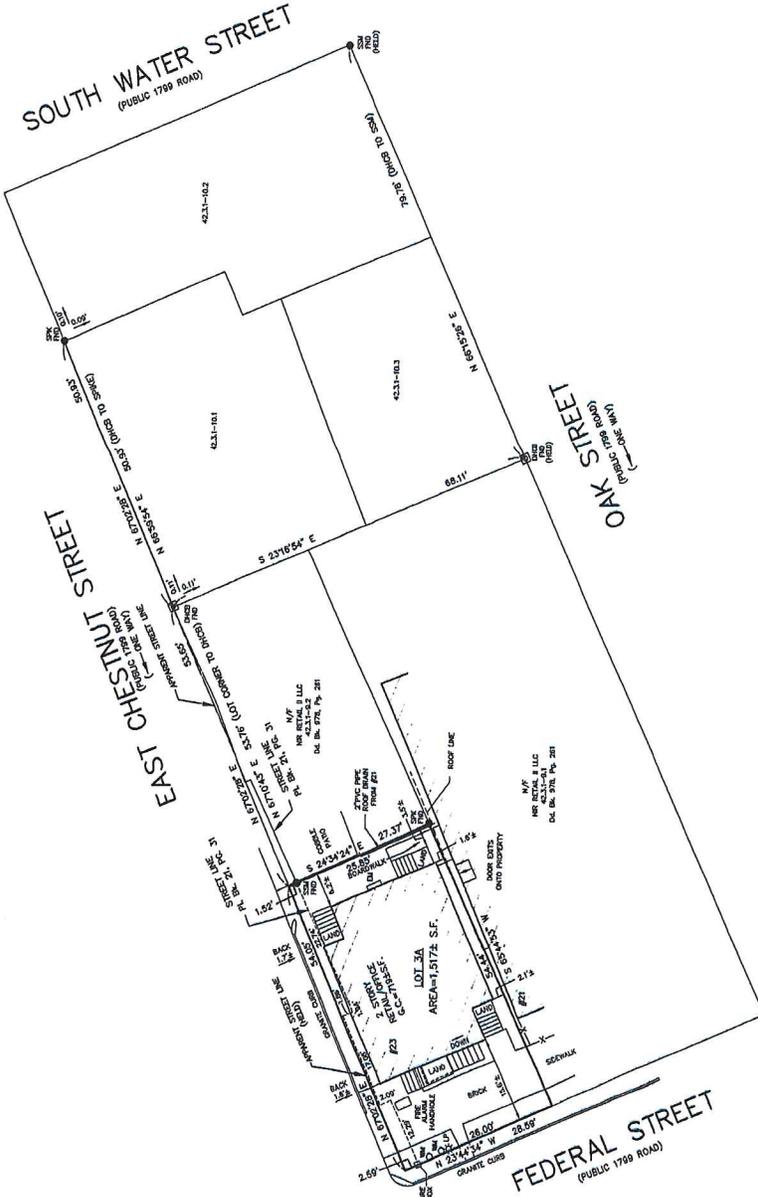
Endorsement Date: _____

NANTUCKET REGISTRY OF DEEDS

Date _____
 Time _____
 Plan BK. _____
 Plan Pg. _____
 Plan File _____
 Applicant _____
 Register _____

RESERVED FOR REGISTRY USE ONLY

MERICAN PLAN BOOK 20, PAGE 37



REFERENCES:
 ZONING: C-1 COMMERCIAL
 MINIMUM LOT SIZE = 3,750 S.F.
 MINIMUM FRONTAGE = 35'
 SETBACKS: FRONT = 5'
 REAR YARD STRACK = 5'
 SIDE YARD STRACK = 5'
 EXISTING GROUND COVER RATIO = 75%

- NOTES:**
- THE PLANNING BOARD DETERMINES THAT:
 - DO NOT CONTAIN AREAS SUBJECT TO PROTECTION UNDER FEDERAL, STATE OR LOCAL LAWS.
 - ARE NOT SUBJECT TO FEDERAL, STATE OR LOCAL LAWS THAT REQUIRE THE PROPERTY TO BE USED FOR A PARTICULAR PURPOSE.
 - ARE NOT SUBJECT TO FEDERAL, STATE OR LOCAL LAWS THAT REQUIRE THE PROPERTY TO BE USED FOR A PARTICULAR PURPOSE.
 - ARE NOT SUBJECT TO FEDERAL, STATE OR LOCAL LAWS THAT REQUIRE THE PROPERTY TO BE USED FOR A PARTICULAR PURPOSE.
 - THE PREMISES SHOWN ON THIS PLAN ARE NOT LOCATED WITHIN A FLOOD HAZARD ZONE AS DELINEATED ON THE "FIRM" MAP OF THE COMMUNITY OF NANTUCKET, MASSACHUSETTS, DATED 12/10/15 UNRECORDED AS OF 1/17/16.
 - SEE SPECIAL PERMIT NO. 080-04, D.C. 218, Pgs. 350.
 - SEE SPECIAL PERMIT NO. 08-05, D.C. 218, Pgs. 176.
 - SEE SPECIAL PERMIT NO. 094-08, UNRECORDED.
 - SEE SPECIAL PERMIT NO. 43-15, DATED 12/10/15 UNRECORDED AS OF 1/17/16.

- LEGEND:**
- DBS - DRILL HOLE/CONCRETE SOUND
 - DL - DRAIN
 - GC - GRASS
 - GC - GRASS COVER
 - N/F - NOW OR FORMERLY
 - S.F. - SQUARE FEET
 - SSM - STREET SURVEYORS MARKER
 - X-X- - WOOD FENCE

PERIMETER PLAN OF LAND
 IN
 NANTUCKET, MASSACHUSETTS
 SCALE: 1"=10'
 DATE: JANUARY 04, 2016
 PREPARED FOR
 NANTUCKET SURVEYORS, LLC
 NANTUCKET, MASSACHUSETTS
 (508) 229-0240



I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

Handwritten Signature
 PROFESSIONAL LAND SURVEYOR 14416



PLANNING BOARD PRESENTS THIS PLAN AS A CONFORMANCE UNDER ZONING.

NANTUCKET PLANNING BOARD
 APPROVAL UNDER THE SUPERVISION CONTROL LAW NOT REQUIRED

EMERY RECTOR, CHAIRMAN
 LINDA WILKINS, VICE-CHAIRMAN
 MATTHEW LORRELL
 JOHN HULLIGAN
 JOSEPH MARSHALL
 DATE APPROVED _____
 DATE SIGNED _____
 FILE NO. _____

N-10653



Planning Board #21-15
Paul M. Roberts DDS, LLC
21 Old South Road
Map 68 Parcel 246





P.O. Box 3627, Nantucket, Massachusetts 02584-3627
Tel. (508) 228-0240 Fax (508) 228-9856
www.nantucketsurveyors.com
nslcinfo@nantucketsurveyors.com

January 4, 2016

Nantucket Planning Board
2 Fairgrounds Road
Nantucket, MA 02554

Attn: Leslie Woodson Snell, AICP, LEED AP

Re: **Special Permit #20-15**
Applicant: John D. Ready, Jr. Trust
#21 Old South Road
Map:68 Parcel:246

Dear Leslie:

On behalf of the applicant, Nantucket Surveyors, LLC as an agent for the applicant, respectfully submits final plans for review and endorsement in accordance with Special Permit condition 1.1 "Plan Modifications". Please contact our office with any questions.

Sincerely,
Nantucket Surveyors, LLC

A handwritten signature in blue ink that reads 'Paul J. Santos'.

Paul J. Santos, PLS
Agent for the Applicant

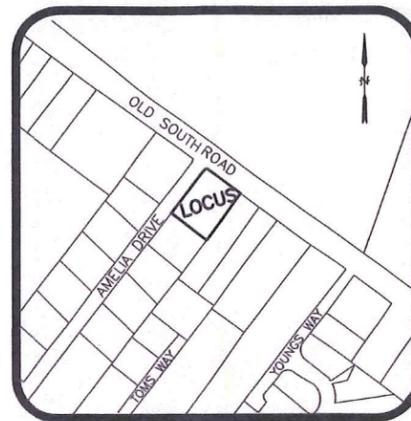
Enclosures

Cc: Sarah F. Alger

Office located at 5 Windy Way • Nantucket, MA 02554

Land Surveying • Topographic Surveys • Civil Engineering • Construction • Marine • Environmental Permitting

MAJOR COMMERCIAL DEVELOPMENT
 SPECIAL PERMIT #20-15
21 OLD SOUTH ROAD
 MAP 68 PARCEL 246
 NANTUCKET, MASSACHUSETTS
 DATE: JANUARY 4, 2016



LOCUS MAP
 SCALE: 1"=200'
 INDEX

SHEET NO.	DESCRIPTION
1	SITE DEVELOPMENT PLAN
2	LANDSCAPE PLAN (BY OTHERS)
3	DETAIL SHEET 1
4	DETAIL SHEET 2

PREPARED BY:

NANTUCKET SURVEYORS LLC
 SURVEYING & ENGINEERING
 5 WINDY WAY, NANTUCKET, MA 02554
 508-228-0240 (Ph.) 508-228-9856 (Fax)

OWNER:

SEAN D. READY, TRUSTEE OF
 21 OLD SOUTH ROAD NOMINEE TRUST
 (D. BK. 1507 PG. 79-LOT 2 PLAN FILE 20-A)

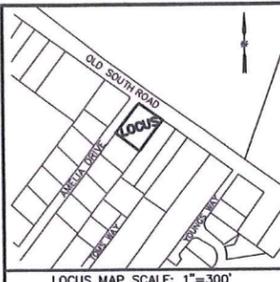
APPLICANT:

JOHN D. READY, JR. TRUST
 SPECIAL PERMIT #20-15 D. BK. 1507, PG. 61

NANTUCKET PLANNING BOARD
 MAJOR COMMERCIAL DEVELOPMENT
 SPECIAL PERMIT

BARRY RECTOR, CHAIRMAN _____
 LINDA WILLIAMS, VICE-CHAIRWOMAN _____
 NATHANIEL LOWELL _____
 JOHN MCLAUGHLIN _____
 JOSEPH MARCKLINGER _____
 DATE APPROVED _____
 DATE SIGNED _____
 FILE NO. #20-15





GROUND COVER/OPEN SPACE SUMMARY

PROPOSED GROUND COVER RATIO	23.4%
#21 OLD SOUTH ROAD EXISTING OPEN SPACE	92%
PROPOSED OPEN SPACE	28%
MINIMUM OPEN SPACE REQUIRED 30% (SECT. 139-116)	

PARKING SUMMARY
(REF. NANTUCKET ZONING BYLAW S.139-18)

PARKING SPACES REQUIRED		
#21 OLD SOUTH ROAD		
RETAIL A (STORES & SERVICES) NET SALES AREA	21	
4,134 SF X 1 SP/200 SF GFA		
STORAGE & OFFICE SPACE ANCILLARY TO THE COMMERCIAL USE (205 S.F.)	0	
10 EMPLOYEES X 1 SP/3 EMPLOYEES ON PEAK SHIFT	3	
APARTMENTS 1 SP/8 BEDROOMS	8	
TOTAL	32	

PARKING SPACES	REQUIRED	PROVIDED
STANDARD	31	22
ACCESSIBLE	1	2
TOTAL	32	24

MAP 68 PARCEL 246
LOT AREA=18,546±S.F.

ZONING CLASSIFICATION
DISTRICT: CN (COMMERCIAL NEIGHBORHOOD)
(PWR OVERLAY DISTRICT)
MINIMUM LOT SIZE = 7,500 S.F.
MINIMUM FRONTAGE = 50'
FRONT YARD SETBACK = 10'
SIDE YARD SETBACK = 5'
REAR YARD SETBACK = 10'
MAX. GROUND COVER RATIO = 40%

SOIL EROSION SEDIMENT CONTROL NOTES

- LAND DISTURBANCE WILL BE KEPT TO A MINIMUM NECESSARY FOR CONSTRUCTION OPERATIONS; RESTABILIZATION WILL BE SCHEDULED AS SOON AS PRACTICAL.
- CATCH BASINS WILL BE PROTECTED WITH PRODUCT KNOWN AS "SACK" THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL "SILT" DISTURBED AREAS ARE THOROUGHLY STABILIZED.
- EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED PRIOR TO CONSTRUCTION.
- ALL CONTROL MEASURES WILL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.
- ADDITIONAL CONTROL MEASURES WILL BE INSTALLED DURING THE CONSTRUCTION PERIOD IF NECESSARY OR REQUIRED.
- SEDIMENT REMOVED FROM CONTROL STRUCTURES WILL BE DISPOSED OF IN A MANNER WHICH IS CONSISTENT WITH THE INTENT OF THE PLAN.
- JOHN D. READY, JR., AS THE OWNER IS ASSIGNED THE RESPONSIBILITY FOR IMPLEMENTING THIS EROSION AND SEDIMENT CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, NOTIFYING THE NANTUCKET PLANNING BOARD OF ANY TRANSFER OF THIS RESPONSIBILITY AND FOR CONVEYING A COPY OF THE EROSION AND SEDIMENT PLAN IF THE TITLE TO THE LAND IS TRANSFERRED.

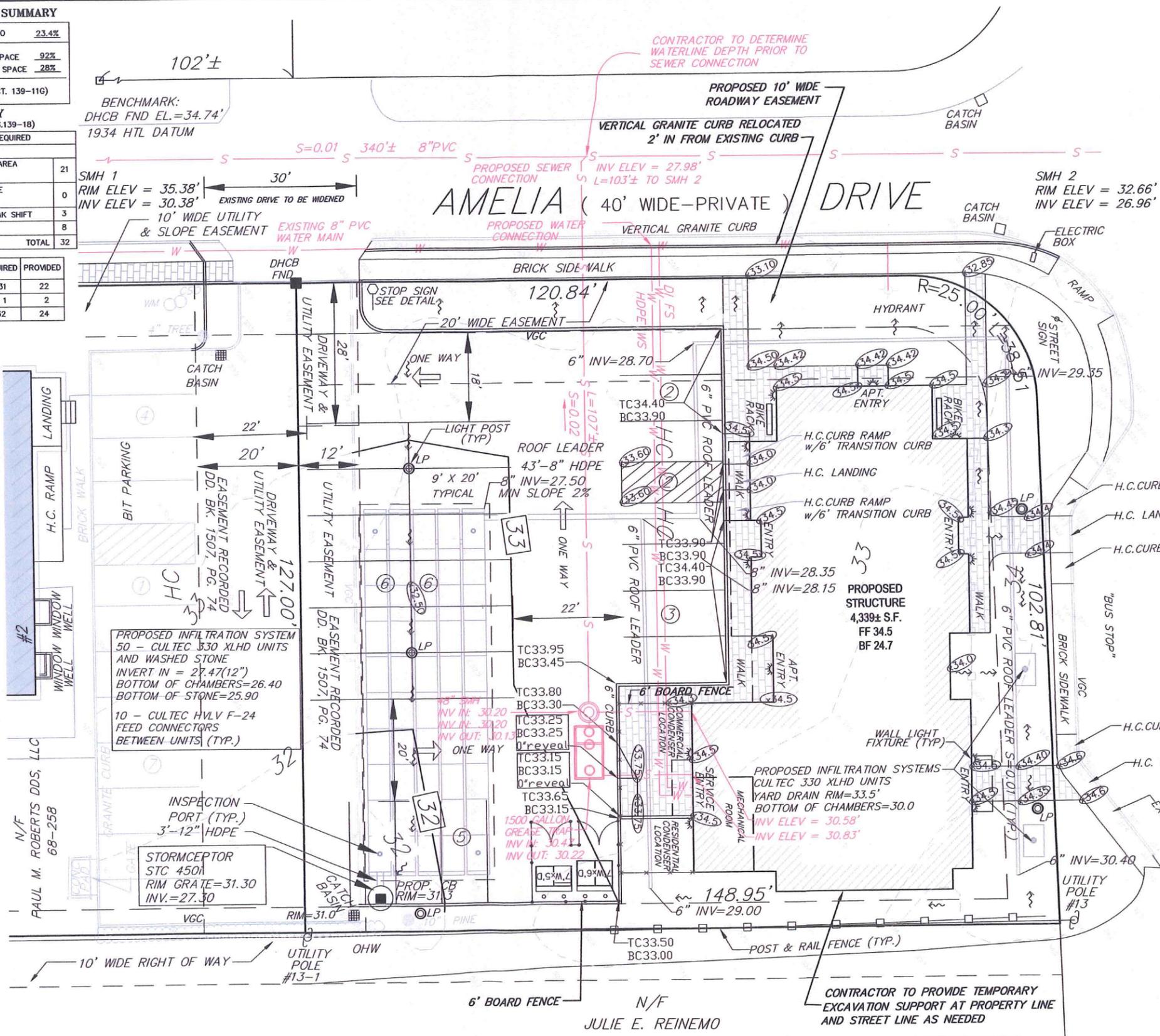
CONSTRUCTION AND STABILIZATION SEQUENCE NARRATIVE

- PRE-CONSTRUCTION MEETING WITH TOWN DEPARTMENTS, APPLICANT, CONTRACTOR AND SITE ENGINEER.
- PHASE I SITE CLEARING**
- INSTALL ANTI-TRACKING PAD AT CONSTRUCTION ENTRANCE.
 - INSTALL SEDIMENT CONTROL BARRIER AS DIRECTED BY THE ENGINEER. PROTECT ALL CATCH BASINS WITH SEDIMENTATION CONTROL UNITS UNTIL PROJECT IS COMPLETED.
- PHASE II SITE CONSTRUCTION**
- PROCEED WITH EXCAVATION FOR FOUNDATION.
 - PROTECT ALL CATCH BASINS WITH SEDIMENTATION CONTROL UNITS UNTIL PROJECT IS COMPLETED.
 - PLACE FOOTING.
 - POUR FOUNDATION WALL.
 - INSTALL DRAIN SYSTEM.
 - INSTALL UTILITIES.
 - BACKFILL SITE, GRADE AS REQUIRED.
 - INSTALL LANDSCAPING.
 - LOAM AND SEED, STABILIZE SITE.
- PHASE III SITE STABILIZATION**
- REMOVE ALL CONSTRUCTION DEBRIS.
 - MAINTAIN ALL EROSION CONTROL UNTIL DISTURBED AREAS HAVE BEEN STABILIZED WITH NEW GROWTH FOR A PERIOD OF 60 DAYS.
 - REMOVE ALL EROSION CONTROL AND CLEAN UP SITE.

MAJOR COMMERCIAL DEVELOPMENT SITE DEVELOPMENT PLAN

#21 OLD SOUTH ROAD
IN
NANTUCKET, MASSACHUSETTS
SCALE: 1"=10'
DATE: MAY 4, 2015
REVISED: JUNE 1, 2015
REVISED: JUNE 15, 2015
REVISED: JULY 14, 2015
REVISED: SEPTEMBER 9, 2015
SITE LAYOUT/ UTILITY CONNECTION
REVISED: JANUARY 4, 2016
PLANNING BOARD ENDORSEMENT

PREPARED FOR:
JOHN D. READY, JR. TRUST
NANTUCKET SURVEYORS, LLC
5 WINDY WAY
NANTUCKET, MA 02554
(508) 228-0240
GRAPHIC SCALE
1"=10'



LEGEND

TC	TOP OF CURB
BC	BOTTOM OF CURB
TB	TOP OF CAPE COD BERM
BB	BOTTOM OF CAPE COD BERM
TW	TOP OF WALL
BW	BOTTOM OF WALL
→	FLOW DIRECTION ARROW
⊙	PROPOSED SEWER MANHOLE
—W—	PROPOSED WATER SERVICE
—S—	PROPOSED SEWER LINE
—RD—	PROPOSED ROOF DRAIN
⊙ X 9.9	PROPOSED SPOT GRADES
⊙ 9.9	EXISTING SPOT GRADE
—17—	EXISTING CONTOUR
—17—	PROPOSED CONTOUR

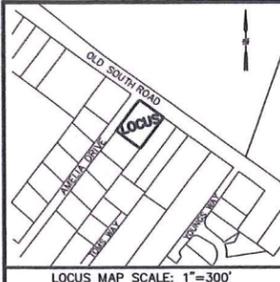
NANTUCKET PLANNING BOARD
MAJOR COMMERCIAL DEVELOPMENT
SPECIAL PERMIT

BARRY RECTOR, CHAIRMAN
LINDA WILLIAMS, VICE-CHAIRWOMAN
NATHANIEL LOWELL
JOHN MCLAUGHLIN
JOSEPH MARCKLINGER
DATE APPROVED _____
DATE SIGNED _____
FILE NO. #20-15

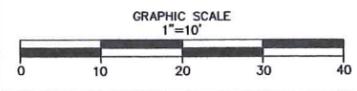
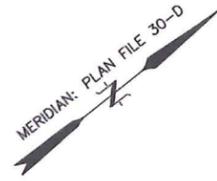
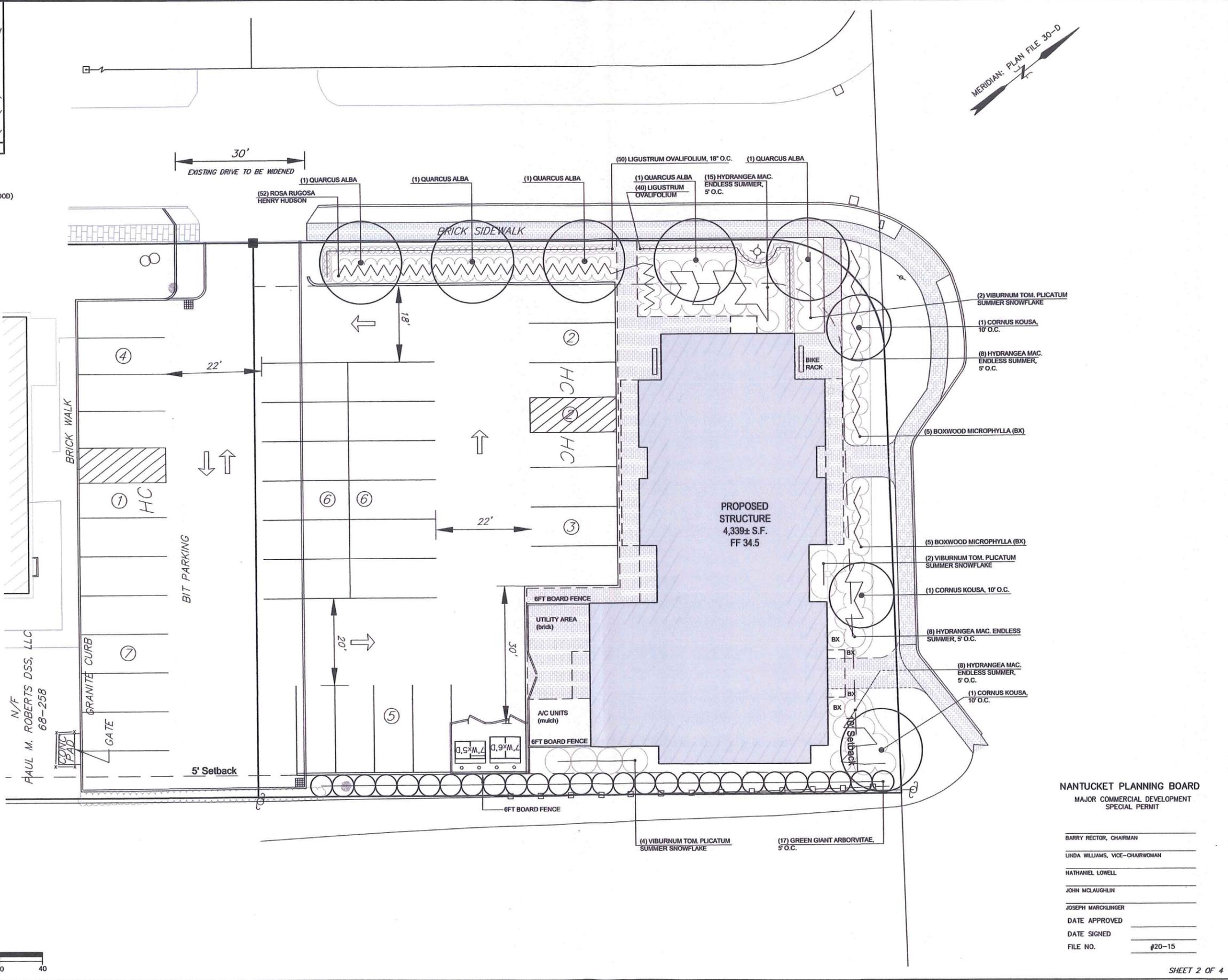
NOTE:
THIS PLAN IS INTENDED FOR PERMITTING PURPOSES ONLY AND SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED FOR CONSTRUCTION BY NANTUCKET SURVEYORS, LLC.

SEWER PERMIT INFORMATION
6" SCH. 40 PVC SEWER SERVICE
TITLE 5 ESTIMATED FLOW = 1300 GALLONS PER DAY
CONTRACTOR TO VERIFY INVERT AT 8" PVC SEWER MAIN
SEWER LINE TO BE ENCASED WITH A MINIMUM 6" CONCRETE
EXTENDING 5' ON BOTH SIDES AT ALL WATER MAIN CROSSINGS.

OLD SOUTH ROAD
(PUBLIC VARIABLE WIDTH)



MAP 68 PARCEL 246
 LOT AREA=18,546±S.F.
 ZONING CLASSIFICATION
 DISTRICT: CN (COMMERCIAL NEIGHBORHOOD)
 (PWR OVERLAY DISTRICT)
 MINIMUM LOT SIZE = 7,500 S.F.
 MINIMUM FRONTAGE = 50'
 FRONT YARD SETBACK = 10'
 SIDE YARD SETBACK = 5'
 REAR YARD SETBACK = 10'
 MAX. GROUND COVER RATIO = 40%



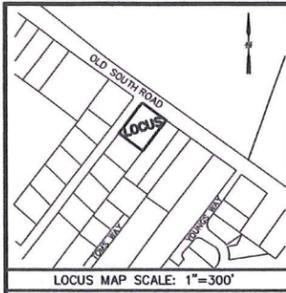
MAJOR COMMERCIAL DEVELOPMENT
 21 OLD SOUTH ROAD, NANTUCKET MA 02554

PLANTING PLAN for HDC SUBMISSION DECEMBER 8 2015 Scale 1" = 10'-0"

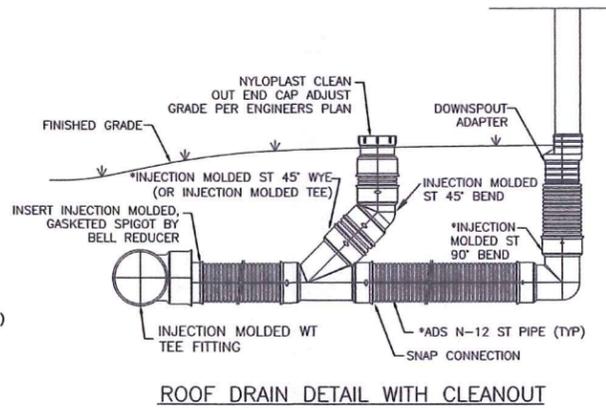
LANDSCAPE DESIGN STUDIO
AHERN LLC
 t: (508) 333 5138
 f: (508) 325 4616
 design@ahernllc.com
 PB 2213 Nantucket MA 02584
 IN ASSOCIATION WITH EMERITUS

NANTUCKET PLANNING BOARD
 MAJOR COMMERCIAL DEVELOPMENT
 SPECIAL PERMIT

BARRY RECTOR, CHAIRMAN _____
 LINDA WILLIAMS, VICE-CHAIRWOMAN _____
 NATHANIEL LOWELL _____
 JOHN McLAUGHLIN _____
 JOSEPH MARCKLINGER _____
 DATE APPROVED _____
 DATE SIGNED _____
 FILE NO. #20-15

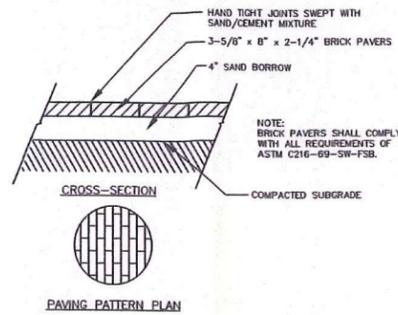


ZONING CLASSIFICATION
 DISTRICT: CN (COMMERCIAL NEIGHBORHOOD)
 (PWR OVERLAY DISTRICT)
 MINIMUM LOT SIZE = 7,500 S.F.
 MINIMUM FRONTAGE = 50'
 FRONT YARD SETBACK = 10'
 SIDE YARD SETBACK = 5'
 REAR YARD SETBACK = 10'
 MAX. GROUND COVER RATIO = 40%



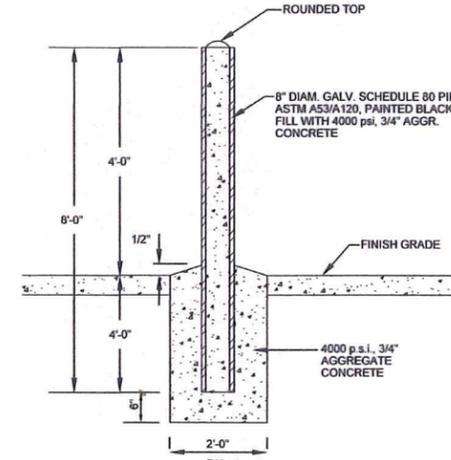
ROOF DRAIN DETAIL WITH CLEANOUT

N.T.S.



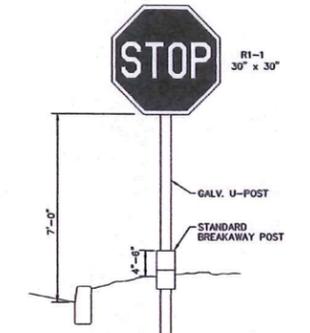
TYPICAL CROSS-SECTION BRICK WALKWAY

N.T.S.



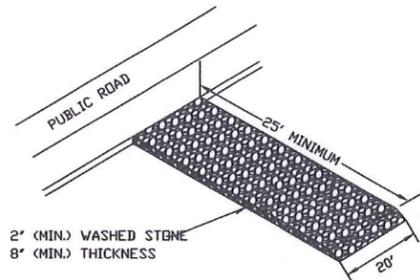
BOLLARD

N.T.S.



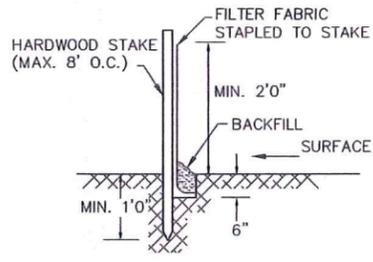
STOP SIGN LOCATION DETAIL

N.T.S.



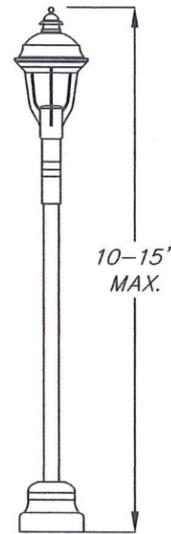
CONSTRUCTION ENTRANCE DETAIL

NOT TO SCALE



SILTATION FENCING DETAIL

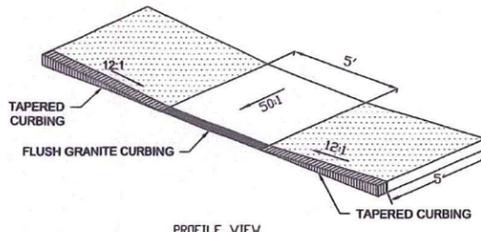
N.T.S.



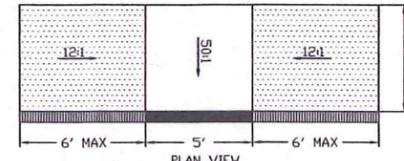
LIGHT POLE DETAIL

N.T.S.

LIGHTING PLAN TO BE IN COMPLIANCE WITH TOWN BY-LAW CHAPTER 102 SUPPLEMENTAL LIGHTING PLAN INCORPORATING A "DARK SKY" COMPLIANT DESIGN TO BE PROVIDED



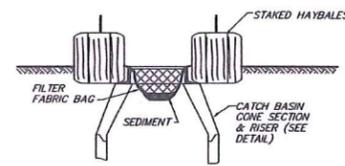
PROFILE VIEW



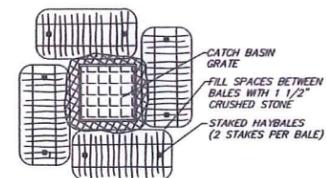
PLAN VIEW

HANDICAP CURB DETAIL

(NOT TO SCALE)



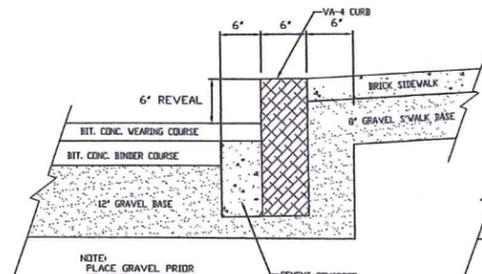
CROSS SECTION



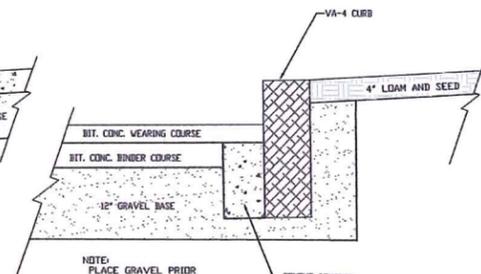
PLAN VIEW

CATCH BASIN SEDIMENT TRAP

N.T.S.



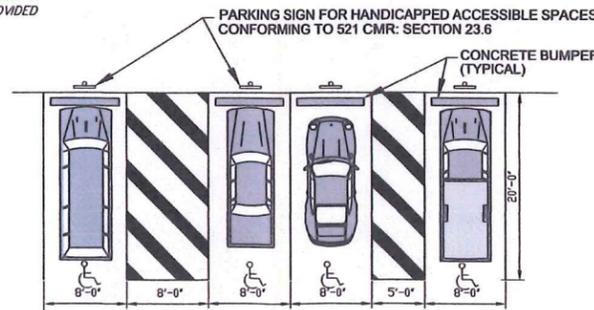
GRANITE CURB WITH SIDEWALK



GRANITE CURB WITH GRASS AREA

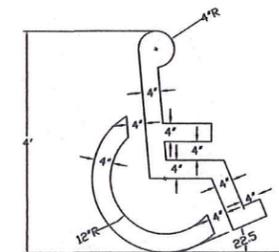
CURB DETAILS

(NOT TO SCALE)



HANDICAP PARKING DETAIL

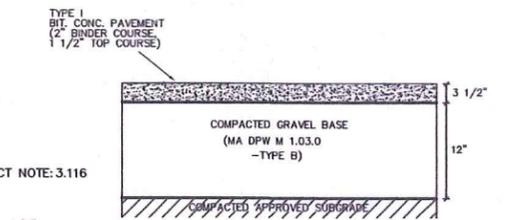
(NOT TO SCALE)



ACCESSIBLE PARKING SPACE SYMBOL

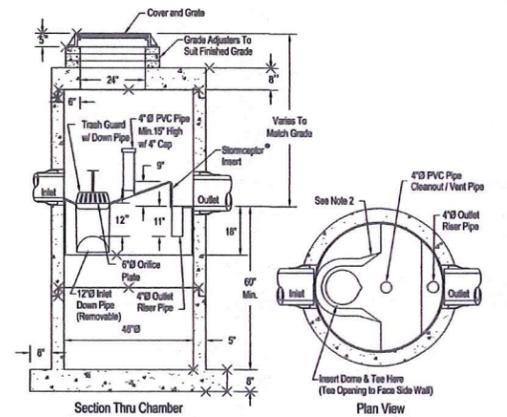
(NOT TO SCALE)

- NOTE:
- 1) SYMBOL SHALL BE CENTERED IN THE PARKING STALL AND SHALL BE WHITE.
 - 2) PAVEMENT MARKING STRIPES SHALL BE WHITE.
 - 3) SYMBOL TO BE PAINTED IN ALL HANDICAP SPACES.



ACCESS DRIVE CROSS-SECTION

N.T.S.



- Notes:
1. The use of a Flexible Connection is recommended at the Inlet and Outlet Pipe.
 2. The Cover should be positioned over the Inlet Drop Pipe and the Vent Pipe.
 3. The Stormceptor System is protected by one or more of the following U.S. Patents: #4985148, #5498331, #5723760, #5751115, #5949181, #6068765, #6371690.
 4. Contact a Rinker Materials representative for Double Gate Top Slab details and further details not listed on this sheet.

STC 450i PRECAST CONCRETE STORMCEPTOR

N.T.S.

MAJOR COMMERCIAL DEVELOPMENT CONSTRUCTION DETAILS & NOTES

#21 OLD SOUTH ROAD
 IN
 NANTUCKET, MASSACHUSETTS
 SCALE: 1"=10' DATE: JANUARY 4, 2016
 PREPARED FOR:
 JOHN D. READY, JR. TRUST
 NANTUCKET SURVEYORS, LLC
 5 WINDY WAY
 NANTUCKET, MA 02554
 (508) 228-0240
 GRAPHIC SCALE
 1"=10'



NOTE:
 THIS PLAN IS INTENDED FOR PERMITTING PURPOSES ONLY AND SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED FOR CONSTRUCTION BY NANTUCKET SURVEYORS, LLC.

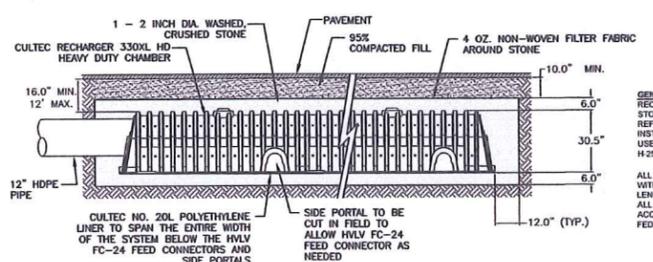
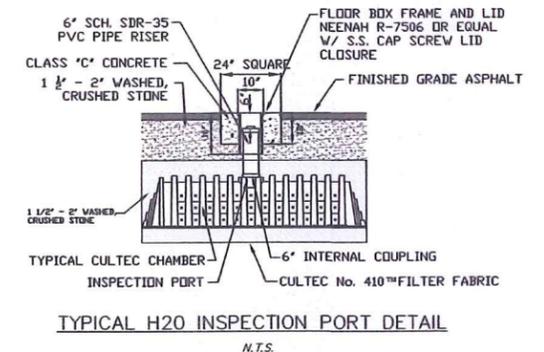
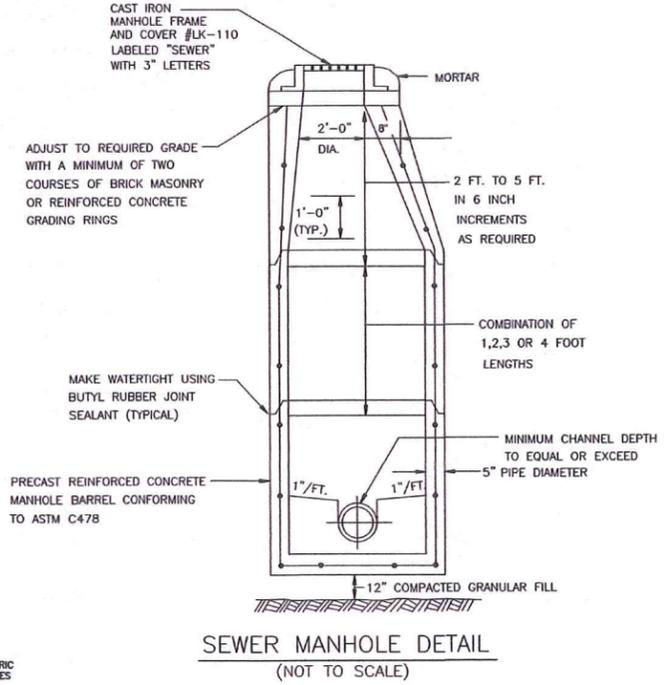
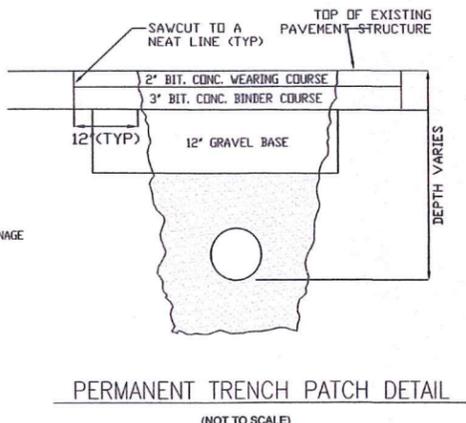
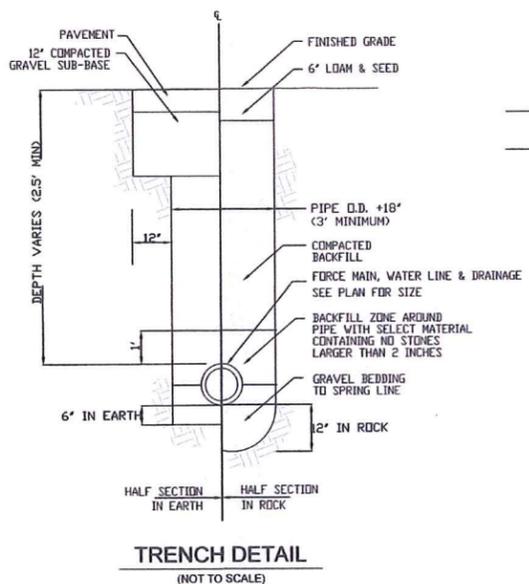
NANTUCKET PLANNING BOARD
 MAJOR COMMERCIAL DEVELOPMENT
 SPECIAL PERMIT

BARRY RECTOR, CHAIRMAN
 LINDA WILLIAMS, VICE-CHAIRWOMAN
 NATHANIEL LOWELL
 JOHN MCLAUGHLIN
 JOSEPH MARCHLINGER
 DATE APPROVED _____
 DATE SIGNED _____
 FILE NO. #20-15

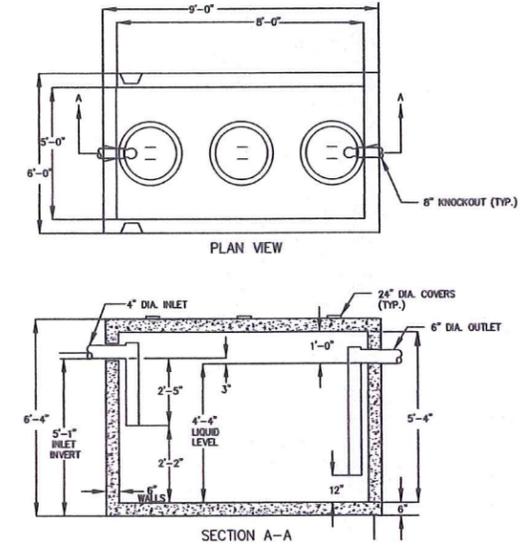
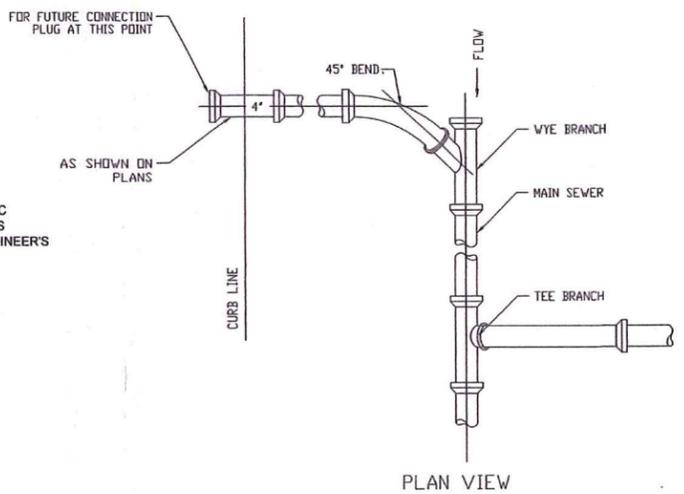
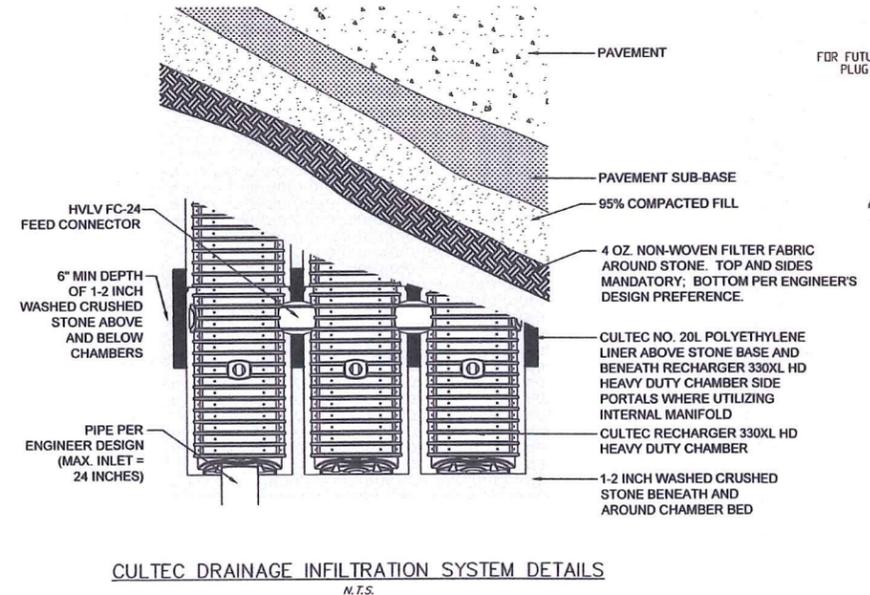
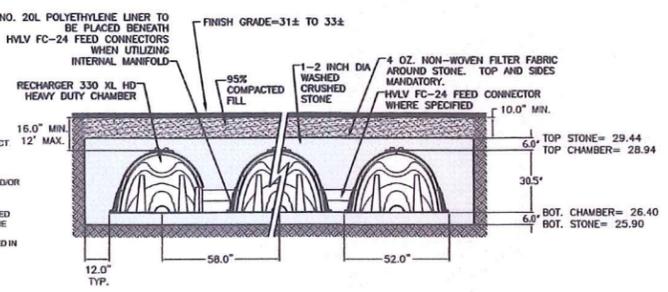




ZONING CLASSIFICATION
DISTRICT: CN (COMMERCIAL NEIGHBORHOOD)
(PWR OVERLAY DISTRICT)
MINIMUM LOT SIZE = 7,500 S.F.
MINIMUM FRONTAGE = 50'
FRONT YARD SETBACK = 10'
SIDE YARD SETBACK = 5'
REAR YARD SETBACK = 10'
MAX. GROUND COVER RATIO = 40%



GENERAL NOTES
RECHARGER 330XL HD BY CULTEC, INC. OF BROOKFIELD, CT STORAGE PROVIDED = 11.33 CU FT PER DESIGN UNIT. REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION GUIDELINES. USE RECHARGER 330XL HD HEAVY DUTY FOR TRAFFIC AND/OR H-25 APPLICATIONS.
ALL RECHARGER 330XL HD HEAVY DUTY UNITS ARE MARKED WITH A COLOR STRIPE FORMED INTO THE PART ALONG THE LENGTH OF THE CHAMBER.
ALL RECHARGER 330XL HD CHAMBERS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.



- NOTES:
1.) CONCRETE - 5,000 P.S.I. MINIMUM STRENGTH @ 28 DAYS
2.) STEEL REINFORCEMENT - ASTM A-615, GRADE 60
3.) COVER TO STEEL - 1" MINIMUM
4.) TANKS ARE DESIGNED TO MEET ASTM C858 AND ACI 318 WITH AASHTO HS-20 LOADING
5.) EARTH COVER - 0 TO 4 FEET
6.) CONSTRUCTION JOINT - SEALED WITH 1" DIA. BUTYL RUBBER OR EQUIVALENT

MAJOR COMMERCIAL DEVELOPMENT CONSTRUCTION DETAILS & NOTES
#21 OLD SOUTH ROAD
IN
NANTUCKET, MASSACHUSETTS
SCALE: 1"=10' DATE: JANUARY 4, 2016
PREPARED FOR:
JOHN D. READY, JR. TRUST
NANTUCKET SURVEYORS, LLC
5 WINDY WAY
NANTUCKET, MA 02554
(508) 228-0240
GRAPHIC SCALE
1"=10'

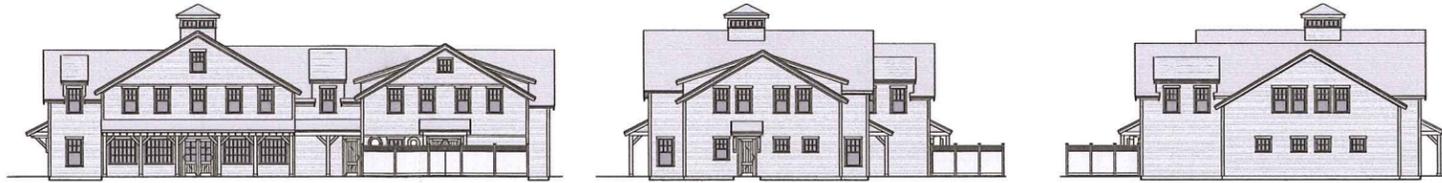
NOTE:
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NANTUCKET PLANNING BOARD
MAJOR COMMERCIAL DEVELOPMENT SPECIAL PERMIT
BARRY RECTOR, CHAIRMAN
LINDA WILLIAMS, VICE-CHAIRWOMAN
NATHANIEL LOWELL
JOHN MCLAUGHLIN
JOSEPH MARCKLINGER
DATE APPROVED _____
DATE SIGNED _____
FILE NO. #20-15

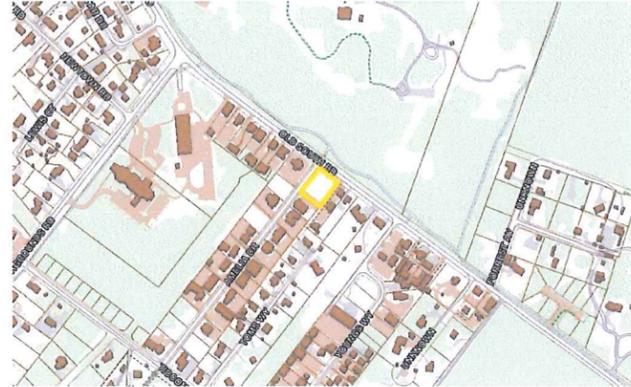


The Nantucket Meat and Fish Market

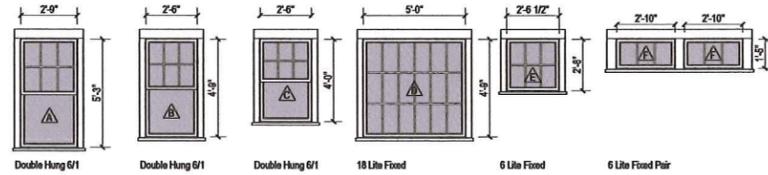
21 Old South Road
Nantucket, MA 02554



4 Proposed Elevations
1/16" = 1'-0"

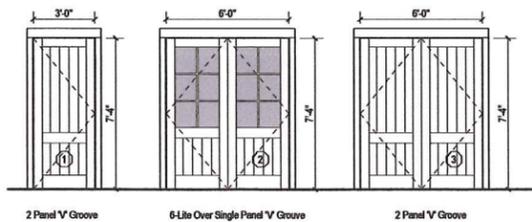


1 Locus Map
Not to Scale



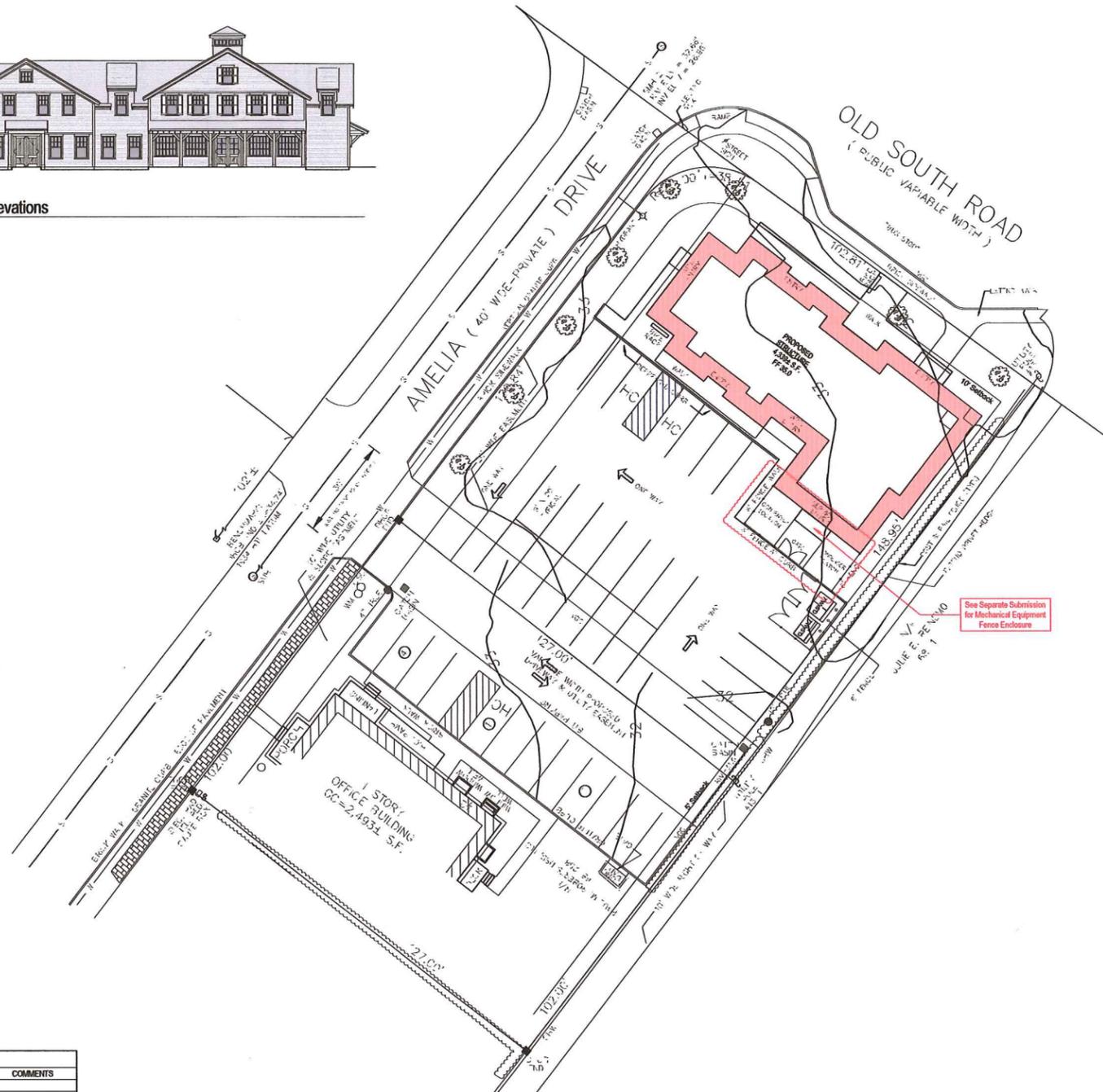
WINDOW	QUANTITY	UNIT WIDTH	UNIT HEIGHT	ROUGH WIDTH	ROUGH HEIGHT	DESCRIPTION	MANUFACTURER	DP RATING	COMMENTS
A	10	2'-9"	5'-3"	3'-0 3/4"	5'-5 1/2"	Double Hung 6/1	Andersen A Series	≥ 30	Impact Resistant Glazing
B	34	2'-6"	4'-9"	2'-9 3/4"	4'-11 1/2"	Double Hung 6/1	Andersen A Series	≥ 30	Impact Resistant Glazing
C	3	2'-6"	4'-0"	2'-9 3/4"	4'-2 1/2"	Double Hung 6/1	Andersen A Series	≥ 30	Impact Resistant Glazing
D	6	5'-0"	4'-9"	5'-3 3/4"	4'-11 1/2"	18 Lite Fixed	Andersen A Series	≥ 30	Impact Resistant Glazing
E	8	2'-6"	2'-6"	2'-9 3/4"	2'-8 1/2"	6 Lite Fixed	Andersen A Series	≥ 30	Impact Resistant Glazing
F	8	2'-10"	1'-5"	3'-1 3/4"	1'-7 1/2"	6 Lite Fixed Pair	Andersen A Series	≥ 30	Impact Resistant Glazing

2 Window Legend
Not to Scale



DOOR	QUANTITY	UNIT WIDTH	UNIT HEIGHT	ROUGH WIDTH	ROUGH HEIGHT	DESCRIPTION	MANUFACTURER	FINISH	DP RATING	COMMENTS
1	2	3'-0"	7'-4"	3'-1 1/2"	7'-4 3/4"	2 Panel V Groove	Custom	Natural	≥ 30	
2	2	6'-0"	7'-4"	6'-1 1/2"	7'-5"	6 Lite Over Single Panel	Custom	Natural	≥ 30	Impact Resistant Glazing
3	2	6'-0"	7'-4"	6'-1 1/2"	7'-5"	2 Panel V Groove	Custom	Natural	≥ 30	

3 Door Legend
Not to Scale



5 Site Plan
1" = 20'-0"

1510

The Nantucket Meat and Fish Market
21 Old South Road
Nantucket, MA 02554



Site Plan, Locus Map

Site Information

Map & Parcel:	69245
Current Zoning:	CN
Minimum Frontage:	50 ft.
Front Setback:	10 ft.
Side/Rear Setback:	5/10 ft.
Lot Size:	18,546 +/- sq. ft.
Min. Lot Size:	7,500 sq. ft.
Allowable G.C.:	40% or 7,418 sq. ft.
Existing G.C.:	0
Proposed G.C.:	4,339 sq. ft.
Total Proposed G.C.:	4,339 sq. ft.

Information for this site plan was taken from the Nantucket GIS. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

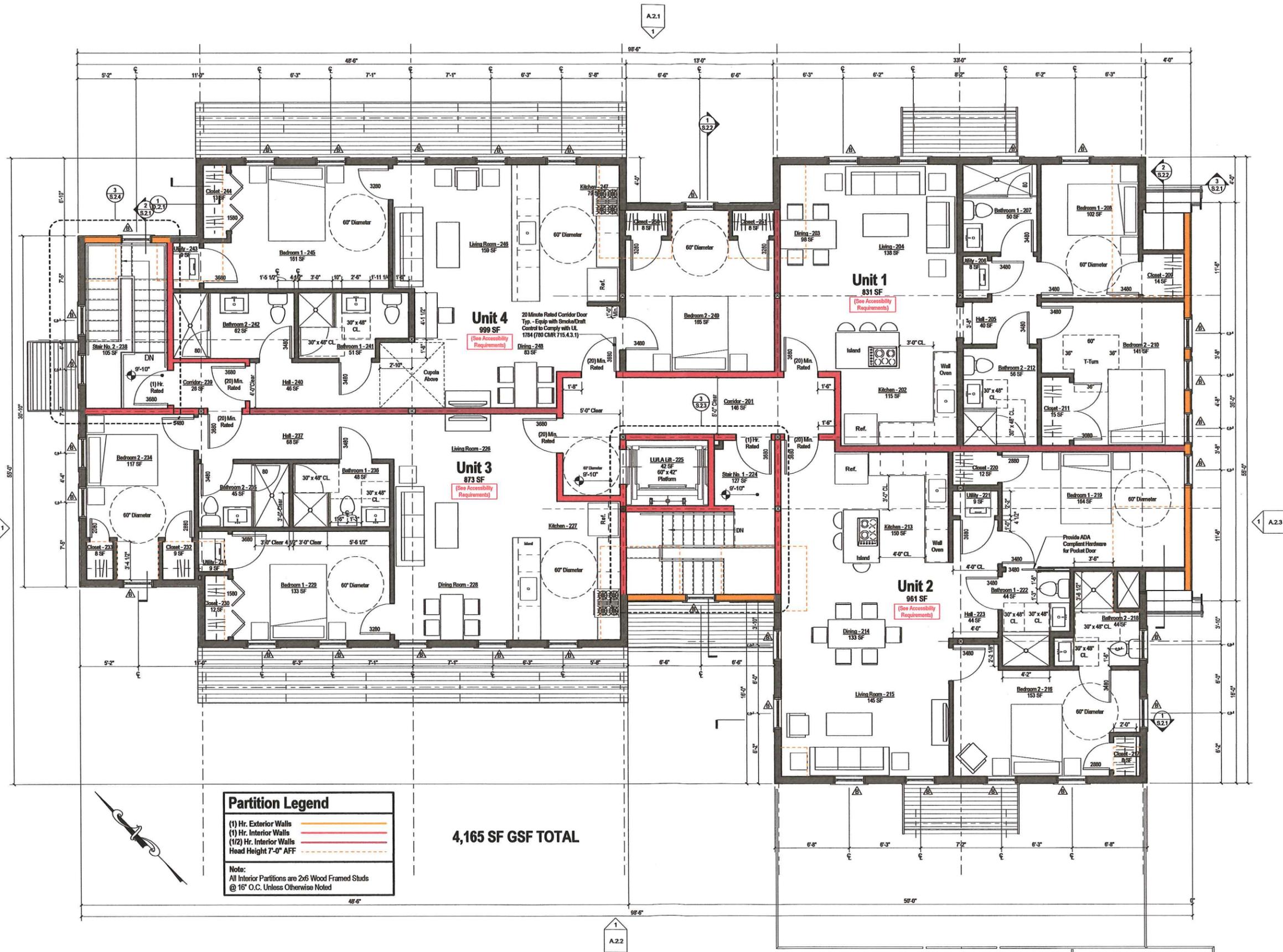
Revisions

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF EMERITUS DEVELOPMENT, INC. AND MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF EMERITUS DEVELOPMENT, INC.

G.1.1
1510

H. D. C. Submission - Not For Construction 12.09.15

H. D. C. Submission - Not For Construction 12.09.15



1 Second Floor Plan
1/4" = 1'-0"

1510
The Nantucket Meat and Fish Market
21 Old South Road
Nantucket, MA 02554



Second Floor Plan

Site Information

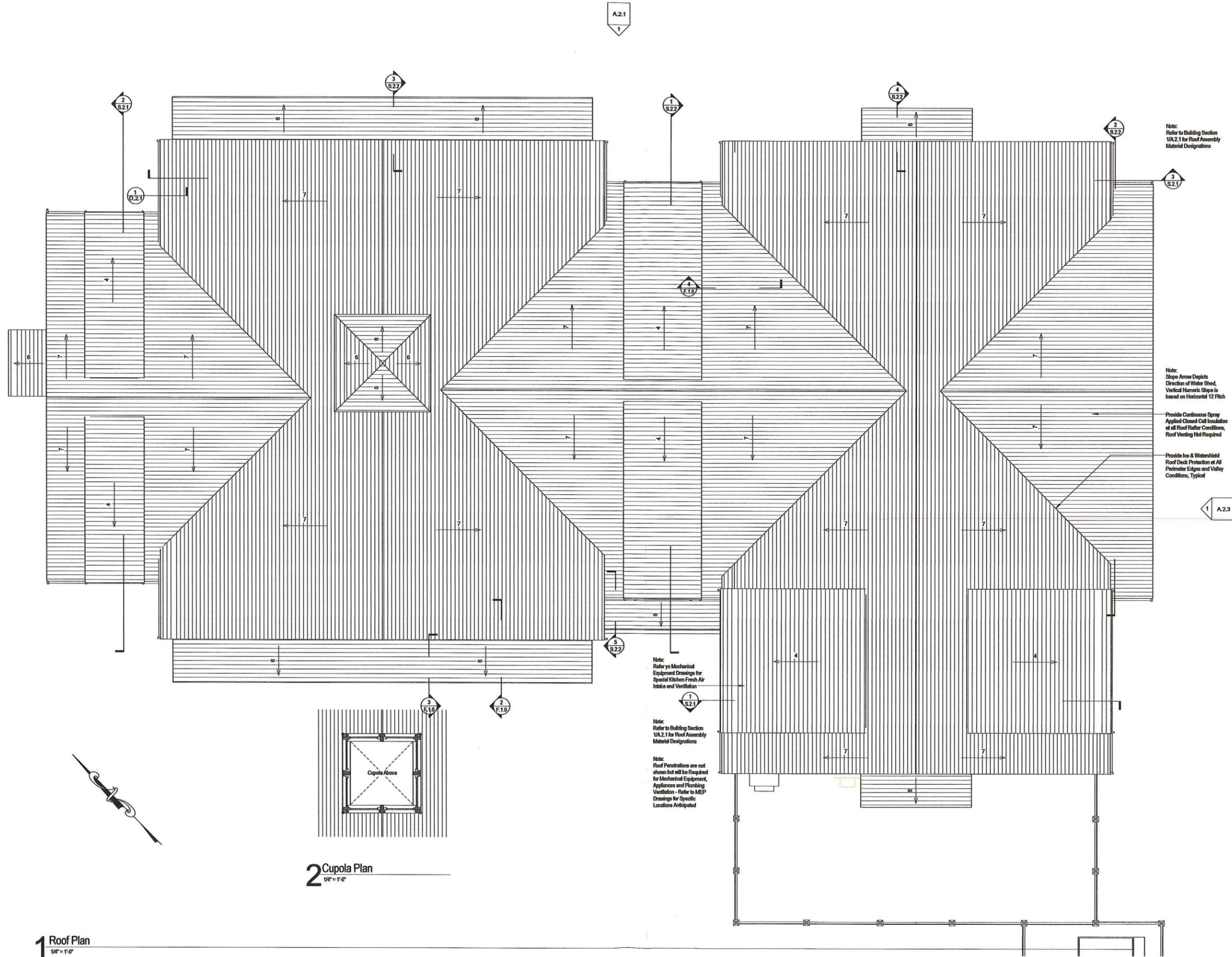
Map & Parcel:	69246
Current Zoning:	CN
Minimum Frontage:	50 ft.
Front Setback:	10 ft.
Side/Rear Setback:	5/10 ft.
Lot Size:	18,546 sq. ft.
Min. Lot Size:	7,500 sq. ft.
Allowable G.C.:	40% or 7,418 sq. ft.
Existing G.C.:	0
Proposed G.C.:	4,339 sq. ft.
Total Proposed G.C.:	4,339 sq. ft.

Information for this site plan was taken from the Nantucket GIS. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

Revisions

A.1.2
1510

H. D. C. Submission - Not For Construction 12.09.15



1 Roof Plan
1/4" = 1'-0"

2 Cupola Plan
1/4" = 1'-0"

Note:
Refer to Building Section
1/A.2.1 for Roof Assembly
Material Designations

Note:
Slope Arrow Depicts
Direction of Water Shed.
Vertical Numeric Slope is
based on Horizontal 12 Pitch

Provide Continuous Spray
Applied Closed Cell Insulation
at all Roof Rafters Conditions,
Roof Venting Not Required

Provide Ice & Watershield
Roof Deck Protection at All
Perimeter Edges and Valley
Conditions, Typical

Note:
Refer to Mechanical
Equipment Drawings for
Special Kitchen Fresh Air
Intake and Ventilation

Note:
Refer to Building Section
1/A.2.1 for Roof Assembly
Material Designations

Note:
Roof Penetrations are not
shown but will be Required
for Mechanical Equipment,
Appliances and Plumbing
Ventilation - Refer to MEP
Drawings for Specific
Locations Anticipated

1510
The Nantucket Meat
and Fish Market
21 Old South Road
Nantucket, MA 02554



Roof Plan

Site Information

Map & Parcel:	68245
Current Zoning:	CN
Minimum Frontage:	50 ft.
Front Setback:	10 ft.
Side/Rear Setback:	5/10 ft.
Lot Size:	18,546 +/- sq. ft.
Min. Lot Size:	7,500 sq. ft.
Allowable G.C.:	40% or 7,418 sq. ft.
Existing G.C.:	0
Proposed G.C.:	4,339 sq. ft.
Total Proposed G.C.:	4,339 sq. ft.

Information for this site plan was taken from the Nantucket G.L.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

Revisions

A.1.7
1510
10.01.10

From: Catherine Ancero
Sent: Wednesday, January 06, 2016 4:52 PM
To: Holly Backus
Subject: FW: Glowacki subdivision
Attachments: PB Form J.pdf; PB Covenant 16117.pdf; PB Release 71641.pdf

Categories: Planning Board Matters

fyi

From: Arthur Reade [<mailto:air@readelaw.com>]
Sent: Wednesday, January 06, 2016 4:45 PM
To: Catherine Ancero
Cc: Dave Armanetti; Tony Shepley; Leslie Snell
Subject: Glowacki subdivision

Hi Catherine,

Per my conversation with Leslie this morning, here is a Form J that I have prepared. As you will recall, this relates to the large 1973 subdivision done by Walter Glowacki, creating Greglen Avenue, Nancy Ann Lane, Davkim Lane, etc. All of the lots had been released except 178, 179 and 180. Leslie had reviewed the file and saw no further action that needed to be completed. Meanwhile, the land which is being sold to Shepley Wood Products and is the subject of the recently-voted Special Permit Modification includes a portion of Lot 178, which has been resubdivided by a plan which the Board endorsed several months ago. Accordingly, we would like to get this and the other remaining lots released from the Covenant.

With our closing coming up soon, it would be great if you could get this endorsed at next week's Planning Board meeting.

For your convenient reference, I enclose copies of the Covenant and the earlier Form J releasing all of the other lots.

Thanks very much for your cooperation.

Arthur
1/6/2016

Arthur I. Reade, Jr., P.C.
Reade, Gullicksen, Hanley& Gifford, LLP
6 Young's Way
Nantucket, Massachusetts 02554

Post Office address:
Post Office Box 2669
Nantucket, Massachusetts 02584

508-228-3128 (Tel.)
508-228-5630 (Fax)
air@readelaw.com

This e-mail message and any attachments are confidential. If you are not the intended recipient, please immediately reply to the sender and delete the message from your e-mail system. Thank you.

IRS CIRCULAR 230 NOTICE

In compliance with IRS requirements, we inform you that any U.S. tax advice contained in this communication is not intended or written to be used, and cannot be used, for the purpose of avoiding tax penalties or in connection with marketing or promotional materials.

Nantucket Planning Board

Form J

Certificate of Completion and Release of Municipal Interest in
Subdivision Performance Security

Date: _____, 2016

Planning Board File # _____ 1034A

Subdivision Name: _____ None

Owner: _____ Richmond Great Point Properties, LLC

Owner's Address: _____ c/o Reade, Gullicksen, Hanley & Gifford, LLP, 6 Young's Way,
Post Office Box 2669, Nantucket, Massachusetts 02584

Applicant, (if other than owner): _____ Walter J. Glowacki and Anne Glowacki (original applicants)

Date of Subdivision Plan: _____ January 31, 1973

Land Location: _____ Off Old South Road and Lovers Lane

Plan Registered: Nantucket Land Registry, Land Court Plan Number _____ 16514-Z

Type of Performance Security:

- Covenant dated: _____ March 24, 1975

Covenant registered: Nantucket Registry District as Document # _____ 16117 and noted on
Certificate of Title # _____ 4825.

- Bond, agreement dated: _____

Surety Company: _____

Address of Surety: _____

- Deposit of money, agreement dated: _____

Bank (if bank passbook): _____

Address of

Bank: _____

- Other Security , agreement dated: _____

- Letter of credit, agreement dated: _____

Bank: _____

Address of Bank: _____

The undersigned, being a majority of the Planning Board of Nantucket, have determined that the construction of ways and installation of municipal services in the subdivision referred to above have been completed partially completed

by the applicant in accordance with the Board's rules and regulations to adequately serve the following enumerated lots:

178, 179 and 180 _____ .

Pursuant to Section 81.U of Chapter 41, M.G.L. and in consideration of said construction and installation, the Town of Nantucket, a Massachusetts corporation, acting through its Planning Board, hereby releases its interest in the Performance Security referred to above, as to the lots enumerated in the preceding paragraph only.

Duly executed as a sealed instrument this _____ day of _____, 2016.

Signed by a Majority of the Planning Board
of the Town of Nantucket

Barry Rector

Linda Williams

John McLaughlin

Nathaniel Lowell

Joseph Marcklinger

Commonwealth of Massachusetts

Nantucket, SS

Date: _____

Then personally appeared _____ one of the above-named members of the Planning Board of Nantucket, Massachusetts, and acknowledged the foregoing instrument to be his/her free act and deed before me,

Notary Public

My Commission Expires: _____

DOCUMENT NO. 16117

Sanjour District Registry District

MAY 22 1975

RECEIVED FOR REGISTRATION

____ O'CLOCK _____ M

DOCUMENT NO. 16117

Sanjour District Registry District

MAY 22 1975

RECEIVED FOR REGISTRATION

11 O'CLOCK 35 M A M

NOTED ON CERTIFICATE NO. 4825
IN REGISTRATION BOOK 24 PAGE 90

Attest James S. Bunn
Assistant Recorder

COVENANT

Know all men by these presents that whereas the undersigned has submitted an application dated February 13, 1973, to the Nantucket Planning Board for approval of a definitive plan of a certain subdivision entitled Subdivision Plan of Land in Nantucket, Mass. and dated Jan. 31, 1973, and has requested the Board to approve such plan without requiring a performance bond,

*Being a subdivision of the remainder of Lot 10, L.C. No. 16514^E

NOW THEREFORE, THIS AGREEMENT WITNESSETH that in consideration of the Nantucket Planning Board approving said plan without requiring a performance bond, and in consideration of one dollar in hand paid, receipt whereof is hereby acknowledged, the undersigned covenants and agrees with the (City/Town) of Nantucket as follows:

1. The undersigned will not sell any lot in the subdivision or erect or place any permanent building on any such lot until the construction of ways and municipal services necessary to serve adequately such lot has been completed in the manner specified in the aforesaid application, and in accordance with the covenants, conditions, agreements, terms and provisions thereof. *(See sheet attached hereto, marked "A")*
2. This agreement shall be binding upon the executors, administrators, devisees, heirs, successors and assigns of the undersigned.

It is the intention of the undersigned and it is hereby understood and agreed that this contract shall constitute a covenant running with the land included in the aforesaid subdivision and shall operate as restrictions upon said land.

It is understood and agreed that lots within the subdivision shall, respectively, be released from the foregoing conditions upon the recording of a certificate of performance executed by a majority of said Planning Board and enumerating the specific lots to be so released.

3. The undersigned represents and covenants that undersigned is the owner* in fee simple of all the land included in the aforesaid subdivision and that there are no mortgages of record or otherwise on any of said land, except such as are described below and subordinated to this contract, and the present holders of said mortgages have assented to this contract prior to its execution by the undersigned.

*If there is more than one owner, all must sign.

IN WITNESS WHEREOF the undersigned, applicant as aforesaid, does hereunto set his hand and seal this 24th day of March, 1975.

Received by Town Clerk:

Applicant's signature

Anne Glowacki

Applicant's address

Anne Glowacki

Old South Road

Nantucket, Mass. 02554

Date _____

Time _____

Owner's signature and address if not the applicant

Walter J. Glowacki

Walter J. Glowacki

Old South Road

Nantucket, Mass. 02554

Signature _____

Description of Mortgages: _____

(Give complete names and Registry of Deeds reference.)

Assents of Mortgagees:

COMMONWEALTH OF MASSACHUSETTS

Nantucket

ss

March 24

1975

Then personally appeared the above named Walter J. Glowacki

and acknowledged the foregoing instrument to be his
free act and deed, before me.

Richard J. Schoder
Notary Public

My commission expires: 12/16/1981

"A"

COVENANT

1. This document is attached to and made a part of the standard Form I Covenant executed by the applicants.
2. The land shown on said plan shall comply with the rules and regulations of the Nantucket Planning Board in effect on February 13, 1973, which are recorded with the Nantucket Registry of Deeds, Book 138, Page 274, except the following enumerated regulations which the Planning Board agrees to waive, or alter in the manner specified:
 - a) 2-C
 - b) 2-D-3
 - c) 2-D-4
 - d) 2-D-7
 - e) 2-D-8
 - f) ~~2-D-9~~
 - g) 2-D-10
 - h) 2-D-11
 - i) 2-D-12
 - j) 2-D-13
3. This Covenant shall not apply to Lot 132 as shown on said plan.
4. The applicants agree and covenant for themselves, their heirs and assigns that, irregardless of any future zoning reclassification, which may reduce the required lot area to a figure less than 20,000 sq. ft., the land encompassed by the aforesaid plan will never be subdivided nor sold in lots of less than 20,000 sq. ft., and the applicants further covenant and agree with the Nantucket Planning Board that if and when any of the land included within the aforesaid subdivision is sold or transferred, the deed conveying said land will contain a restriction that no lot or lots may be altered or resubdivided if said alteration would result in the creation of a lot of less than 20,000 sq. ft.
5. Reference to this Covenant shall be entered upon said plan and this Covenant shall be recorded when said plan is recorded.

DOCUMENT NO. 071641

Release

DOCUMENT NO.

071641

Manhasset Registry District

APR 09 1996

RECEIVED FOR REGISTRATION

10 O'CLOCK 25 m A M

NOTED ON CERTIFICATE NO. 4825

IN REGISTRATION BOOK PAGE

ATTN: Charles M. Chabot

ASST. RECORDER

FORM J
CERTIFICATE OF COMPLETION
AND
RELEASE OF MUNICIPAL INTEREST IN
SUBDIVISION PERFORMANCE SECURITY

March 14, 19 96

Planning Board, Nantucket, Massachusetts

Subdivision Name: _____
Owner: _____ Walter & Anne Glowacki
Owner's Address: _____ POB 28, Nantucket MA 02554
Applicant, if other than owner: _____
Applicant's Address: _____
Date of Sub division Plan: _____ January 31, 1973
Planning Board File No. _____ 1034A
Land Located: _____ Greglen Avenue

Plan Recorded: Nantucket Registry of Deeds, Plan Book _____,
or Page _____
Plan Registered: Nantucket Land Registry District, Land Court
Plan No. 16514^Z

Type of Performance Security:

- Covenant, dated: _____ March 24, 1975
Covenant recorded: Nantucket Registry of Deeds, Book _____, Page _____
or
Covenant registered: Nantucket Land Registry District as Document
No. 16117 and noted on Certificate of Title No. _____ in Registration
Book _____, Page _____.
- Bond, Agreement dated: _____
Surety Company: _____
Address of Surety: _____
- Deposit of money, agreement dated: _____
Bank, if bank passbook: _____
Address of Bank: _____
- Other Security, agreement dated: _____
- Letter of Credit, agreement dated: _____
Bank: _____
Address of Bank: _____

The undersigned, being a majority of the Planning Board of Nantucket have determined that the construction of ways and installation of municipal services in the subdivision referred to above have been () completed () partially completed by the applicant in accordance with the Board's rules and regulations to adequately serve the following enumerated lots: lots 145 through 177 and lots 181 through 190

Pursuant to Section 81-U of Chapter 41, M. G. L. and in consideration of said construction and installation, the Town of Nantucket, a Massachusetts municipal corporation, acting through its Planning Board, hereby releases its interest in the Performance Security referred to above.

Duly executed as a sealed instrument this 1st day of April, 1996.

[Handwritten signatures]

Signed by a Majority of the Planning Board of the Town of Nantucket

COMMONWEALTH OF MASSACHUSETTS

NANTUCKET, ss April 2, 1996

Then personally appeared JOAN S. BRANTS one of the above-named members of the Planning Board of Nantucket, Massachusetts and acknowledged the foregoing instrument to be (his/her) free act and deed before me.

[Handwritten signature]
Notary Public

My commission expires February 6, 1998

Duplicate copy to:
Planning Board

4825



Nantucket Planning Board

Form J
Certificate of Completion and
Release of Municipal Interest in
Subdivision Performance Security

Date: December 31, 2015 Planning Board File # 74387

Subdivision Name: Goose Cove

Owner: Goose Cove LLC

Owner's Address: 39B Milk Street, Nantucket, MA 02554

Phone number: _____ Fax number: _____ E-mail: thomas.p.johnson@me.com

Applicant, (if other than owner): _____

Applicant's Address: _____

Phone number: _____ Fax number: _____ E-mail: _____

Date of Subdivision Plan: 9-10-12

Land Location: 5 South Cambridge Street

Plan Recorded: Nantucket Registry of Deeds Plan Book _____ Page _____

Plan Registered: Nantucket Land Registry, Land Court Plan Number 3092-118

Type of Performance Security:

Covenant dated: 10-22-13
Covenant recorded: Nantucket Registry of Deeds, Book _____ Page _____

or
Covenant registered: Nantucket Land Registry District as Document # _____ and noted on
Certificate of Title # 24825 in Registration Book _____ Page _____

Deposit of money, agreement dated: _____
Bank (if bank passbook): _____
Address of Bank: _____

Other Security, agreement dated: _____

Letter of credit, agreement dated: _____

Bank: See Planning Board file

Address of Bank: _____

The undersigned, being a majority of the Planning Board of Nantucket, have determined that the construction of ways and installation of municipal services in the subdivision referred to above have been completed partially completed by the applicant in accordance with the Board's rules and regulations to adequately serve the following enumerated lots:

889

Pursuant to Section 81.U of Chapter 41, M.G.L. and in consideration of said construction and installation, the Town of Nantucket, a Massachusetts corporation, acting through its Planning Board, hereby releases its interest in the Performance Security referred to above, as to the lots enumerated in the preceding paragraph only.

Duly executed as a sealed instrument this _____ day of _____, _____.
(Date) (Month) (Year)

Barry G. Rector

Nat Lowell

Linda Williams

John McLaughlin

Sylvia Howard

Signed by a Majority of the Town of Nantucket Planning Board

COMMONWEALTH OF MASSACHUSETTS

Nantucket, SS _____, 2013

On the _____ day of _____, 2013, before me, the undersigned notary public,

Personally appeared _____, one of the above-named members of the Planning Board of Nantucket, Massachusetts, personally known to me to be the person whose name is signed on the preceding document, and acknowledge that he/she signed the foregoing instrument voluntarily for the purposes therein expressed.

Notary Public

My commission expires:

TRANSVERSE CLOSURE
 ANGULAR ERROR: 00' 00" 05"
 LINEAR ERROR: 0.009'
 DIRECTION OF ERROR: N 67° 37' 18" E
 PRECISION: 1:288,645
EDM ACCURACY
 ±(2mm + 2ppm x D) m.s.s.

3092-118
 LAND COURT
 NOV 01 2013
 FILED

SURVEY MONUMENT LEGEND
 ■ (CRB-FND.) COUNTY ROAD BOUND FOUND
 ■ (CB-FND.) CONCRETE BOUND w/ DRILL HOLE FOUND
 ■ (CB-TO BE SET) CONCRETE BOUND w/ DRILL HOLE TO BE SET

I CERTIFY THAT THE CONDITIONS ON THE GROUND ARE THE SAME NOW AS AT THE TIME OF THE ORIGINAL SURVEY, 4-12-12.



I CERTIFY THAT I AM OF THE AGE OF 21 YEARS AND HAVE THE NECESSARY KNOWLEDGE AND SKILL TO CONDUCT THE SURVEY AND TO PREPARE THIS PLAN AND TO BE RESPONSIBLE FOR THE ACCURACY OF THE SAME. I HAVE BEEN SET IN ACCORDANCE WITH THE LAND COURT INSTRUCTIONS OF 2008 AS OF THE DATE OF THIS SURVEY.
 I FURTHER CERTIFY THAT THIS PLAN WAS DRAWN FROM AN ORIGINAL SURVEY OF THE GROUND AND THAT THE ACCURACY OF THE SAME IS AS STATED ON THE ORIGINAL SURVEY.
 I CERTIFY THAT THE CONDITIONS ON THE GROUND ARE THE SAME NOW AS AT THE TIME OF THE ORIGINAL SURVEY, 4-12-12.



THE PLANNING BOARD RECOMMENDS THE
 60' LOT A, B & C TO BE ZONED L39-1B.
 THE PLANNING BOARD RECOMMENDS THE
 60' LOT D TO BE ZONED L39-1B.
 THE PLANNING BOARD RECOMMENDS THE
 60' LOT E TO BE ZONED L39-1B.

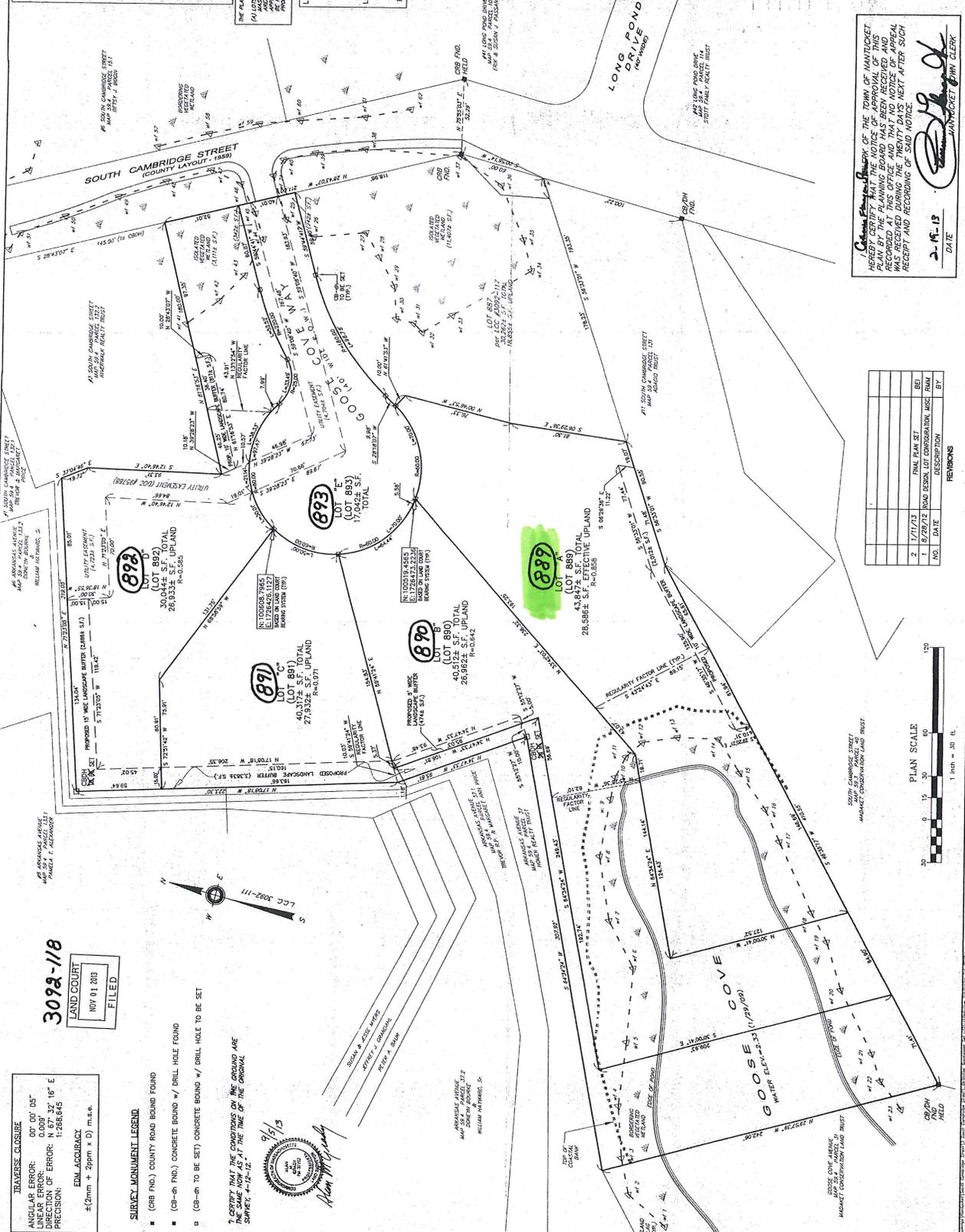
LOT C IS SUBJECT TO ZONING BY-LAW SECTION 139-1B, (B)(1) EXCEPTIONS FOR FRONTAGE.
 TOTAL PROJECT FRONTAGE = 434.35'
 AVERAGE FRONTAGE PER LOT = 108.58'
 LOTS A & B ARE SUBJECT TO ZONING BY-LAW SECTION 139-1B, (B)(1) EXCEPTIONS FOR FRONTAGE.
 FRONTAGE REQUIRED = 100.00'
 FRONTAGE AFTER 30% REDUCTION = 70.00'

ZONING CLASSIFICATION: VR
 MINIMUM LOT SIZE: 20,000 S.F.
 MINIMUM FRONTAGE: 100.00'
 REAR YARD SETBACK: 30.00'
 GROUND COVER RATIO: 10%
 FRONTAGE REQUIRED = 100.00'
 FRONTAGE AFTER 30% REDUCTION = 70.00'

GEOMETRIC DATE AND CHANGE
 Term of Instrument: 02-02-13
 The undersigned being the beneficial owner of the property described herein, do hereby certify that the copy of this plan as shown is a true and correct copy of the original as recorded in the public records of the County of Nantucket, Massachusetts.

LOTTING PLAN
 OF
 "GOOSE COVE"
 DEFINITIVE SUBDIVISION OF LAND
 BEING A SUBDIVISION OF
 LOT 888 ON L.C. PLAN #3092-117
 IN
 NANTUCKET, MA
 Prepared For:
CAMBRIDGE STREET PARTNERS, LLC
 Prepared By:
BRACKEN-ENGINEERING, INC.
 19 OLD SOUTH ROAD
 NANTUCKET, MA 02554
 PHONE: (508) 325-0944 FAX: (508) 325-2282
 SCALE: 1" = 30'
 APRIL 12, 2012

APPROVED BY THE
 NANTUCKET PLANNING BOARD
 DATE APPROVED: 04-11-12
 DATE RECORDED: 02-11-13



I CERTIFY THAT THE NOTICE OF APPEAL HAS BEEN RECEIVED AND NO NOTICE OF APPEAL HAS BEEN RECEIVED DURING THE PERIOD OF APPEAL. I HEREBY CERTIFY THAT THE NOTICE OF APPEAL HAS BEEN RECEIVED AND NO NOTICE OF APPEAL HAS BEEN RECEIVED DURING THE PERIOD OF APPEAL.

DATE: 2-15-13
 DATE: 02-11-13

NO.	DATE	REVISION	BY
1	1/21/12	FINAL PLAN SET	BEJ
2	12/28/12	ROAD DESIGN CORRECTION	BEJ



Catherine Ancero

From: Leo Asadoorian [leo@blackwellsurvey.com]
Sent: Wednesday, January 06, 2016 3:26 PM
To: Ed Pesce P. E. (epesce@comcast.net)
Cc: Catherine Ancero; Dave Fredericks (ackfredericks@yahoo.com); Whitney A. Gifford (wag@readelaw.com); Arthur Gasbarro
Subject: Newtown Court Subdivision -revisions 01-06-16
Attachments: NEWTOWN CT-1-6-16-Revisions.pdf; DRAINAGE SUMMARY REVISED.pdf; HYDROCAD REPORT REVISED.pdf

Ed

Per your review dated: December 12, 2015, we have made revisions to our plans accordingly.

Outlined below I've addressed each item based on your comments to help you in reviewing the changes that were made.

Definitive Plans, Site Layout & Utilities:

1. Proposed Monuments have been added to the Definitive Plan in accordance with Section 4.02. See sheet 1 of 6.
2. An Erosion Control Plan was added to the set (see: sheet 6 of 6). All items a thru d appear on said sheet 6.
 - a) Siltsacks® have been added to the 3 catch basins in Newtown Road and the 2 proposed basins in Newtown Court.
 - b) A silt fence along the western edge of the proposed road has been added to the plans.
 - c) A note was added to the Erosion Control plan regarding sweeping of soils that make their way onto Newtown Court during construction.
 - d) A 20'x 40' Temp tracking pad was added to the plan.
3. This apron was added to the plan to insure that street runoff that now enters onto the abutters driveway will be directed to the existing street basin. The apron is being constructed within the layout of Newtown Road and not on the abutters land. It is my understanding that the applicant has discussed this issue with the abutter and is appreciative that he is correcting this existing drainage problem.
4. The roadway sub-base material has been revised to maDOT spec M1.03.1. The detail on sheet 3 of 6 has been revised to denote this change along with a Sieve Designation table.

Stormwater Management:

1. An additional Inspection port has been added to the plans and details.
2. We have partially complied with this recommendation. We would like the Basin @ 1+0 (RIGHT) to maintain the 2' sump to further minimize the depth of excavation next to the abutters garage. The basin at 1+00 (LEFT) has been revised to show a 4' sump. The catch basin detail on Sheet 4 of 6 notes the proposed sumps as stated above.
3. We've added all inverts at duplicated locations on the plans.
 - a. Oil-Water structure inverts have been added
 - b. The StormTech® chambers have been lowered so that the top of the infiltration stone is at an elevation of 19.50', which is within the C soil horizon.
4. The StormTech chambers length and width have been fully dimensioned on the plans .
5. We added a 7th chamber along with additional stone. Revised drainage analysis has been submitted for review and comment. Slight changes to the invert elevations were made after the Pond routing was run due to a conflict with the drain line-sewer line crossing. We feel that these invert changes would have a *de minimus* effect on the Peak Elev of 19.39'.

I trust these changes will meet your requirements. Please feel free to contact me with any questions or concerns you make have.

#7904 Newtown Road Subdivision - endorse plans

I've included the revised plans, but fully stamped copies are being scanned later today and will be forwarded to you in a later email.

Regards,

Leo

Leo C. Asadoorian PS, CSE

BLACKWELL & ASSOCIATES, INC.

Professional Land Surveyors

& Civil Engineers

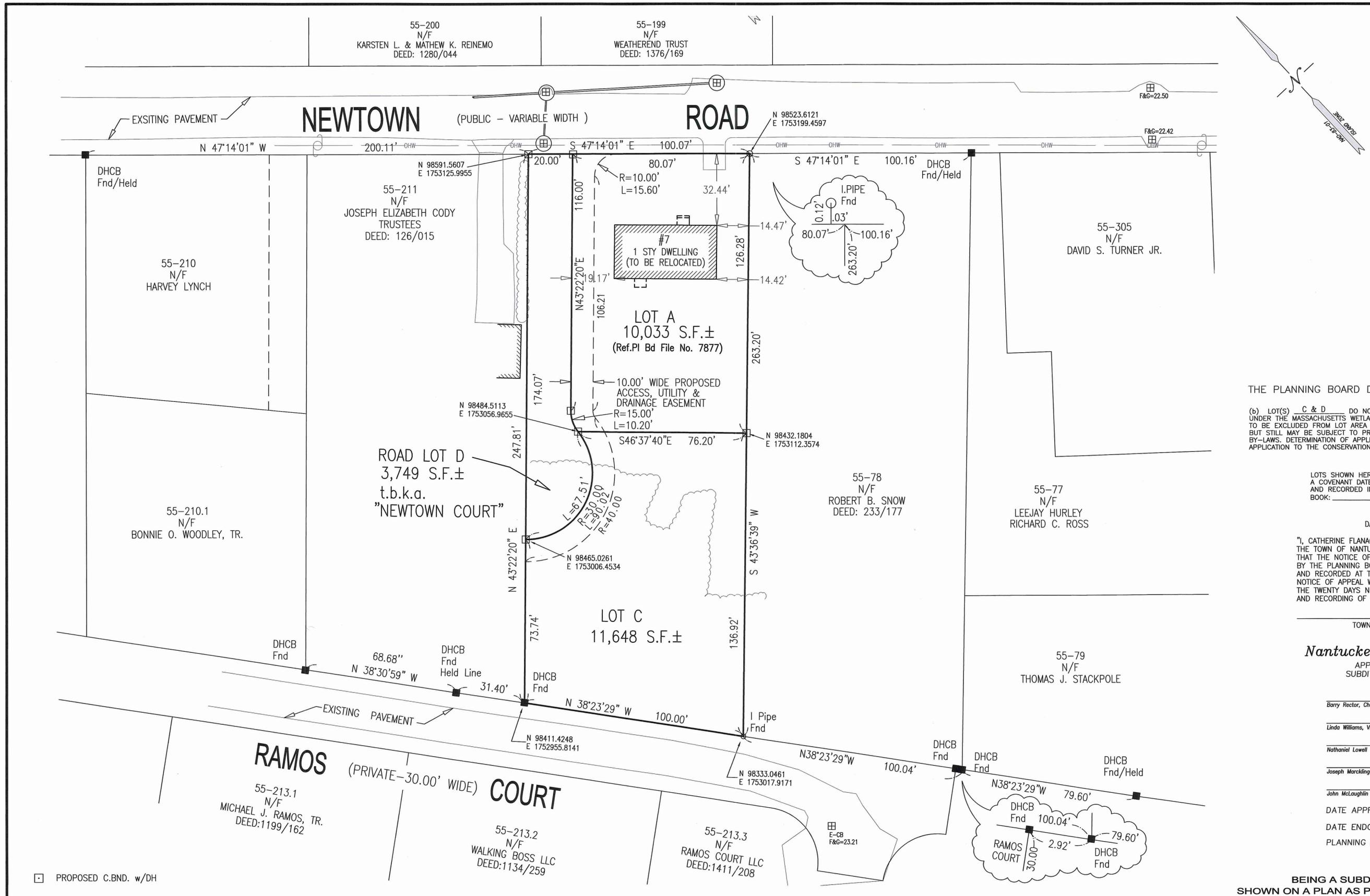
20 Teasdale Circle, Nantucket, Mass. 02554

(p) 508-228-9026 x-12

(c) 508-221-0018

(fax) 508-228-5292

leo@blackwellsurvey.com



NANTUCKET REGISTRY OF DEEDS

Date: _____

Time: _____

Plan No.: _____

Attest: Register

SHEET 1 OF 1

RESERVED FOR REGISTRY USE

LOCUS MAP SCALE: 1"=1,000'

CURRENT ZONING CLASSIFICATION:
Residential 10 (R-10)

MINIMUM LOT SIZE: 10,000 S.F.
MINIMUM FRONTAGE: 75 FT.
FRONT YARD SETBACK: 20 FT. (15 FT)
REAR/SIDE SETBACK: 10 FT. (5 FT)
GROUND COVER % : 25%

THE PLANNING BOARD DETERMINES THAT:

(b) LOT(S) C & D DO NOT CONTAIN AREAS SUBJECT TO PROTECTION UNDER THE MASSACHUSETTS WETLANDS PROTECTION ACT WHICH ARE REQUIRED TO BE EXCLUDED FROM LOT AREA UNDER THE NANTUCKET ZONING BY-LAW BUT STILL MAY BE SUBJECT TO PROTECTION UNDER STATE AND LOCAL WETLAND BY-LAWS. DETERMINATION OF APPLICABILITY MAY BE OBTAINED THROUGH APPLICATION TO THE CONSERVATION COMMISSION.

LOTS SHOWN HEREON ARE SUBJECT TO A COVENANT DATED: _____ AND RECORDED IN REGISTRY OF DEEDS BOOK: _____ PG.: _____

DATE: _____

"I, CATHERINE FLANAGAN STOVER, CLERK OF THE TOWN OF NANTUCKET, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE."

TOWN CLERK

Nantucket Planning Board
APPROVAL UNDER THE SUBDIVISION CONTROL LAW REQUIRED

Barry Rector, Chairman _____

Linda Williams, Vice Chairman _____

Nathaniel Lowell _____

Joseph Marchlinger _____

John McLaughlin _____

DATE APPROVED: _____

DATE ENDORSED: _____

PLANNING BD. FILE No.: 7904

BEING A SUBDIVISION OF LOT B SHOWN ON A PLAN AS PLANNING BD. FILE No.: 7877

NO.	DATE	DESCRIPTION	BY
1	1-06-16	REV. PER ENGINEERING REVIEW	LCA

OWNER INFORMATION

DAVID FREDERICKS
DEED BK.:1503 PG.:203
PLAN No.15, LOT 123
ASSESSOR'S MAP 55, PARCEL 212
#7 NEWTOWN ROAD

LEO25/#149
V:\DRAWFILES\B8126\AR (Restored) 11-12-2015 00:53.dwg 1/6/2016 12:35:44 PM EST

PLANNING BOARD ENDORSEMENT DOES NOT CONSTITUTE A DETERMINATION OF CONFORMANCE UNDER ZONING.

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

Leo C. Asadorian
PROFESSIONAL LAND SURVEYOR DATE

BLACKWELL & ASSOCIATES, Inc.
PROFESSIONAL LAND SURVEYORS & CIVIL ENGINEERS

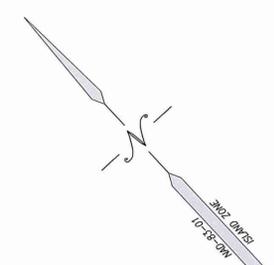
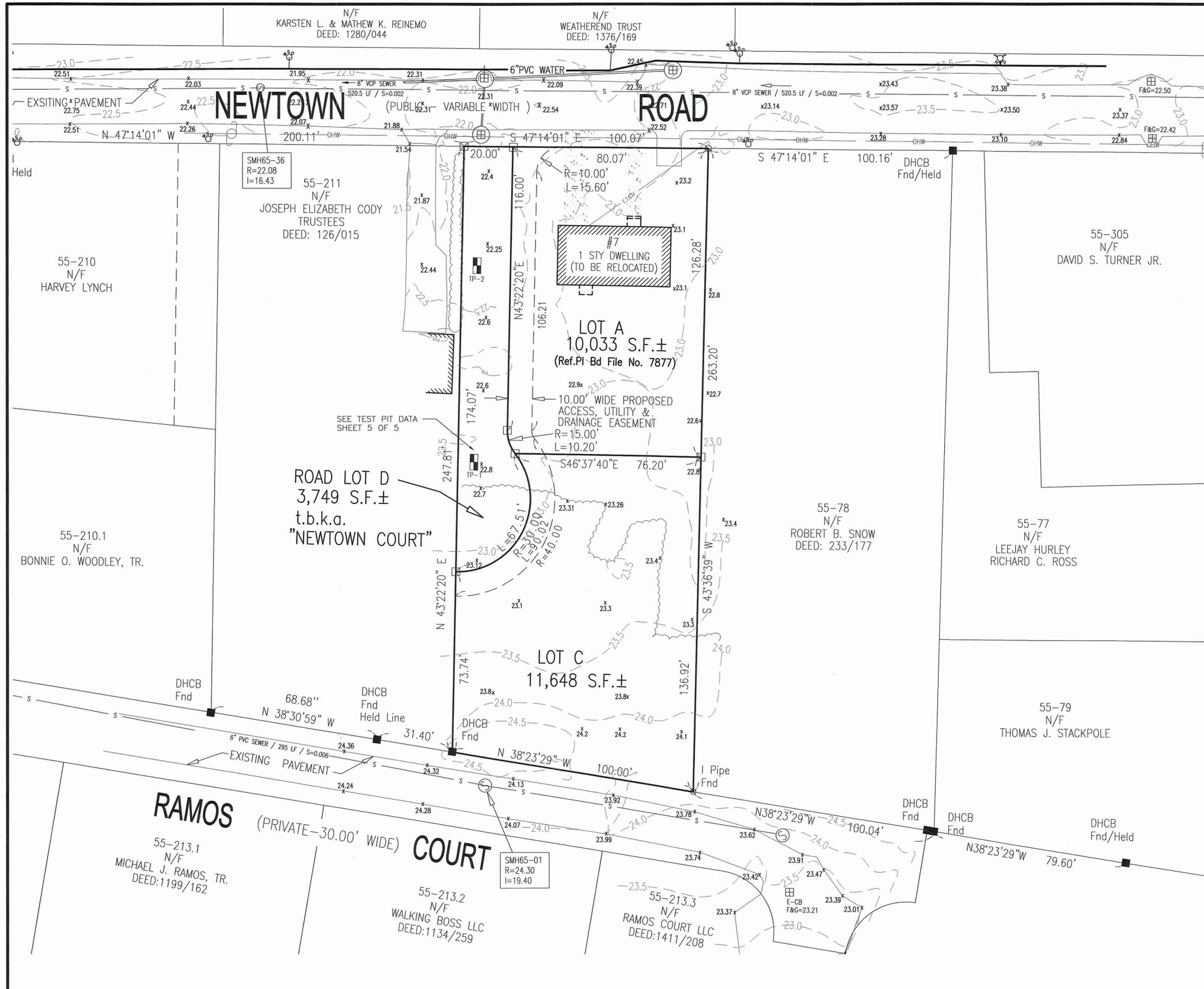
20 TEASDALE CIRCLE
NANTUCKET, MASSACHUSETTS 02554
(508) 228-9026
www.blackwellsurvey.com

DEFINITIVE SUBDIVISION PLAN
NEWTOWN COURT
in Nantucket, MA
Prepared for
DAVID FREDERICKS

Scale: 1"=20' Date: NOVEMBER 16, 2015

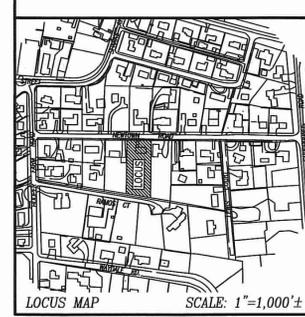
Design/Drawn by: LCA
Approved by: LCA

SHEET 1 OF 6 B-8126



CURRENT ZONING CLASSIFICATION:
Residential 10 (R-10)

MINIMUM LOT SIZE: 10,000 S.F.
MINIMUM FRONTAGE: 75 FT.
FRONT YARD SETBACK: 20 FT. (15 FT)
REAR/SIDE SETBACK: 10 FT. (5 FT)
GROUND COVER % : 25%



SITE ANALYSIS INFORMATION:

WETLANDS: NO WETLANDS APPEAR ON SITE OR WITHIN 100 FEET OF THE PREMISES.

AREAS of SPECIAL FLOOD HAZARD: CURRENT FEMA MAPPING (JUNE 14, 2015) INDICATES THAT THE SITE DOES NOT LIE IN A FLOOD HAZARD ZONE.

AREAS with SEVERE LIMITATIONS for On-Site Sewerage Systems: NOT APPLICABLE. SITE WITH CONNECT TO THE TOWN OF NANTUCKET SANITARY SEWERAGE SYSTEM.

AREAS with Severe Limitations Due to Seasonal High Water Table: U.S.D.A.'s Soils Report does not indicate the subject property is subject to Seasonal High Table. Blackwell & Associates, conducted our own soil evaluation with the installation of two (2) Deep Observation Holes on 11-3-15. No evidence of Redoximorphic features were observed.

AREAS where SPECIAL DRAINAGE, EROSION and SEDIMENTATION MEASURES will be required: THE SITE IS GENERALLY FLAT, 1% OR LESS FROM SOUTH TO NORTH. RUNOFF DURING CONSTRUCTION NOT A CONCERN, BUT ALL BASINS WILL HAVE FILTER FABRIC INSERTED INTO THE FRAME & GRATES UNTIL SUCH TIME A SUITABLE VEGETATIVE GROWTH HAS ESTABLISHED ITSELF.

PREDOMINANT VEGETATIVE COVER TYPE: EXISTING TRACT CURRENTLY CONTAINS ABOUT TWO-THIRDS LAWN AREA ON THE NORTHERN END AND EXISTING CEDAR TREES ON THE SOUTHERN ONE-THIRD OF THE PARCEL. APPLICANT WILL MAINTAIN AS MUCH OF THE PERIMETER VEGETATION AS POSSIBLE.

PROTECTED AREAS: SINCE THE PARCEL WILL BE FURTHER "DIVIDED" USING THE SPECIAL PERMIT FILING FOR SECONDARY RESIDENTIAL COVENANT LOT, THE MAJORITY OF THE SITE WILL BE UTILIZED. ROADWAY LAYOUT, ZONING SETBACKS, PROPOSED EASEMENT ALONG THE SITES FRONTAGE OF NEWTOWN COURT WILL ALLOW SOME BUFFERING OF THE SITE FROM THE ABUTTING PROPERTIES.

SOIL TEST-PIT LOGS		
PERFORMED BY: L. ASADOORIAN CSE#SE44 - Blackwell & Assoc. TEST DATE: NOVEMBER 3, 2015		
TP-1 Elev Top of Hole: 22.8		
DEPTH (Inches)	Soil Horizon/Layer	DESCRIPTION
0-12	A	LOAMY SAND 10R 3/2 (TOP SOIL)
12-32	B	LOAMY SAND 7.5YR 6/8 (SUBSOIL)
32-120	C	MED-FINE SAND, 10YR 6/4, NO TRACE OF STONES
NO GROUNDWATER ENCOUNTERED		
TP-2 Elev Top of Hole: 22.4		
DEPTH (Inches)	Soil Horizon/Layer	DESCRIPTION
0-12	A	LOAMY SAND 10R 3/2 (TOP SOIL)
12-32	B	LOAMY SAND 7.5YR 5/6 (SUBSOIL)
32-120	C	MED-FINE SAND, 10YR 6/4, NO TRACE STONES
NO GROUNDWATER ENCOUNTERED		

LOTS SHOWN HEREON ARE SUBJECT TO A COVENANT DATED: _____ AND RECORDED IN REGISTRY OF DEEDS BOOK: _____ PG.: _____

Nantucket Planning Board

APPROVAL UNDER THE SUBDIVISION CONTROL LAW REQUIRED

Barry Rector, Chairman
Linda Williams, Vice Chairman
Nathaniel Lowell
Joseph Marcklinger
John McLaughlin

DATE APPROVED: _____
DATE ENDORSED: _____
PLANNING BD. FILE No.: 7904

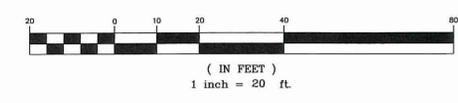
DATE: _____

"I, CATHERINE FLANAGAN STOVER, CLERK OF THE TOWN OF NANTUCKET, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE."

TOWN CLERK

NO.	DATE	DESCRIPTION	BY
1	1-06-16	REV. PER ENGINEERING REVIEW	LCA

OWNER INFORMATION
DAVID FREDERICKS
DEED BK.:1503 PG.:203
PLAN No.15, LOT 123
ASSESSOR'S MAP 55, PARCEL 212
#7 NEWTOWN ROAD



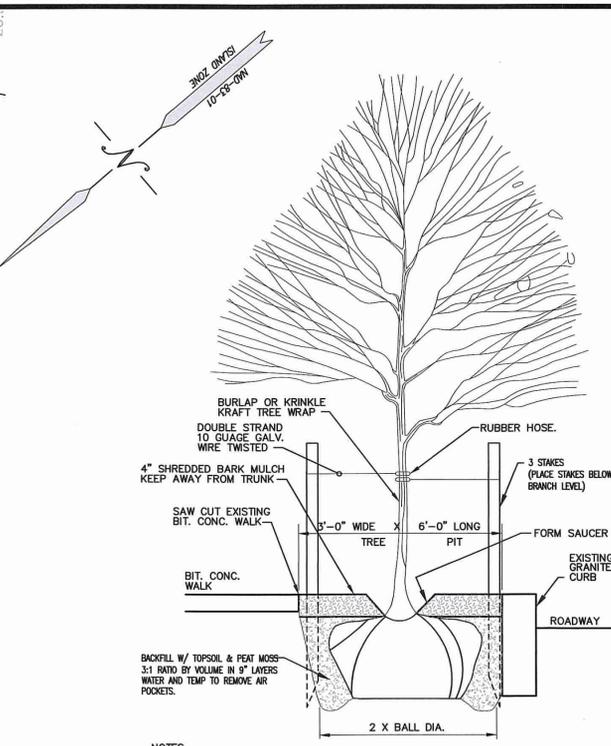
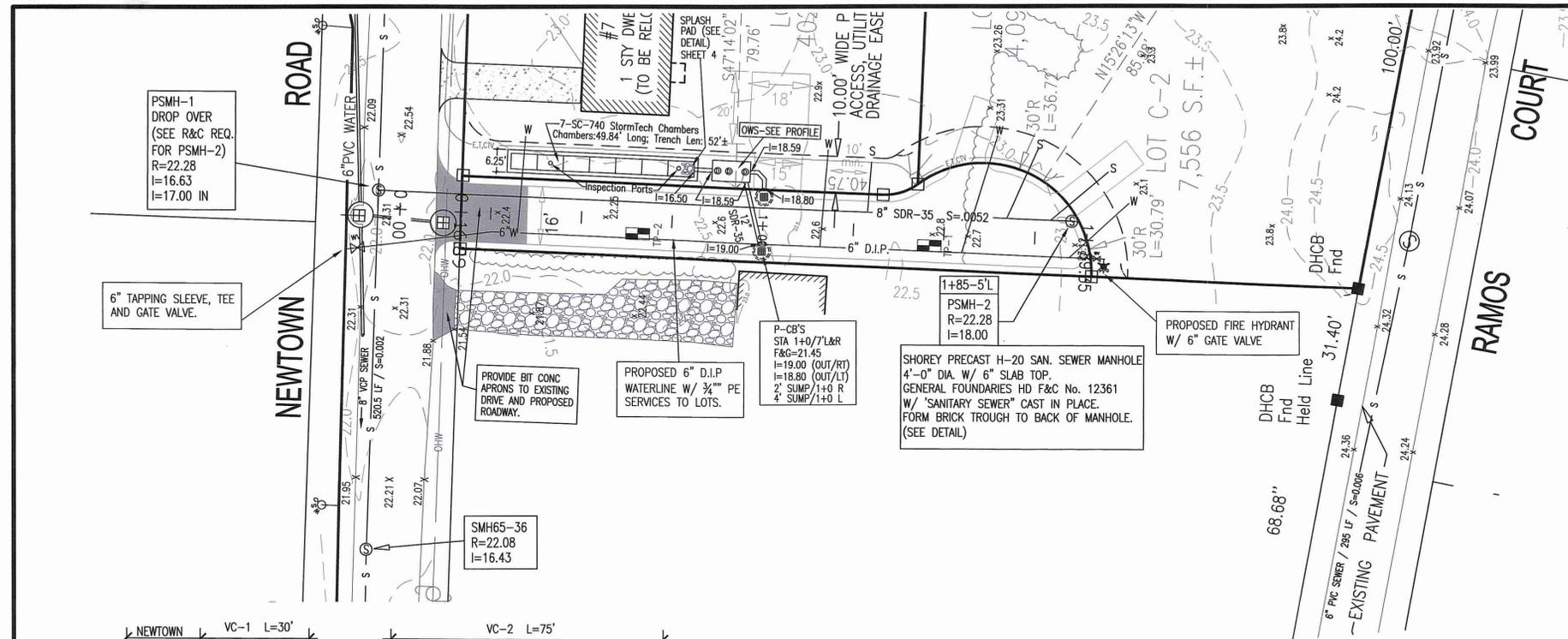
BLACKWELL & ASSOCIATES, Inc.
PROFESSIONAL LAND SURVEYORS & CIVIL ENGINEERS
20 TEASDALE CIRCLE
NANTUCKET, MASSACHUSETTS 02554
(508) 228-9026
www.blackwellsurvey.com

TOPOGRAPHIC & SITE ANALYSIS PLAN
NEWTOWN COURT
in Nantucket, MA
Prepared for
DAVID FREDERICKS

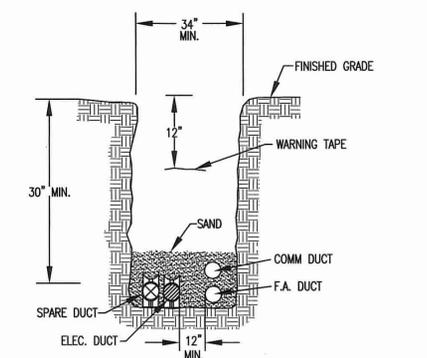
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Design/Drawn by: LCA
Approved by: LCA

Date: NOVEMBER 7, 2015
SHEET 2 OF 6 B-8126

LFO25/#149
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- ### LEGEND
- ELECTRIC TRANS. PAD
 - ELECTRIC HAND HOLE
 - △ TELEPHONE PED.
 - TELEPHONE WIRE TERMINAL
 - ▲ CABLE TV PED.
 - FA FIRE ALARM CALL BOX
 - EXISTING CONTOUR
 - PROPOSED CONTOUR



- NOTES:
- REMOVE ALL CONTAINERS, BASKETS, BURLAP, ETC., FROM ROOT BALL.
 - STAKING AND FLAGGING AS REQUIRED.
 - PLANT SO THAT TOP OF ROOT BALL IS EVEN WITH THE FINISHED GRADE.
 - LARGE-GROWING 4" TRUNK DIAMETER, CALIPER 1" ABOVE GROUND.
 - TREE SPECIES ARE TO COMPLY WITH THOSE LISTED IN THE MANHOLET PLANNING BOARD REGULATIONS.

TREE PLANTING - GUYING DETAIL
NOT TO SCALE

TYPICAL CONDUIT TRENCH
NOT TO SCALE

LOTS SHOWN HEREON ARE SUBJECT TO A COVENANT DATED: _____ AND RECORDED IN REGISTRY OF DEEDS BOOK: _____ PG.: _____

DATE: _____

"I, CATHERINE FLANAGAN STOVER, CLERK OF THE TOWN OF NANTUCKET, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE."

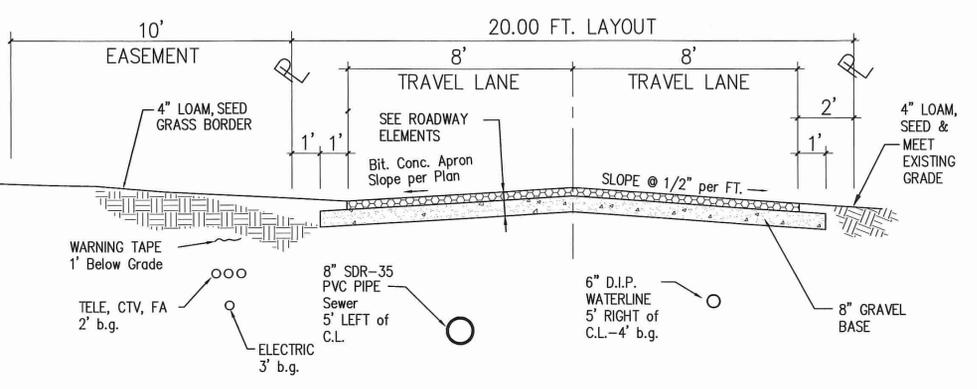
TOWN CLERK

Nantucket Planning Board

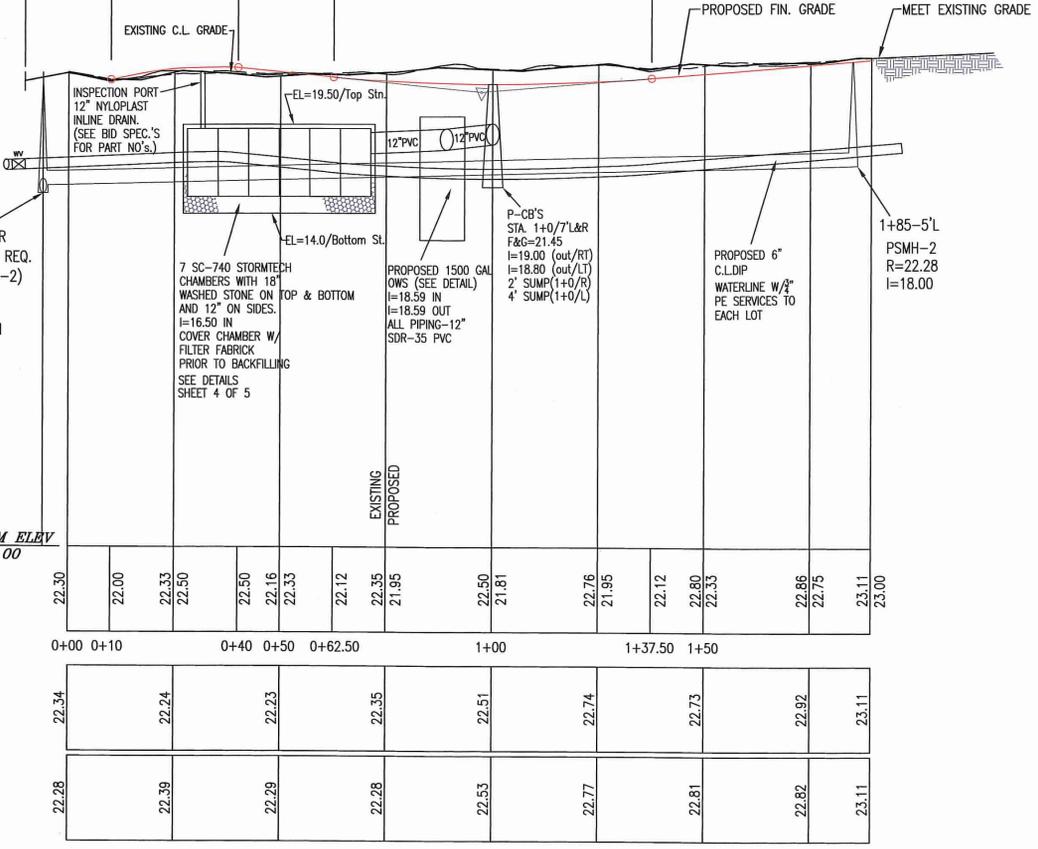
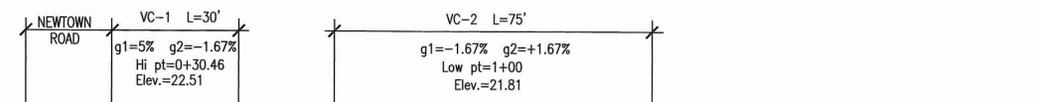
APPROVAL UNDER THE SUBDIVISION CONTROL LAW REQUIRED

Barry Rector, Chairman
Linda Williams, Vice Chairman
Nathaniel Lowell
Joseph Marcklinger
John McLaughlin
DATE APPROVED: _____
DATE ENDORSED: _____
PLANNING BD. FILE No.: 7904

Sieve Designation	Percent Passing
3" in.	100
1 1/2 in.	75-100
1/4 in.	50-85
No. 4	30-60
No. 200	0-10



TYPICAL ROADWAY CROSS-SECTION
"NEWTOWN COURT"
NOT TO SCALE



PLAN & PROFILE NEWTOWN COURT
HORIZ 1"=20' VERT 1"=4'

OWNER INFORMATION
DAVID FREDERICKS
DEED BK.:1503 PG.:203
PLAN No.15, LOT 123
ASSESSOR'S MAP 55, PARCEL 212
#7 NEWTOWN ROAD

LE025/#149
V:\DRAWFILES\B8126\AR (Restored) 11-12-2015 00:53.dwg 1/6/2016 11:24:13 PM EST



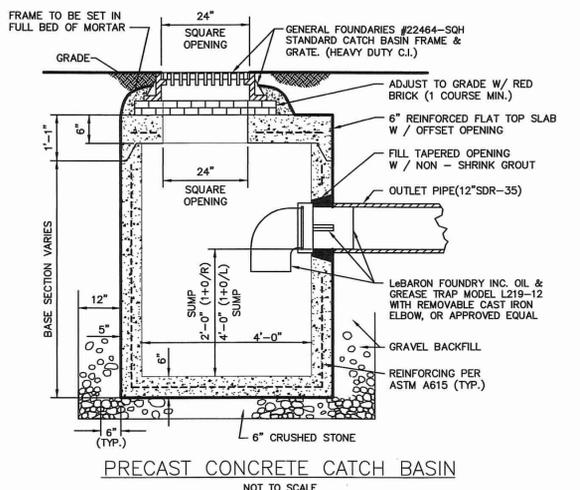
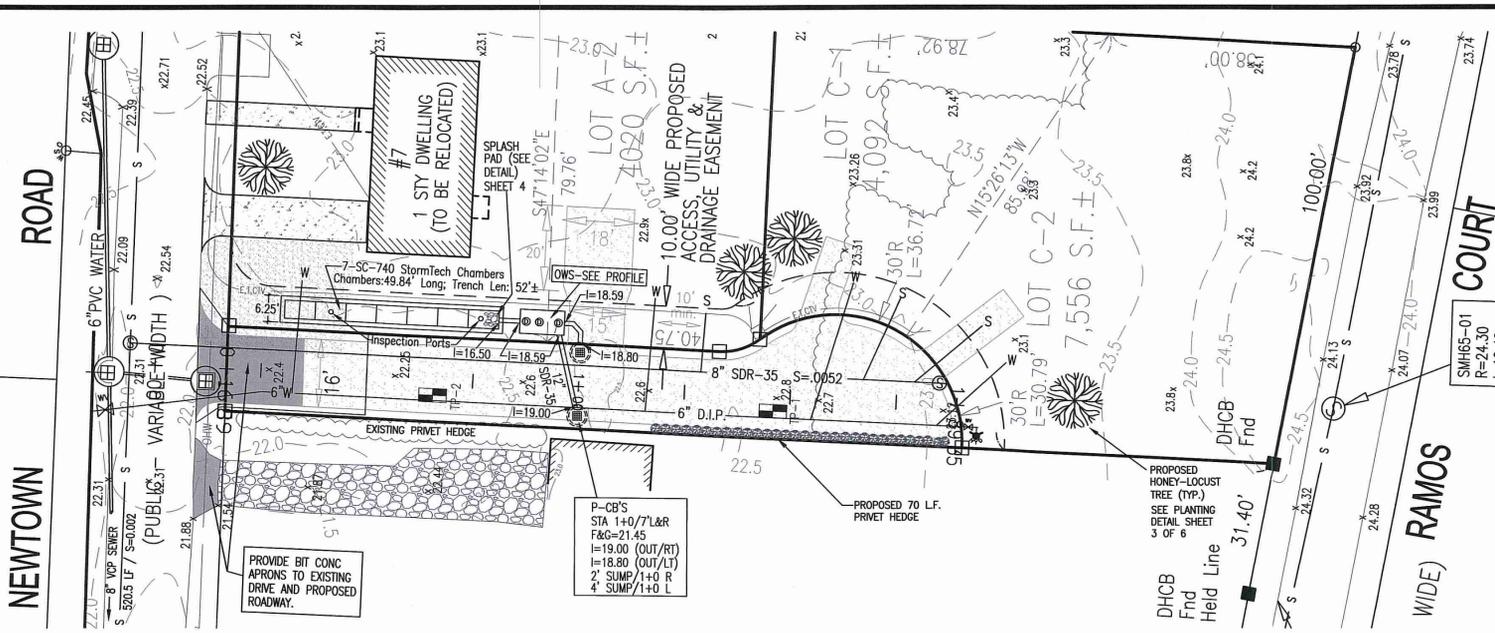
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20 TEASDALE CIRCLE
NANTUCKET, MASSACHUSETTS 02554
(508) 228-9026
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PLAN and PROFILE / DETAILS NEWTOWN COURT

in Nantucket, MA
Prepared for
DAVID FREDERICKS

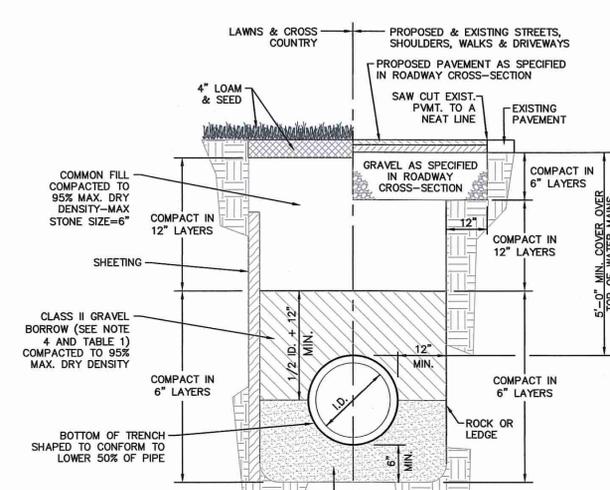
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Design/Drawn by: LCA/EMM
Approved by: LCA
SHEET 3 OF 6 B-8126

NO.	DATE	DESCRIPTION	BY
1	1-06-16	REV. PER ENGINEERING REVIEW	LCA



PRECAST CONCRETE CATCH BASIN
NOT TO SCALE

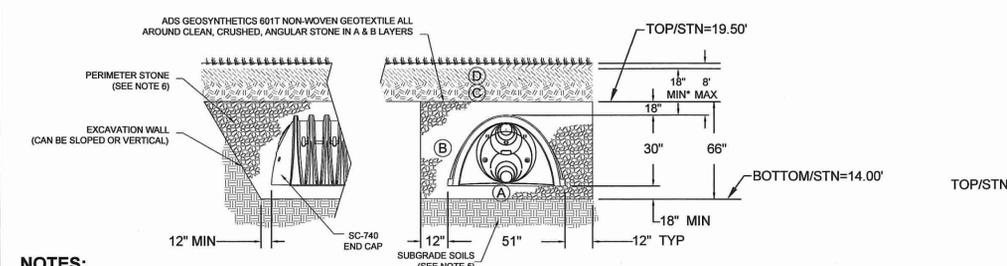
NOTES:
1. PRECAST REINFORCED CONCRETE DESIGN SHALL BE CERTIFIED FOR H-20 LOADING.
2. FILL OUTSIDE FACE OF ALL MANHOLE JOINTS WITH NON-SHRINK MORTAR.
3. ALL JOINTS TO HAVE "KENT SEAL" OR EQUAL.



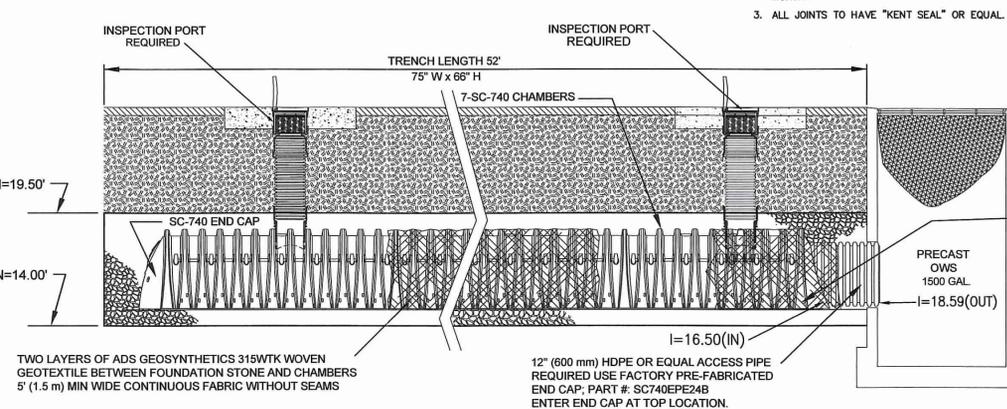
TYPICAL PLASTIC PIPE TRENCH DETAIL
NOT TO SCALE

TABLE 1
NOMINAL PIPE SIZE (IN.) MAXIMUM STONE SIZE (IN.)
2 TO 4 1/2
6 TO 8 3/4
10 TO 16 1
18 AND LARGER 1-1/2

- NOTES:
1. SHEETING IF USED, IN ALL CASES SHALL BE LEFT IN PLACE BELOW A LINE 1'-0" ABOVE THE TOP OF THE PIPE, UNLESS OTHERWISE INDICATED OR DIRECTED.
2. "COVER" AT ANY POINT SHALL BE DEFINED AS THE VERTICAL DISTANCE FROM THE UNDERMOST POINT OF THE PIPE TO A LINE WHICH CONNECTS THE SURFACE OF UNDISTURBED GROUND AT EITHER SIDE OF THE TRENCH AND IS AT RIGHT ANGLES TO THE DIRECTION OF THE PIPE.
3. SCREENED GRAVEL SHALL BE HARD, DURABLE, ROUNDED PARTICLES, FREE FROM SAND, LOAM, CLAY, EXCESS FINES AND DELETERIOUS MATERIAL, UNIFORMLY GRADED SUCH THAT NOT LESS THAN 95% WILL PASS A 1/2 INCH SIEVE AND NOT MORE THAN 5% PASS A NO. 4 SIEVE.
4. CLASS II GRAVEL BORROW (SEE NOTE 4 AND TABLE 1) COMPACTED TO 95% MAX. DRY DENSITY. THE MIXTURE SHOULD CONTAIN LESS THAN 5% PASSING THE #200 SIEVE AS WELL AS COMPLYING TO THE REQUIREMENTS OF TABLE 1.
5. WHERE FUTURE EXTENSION OF A PLUGGED PIPE OR A PLUGGED BRANCH WILL ENTAIL ROCK EXCAVATION, TRENCH EXCAVATION IN ROCK SHALL BE EXTENDED FOR A DISTANCE OF 5'-0" BEYOND THE PLUG.



- NOTES:**
- SC-740 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS", OR ASTM F2922 "STANDARD SPECIFICATION FOR POLYETHYLENE (PE) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
 - SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F287 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
 - "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
 - THE "SITE DESIGN ENGINEER" REFERS TO THE ENGINEER RESPONSIBLE FOR THE DESIGN AND LAYOUT OF THE STORMTECH CHAMBERS FOR THIS PROJECT.
 - THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
 - PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
 - ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.
- PLEASE NOTE:
1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTIONED IN 6" (150 mm) MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.

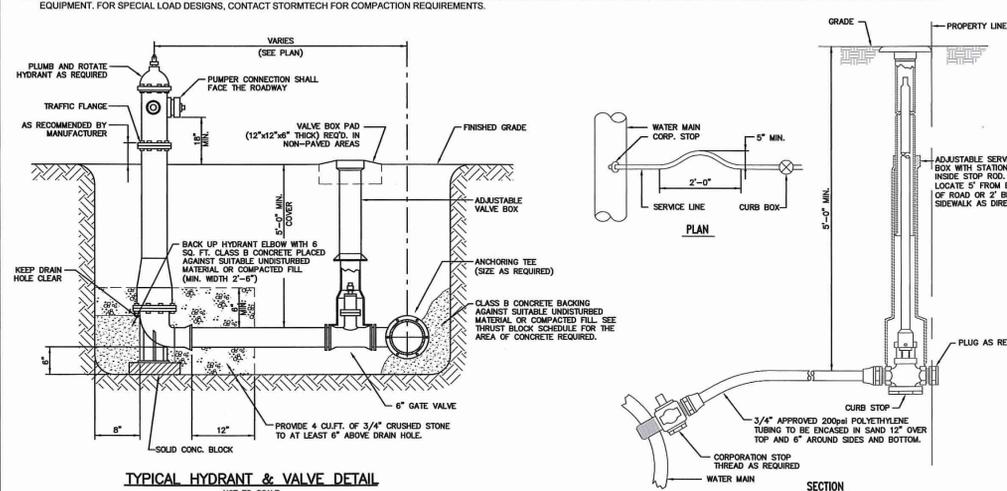


SC-740 ISOLATOR ROW DETAIL
NTS

TWO LAYERS OF ADS GEOSYNTHETICS 315WTK WOVEN GEOTEXTILE BETWEEN FOUNDATION STONE AND CHAMBERS 5" (1.5 mm) MIN WIDE CONTINUOUS FABRIC WITHOUT SEAMS

12" (600 mm) HDPE OR EQUAL ACCESS PIPE REQUIRED USE FACTORY PRE-FABRICATED END CAP, PART # SC740EPEZ4B ENTER END CAP AT TOP LOCATION.

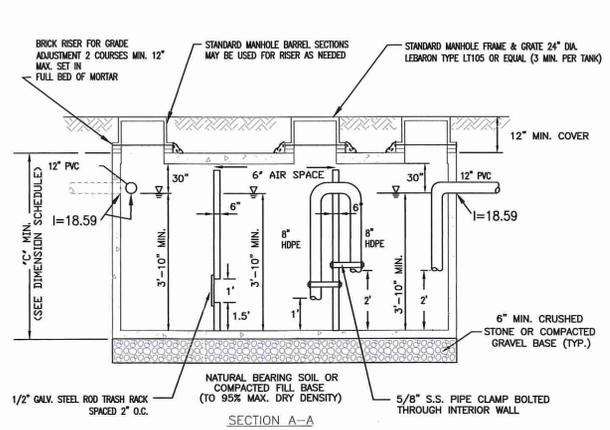
PROVIDE STONE SPLASH PAD BELOW INLET TO CONTROL SCOURING. 5"-10" RIPRAP, MIN LEN 4 FEET BEYOND INLET PIPE.



TYPICAL HYDRANT & VALVE DETAIL
NOT TO SCALE

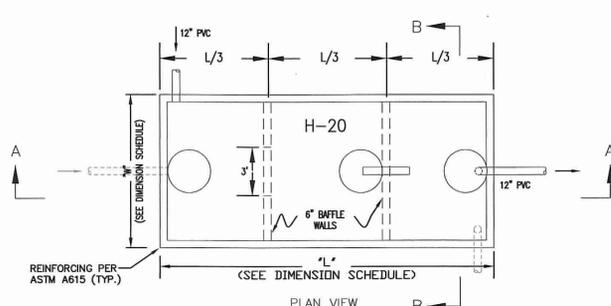
NOTE: HYDRANT AND GATE VALVE TO BE ROODED TO ANCHOR TEE.

TYPICAL SERVICE CONNECTION
NOT TO SCALE



TRIPLE CHAMBER OIL WATER SEPARATOR TANK
NOT TO SCALE

NOTES:
1. PRECAST REINFORCED CONCRETE DESIGN SHALL BE CERTIFIED FOR H-20 LOADING.
2. OIL AND GAS SEPARATOR INTERIOR COMPONENTS ARE TO BE CONSTRUCTED AS SHOWN.
3. USE SCITUATE RAY PRECAST MODEL LISTED BELOW H-20 TANK OR APPROVED EQUAL.



TANK DIMENSION SCHEDULE

TANK DIMENSION SCHEDULE	"C" MIN.	"W"	"L"
1500 GAL.	5'-10"	5'-8"	10'-6"

DATE: _____

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TOWN CLERK

Nantucket Planning Board
APPROVAL UNDER THE SUBDIVISION CONTROL LAW REQUIRED

Barry Rector, Chairman
Linda Williams, Vice Chairman
Nathaniel Lowell
Joseph Marcklinger
John McLaughlin

DATE APPROVED: _____
DATE ENDORSED: _____
PLANNING BD. FILE No.: 7904

OWNER INFORMATION
DAVID FREDERICKS
DEED BK.:1503 PG.:203
PLAN No.15, LOT 123
ASSESSOR'S MAP 55, PARCEL 212
#7 NEWTOWN ROAD

LEO25/1149
V:\DRAWFILES\B8126\AR (Restored) 11-12-2015 00:53.dwg 1/6/2016 1:01:14 PM EST



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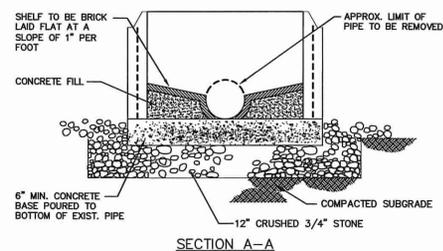
DETAILS, NOTES & LANDSCAPING PLAN
in Nantucket, MA
Prepared for
DAVID FREDERICKS

Scale: 1"=20'
Design/Drawn by: LCA
Approved by: ADG/LCA
Date: NOVEMBER 16, 2015
SHEET 4 OF 6 B-8126

NO.	DATE	DESCRIPTION	BY
1	1-06-16	REV. PER ENGINEERING REVIEW	LCA

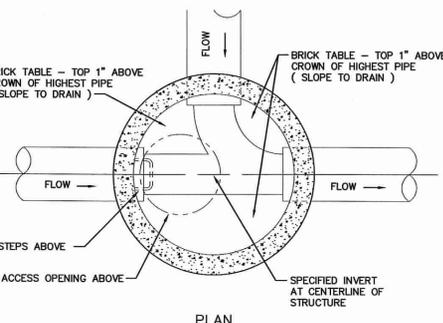
GENERAL NOTES

- 1) All construction shall comply with specifications of the Nantucket Planning Board as printed in their Rules and Regulations as amended through Dec. 20, 1999. Contractor shall notify Planning Board for required inspections as per Section 6 (VI).
- 2) The contractor(s) shall notify the Design Engineer / Surveyor for proper location of proposed utilities and improvements prior to construction.
- 3) It is the responsibility of the contractor to place proposed structures in the required location as shown on the plans approved by the Nantucket Planning Board.
- 4) The contractor shall provide for the safe and orderly passage of traffic and pedestrians in areas under construction.
- 5) Areas outside limits of work disturbed by the contractor during construction will be restored to their original condition at the expense of the contractor.
- 6) Removal of trees and/or hedges in areas adjacent to the proposed travel way is to be done only upon direction of the engineer and after verification of the location of the back of proposed work, by the contractor.
- 7) The contractor shall be responsible for all disturbed areas until a suitable vegetative growth has been established.
- 8) Contractor shall review drainage structure requirements with design engineer prior to ordering materials. Structures shall comply with details approved on plans.
- 9) All streets shall be graded by removal of all existing brush, stumps, and topsoil below the finish grade, to a width occupied by the roadway plus an additional four (4) feet on each side or extending outward to the toe of the slope in fill areas, whichever is greater. Any loam, peat, or other material not considered suitable as a sub-base shall be excavated and replaced with a structural grade material.
- 10) Driveway aprons to be constructed with same gravel specifications of roadway materials.
- 11) Electric transformer vaults to be Fruean #FE-1, #FE-2 or equal. Handholes to have RIM 28-4 connector blocks or equal. Contractor to supply all primary cable terminators.
- 12) It is the responsibility of the contractor to record in note form (preferably in a survey field notebook) the location of all utilities installed when surveyors are not at job site. These notes will be utilized for the preparation of required As-Builts.
- 13) The contractor must preserve all grade stakes set by surveyors, so that the surveyors and the Town of Nantucket roadway engineers may inspect final grading. The contractor will be responsible for payment to have these stakes placed again.
- 14) Under no circumstances shall the contractor remove any tree without approval of the surveyor and/or owner. The cost of replacing such trees shall be paid by the contractor.
- 15) No variation to these plans may be undertaken without written authorization by the Design Engineer. Design engineer must be notified if field revisions are required.



SECTION A-A
DETAIL OF PRECAST CONCRETE SMH
CONSTRUCTED ON EXIST. SEWER LINE
NOT TO SCALE

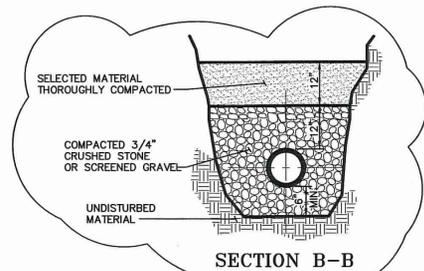
- NOTES:
1. PRECAST REINFORCED CONCRETE DESIGN SHALL BE CERTIFIED FOR H-20 LOADING.
 2. USE FLAT TOP H20 LOADING SLAB WHEN HEIGHT OF CONE SECTION IS LESS THAN 2'-0".
 3. FILL OUTSIDE FACE OF ALL MANHOLE JOINTS WITH NON-SHRINK MORTAR.
 4. ALL JOINTS TO HAVE "KENT SEAL" OR EQUAL.
 5. PROVIDE SUPPORT FOR EXISTING SEWER PIPE WHEN POURING CONCRETE BASE.



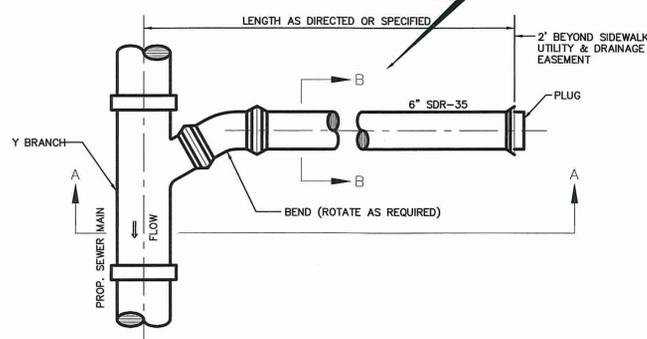
PLAN

- NOTES:
1. ALL JOINTS TO HAVE "KENT SEAL" OR EQUAL.
 2. PRECAST REINFORCED CONCRETE MANHOLE BARRELS TO BE PER ASTM A185 W/ 4000 PSI TYPE II CEMENT. DESIGN LOADING PER AASHTO HS20-44.

SOIL TEST-PIT LOGS		
PERFORMED BY: L. ASADORIAN CSE#SE44 - Blackwell & Assoc. TEST DATE: NOVEMBER 3, 2015		
TP-1 Elev Top of Hole: 22.8		
DEPTH (Inches)	Soil Horizon/Layer	DESCRIPTION
0-12	A	LOAMY SAND 10R 3/2 (TOP SOIL)
12-32	B	LOAMY SAND 7.5YR 6/8 (SUBSOIL)
32-120	C	MED-FINE SAND, 10YR 6/4, NO TRACE OF STONES
NO GROUNDWATER ENCOUNTERED		
TP-2 Elev Top of Hole: 22.4		
DEPTH (Inches)	Soil Horizon/Layer	DESCRIPTION
0-12	A	LOAMY SAND 10R 3/2 (TOP SOIL)
12-32	B	LOAMY SAND 7.5YR 5/6 (SUBSOIL)
32-120	C	MED-FINE SAND, 10YR 6/4, NO OF TRACE STONES
NO GROUNDWATER ENCOUNTERED		

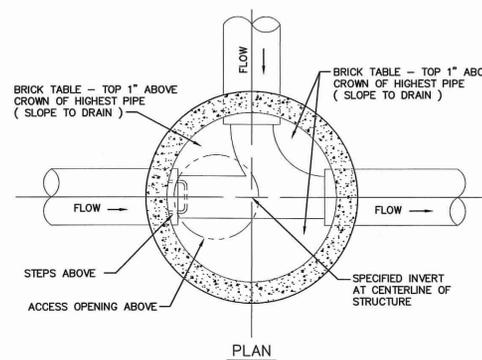


SECTION B-B



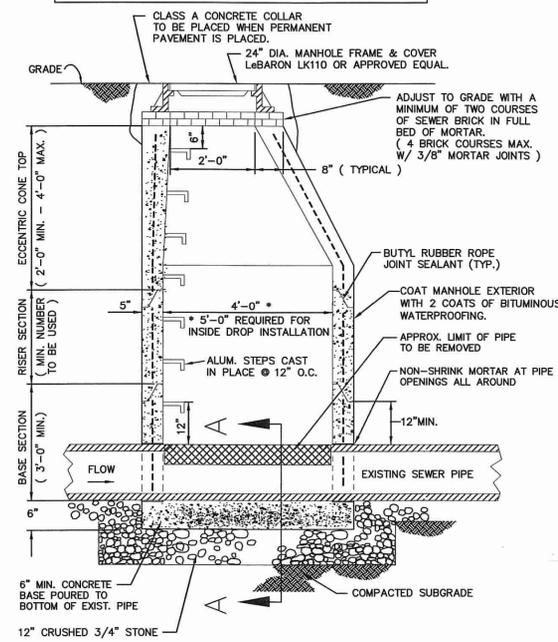
SECTION A-A

BUILDING SEWER CONNECTIONS FOR P.V.C. PIPE
NOT TO SCALE



PLAN

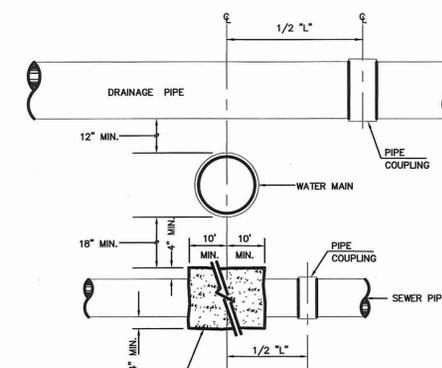
- NOTES:
1. ALL JOINTS TO HAVE "KENT SEAL" OR EQUAL.
 2. PRECAST REINFORCED CONCRETE MANHOLE BARRELS TO BE PER ASTM A185 W/ 4000 PSI TYPE II CEMENT. DESIGN LOADING PER AASHTO HS20-44.



SECTION A-A

DETAIL OF PRECAST CONCRETE SMH CONSTRUCTED ON EXIST. SEWER LINE
NOT TO SCALE

- NOTES:
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 2. USE FLAT TOP H20 LOADING SLAB WHEN HEIGHT OF CONE SECTION IS LESS THAN 2'-0".
 3. FILL OUTSIDE FACE OF ALL MANHOLE JOINTS WITH NON-SHRINK MORTAR.
 4. ALL JOINTS TO HAVE "KENT SEAL" OR EQUAL.
 5. PROVIDE SUPPORT FOR EXISTING SEWER PIPE WHEN POURING CONCRETE BASE.



SEWER, WATER AND DRAIN CROSSING DETAIL
NOT TO SCALE

DATE: _____
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Nantucket Planning Board

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Linda Williams, Vice Chairman
Nathaniel Lowell
Joseph Marckinger

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DATE ENDORSED: _____
PLANNING BD. FILE No.: 7904

NO.	DATE	DESCRIPTION	BY
1	1-06-16	REV. PER ENGINEERING REVIEW	LCA

OWNER INFORMATION

DAVID FREDERICKS
DEED BK.:1503 PG.:203
PLAN No.15, LOT 123
ASSESSOR'S MAP 55, PARCEL 212
#7 NEWTOWN ROAD

LE025/#149
V:\DRAWFILES\B8126\AR (Restored) 11-12-2015 00:53.dwg 1/6/2016 10:35:10 AM EST

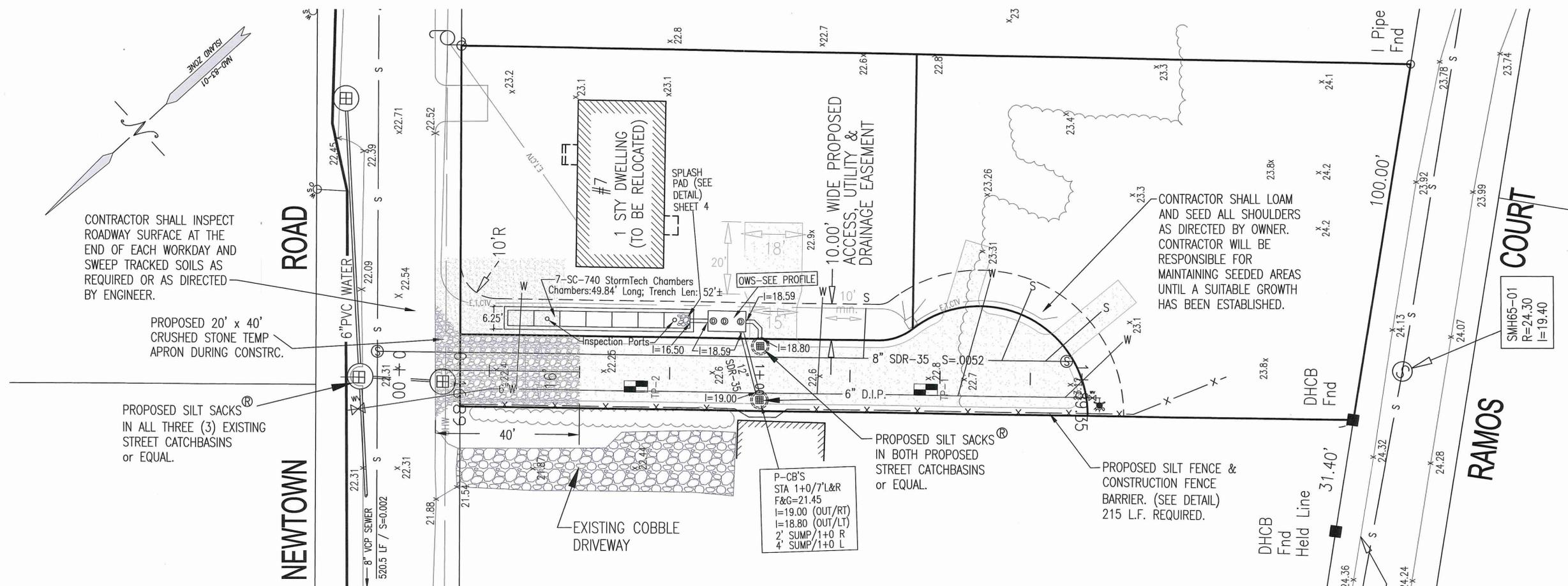


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DETAILS & NOTES
NEWTOWN COURT

Scale: 1"=20'
Design/Drawn by: LCA
Approved by: ADG/LCA

DAVID FREDERICKS
Date: NOVEMBER 16, 2015
SHEET 5 OF 6 B-8126



CONTRACTOR SHALL INSPECT ROADWAY SURFACE AT THE END OF EACH WORKDAY AND SWEEP TRACKED SOILS AS REQUIRED OR AS DIRECTED BY ENGINEER.

PROPOSED 20' x 40' CRUSHED STONE TEMP APRON DURING CONSTR.

PROPOSED SILT SACKS IN ALL THREE (3) EXISTING STREET CATCHBASINS or EQUAL.

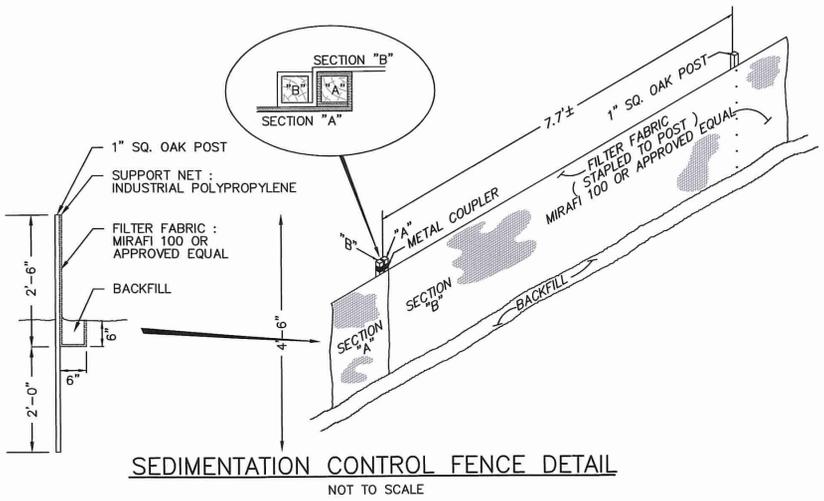
CONTRACTOR SHALL LOAM AND SEED ALL SHOULDERS AS DIRECTED BY OWNER. CONTRACTOR WILL BE RESPONSIBLE FOR MAINTAINING SEEDED AREAS UNTIL A SUITABLE GROWTH HAS BEEN ESTABLISHED.

PROPOSED SILT SACKS IN BOTH PROPOSED STREET CATCHBASINS or EQUAL.

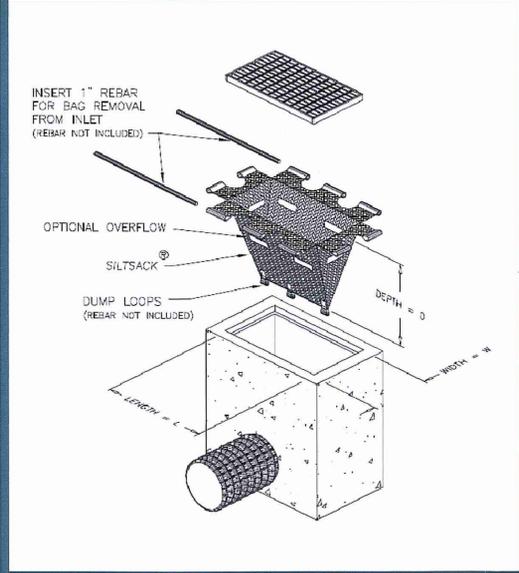
PROPOSED SILT FENCE & CONSTRUCTION FENCE BARRIER. (SEE DETAIL) 215 L.F. REQUIRED.

NEWTOWN COURT

Scale: 1"=15'



Typical Silt sack Construction - Type B



DATE: _____

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TOWN CLERK

Nantucket Planning Board

APPROVAL UNDER THE SUBDIVISION CONTROL LAW REQUIRED

- Barry Rector, Chairman
- Linda Williams, Vice Chairman
- Nathaniel Lowell
- Joseph Marcklinger
- John McLaughlin

DATE APPROVED: _____
 DATE ENDORSED: _____
 PLANNING BD. FILE No.: 7904

OWNER INFORMATION
 DAVID FREDERICKS
 DEED BK.: 1503 PG.: 203
 PLAN No. 15, LOT 123
 ASSESSOR'S MAP 55, PARCEL 212
 #7 NEWTOWN ROAD

LEO25/#149
 V:\DRAWFILES\B8126\AR (Restored) 11-12-2015 00:53.dwg 1/6/2016 10:35:10 AM EST



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 (508) 228-9026
 www.blackwellsurvey.com

EROSION CONTROL PLAN NEWTOWN COURT

in Nantucket, MA
 Prepared for
DAVID FREDERICKS

Scale: 1"=15' Date: NOVEMBER 16, 2015
 Design/Drawn by: LCA
 Approved by: LCA/ADG

SHEET 6 OF 6 B-8126

NO.	DATE	DESCRIPTION	BY
1	1-06-16	REV. PER ENGINEERING REVIEW	LCA

Newtown Court AR Subdivision

Drainage Summary

25-Year Storm Event Details

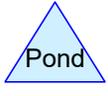
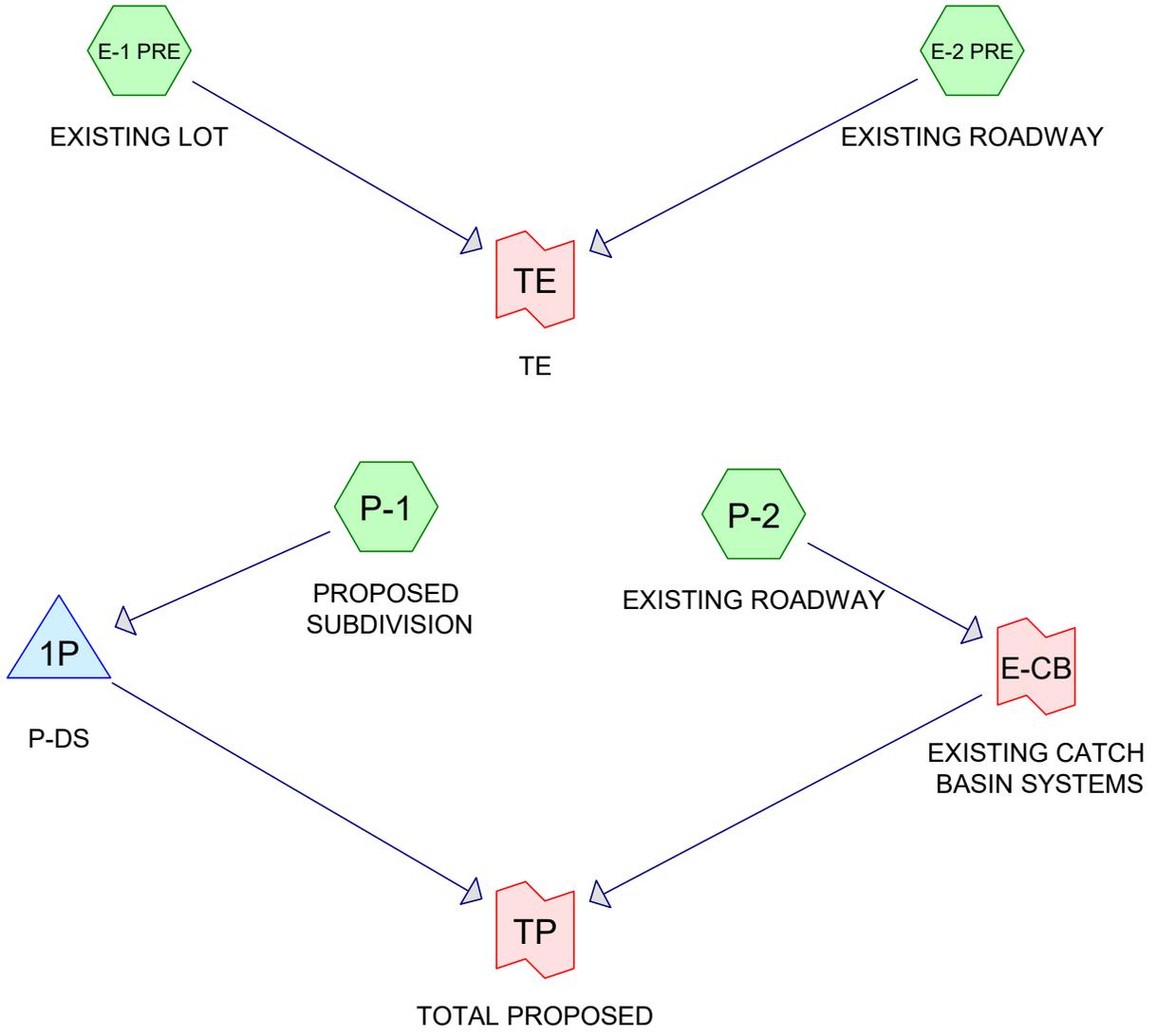
Revised: December 18, 2015

Pre-construction: E-1 PRE = 0.04 cfs
E-2 PRE = 0.82 cfs

Post-construction: P-1 = 0.85 cfs
P-2 = 0.62 cfs

After Infiltration/Storage/Exfiltration: P-1= 0.12 cfs
P-2 = 0.62 cfs
TE = 0.82 cfs
TP = 0.69 cfs
TE > TP

NOTE: EXISTING ROAD DRAINAGE SYSTEM CAPACITY IS UNKNOWN BUT CURRENTLY HANDLES PRE-EXISTING FLOWS



Routing Diagram for NEWTOWN COURT DEVELOPMENT - DRAINAGE CALCS REVISED
Prepared by CLMDC, Printed 12/18/2015
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NEWTOWN COURT DEVELOPMENT - DRAINAGE CA Type III 24-hr 25 YEAR Rainfall=5.80"

Prepared by CLMDC

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Page 2

Summary for Subcatchment E-1 PRE: EXISTING LOT

Runoff = 0.04 cfs @ 12.84 hrs, Volume= 0.011 af, Depth> 0.27"

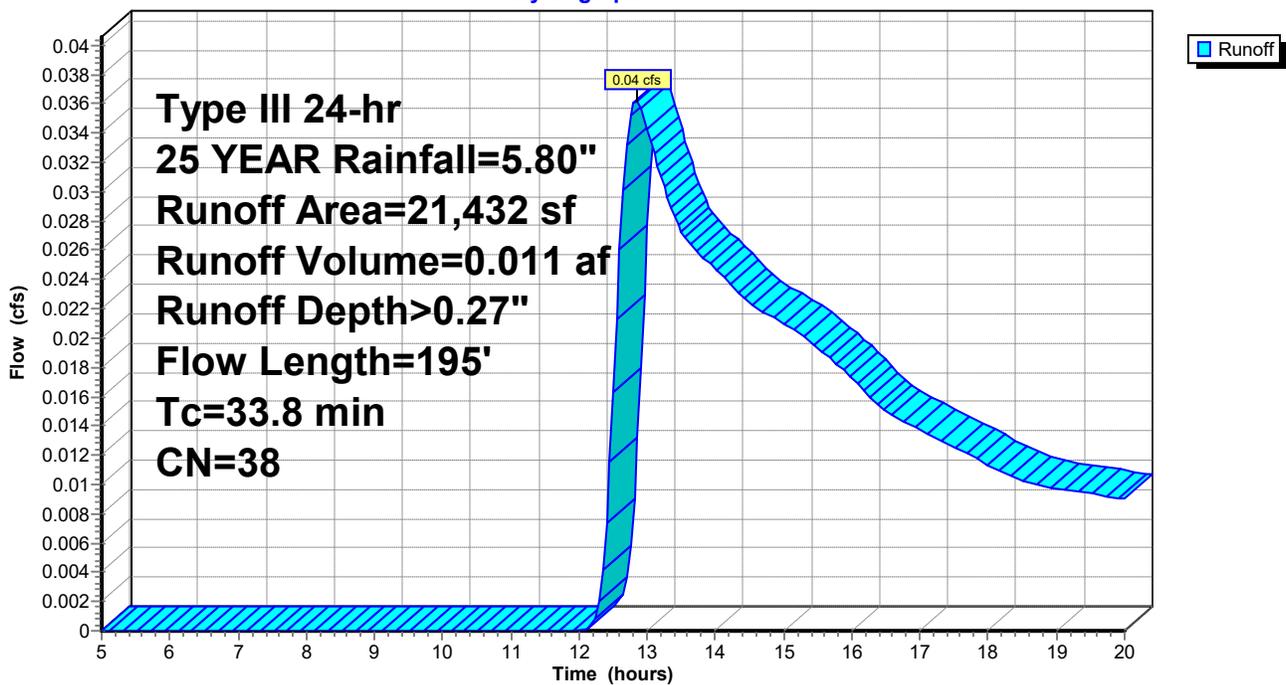
Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr 25 YEAR Rainfall=5.80"

Area (sf)	CN	Description
11,401	39	>75% Grass cover, Good, HSG A
9,280	32	Woods/grass comb., Good, HSG A
557	98	Roofs, HSG A
* 194	76	Shell Driveway
21,432	38	Weighted Average
20,875		97.40% Pervious Area
557		2.60% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
21.4	110	0.0210	0.09		Sheet Flow, Brush & Trees
					Woods: Light underbrush n= 0.400 P2= 3.60"
12.4	85	0.0069	0.11		Sheet Flow, Lawn
					Grass: Short n= 0.150 P2= 3.60"
33.8	195	Total			

Subcatchment E-1 PRE: EXISTING LOT

Hydrograph



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Page 3

Summary for Subcatchment E-2 PRE: EXISTING ROADWAY

[49] Hint: Tc<2dt may require smaller dt

Runoff = 0.82 cfs @ 12.05 hrs, Volume= 0.050 af, Depth> 3.38"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr 25 YEAR Rainfall=5.80"

Area (sf)	CN	Description
3,760	98	Paved roads w/curbs & sewers, HSG A
2,121	39	>75% Grass cover, Good, HSG A
* 221	98	Concrete Walkway
* 398	98	Concrete Walkway 2
* 750	76	Shell Driveway
* 565	98	Roof
7,815	80	Weighted Average
2,871		36.74% Pervious Area
4,944		63.26% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
0.2	10	0.0200	0.92		Sheet Flow, Roadway: peak to side Smooth surfaces n= 0.011 P2= 3.60"
2.6	210	0.0044	1.35		Shallow Concentrated Flow, Roadway-edge Paved Kv= 20.3 fps
2.8	220	Total			

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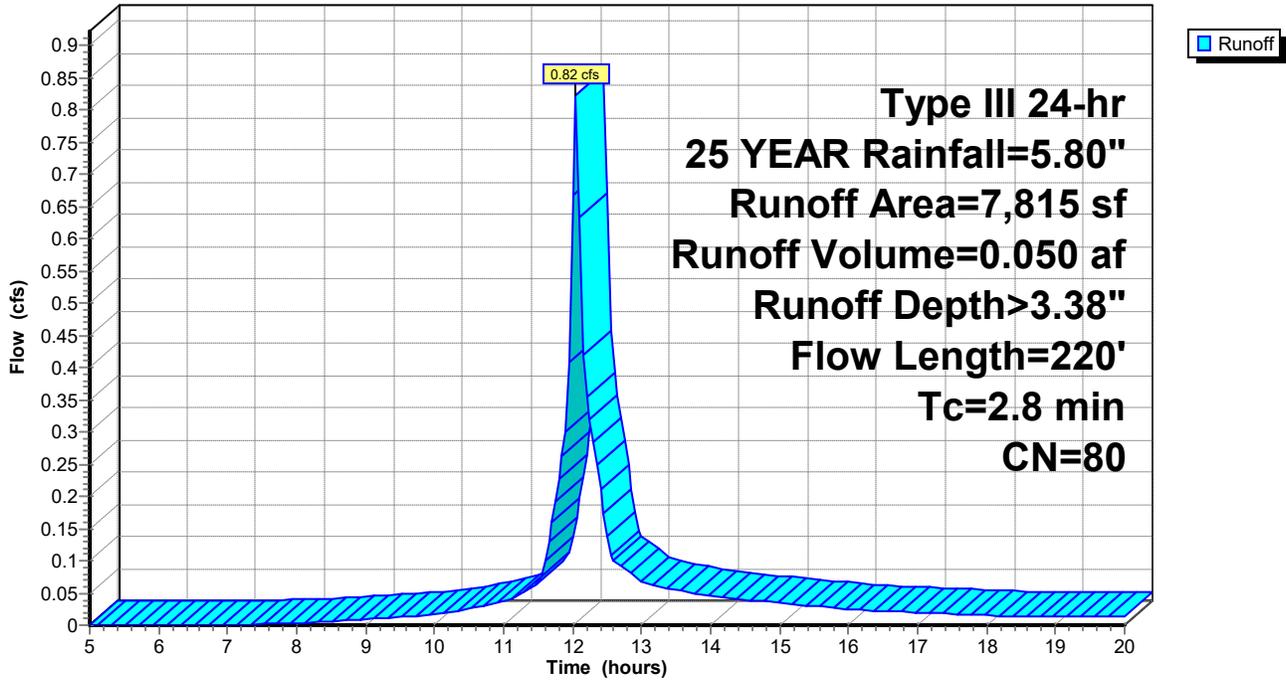
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Page 4

Subcatchment E-2 PRE: EXISTING ROADWAY

Hydrograph



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Page 5

Summary for Subcatchment P-1: PROPOSED SUBDIVISION

Runoff = 0.85 cfs @ 12.21 hrs, Volume= 0.075 af, Depth> 1.63"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr 25 YEAR Rainfall=5.80"

Area (sf)	CN	Description
1,925	98	Roofs, HSG A
980	98	Roofs, HSG A
960	98	Roofs, HSG A
1,162	98	Roofs, HSG A
* 3,915	96	Road-Shell surface, HSG A
15,290	39	>75% Grass cover, Good, HSG A
24,232	60	Weighted Average
19,205		79.25% Pervious Area
5,027		20.75% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
0.1	27	0.7000	4.66		Sheet Flow, Roof peak to grade Smooth surfaces n= 0.011 P2= 3.60"
11.3	100	0.0120	0.15		Sheet Flow, Lawn - bldg to drive Grass: Short n= 0.150 P2= 3.60"
2.4	186	0.0065	1.30		Shallow Concentrated Flow, New Shell Road Unpaved Kv= 16.1 fps
13.8	313	Total			

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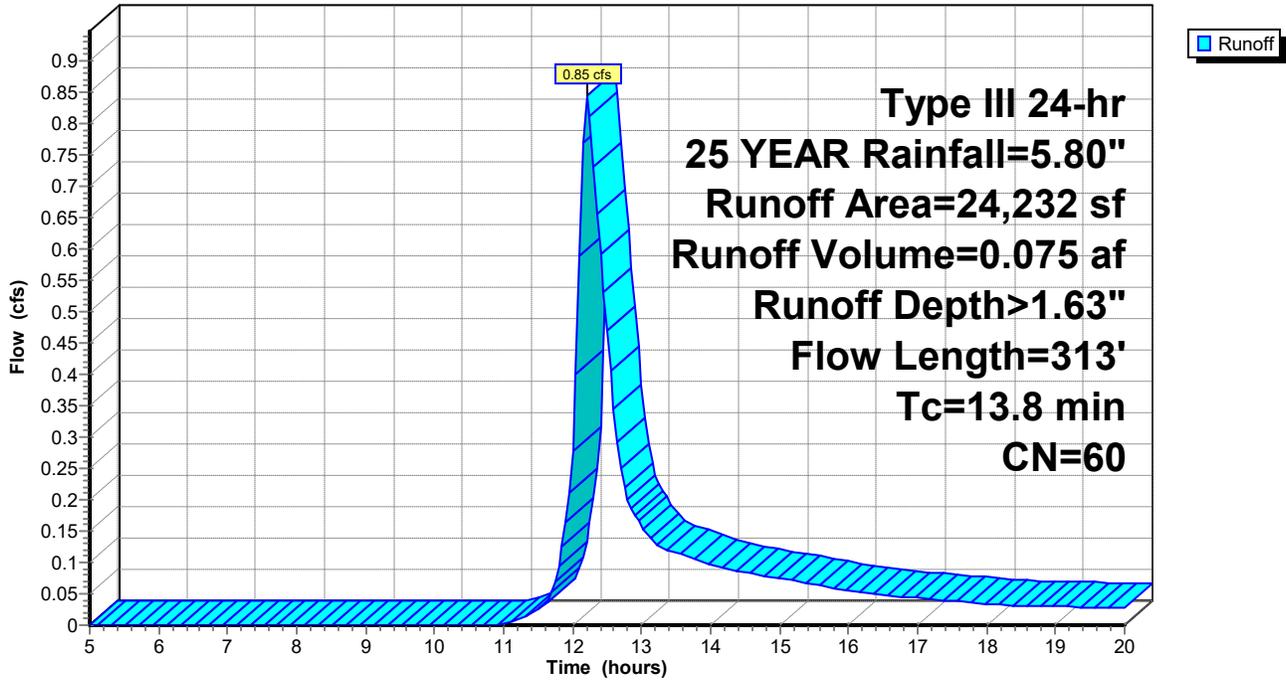
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Page 6

Subcatchment P-1: PROPOSED SUBDIVISION

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Page 7

Summary for Subcatchment P-2: EXISTING ROADWAY

[49] Hint: $T_c < 2dt$ may require smaller dt

Runoff = 0.62 cfs @ 12.04 hrs, Volume= 0.041 af, Depth> 4.71"

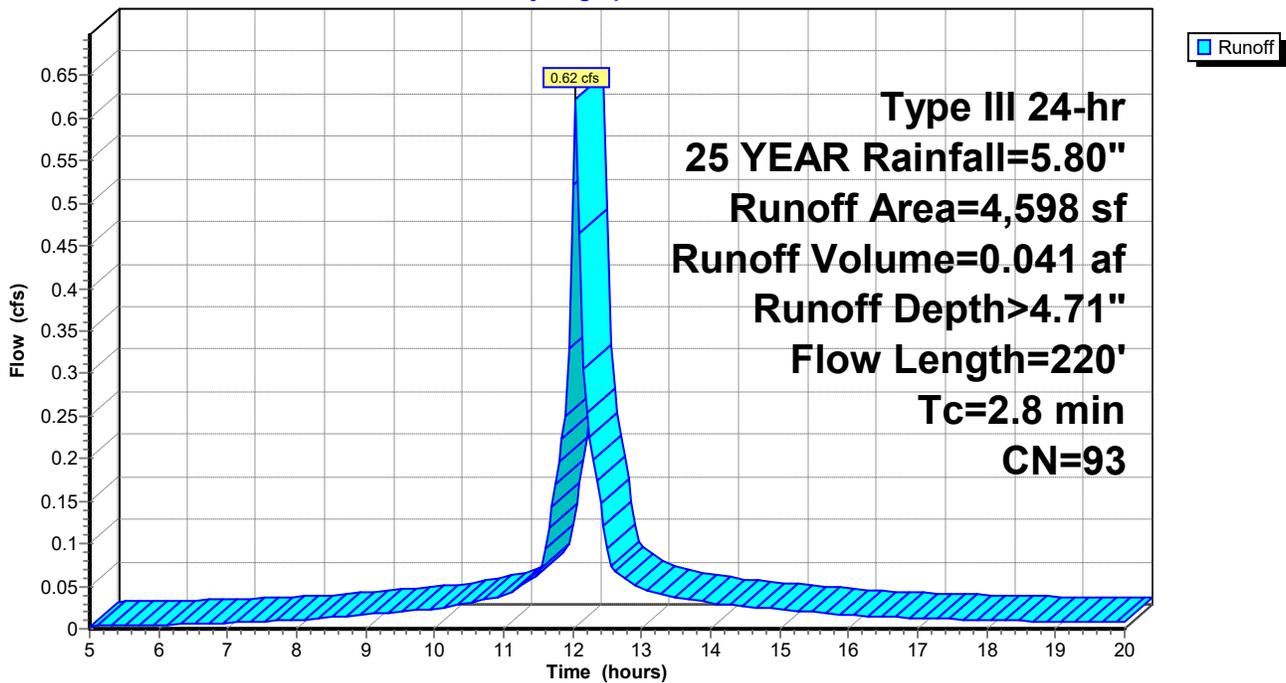
Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr 25 YEAR Rainfall=5.80"

Area (sf)	CN	Description
4,218	98	Paved roads w/curbs & sewers, HSG A
380	39	>75% Grass cover, Good, HSG A
4,598	93	Weighted Average
380		8.26% Pervious Area
4,218		91.74% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
0.2	10	0.0200	0.92		Sheet Flow, Roadway - Peak to side Smooth surfaces n= 0.011 P2= 3.60"
2.6	210	0.0044	1.35		Shallow Concentrated Flow, Road-edge Paved Kv= 20.3 fps
2.8	220	Total			

Subcatchment P-2: EXISTING ROADWAY

Hydrograph



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Page 8

Summary for Pond 1P: P-DS

Inflow Area = 0.556 ac, 20.75% Impervious, Inflow Depth > 1.63" for 25 YEAR event
 Inflow = 0.85 cfs @ 12.21 hrs, Volume= 0.075 af
 Outflow = 0.12 cfs @ 13.49 hrs, Volume= 0.070 af, Atten= 86%, Lag= 76.7 min
 Primary = 0.12 cfs @ 13.49 hrs, Volume= 0.070 af

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Starting Elev= 14.50' Surf.Area= 324 sf Storage= 65 cf
 Peak Elev= 19.39' @ 13.49 hrs Surf.Area= 324 sf Storage= 1,349 cf (1,285 cf above start)
 Flood Elev= 20.60' Surf.Area= 324 sf Storage= 1,508 cf (1,443 cf above start)

Plug-Flow detention time= (not calculated: outflow precedes inflow)
 Center-of-Mass det. time= 98.7 min (925.1 - 826.4)

Volume	Invert	Avail.Storage	Storage Description
#1	14.00'	582 cf	75.0"W x 66.0"H x 51.8'L DRAINAGE FIELD 1,781 cf Overall - 324 cf Embedded = 1,456 cf x 40.0% Voids
#2	15.50'	324 cf	StormTech SC-740 x 7 Inside #1 Effective Size= 44.6"W x 30.0"H => 6.45 sf x 7.12'L = 45.9 cf Overall Size= 51.0"W x 30.0"H x 7.56'L with 0.44' Overlap Row Length Adjustment= +0.44' x 6.45 sf x 1 rows
#3	14.35'	557 cf	RCP_Box 10x 6 @ 9.50' L -Impervious Inside= 120.0"W x 72.0"H => 58.61 sf x 9.50'L = 556.8 cf Outside= 140.0"W x 92.0"H => 89.44 sf x 9.50'L = 849.7 cf
#4	16.95'	63 cf	4.00'D x 5.00'H CATCH BASIN-1 -Impervious
#5	16.80'	63 cf	4.00'D x 5.00'H CATCH BASIN-2 -Impervious
		1,589 cf	Total Available Storage

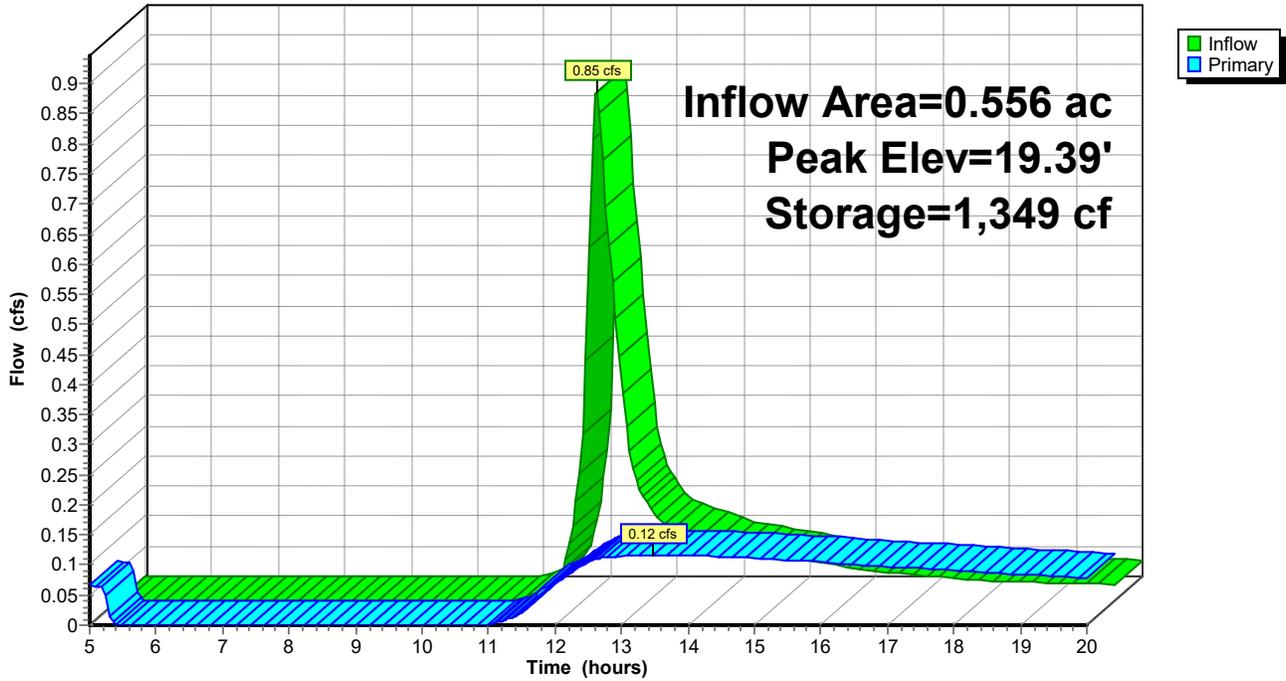
Device	Routing	Invert	Outlet Devices
#1	Primary	14.00'	8.270 in/hr Exfiltration over Surface area Conductivity to Groundwater Elevation = 8.00'

Primary OutFlow Max=0.12 cfs @ 13.49 hrs HW=19.39' (Free Discharge)

↑**1=Exfiltration** (Controls 0.12 cfs)

Pond 1P: P-DS

Hydrograph



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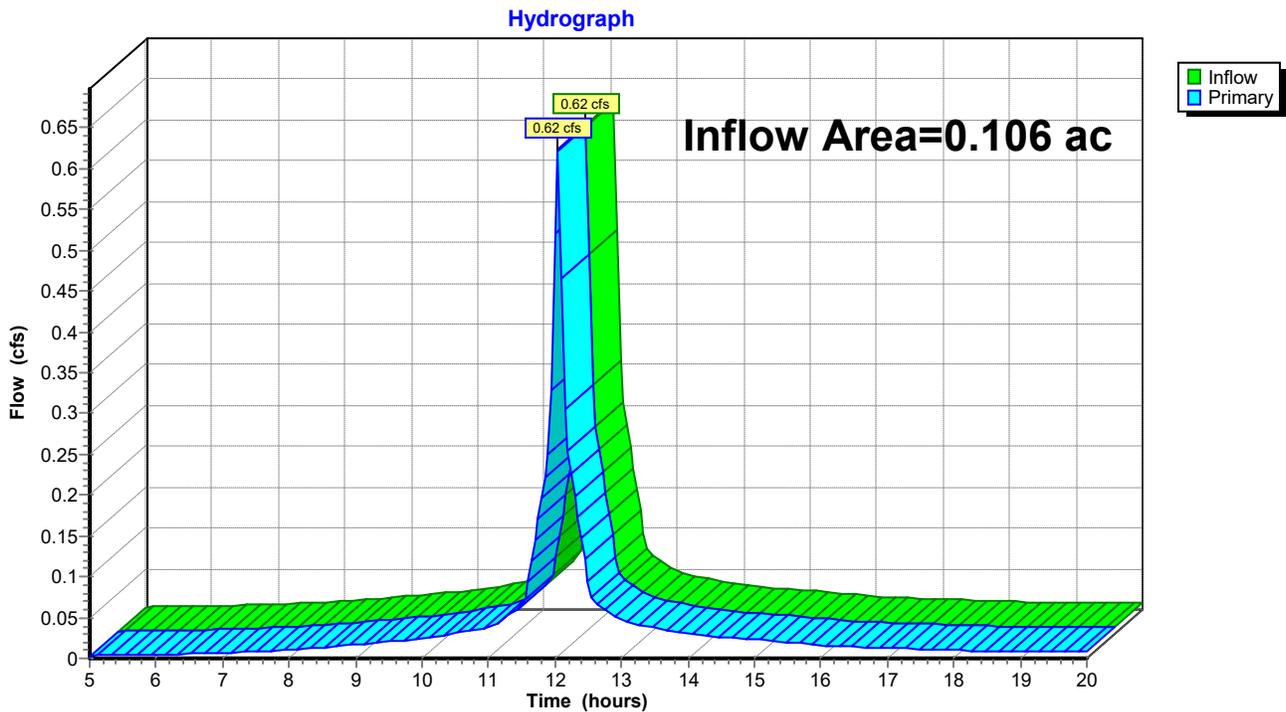
Page 10

Summary for Link E-CB: EXISTING CATCH BASIN SYSTEMS

Inflow Area = 0.106 ac, 91.74% Impervious, Inflow Depth > 4.71" for 25 YEAR event
Inflow = 0.62 cfs @ 12.04 hrs, Volume= 0.041 af
Primary = 0.62 cfs @ 12.04 hrs, Volume= 0.041 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Link E-CB: EXISTING CATCH BASIN SYSTEMS



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Page 11

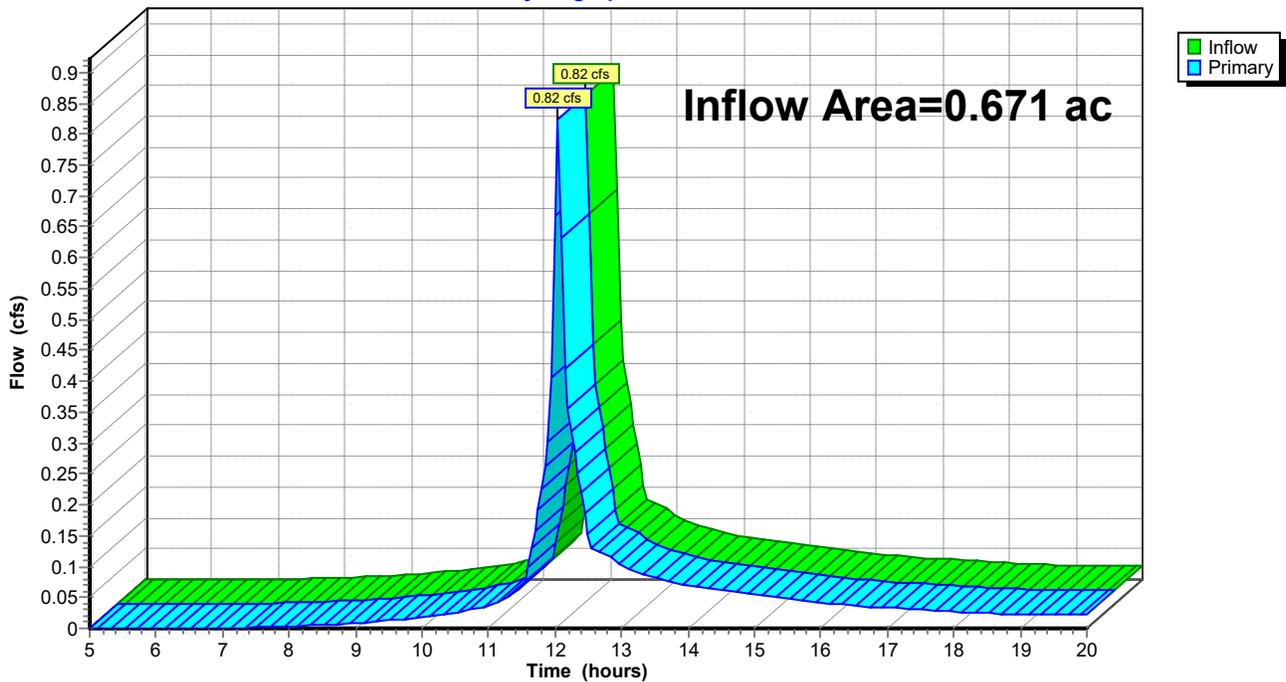
Summary for Link TE: TE

Inflow Area = 0.671 ac, 18.81% Impervious, Inflow Depth > 1.10" for 25 YEAR event
Inflow = 0.82 cfs @ 12.05 hrs, Volume= 0.062 af
Primary = 0.82 cfs @ 12.05 hrs, Volume= 0.062 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Link TE: TE

Hydrograph



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Page 12

Summary for Link TP: TOTAL PROPOSED

Inflow Area = 0.662 ac, 32.07% Impervious, Inflow Depth > 2.03" for 25 YEAR event
Inflow = 0.69 cfs @ 12.05 hrs, Volume= 0.112 af
Primary = 0.69 cfs @ 12.05 hrs, Volume= 0.112 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Link TP: TOTAL PROPOSED

