

1. No Meeting Agenda

There is no agenda available for this meeting. Please view the minutes.

1.1. Viewpack

Documents: 8 HARBOR VIEW WAY.PDF, 10 KELLEY ROAD.PDF, 12 EAST LINCOLN.PDF, 14 EASY STREET.PDF, 21, 23 TENNESSEE AVENUE, SHED 1.PDF, 21, 23 TENNESSEE AVENUE, SHED 2.PDF, 21, 23 TENNESSEE AVENUE, SHED 3.PDF, 21,23 TENNESSEE AVENUE, MOVE BUILDING.PDF, 23 UNION STREET.PDF, 27 SHELL STREET.PDF, 29 MONOMOY ROAD.PDF, 31 DAFFODIL LANE.PDF, 36 MAIN STREET RENAME, GARAGE.PDF, 36 MAIN STREET SCONSET, CABANA.PDF, 36 MAIN STREET SCONSET, POOL.PDF, 47 DEVON STREET.PDF, 47 TENNESSEE AVENUE.PDF, 63 OLD SOUTH ROAD, BUILDING 2.PDF, 63 OLD SOUTH ROAD.PDF, 65 SURFSIDE ROAD.PDF, 78 CENTRE STREET.PDF, 78 MADAKET ROAD, CABANA.PDF, 78 MADAKET ROAD, POOL.PDF, 92 WASHINGTON STREET.PDF, 125 MAIN ST..PDF, 134C MAIN STREET.PDF

CERTIFICATE NO: \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

### CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

#### PROPERTY DESCRIPTION

TAX MAP N°: 42.1.1 PARCEL N°: 28

Street & Number of Proposed Work: B HARBOR VIEW WAY

Owner of record: KAPLAN, BRUCE & MARIE

Mailing Address: 750 HOPKINSON STREET

SIMSBURY, CT 06070

Contact Phone #: \_\_\_\_\_ E-mail: BRUCEKAP@COMCAST.NET

#### AGENT INFORMATION (if applicable)

Name: PERMITS PLUS, INC

Mailing Address: Box 3763

NANTUCKET, MA 02584

Contact Phone #: 508 225 6413 E-mail: PERMITS@COMCAST.NET

#### FOR OFFICE USE ONLY

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_

Must be acted on by: \_\_\_\_\_

Extended to: \_\_\_\_\_

Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_

Chairman: \_\_\_\_\_

Member: \_\_\_\_\_

Member: \_\_\_\_\_

Member: \_\_\_\_\_

Member: \_\_\_\_\_

Notes - Comments - Restrictions - Conditions

#### DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed

Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_

Pool (Zoning District \_\_\_\_\_)  Roof  Other ELEVATE HOUSE ± 40" / ADD STEPS & DECK RAILINGS / ELEVATE AC UNITS

Size of Structure or Addition: Length: \_\_\_\_\_ Sq. Footage 1st floor: \_\_\_\_\_ Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor

Width: \_\_\_\_\_ Sq. footage 2nd floor: \_\_\_\_\_ Size: \_\_\_\_\_  1st floor  2nd floor

Sq. footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North -0- South -0- East -0- West -0-

Height of ridge above final finish grade: North 34.5' South 34.5' East 34.5' West 34.5' 635'

#### Additional Remarks

Historic Name: N/A

Original Date: ca 1920

Original Builder: UNKNOWN

Is there an HDC survey form for this building attached?  Yes  N/A

CIRCA 1920 1920 FOUNDATION

#### REVISIONS\*

(describe) 1. East Elevation

2. South Elevation

3. West Elevation

4. North Elevation

\*Cloud on drawings and submit photographs of existing elevations.

#### DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed ± 4.33'  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers

Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_

Roof Pitch: Main Mass \_\_\_\_\_/12 Secondary Mass \_\_\_\_\_/12 Dormer \_\_\_\_\_/12 Other \_\_\_\_\_

Roofing material:  Asphalt  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_

Fence: Height: \_\_\_\_\_  
Type: \_\_\_\_\_  
Length: \_\_\_\_\_

Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_

Leaders (material and size): \_\_\_\_\_

Sidewall:  White cedar shingles \_\_\_\_\_  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side

Other \_\_\_\_\_

Trim: A. Wood  Pine  Redwood  Cedar  Other LIFESPAN REAL WOOD SOLID SELECT

B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_

C. Dimensions: Fascia \_\_\_\_\_ Rake \_\_\_\_\_ Soffit (Overhang) \_\_\_\_\_ Corner boards \_\_\_\_\_ Frieze \_\_\_\_\_

Window Casing \_\_\_\_\_ Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_

Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_

True Divided Lights(muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_

Doors\* (type and material):  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_

Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_

Hardscape materials: Driveways EXISTING Walkways EXIST Walls EXIST

\* Note: Complete door and window schedules are required.

#### COLORS

Sidewall WLS TO Clapboard (if applicable) - Roof -

Trim WHITE Sash - Doors -

Deck NATURAL Foundation NATURAL Fence - Shutters -

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 2-20-2010

Signature of owner of record [Signature]

Signed under penalties of perjury



TONGUE MAP



EXISTING HARBOR VIEW WAY

LOCUS



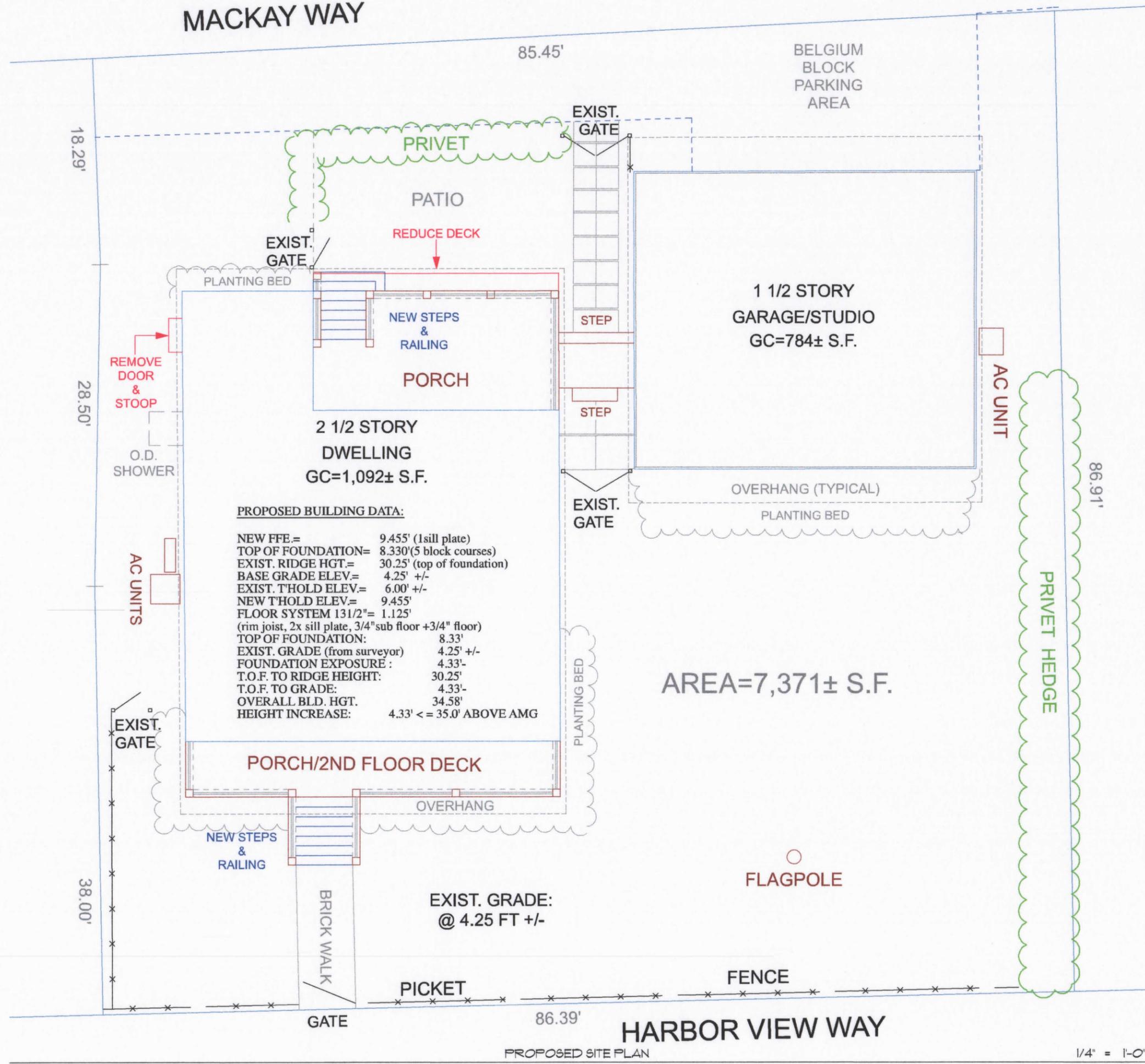
EXISTING SITE PLAN

1/8" = 1'-0"

CURRENT ZONING: LC (LIMITED COMMERCIAL)  
 MIN. LOT SIZE: 5000 S.F.  
 MIN. FRONTAGE: 40'  
 FRONT YARD SETBACKS: 0'  
 SIDE & REAR SETBACKS: 5'  
 MAX. G.C.R.: 50%  
 EXIST. G.C.R.: 25.5% +/-

	<p>2/25/16</p>	<p>HDC SUBMISSION        ELEVATE EXISTING BUILDING        Map No: 42.41.28        Scale: As Noted</p>		<p>KAPLAN RESIDENCE        8 Harbor View Way        Nantucket, MA, 02554        SITE PLAN &amp; LOCUS MAP</p>	
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# MACKAY WAY



**MWRP**  
 RESIDENTIAL  
**DESIGN**  
MARK W. POOR 581.738.6113  
 P.O. BOX 3163 NANTUCKET, MA 01954

2/25/16

HDC SUBMISSION:  
 ELEVATE EXISTING BUILDING  
 Map No.: 42.4.1.2B  
 Scale: As Noted

KAPLAN RESIDENCE  
 8 Harbor View Way  
 Nantucket, MA, 02554  
 PROPOSED SITE PLAN

5



EXISTING SOUTH ELEVATION

1/4" = 1'-0"



PROPOSED SOUTH ELEVATION

1/4" = 1'-0"



EXISTING NORTH ELEVATION

1/4" = 1'-0"



PROPOSED NORTH ELEVATION

1/4" = 1'-0"



EXISTING WEST ELEVATION

1/4" = 1-0"



PROPOSED WEST ELEVATION

1/4" = 1-0"

NOTE: (3) FLOOD WATER OPENINGS TBD BY ENGINEER



EXIST EAST ELEVATION

1/4" = 1-0"



PROPOSED EAST ELEVATION

1/4" = 1-0"

NOTE: (3) FLOOD WATER OPENINGS TBD BY ENGINEER

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#### PROPERTY DESCRIPTION

TAX MAP N°: 54 PARCEL N°. 31  
Street & Number of Proposed Work: 10 VANDY ROAD  
Owner of record: STEVE CALATHON ; CHRISTINE MADIGAN  
Mailing Address: 3631 EAST ST NW  
WASHINGTON, DC 20008  
Contact Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

#### AGENT INFORMATION (if applicable)

Name: VAN OUNER  
Mailing Address: PO BOX 3057  
NANTUCKET, MA 01904  
Contact Phone #: (508) 329-4219 E-mail: KVAN@20.COMML.COM

#### FOR OFFICE USE ONLY

Date application received: \_\_\_\_\_ Fee Paid: \$ 220  
Must be acted on by: \_\_\_\_\_  
Extended to: \_\_\_\_\_  
Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
Chairman: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_

Notes - Comments - Restrictions - Conditions

#### DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling
- Addition
- Garage
- Driveway/Apron
- Commercial
- Historical Renovation
- Deck/Patio
- Steps
- Shed
- Color Change
- Fence
- Gate
- Hardscaping
- Move Building
- Demolition
- Revisions to previous Cert. No. \_\_\_\_\_
- Pool (Zoning District \_\_\_\_\_)
- Roof
- Other \_\_\_\_\_

Size of Structure or Addition: Length: 40' Sq. Footage 1st floor: 1100 Decks/Patio: Size: 8x16  1st floor  2nd floor  
Width: 29'-6" Sq. footage 2nd floor: 1100 Size:  1st floor  2nd floor  
Sq. footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_  
Height of ridge above final finish grade: North 22'-11" South 22'-11" East 29'-11" West 22'-11"

#### Additional Remarks

Historic Name: \_\_\_\_\_ REVISIONS\* 1. East Elevation  
Original Date: 1970 (describe) 2. South Elevation  
Original Builder: \_\_\_\_\_ 3. West Elevation  
Is there an HDC survey form for this building attached?  Yes  N/A 4. North Elevation

\*Cloud on drawings and submit photographs of existing elevations.

Foundation: Height Exposed 8"  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
Masonry Chimney:  Block Parged  Brick (type) COMMON RED  Other \_\_\_\_\_  
Roof Pitch: Main Mass 7/12 Secondary Mass \_\_\_\_\_/12 Dormer \_\_\_\_\_/12 Other \_\_\_\_\_  
Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_

Fence: Height: \_\_\_\_\_  
Type: \_\_\_\_\_  
Length: \_\_\_\_\_

Skylights (flat only): Manufacturer VIEW X Rough Opening 21" x 30" Size \_\_\_\_\_ Location FRONT  
Manufacturer VIEW X Rough Opening 21" x 30" Size \_\_\_\_\_ Location FRONT

Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_  
Leaders (material and size): \_\_\_\_\_  
Sidewall:  White cedar shingles \_\_\_\_\_  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side

Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_  
C. Dimensions: Fascia 8 1/2" Rake 1x8 Soffit (Overhang) 6" x 8" Corner boards 6" Frieze \_\_\_\_\_  
Window Casing 1x4 Door Frame 1x6 Columns/Posts: Round \_\_\_\_\_ Square 6" x 8"

Windows:  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer ANDERSON OR COMPASSIVE

Doors\* (type and material):  TDL  SDL Front 6 PANEL / SLIDING GLASS Side \_\_\_\_\_  
Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_

Hardscape materials: Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

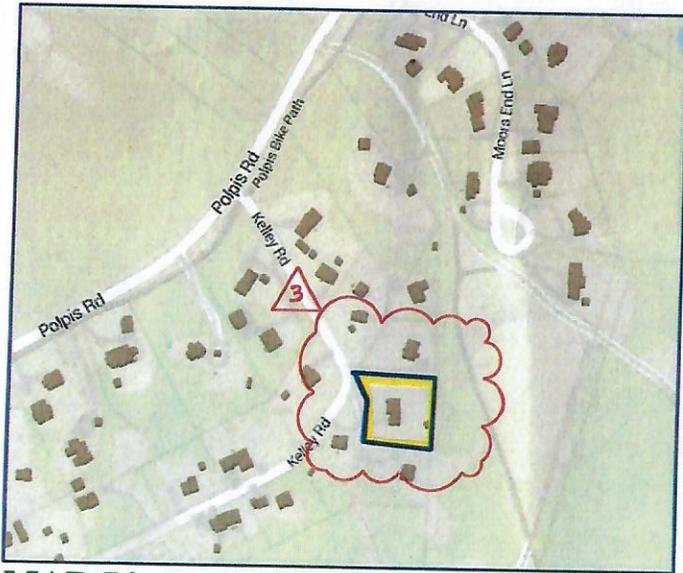
#### COLORS

Sidewall NATURAL Clapboard (if applicable) \_\_\_\_\_ Roof BLACK (ARCHITECTURAL)  
Trim NATURAL Sash POLYSTYRENE Doors DARK CEDAR  
Deck NATURAL Foundation CONCRETE Fence \_\_\_\_\_ Shutters \_\_\_\_\_

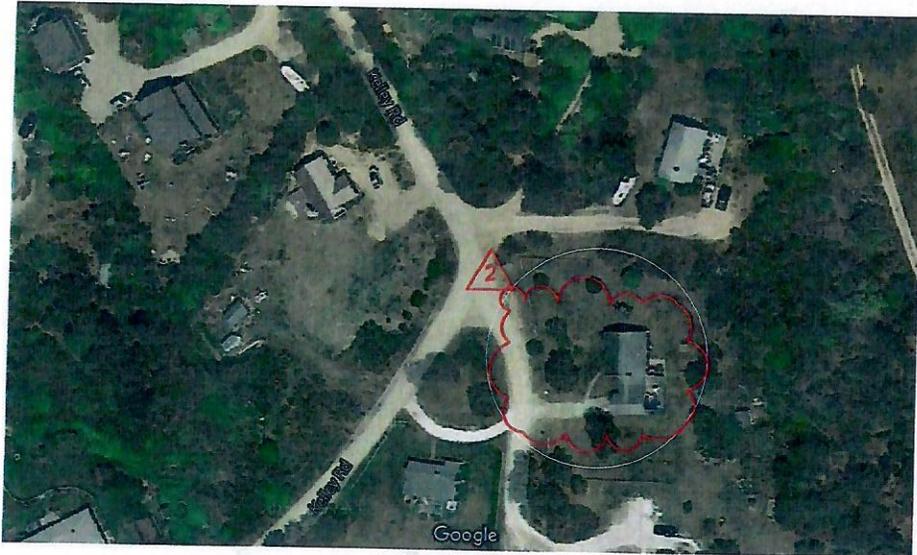
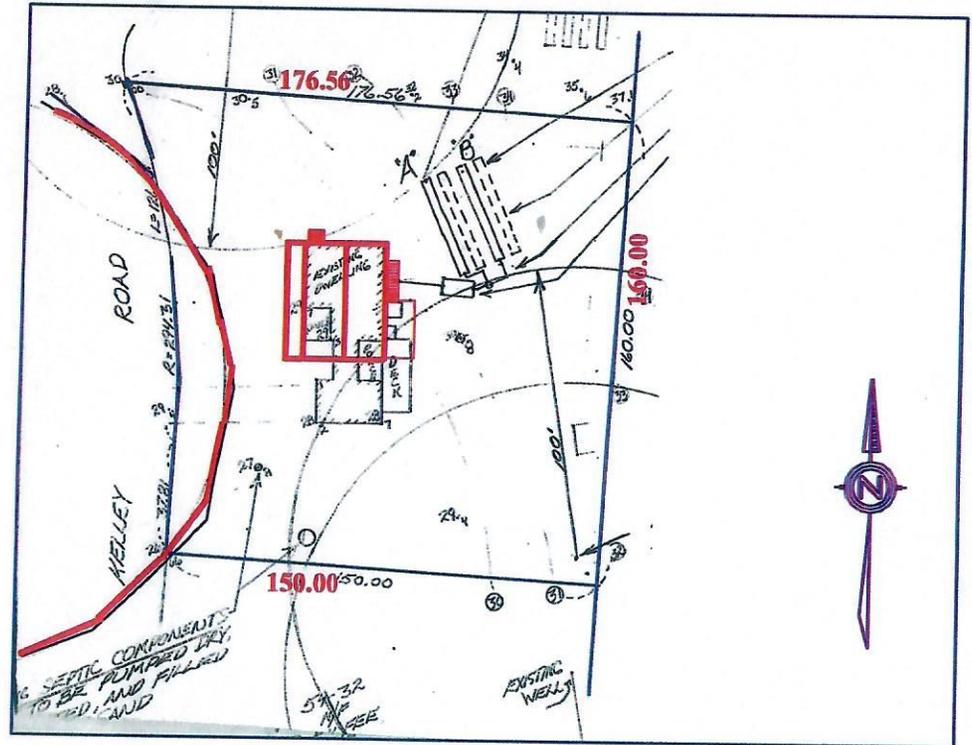
\* Attach manufacturer's color samples if color is not from HDC approval list.

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Date 2/23/16 Signature of owner of record \_\_\_\_\_ Signed under penalties of perjury \_\_\_\_\_



**MAP 54 PARCEL 31**



**CALLAHAN-MADIGAN  
10 KELLEY ROAD  
NEW DWELLING**



FRONT ELEVATION  
(WEST-FACING ROAD)

ACCESS TO GRADE PROVIDED AND INSTALLED ON-SITE BY BUILDER



(SOUTH) RIGHT ELEVATION

ACCESS TO GRADE PROVIDED AND INSTALLED ON-SITE BY BUILDER

- A DECK IS REQUIRED TO BE CONSTRUCTED TO EGRESS TO THE GRADE PER ALL APPLICABLE CODE REQUIREMENTS
- ALL SITE BUILT DECKS MUST BE STRUCTURALLY SUPPORTED INDEPENDENTLY FROM THE MODULAR STRUCTURE

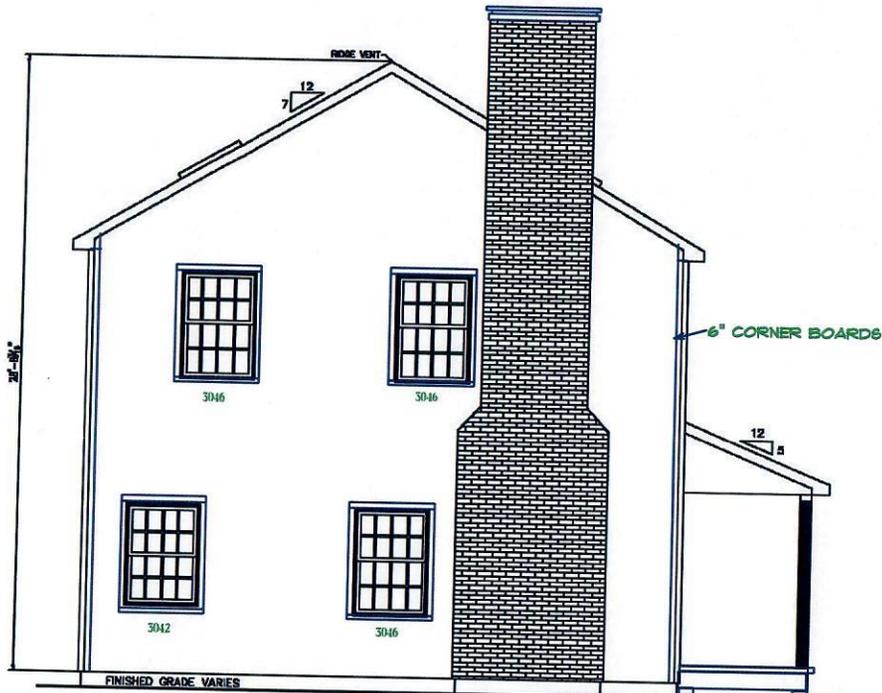
CALLAHAN-MADIGAN  
10 KELLEY ROAD  
NEW DWELLING

**(SDL) WINDOWS TERRATONE**

1. 3046 RO: 3'-2" X 4'-8"
2. 24210 RO: 2'-6" X 3'-0"
3. CN235 RO: 3'-4" X 3'-4"
4. 3042 RO: 3'-2" X 4'-4"

VELUX SKYLIGHT VS-CO4 RO: 21" X 38"

FRONT DOOR- 6 PANEL WITH SIDELIGHTS  
 REAR DOOR- 6' SLIDERS



ACCESS TO GRADE PROVIDED  
 AND INSTALLED ON-SITE BY  
 BUILDER

**LEFT ELEVATION**

- \* A DECK IS REQUIRED TO BE CONSTRUCTED TO EGRESS TO THE GRADE PER ALL APPLICABLE CODE REQUIREMENTS
- \* ALL SITE BUILT DECKS MUST BE STRUCTURALLY SUPPORTED INDEPENDENTLY FROM THE MODULAR STRUCTURE

**(NORTH)**



**(EAST- REAR)**

**REAR ELEVATION**

**CALLAHAN-MADIGAN  
 10 KELLEY ROAD  
 NEW DWELLING**

CERTIFICATE NO: \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_

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#### PROPERTY DESCRIPTION

TAX MAP N°: 42.4.1 PARCEL N°: 47  
 Street & Number of Proposed Work: 12 E LINCOLN AVE  
 Owner of record: ROBERT KNIGHT  
 Mailing Address: 12 E LINCOLN AVE  
NANTUCKET, MA 02554  
 Contact Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

#### AGENT INFORMATION (if applicable)

Name: EMERITUS DEVELOPMENT  
 Mailing Address: 8 WILLIAMS LN  
NANTUCKET, MA 02554  
 Contact Phone # 508-325-4995 E-mail: OFFICE@EMERITUSDEVELOPMENT.COM

#### FOR OFFICE USE ONLY

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
 Must be acted on by: \_\_\_\_\_  
 Extended to: \_\_\_\_\_  
 Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
 Chairman: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Notes - Comments - Restrictions - Conditions  
 \_\_\_\_\_  
 \_\_\_\_\_

#### DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed  
 Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_  
 Pool (Zoning District \_\_\_\_\_)  Roof  Other \_\_\_\_\_

Size of Structure or Addition: Length: 56'6" Sq. Footage 1st floor: 1,496 Decks/Patio: Size: 16'x20'  1st floor  2nd floor  
 Width: 33'6" Sq. Footage 2nd floor: 1,077 Size: 6'x11'  1st floor  2nd floor  
 Sq. Footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North 6"± South 6"± East 6"± West 6"±  
 Height of ridge above final finish grade: North 3'9"± South 2'8"± East 3'6"± West 3'9"±

#### Additional Remarks

Historic Name: \_\_\_\_\_ REVISIONS\* 1. East Elevation  
 Original Date: \_\_\_\_\_ (describe) 2. South Elevation  
 Original Builder: \_\_\_\_\_ 3. West Elevation  
 Is there an HDC survey form for this building attached?  Yes  N/A 4. North Elevation

\*Cloud on drawings and submit photographs of existing elevations.

#### DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 4'6"±  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
 Masonry Chimney:  Block Parged  Brick (type) Common  Other \_\_\_\_\_  
 Roof Pitch: Main Mass 9/12 Secondary Mass 9/12 Dormer 5/12 Other \_\_\_\_\_  
 Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.)

Fence: Height: \_\_\_\_\_  
 Type: \_\_\_\_\_  
 Length: \_\_\_\_\_

Skylights (flat only): Manufacturer N/A Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
 Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Gutters:  Wood  Aluminum  Copper  Leaders (material)

Leaders (material and size): \_\_\_\_\_

Sidewall:  White cedar shingles  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_

Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_

B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_

C. Dimensions: Fascia 6" Rake 6" Soffit (Overhang) 6" Corner boards \_\_\_\_\_ Frieze 4"  
 Window Casing 4" Door Frame 4" Columns/Posts: Round \_\_\_\_\_ Square 8"

Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_

Doors\* (type and material):  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_

Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_

Hardscape materials: Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

#### COLORS

Sidewall NATURAL Clapboard (if applicable) \_\_\_\_\_ Roof NATURAL  
 Trim WHITE Sash WHITE Doors WHITE  
 Deck NATURAL Foundation NATURAL Fence \_\_\_\_\_ Shutters \_\_\_\_\_

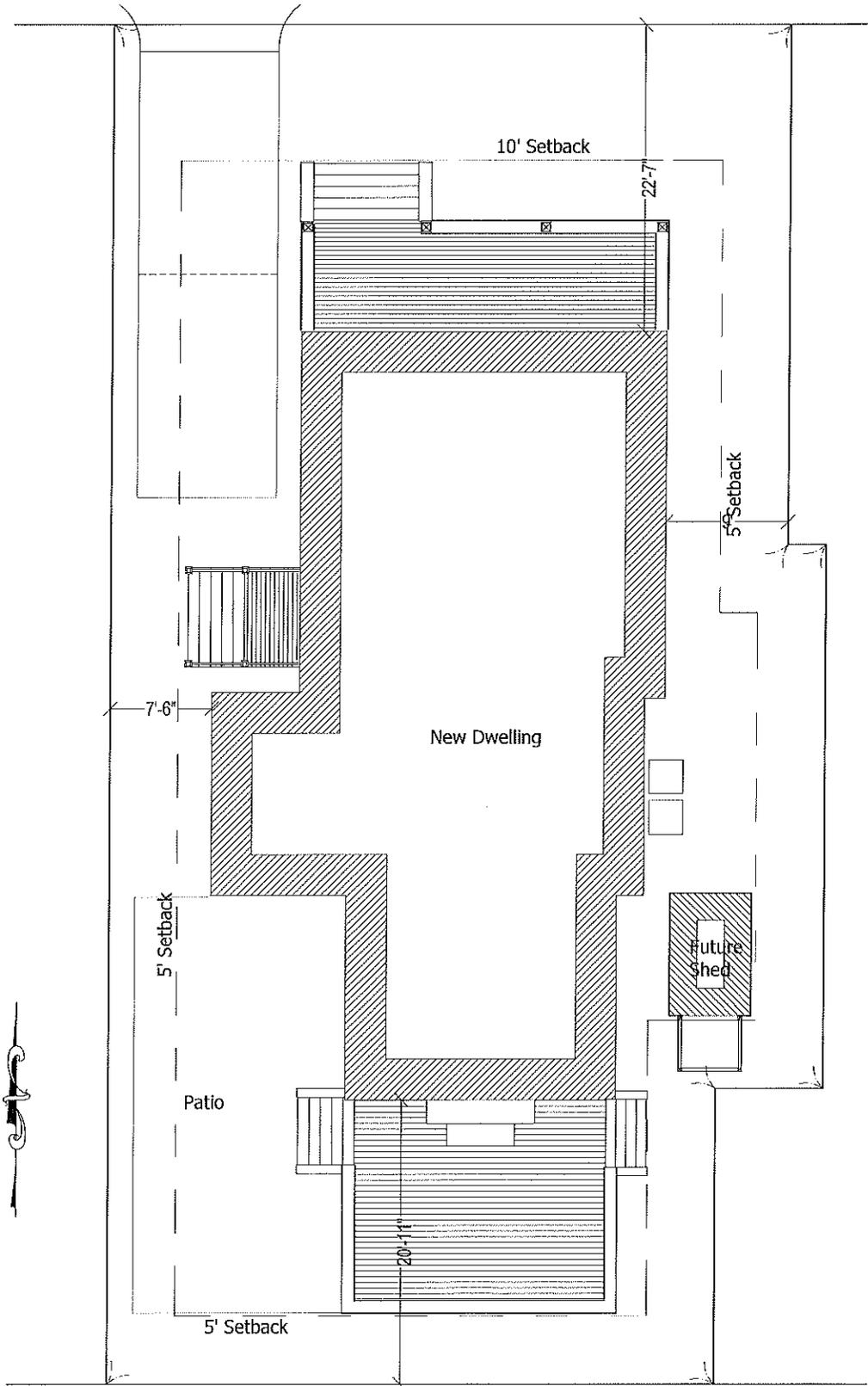
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Date 2/19/11 Signature of owner of record Robert Knight Signed under penalties of perjury



# East Lincoln Avenue

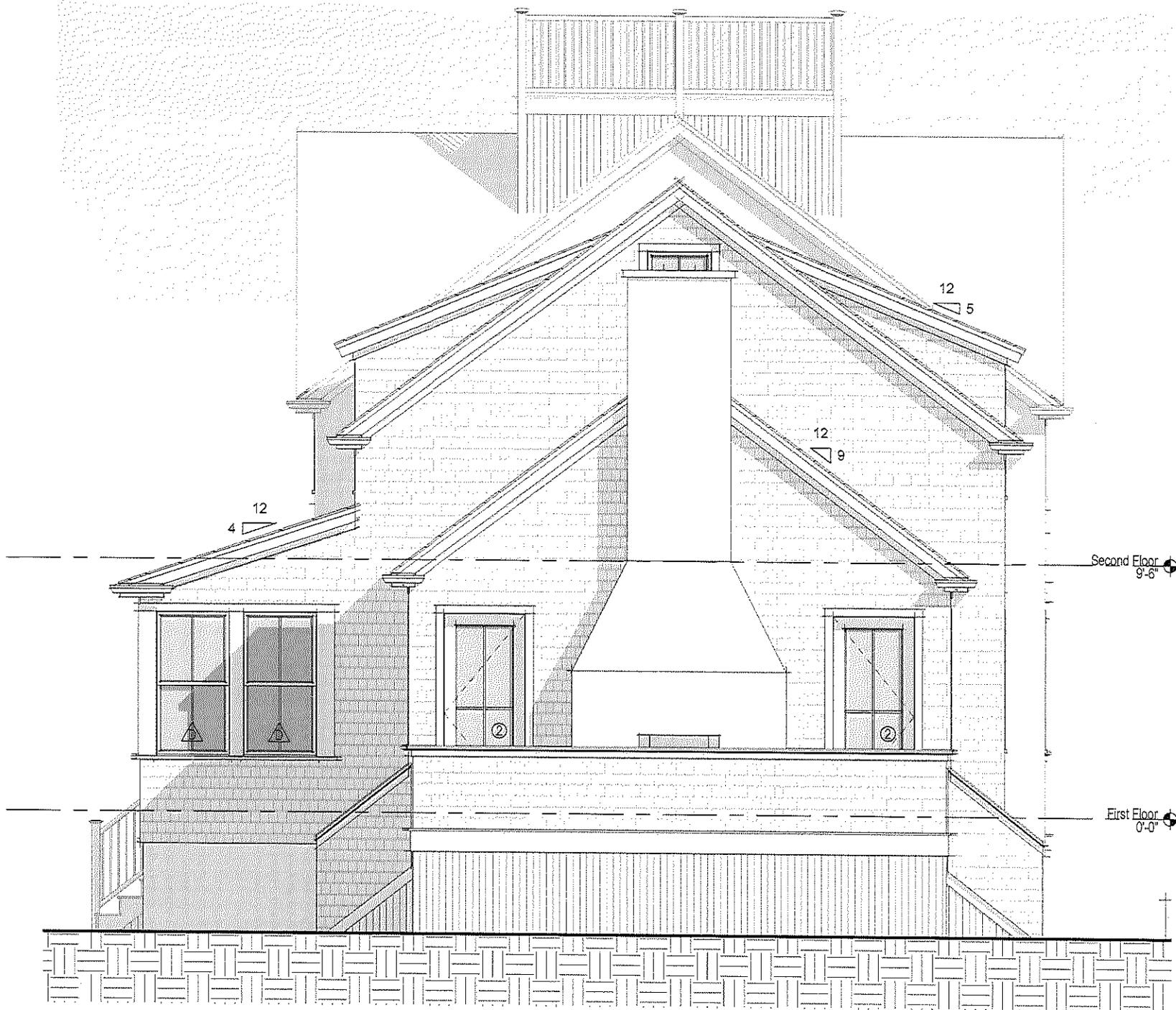




**1** North Elevation  
 1/4" = 1'-0"







**1** South Elevation  
1/4" = 1'-0"

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**PROPERTY DESCRIPTION**

TAX MAP N°: 42.3.1 PARCEL N°: 13  
Street & Number of Proposed Work: 14 Easy St  
Owner of record: John Routh  
Mailing Address: 14 Easy St  
Nantucket, MA, 02554  
Contact Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

**AGENT INFORMATION (if applicable)**

Name: Emeritus Developments  
Mailing Address: 8 Williams Ln  
Nantucket, MA, 02554  
Contact Phone #: 508.325.4995 E-mail: ma.H@emeritus-developments.com

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Must be acted on by: \_\_\_\_\_  
Extended to: \_\_\_\_\_  
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Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Notes - Comments - Restrictions - Conditions

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 Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. 6490  
 Pool (Zoning District \_\_\_\_\_)  Roof  Other MIXED USED BUILDING  
Size of Structure or Addition: Length: \_\_\_\_\_ Sq. Footage 1st floor: \_\_\_\_\_ Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
Width: \_\_\_\_\_ Sq. Footage 2nd floor: \_\_\_\_\_ Size: \_\_\_\_\_  1st floor  2nd floor  
Sq. Footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_  
Height of ridge above final finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

**Additional Remarks**

Historic Name: \_\_\_\_\_ REVISIONS\* 1. East Elevation Added 2 Shed Dormers  
Original Date: \_\_\_\_\_ (describe) 2. South Elevation \_\_\_\_\_  
Original Builder: \_\_\_\_\_ 3. West Elevation Added 2 Shed Dormers + Mechanical Equipment Screen  
Is there an HDC survey form for this building attached?  Yes  N/A 4. North Elevation \_\_\_\_\_

\*Cloud on drawings and submit photographs of existing elevations.

**DETAIL OF WORK TO BE PERFORMED**

Foundation: Height Exposed \_\_\_\_\_  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
Roof Pitch: Main Mass 1/12 Secondary Mass \_\_\_\_\_/12 Dormer 4/12 Other \_\_\_\_\_  
Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) Red Cedar  
Fence: Height: \_\_\_\_\_  
Type: \_\_\_\_\_  
Length: \_\_\_\_\_

Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_

Leaders (material and size): \_\_\_\_\_

Sidewall:  White cedar shingles \_\_\_\_\_  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_

Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_

B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_

C. Dimensions: Fascia 1x10 Rake 1x8 Soffit (Overhang) N/A Corner boards 5 1/2" Frieze N/A  
Window Casing 3 1/2" Door Frame N/A Columns/Posts: Round N/A Square N/A

Windows\*:  Double Hung  Casement  All Wood  Other FIXED  
 True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_

Doors\* (type and material):  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_

Garage Door(s): Type N/A Material \_\_\_\_\_

Hardscape materials: Driveways N/A Walkways N/A Walls N/A

\* Note: Complete door and window schedules are required.

**COLORS**

Sidewall NATURAL Clapboard (if applicable) MATCH EXISTING Roof RED CEDAR / NATURAL  
Trim MATCH EXISTING Sash MATCH EXISTING Doors MATCH EXISTING  
Deck NATURAL Foundation NATURAL Fence WHITE Shutters N/A

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 02/24/16 Signature of owner of record [Signature] Signed under penalties of perjury

1425

Mixed Use Building  
14 Easy Street  
Nantucket, MA 02554



Site Plan, Locus Map

Site Information

Map & Parcel:	42.3.1/13
Current Zoning:	RCDT
Minimum Frontage:	35'
Front Setback:	0
Side/Rear Setback:	0/5'
Lot Size:	4,522 sq. ft. +/-
Min. Lot Size:	3,750 sq. ft.
Allowable G.C.:	3,392 sq. ft. or 75%
Existing G.C.:	2,032 sq. ft.
Proposed G.C.:	2,098 sq. ft.
Total Proposed G.C.:	2,098 sq. ft.

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

SHEET INDEX:  
G.1.1 - Cover Page  
A.2.1 - Exterior Elevations  
A.2.2 - Exterior Elevations  
A.2.3 - Exterior Elevations

Revisions

G.1.1  
1425

# Mixed Use Building

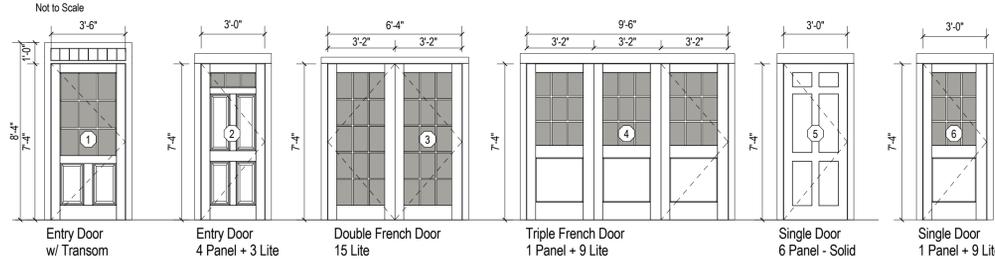
14 Easy Street  
Nantucket, MA 02554



Proposed Elevations  
1/16" = 1'-0"

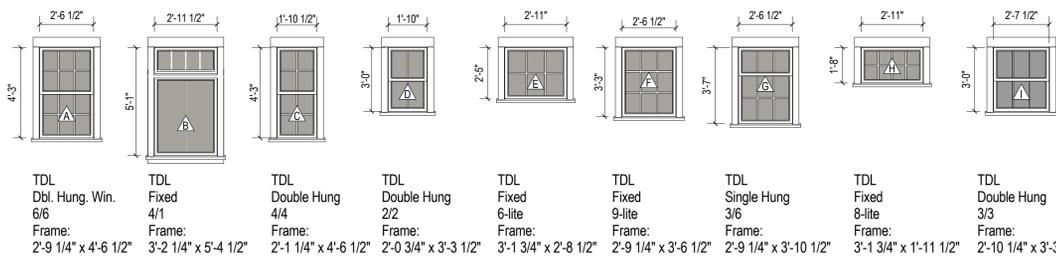


Locus Map  
Not to Scale



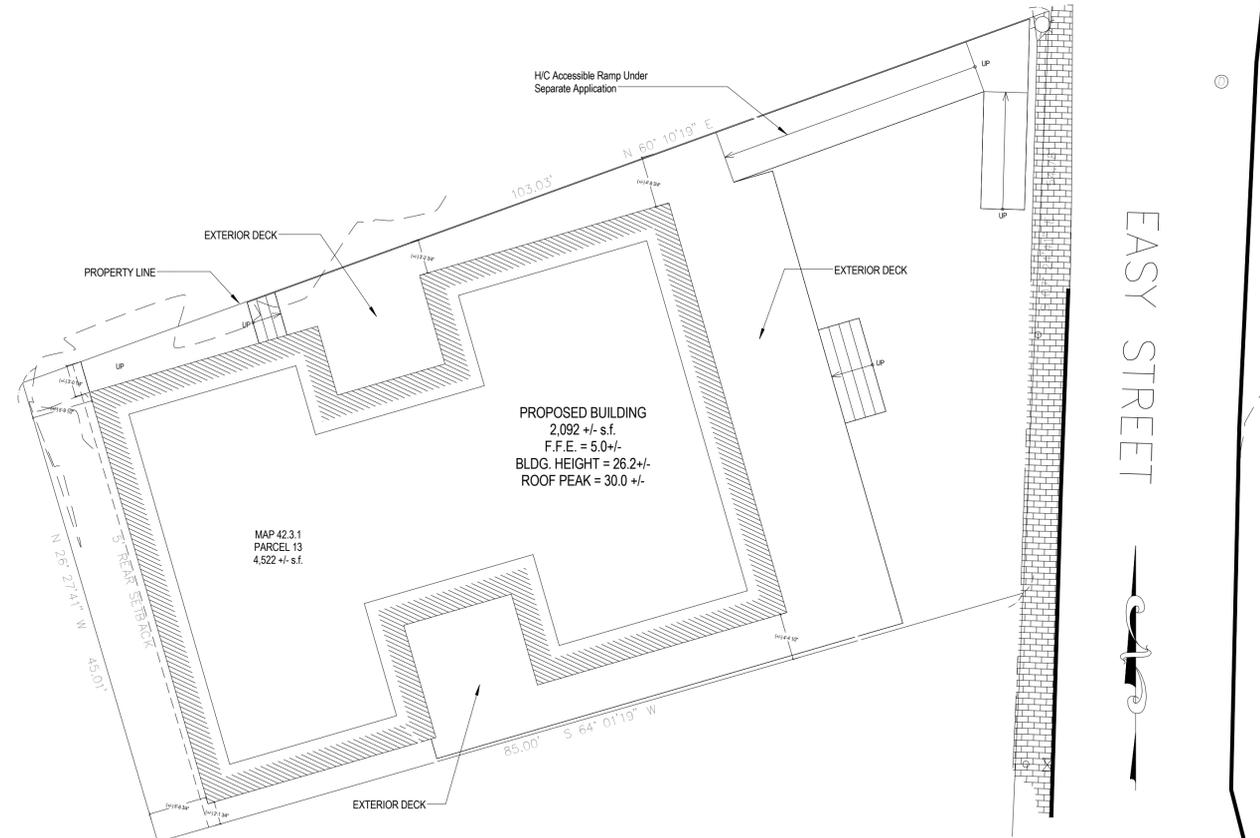
Exterior Door Types  
1/4" = 1'-0"

DOOR	QUANTITY	UNIT WIDTH	UNIT HEIGHT	ROUGH WIDTH	ROUGH HEIGHT	DESCRIPTION	MANUFACTURER	FINISH	DP RATING
1	1	3'-6"	7'-4"	3'-7 1/2"	7'-4 3/4"	Entry Door with Transom	Custom	Painted	≥ 30
2	2	3'-0"	7'-4"	3'-1 1/2"	7'-4 3/4"	Entry Door - 4 Panel + 3 Lite	Custom	Painted	≥ 30
3	2	6'-4"	7'-4"	6'-5 1/2"	7'-4 3/4"	Double French Door - 15 Lite	Andersen	Painted	≥ 30
4	2	9'-6"	7'-4"	9'-7 1/2"	7'-4 3/4"	Triple French Door - 1 Panel + 9 Lite	Andersen	Painted	≥ 30
5	1	3'-0"	7'-4"	3'-3"	7'-6"	Single Door - 6 Panel	Andersen	Painted	≥ 30
6	2	3'-0"	7'-4"	3'-1 1/2"	7'-4 3/4"	Single Door - 1 Panel + 9 Lite	Andersen	Painted	≥ 30

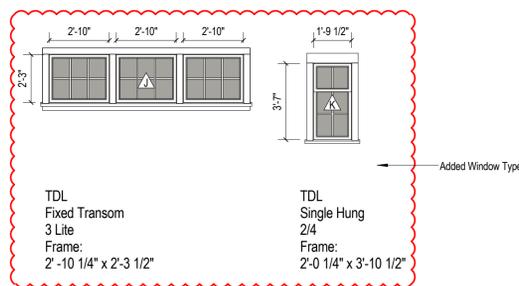


Window Types  
1/4" = 1'-0"

WINDOW	QUANTITY	SASH WIDTH	SASH HEIGHT	DESCRIPTION	MANUFACTURER	DP RATING	Comments
A	26	2'-6 1/2"	4'-3"	See Types	Boston Sash	≥ 30	
B	6	2'-11 1/2"	3'-8 1/2"	See Types	Boston Sash	≥ 30	See Plan for Combined RO Dims
B1	6	2'-11 1/2"	1'-3"	See Types	Boston Sash	≥ 30	Combined with Window Type B
C	2	1'-10 1/2"	4'-3"	See Types	Boston Sash	≥ 30	
D	2	1'-10"	3'-0"	See Types	Boston Sash	≥ 30	
E	4	2'-11"	2'-5"	See Types	Boston Sash	≥ 30	
F	2	2'-6 1/2"	3'-3"	See Types	Boston Sash	≥ 30	
G	4	2'-6 1/2"	3'-7"	See Types	Boston Sash	≥ 30	
H	2	2'-11"	1'-8"	See Types	Boston Sash	≥ 30	
I	12	2'-7 1/2"	3'-0"	See Types	Boston Sash	≥ 30	
J	6	3'-0 3/4"	2'-4 1/2"	See Types	Boston Sash	≥ 30	
K	1	1'-9 1/2"	3'-7"	See Types	Boston Sash	≥ 30	



Site Plan  
1/8" = 1'-0"



Note:  
Typical Door Width MO Dimensions in Foundation Walls are sized at 1 1/2" greater than the Door Unit Width. In Wood Framed Locations the Doors RO's are 1 1/2" Wider than the Unit Size to allow for Plumb & Leveling Shims. Typical Door Height RO Dimensions are 1/2" Greater the Unit Height.

Note:  
Typical Window Width MO Dimensions in Foundation Walls are sized at 1 1/2" greater than the Window Frame Width. In Wood Framed Locations the Window RO's are 1/2" Wider than the Listed Frame Size to allow for Plumb and Leveling Shims. Typical Window Height RO Dimensions are 1/2" Greater the Frame Height.

H. D. C. Submission - Not For Construction 02.24.16

NOT TO SCALE  
THIS DRAWING IS THE PROPERTY OF EMERITUS DEVELOPMENT LTD. AND MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF EMERITUS DEVELOPMENT LTD. PERMIT TO REPRODUCE THIS DRAWING FOR THE PROJECT ONLY.

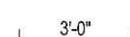
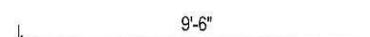
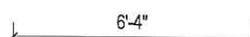
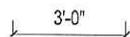
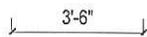
# Mixed Use Building

14 Easy Street  
Nantucket, MA 02554



Locus Map

Not to Scale





H. D. C. Submission - Not For Construction 02.24.16

**1425**  
*Mixed Use Building*  
 14 Easy Street  
 Nantucket, MA 02554



**Elevations - HDC**

**Site Information**

Map & Parcel:	42.3.1/13
Current Zoning:	RCDT
Minimum Frontage:	35'
Front Setback:	0
Side/Rear Setback:	0/5'
Lot Size:	4,522 sq. ft. +/-
Min. Lot Size:	3,750 sq. ft.
Allowable G.C.:	3,392 sq. ft. or 75%
Existing G.C.:	2,032 sq. ft.
Proposed G.C.:	2,098 sq. ft.
Total Proposed G.C.:	2,098 sq. ft.

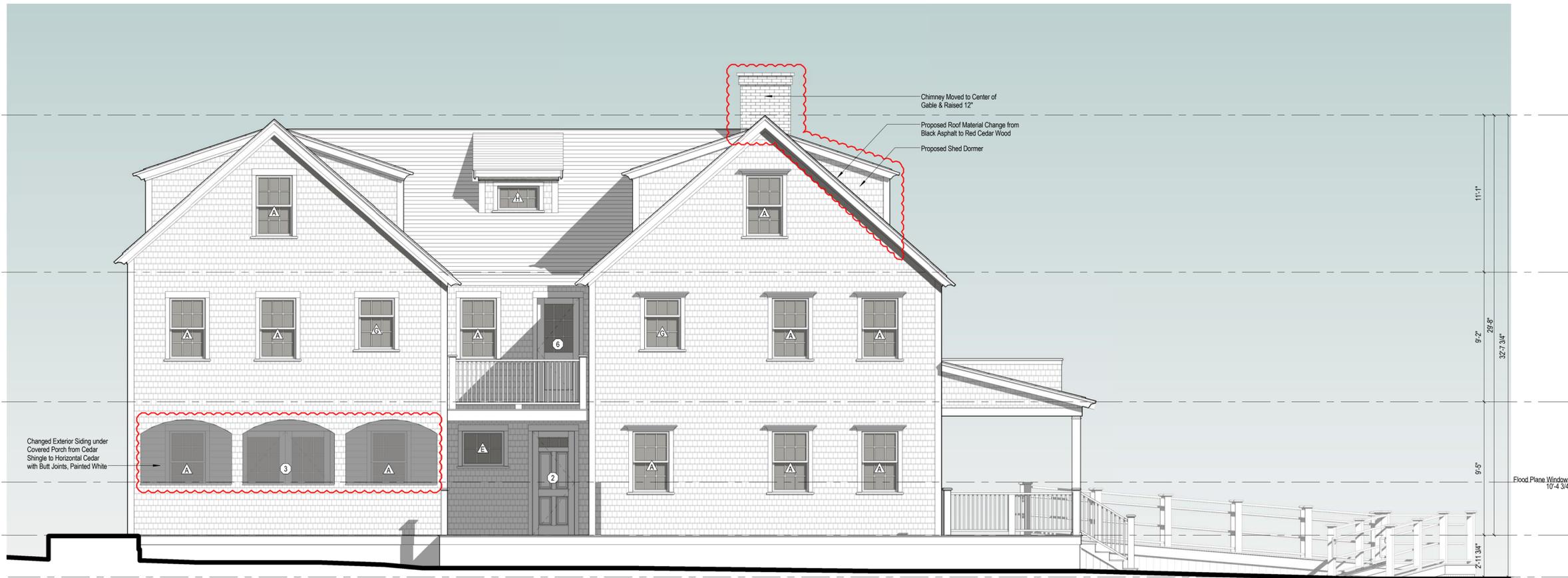
Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

**SHEET INDEX:**  
 G.1.1 - Cover Page  
 A.2.1 - Exterior Elevations  
 A.2.2 - Exterior Elevations  
 A.2.3 - Exterior Elevations

**Revisions**

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**A.2.2**  
**1425**



**1** Proposed South Elevation  
 1/4" = 1'-0"



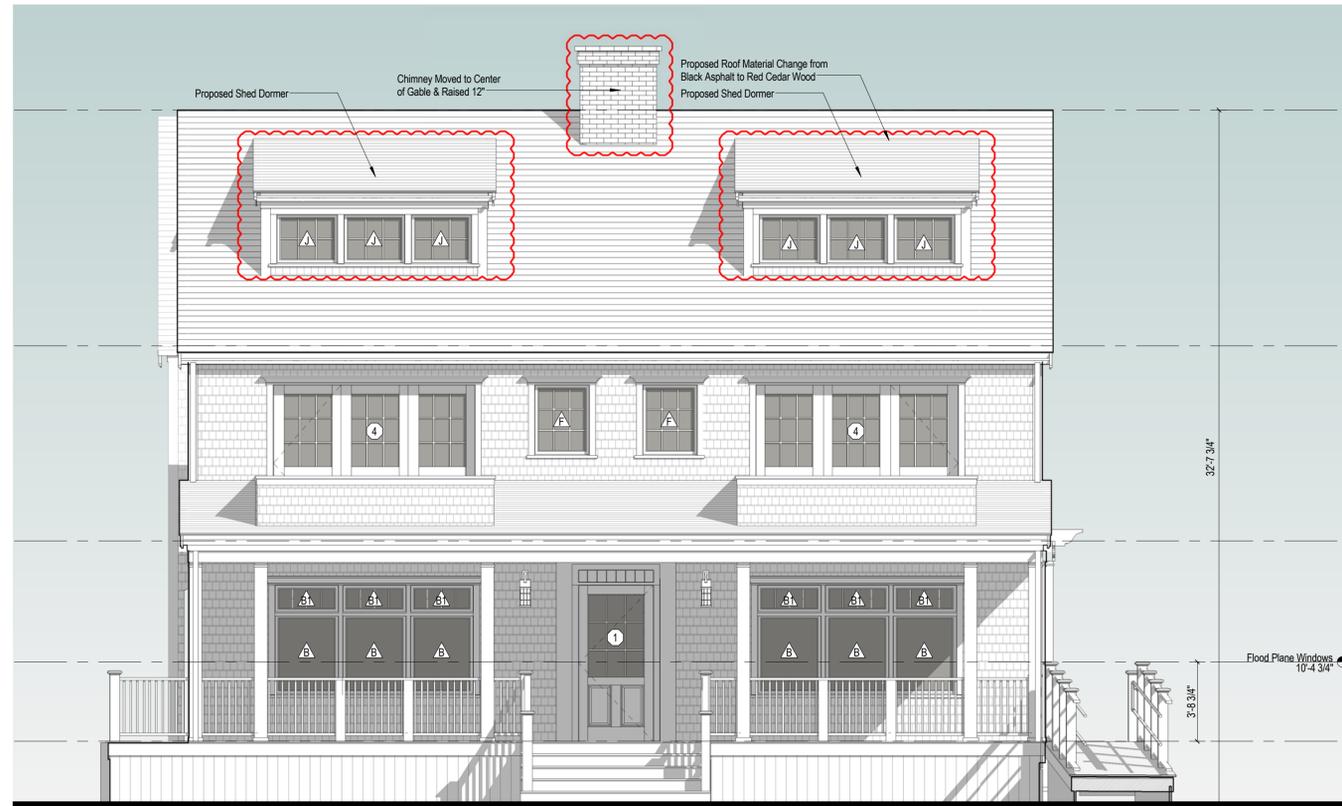
**2** HDC Approved South Elevation  
 3/16" = 1'-0"

02.24.16

H. D. C. Submission - Not For Construction



3 HDC Approved East Elevation  
3/16" = 1'-0"



1 Proposed East Elevation  
1/4" = 1'-0"



4 HDC Approved West Elevation  
3/16" = 1'-0"



2 Proposed West Elevation  
1/4" = 1'-0"

1425

Mixed Use Building  
14 Easy Street  
Nantucket, MA 02554



Elevations - HDC

Site Information

Map & Parcel:	42.3.1/13
Current Zoning:	RCDT
Minimum Frontage:	35'
Front Setback:	0'
Side/Rear Setback:	0/5'
Lot Size:	4,522 sq. ft. +/-
Min. Lot Size:	3,750 sq. ft.
Allowable G.C.:	3,392 sq. ft. or 75%
Existing G.C.:	2,032 sq. ft.
Proposed G.C.:	2,098 sq. ft.
Total Proposed G.C.:	2,098 sq. ft.

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

SHEET INDEX:  
G.1.1 - Cover Page  
A.2.1 - Exterior Elevations  
A.2.2 - Exterior Elevations  
A.2.3 - Exterior Elevations

Revisions

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A.2.3  
1425

CERTIFICATE NO: \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

### CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

#### PROPERTY DESCRIPTION

TAX MAP N°: 60-1 PARCEL N°: 56/57  
 Street & Number of Proposed Work: 23 TENNESSEE / 21 TENNESSEE  
 Owner of record: NANTUCKET LAND BANK  
 Mailing Address: 22 BROAD STREET  
NANTUCKET, MA 02554  
 Contact Phone: (508) 228-7140 E-mail: JBA@NANTUCKETLANDBANK.ORG

#### AGENT INFORMATION (if applicable)

Name: VAL OWNER  
 Mailing Address: PO BOX 3057  
NANTUCKET, MA 02554  
 Contact Phone: (508) 325-4219 E-mail: AV@VAL-OWNER.COM

#### FOR OFFICE USE ONLY

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
 Must be acted on by: \_\_\_\_\_  
 Extended to: \_\_\_\_\_  
 Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
 Chairman: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Notes - Comments - Restrictions - Conditions

#### DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed  
 Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_  
 Pool (Zoning District \_\_\_\_\_)  Roof  Other \_\_\_\_\_  
 Size of Structure or Addition: Length: 6.10' Sq. Footage 1st floor: (1924<sup>sq</sup>) Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
 Width: 6.14' Sq. Footage 2nd floor: \_\_\_\_\_ Size: \_\_\_\_\_  1st floor  2nd floor  
 Sq. Footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_  
 Height of ridge above final finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

#### Additional Remarks

Historic Name: \_\_\_\_\_  
 Original Date: \_\_\_\_\_  
 Original Builder: \_\_\_\_\_  
 Is there an HDC survey form for this building attached?  Yes  N/A

- REVISIONS:**
1. East Elevation
  2. South Elevation
  3. West Elevation
  4. North Elevation

\*Cloud on drawings and submit photographs of existing elevations.

#### DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed \_\_\_\_\_  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
 Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
 Roof Pitch: Main Mass /12 Secondary Mass /12 Dormer /12 Other \_\_\_\_\_  
 Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_  
 Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
 Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
 Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_  
 Leaders (material and size): \_\_\_\_\_  
 Sidewall:  White cedar shingles \_\_\_\_\_  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_  
 Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
 B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_  
 C. Dimensions: Fascia \_\_\_\_\_ Barge \_\_\_\_\_ Soffit (Overhang) \_\_\_\_\_ Corner boards \_\_\_\_\_ Frieze \_\_\_\_\_  
 Window Casing \_\_\_\_\_ Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_  
 Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_  
 Doors\* (type and material):  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_  
 Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_  
 Hardscape materials: Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

Fence: Height: \_\_\_\_\_  
 Type: \_\_\_\_\_  
 Length: \_\_\_\_\_

\* Note: Complete door and window schedules are required.

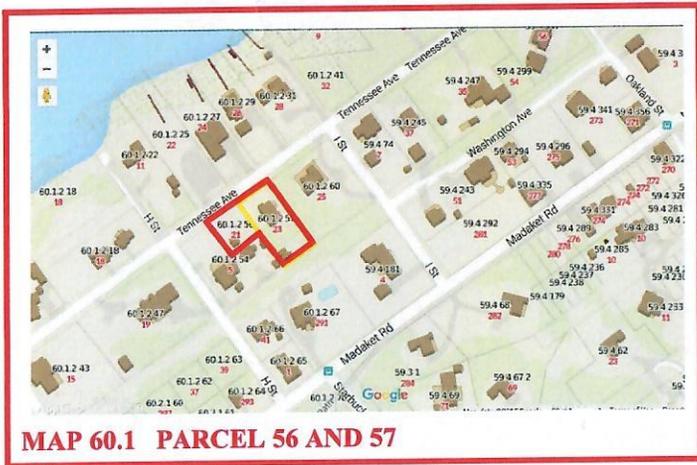
#### COLORS

Sidewall Nantucket Clapboard (if applicable) \_\_\_\_\_ Roof Grey Asphalt  
 Trim Nantucket Sash CARBON Doors GREEN  
 Deck \_\_\_\_\_ Foundation MISC. CONCRETE BLOCK Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 2/23/16 Signature of owner of record Val Owner Signed under penalties of perjury  
 (AGENT FOR N. LAND BANK)



**SHED/WORKSHOP NO #1**

Land

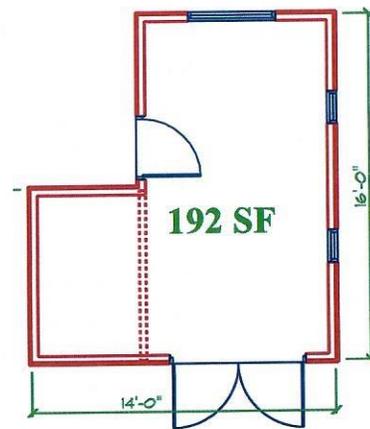
Land Use		Land Line Valuation	
Use Code	9921	Size (Acres)	0.28
Description	LANDBANK MDLO 1	Frontage	0
Zone	VS	Depth	0
Neighborhood	450	Assessed Value	\$994,700
AllLand Appr	No		
Category			

Outbuildings

Code	Description	Sub Code	Sub Description	Size	Value	Blgd #
SHD1	SHED FRAME			80 S.F.	\$500	1
SHD1	SHED FRAME			192 S.F.	\$1,200	1
SHD1	SHED FRAME			118 S.F.	\$1,800	1

Valuation History

Valuation Year	Assessment		
	Improvements	Land	Total
2015	\$106,500	\$881,500	\$988,000
2014	\$157,100	\$761,400	\$918,500
2013	\$144,400	\$761,400	\$905,800
2011	\$201,400	\$774,800	\$976,200
2011	\$201,400	\$1,335,800	\$1,537,200



SCALE: 1/4"=1'  
DRAWN BY: VO  
DATE: 2-22-16

**NANTUCKET LAND BANK**  
**21 AND 23 TENNESSEE AVE**  
**(DEMO OR MOVES STRUCTURES)**

**VAL OLIVER DESIGN**  
**PO BOX 3057**  
**NANTUCKET, MA 02584**



CERTIFICATE NO: \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

### CERTIFICATE OF APPROPRIATENESS

for structural work.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

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The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

#### PROPERTY DESCRIPTION

TAX MAP N°: 60.1 PARCEL N°. 54+57  
Street & Number of Proposed Work: 21+23 TENNESSEE  
Owner of record: NANTUCKET LAND BANK  
Mailing Address: 22 BROAD STREET  
NANTUCKET, MA 02541  
Contact Phone # (508) 228-7240 E-mail: J.PELIC@NANTUCKETLANDBANK.ORG

#### AGENT INFORMATION (if applicable)

Name: VAL OMA  
Mailing Address: PO BOX 3051  
NANTUCKET, MA 02541  
Contact Phone # (508) 325-4319 E-mail: VAL@VALIE.OMAIL.COM

#### FOR OFFICE USE ONLY

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
Must be acted on by: \_\_\_\_\_  
Extended to: \_\_\_\_\_  
Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
Chairman: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Notes - Comments - Restrictions - Conditions  
\_\_\_\_\_  
\_\_\_\_\_

#### DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling
- Addition
- Garage
- Driveway/Apron
- Commercial
- Historical Renovation
- Deck/Patio
- Steps
- Shed
- Color Change
- Fence
- Gate
- Hardscaping
- Move Building
- Demolition
- Revisions to previous Cert. No. \_\_\_\_\_
- Pool (Zoning District \_\_\_\_\_)
- Roof
- Other \_\_\_\_\_

Size of Structure or Addition: Length: 9.10' Sq. Footage 1st floor: (BOST) Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
Width: 8.8' Sq. footage 2nd floor: \_\_\_\_\_ Size: \_\_\_\_\_  1st floor  2nd floor  
Sq. footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_  
Height of ridge above final finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

#### Additional Remarks

Historic Name: \_\_\_\_\_ REVISIONS\*: 1. East Elevation  
Original Date: \_\_\_\_\_ (describe) 2. South Elevation  
Original Builder: \_\_\_\_\_ 3. West Elevation  
Is there an HDC survey form for this building attached?  Yes  N/A 4. North Elevation

\*Cloud on drawings and submit photographs of existing elevations.

#### DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed \_\_\_\_\_  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
Roof Pitch: Main Mass \_\_\_\_\_ /12 Secondary Mass \_\_\_\_\_ /12 Dormer \_\_\_\_\_ /12 Other \_\_\_\_\_  
Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.)

Fence: Height: \_\_\_\_\_  
Type: \_\_\_\_\_  
Length: \_\_\_\_\_

Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_

Leaders (material and size): \_\_\_\_\_

Sidewall:  White cedar shingles \_\_\_\_\_  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side

Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_

B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_

C. Dimensions: Fascia \_\_\_\_\_ Rake \_\_\_\_\_ Soffit (Overhang) \_\_\_\_\_ Corner boards \_\_\_\_\_ Frieze \_\_\_\_\_  
Window Casing \_\_\_\_\_ Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_

Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_

Doors\* (type and material):  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_  
Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_

Hardscape materials: Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

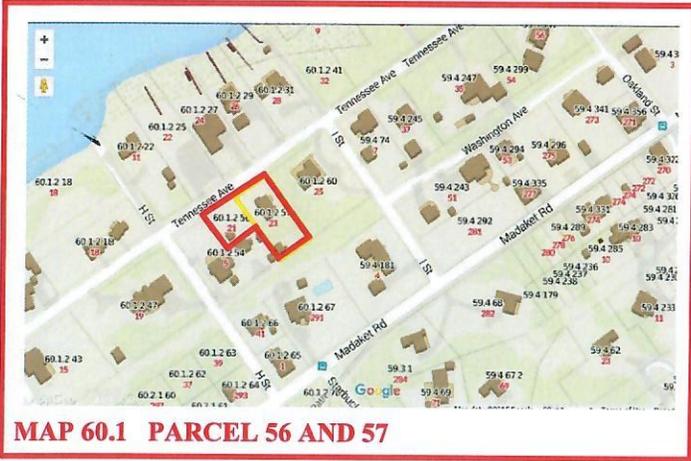
#### COLORS

Sidewall NATURAL Clapboard (if applicable) \_\_\_\_\_ Roof ASPHALT  
Trim NATURAL Sash \_\_\_\_\_ Doors NATURAL  
Deck \_\_\_\_\_ Foundation STONE Fence \_\_\_\_\_ Shutters \_\_\_\_\_

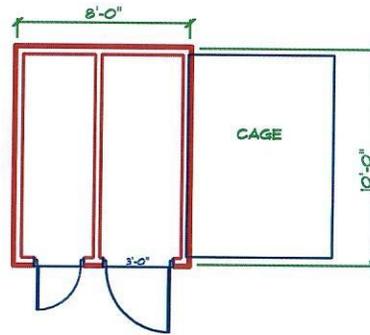
\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 2/23/14 Signature of owner of record Val OMA Signed under penalties of perjury  
AGENT FOR N: LAND BANK



**MAP 60.1 PARCEL 56 AND 57**



**Land**

<b>Land Use</b>	9921	<b>Land Line Valuation</b>	
<b>Use Code</b>	9921	<b>Size (Acres)</b>	0.28
<b>Description</b>	LANDBANK MDL 01	<b>Frontage</b>	0
<b>Zone</b>	VF	<b>Depth</b>	0
<b>Neighborhood</b>	450	<b>Assessed Value</b>	\$894,700
<b>Alt Land Appr</b>	No		
<b>Category</b>			

**Outbuildings**

Outbuildings						Legend
Code	Description	Sub Code	Sub Description	Size	Value	Bldg #
SH04	SHED FRAME			80 S.F.	\$500	1
SH04	SHED FRAME			192 S.F.	\$1,200	
SH04	SHED FRAME			120 S.F.	\$1,000	1

**Valuation History**

Assessment			
Valuation Year	Improvements	Land	Total
2015	\$186,500	\$804,500	\$991,000
2014	\$157,100	\$761,400	\$918,500
2013	\$144,400	\$761,400	\$905,800
2012	\$281,600	\$774,800	\$976,400
2011	\$201,600	\$1,375,800	\$1,577,400



**SHED/FORMER CHICKEN COOP NO #2**

SCALE: 1/4"=1'  
DRAWN BY: VO  
DATE: 2-22-16

**NANTUCKET LAND BANK  
21 AND 23 TENNESSEE AVE  
(DEMO OR MOVES STRUCTURES)**

**VAL OLIVER DESIGN  
PO BOX 3057  
NANTUCKET, MA 02584**



Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

### CERTIFICATE OF APPROPRIATENESS

for structural work.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

#### PROPERTY DESCRIPTION

TAX MAP N°: 601.2 PARCEL N°: 562.57  
Street & Number of Proposed Work: 21/23 PANNAZEE  
Owner of record: NANTUCKET KAWA LAND BANK  
Mailing Address: 22 BEARD ST.  
NANTUCKET, MA 01934  
Contact Phone #: (508) 325-3740 E-mail: J.PEARLE@NANTUCKETLANDBANK.ORG

#### AGENT INFORMATION (if applicable)

Name: VAL OUEL  
Mailing Address: PO BOX 3057  
NANTUCKET, MA 01934  
Contact Phone #: (508) 325-4319 E-mail: VAL@VAL102.COM

FOR OFFICE USE ONLY	
Date application received: _____	Fee Paid: \$ _____
Must be acted on by: _____	
Extended to: _____	
Approved: _____	Disapproved: _____
Chairman: _____	
Member: _____	
Member: _____	
Member: _____	
Member: _____	
Notes - Comments - Restrictions - Conditions	

#### DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling
- Addition
- Garage
- Driveway/Apron
- Commercial
- Historical Renovation
- Deck/Patio
- Steps
- Shed
- Color Change
- Fence
- Gate
- Hardscaping
- Move Building
- Demolition
- Revisions to previous Cert. No.
- Pool (Zoning District \_\_\_\_\_)
- Roof
- Other \_\_\_\_\_

Size of Structure or Addition: Length: 21.0 Sq. Footage 1st floor: 1205 Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
Width: 9.0 Sq. Footage 2nd floor: \_\_\_\_\_ Size: \_\_\_\_\_  1st floor  2nd floor  
Sq. Footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_  
Height of ridge above final finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

#### Additional Remarks

Historic Name: \_\_\_\_\_ REVISIONS\* 1. East Elevation  
Original Date: \_\_\_\_\_ (describe) 2. South Elevation  
Original Builder: \_\_\_\_\_ 3. West Elevation  
Is there an HDC survey form for this building attached?  Yes  N/A 4. North Elevation

\*Cloud on drawings and submit photographs of existing elevations.

#### DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed \_\_\_\_\_  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers

Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_

Roof Pitch: Main Mass \_\_\_\_\_/12 Secondary Mass \_\_\_\_\_/12 Dormer \_\_\_\_\_/12 Other \_\_\_\_\_

Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.)

Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_

Leaders (material and size): \_\_\_\_\_

Sidewall:  White cedar shingles  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side

Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_  
C. Dimensions: Fascia \_\_\_\_\_ Rake \_\_\_\_\_ Soffit (Overhang) \_\_\_\_\_ Corner boards \_\_\_\_\_ Frieze \_\_\_\_\_  
Window Casing \_\_\_\_\_ Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_

Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_

Doors\* (type and material):  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_  
Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_

Hardscape materials: Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

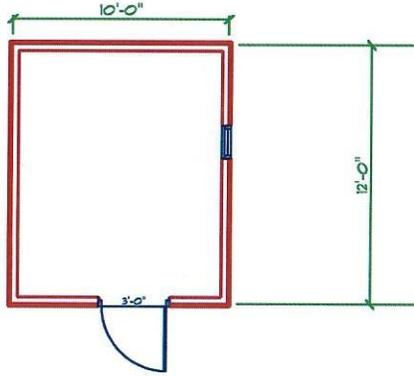
#### COLORS

Sidewall NATURAL Clapboard (if applicable) \_\_\_\_\_ Roof ASPHALT  
Trim NATURAL Sash NATURAL Doors NATURAL  
Deck \_\_\_\_\_ Foundation NONE Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 3/23/14 Signature of owner of record Val Ouel Signed under penalties of perjury  
AGENT FOR N. LAND BANK



**Land**

<b>Land Use</b>	9921	<b>Land Line Valuation</b>
<b>Use Code</b>	LANDBANK MDL 01	<b>Size (Acres)</b> 0.28
<b>Description</b>	LANDBANK MDL 01	<b>Frontage</b> 0
<b>Zone</b>	UR	<b>Depth</b> 0
<b>Neighborhood</b>	450	<b>Assessed Value</b> \$894,700
<b>Alt Land Appr</b>	No	
<b>Category</b>		

**Outbuildings**

Code	Description	Sub Code	Sub Description	Size	Value	Blkg #
SHD1	SHED FRAME			80 S.F.	\$500	1
SHD1	SHED FRAME			192 S.F.	\$1,200	1
SHD1	SHED FRAME			128 S.F.	\$1,000	

**Valuation History**

Valuation Year	Assessment		
	Improvements	Land	Total
2015	\$166,500	\$681,500	\$800,000
2014	\$157,100	\$761,400	\$918,500
2013	\$144,400	\$761,400	\$905,800
2012	\$204,500	\$774,500	\$979,000
2011	\$204,600	\$1,325,800	\$1,537,400



**SHED NO #3**



SCALE: 1/4"=1'  
DRAWN BY: VO  
DATE: 2-22-16

**NANTUCKET LAND BANK**  
**21 AND 23 TENNESSEE AVE**  
**(DEMO OR MOVES STRUCTURES)**

**VAL OLIVER DESIGN**  
**PO BOX 3657**  
**NANTUCKET, MA 02584**





CERTIFICATE NO: \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

### CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

#### PROPERTY DESCRIPTION

TAX MAP N°: 00-17 PARCEL N°: 56+57  
 Street & Number of Proposed Work: 21/23 TENNESSEE  
 Owner of record: NANTUCKET LAND BANK  
 Mailing Address: 22 PEARSON STREET  
NANTUCKET, MA 02554  
 Contact Phone: (508) 228-2219 E-mail: JEMIE.NANTUCKET@LANDBANK.ORG

#### AGENT INFORMATION (if applicable)

Name: VAL OWEN  
 Mailing Address: PO BOX 3057  
NANTUCKET, MA 02584  
 Contact Phone #: (508) 228-4319 E-mail: VAL@VALOWEN.COM

#### FOR OFFICE USE ONLY

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
 Must be acted on by: \_\_\_\_\_  
 Extended to: \_\_\_\_\_  
 Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
 Chairman: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Notes - Comments - Restrictions - Conditions

#### DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed  
 Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_  
 Pool (Zoning District \_\_\_\_\_)  Roof  Other \_\_\_\_\_  
 Size of Structure or Addition: Length: 64' Sq. Footage 1st floor: (1200') Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
 Width: 2' Sq. Footage 2nd floor: \_\_\_\_\_ Size: \_\_\_\_\_  1st floor  2nd floor  
 Sq. Footage 3rd floor: \_\_\_\_\_  
 Difference between existing grade and proposed finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_  
 Height of ridge above final finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

#### Additional Remarks

- REVISIONS\***
1. East Elevation
  2. South Elevation
  3. West Elevation
  4. North Elevation

Historic Name: \_\_\_\_\_

Original Date: 1956

Original Builder: STANLEY MOONEY

Is there an HDC survey form for this building attached?  Yes  N/A

\*Cloud on drawings and submit photographs of existing elevations.

#### DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed \_\_\_\_\_  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
 Masonry Chimney:  Block Parged  Brick (type) COMMON  Other \_\_\_\_\_  
 Roof Pitch: Main Mass /12 Secondary Mass /12 Dormer /12 Other \_\_\_\_\_  
 Roofing material:  Asphalt  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_  
 Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
 Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
 Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_  
 Leaders (material and size): \_\_\_\_\_  
 Sidewall:  White cedar shingles  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_  
 Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
 B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_  
 C. Dimensions: Fascia 3" Rake 1x8 Soffit (Overhang) \_\_\_\_\_ Corner boards 1x6 Frieze \_\_\_\_\_  
 Window Casing 1x4 Door Frame 1x6 Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_  
 Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer (WITH STAINS)  
 Doors\* (type and material):  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_  
 Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_  
 Hardscape materials: Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

#### COLORS

Sidewall NATURAL Clapboard (if applicable) \_\_\_\_\_ Roof ASPHALT 3 TAB  
 Trim WHITE Sash WHITE + CEDAR Doors COMMON  
 Deck NATURAL Foundation COMMON Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

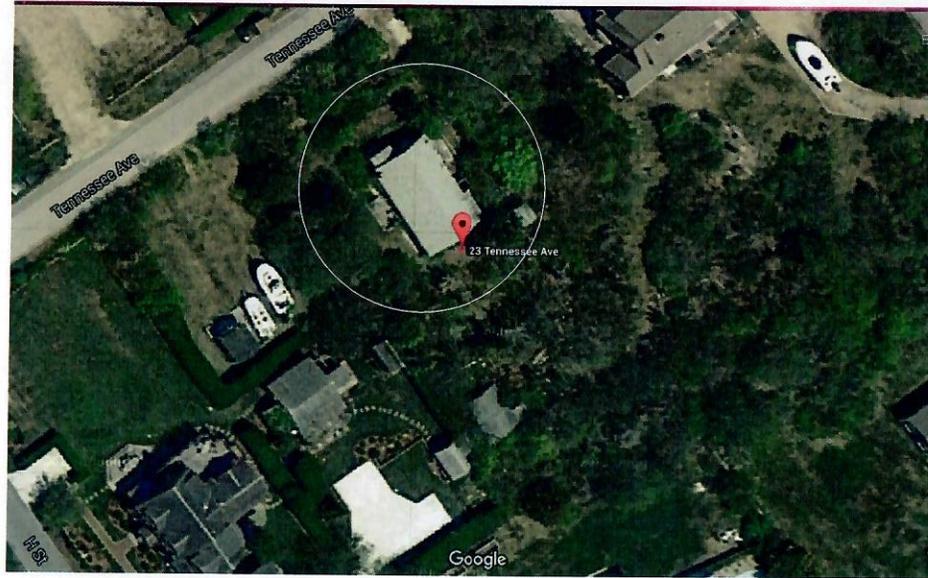
I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 2/23/16 Signature of owner of record Val Owen Signed under penalties of perjury

AGENT FOR NANTUCKET LAND BANK



MAP 60.1 PARCEL 56 AND 57



**MAIN STRUCTURE-DWELLING**

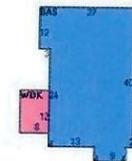
**Building 1 : Section 1**

Year Built: 1956  
 Living Area: 1032  
 Replacement Cost: \$121,289  
 Building Percent: 80  
 Good:  
 Replacement Cost:  
 Less Depreciation: \$97,000

Building Photo



Building Layout



Building Sub-Areas		Legend	
Code	Description	Gross Area	Living Area
BAS	Final Floor	1032	1032
WDK	Deck, Wood	96	0
		1128	1032

**LETTER FROM FORMER OWNER OF PROPERTY'S SON**

From: Tim and Kate Soverino [mailto:acksov@hotmail.com]  
 Sent: Thursday, February 18, 2016 12:22 PM  
 To: jbell@nantucketlandbank.org  
 Subject: RE: 23 Tennessee Ave -- building history

February 18, 2016

Nantucket Land Bank  
 22 Broad Street  
 Nantucket, Ma 02554  
 Attn: Jesse Bell Assistant Director

Dear Jesse,

The property at 23 Tennessee Ave was purchased by my father and mother in 1976 from the widow of one of my father's closest childhood friends. Since being a young boy, my dad was involved in the everyday life of his pal, Stewart Mooney, including watching the construction and enjoyment of this property in approximately 1956 until the early death of his friend in the sixties.

I hope this clarifies the record of this structure and helps the Land Bank move forward with it's plan for the property.

Sincerely,  
 Tim Soverino (son)



**Extra Features**

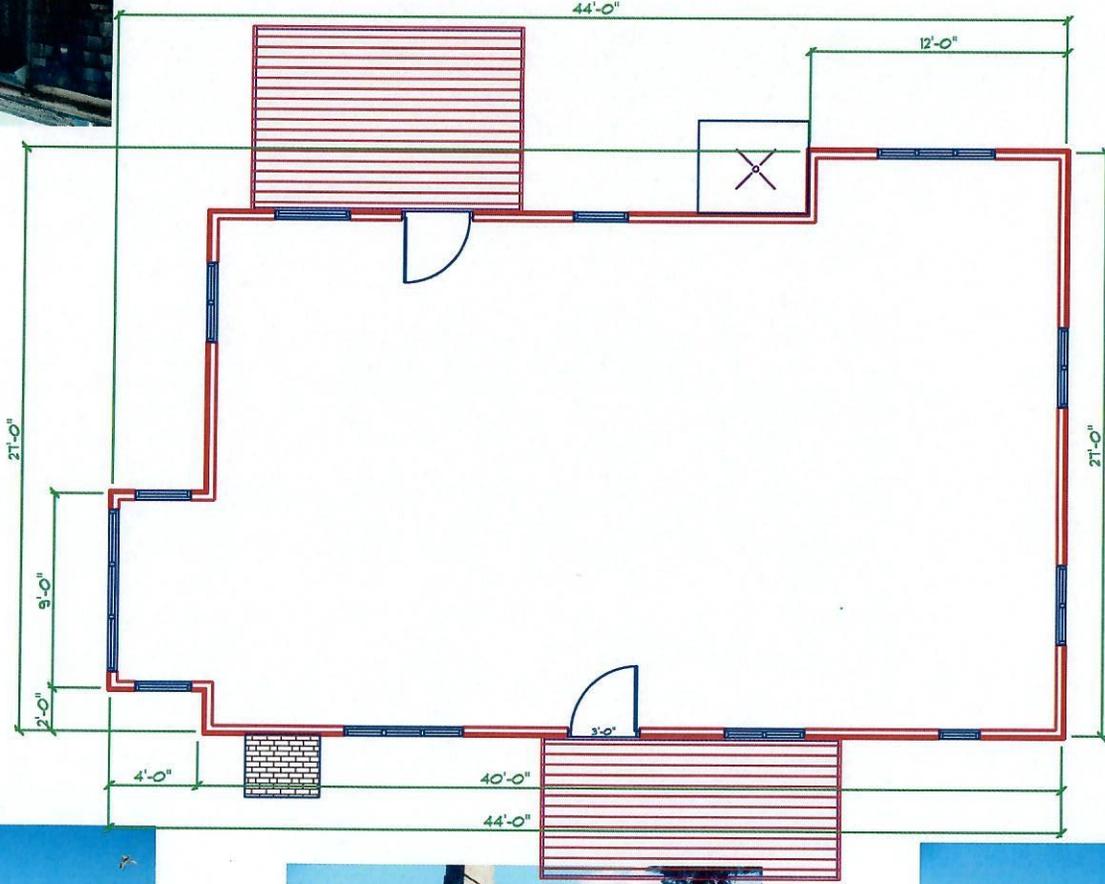
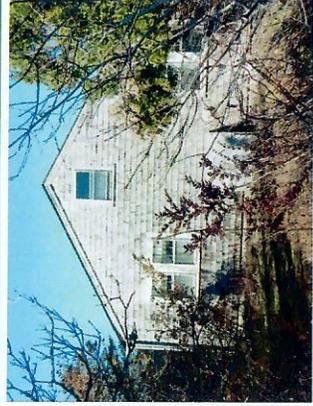
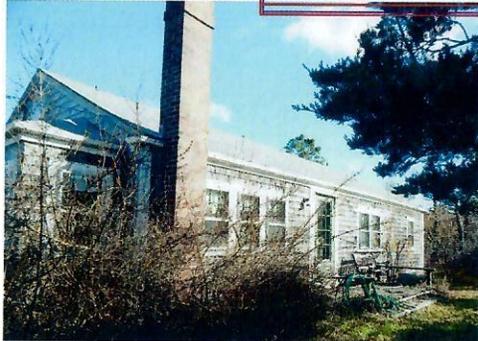
Extra Features					Legend
Code	Description	Size	Value	Bldg #	
FLUZ	BRICK	1 UNITS	\$800		1

SCALE: 1/4"=1'  
 DRAWN BY: VO  
 DATE: 2-22-16

**NANTUCKET LAND BANK  
 21 AND 23 TENNESSEE AVE  
 (DEMO OR MOVE HOUSE)**

**VAL OLIVER DESIGN  
 PO BOX 3057  
 NANTUCKET, MA 02584**





SCALE: 1/4"=1'  
 DRAWN BY: VO  
 DATE: 2-22-16

**NANTUCKET LAND BANK  
 21 AND 23 TENNESSEE AVE  
 (DEMO OR MOVES STRUCTURES)**

**VAL OLIVER DESIGN  
 PO BOX 3057  
 NANTUCKET, MA 02584**



Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

**CERTIFICATE OF APPROPRIATENESS**

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, Building with Nantucket in Mind, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

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The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

**PROPERTY DESCRIPTION**

TAX MAP N°: 42.3.2 PARCEL N°: 201

Street & Number of Proposed Work: 23 UNION STREET

Owner of record: DAN LONDELAN / S. PANNY FROHMAN

Mailing Address: 17 CHAPMAN CORNER - 1 PLANTER VILAS

LONDON, ENGLAND. WYTHE

Contact Phone #: 44 777 589 1818 E-mail: DAN@LONDONNANTUCKET.COM

**AGENT INFORMATION (if applicable)**

Name: VAN OUNDE

Mailing Address: PO BOX 3057

NANTUCKET, MA 01984

Contact Phone #: (508) 325 4319 E-mail: ANNA@VOC.COM

**FOR OFFICE USE ONLY**

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_

Must be acted on by: \_\_\_\_\_

Extended to: \_\_\_\_\_

Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_

Chairman: \_\_\_\_\_

Member: \_\_\_\_\_

Member: \_\_\_\_\_

Member: \_\_\_\_\_

Member: \_\_\_\_\_

Notes - Comments - Restrictions - Conditions

**DESCRIPTION OF WORK TO BE PERFORMED**

See reverse for required documentation.

- New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed
- Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_
- Pool (Zoning District \_\_\_\_\_)  Roof  Other \_\_\_\_\_

Size of Structure or Addition: Length: \_\_\_\_\_ Sq. Footage 1st floor: \_\_\_\_\_ Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
 Width: \_\_\_\_\_ Sq. Footage 2nd floor: \_\_\_\_\_ Size: \_\_\_\_\_  1st floor  2nd floor  
 Sq. Footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

Height of ridge above final finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

**Additional Remarks**

Historic Name: \_\_\_\_\_ REVISIONS: 1. East Elevation } 1. ACBOL  
 Original Date: (describe) 2. South Elevation } 2. BLUESTONE PATH  
 Original Builder: 3. West Elevation } 3. 18" DRY STONE WALL (TO MATCH EXIST)  
 4. North Elevation } 4. IPE WOOD DECKING

Is there an HDC survey form for this building attached?  Yes  N/A

\*Cloud on drawings and submit photographs of existing elevations.

**DETAIL OF WORK TO BE PERFORMED**

Foundation: Height Exposed \_\_\_\_\_  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers

Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_

Roof Pitch: Main Mass \_\_\_\_\_ /12 Secondary Mass \_\_\_\_\_ /12 Dormer \_\_\_\_\_ /12 Other \_\_\_\_\_

Roofing material:  Asphalt  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_

Fence: Height: \_\_\_\_\_  
 Type: \_\_\_\_\_  
 Length: \_\_\_\_\_

Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
 Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_

Leaders (material and size): \_\_\_\_\_

Sidewall:  White cedar shingles \_\_\_\_\_  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side

Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_

B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_

C. Dimensions: Fascia \_\_\_\_\_ Rake \_\_\_\_\_ Soffit (Overhang) \_\_\_\_\_ Corner boards \_\_\_\_\_ Frieze \_\_\_\_\_

Window Casing \_\_\_\_\_ Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_

Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_

True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_

Doors\* (type and material):  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_

Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_

Hardscape materials: Driveways EXISTING DRIVE Walkways BLUESTONE Walls EXIST. DRY STONE

\* Note: Complete door and window schedules are required. (See photos) (See photos) (See photos)

**COLORS**

Sidewall \_\_\_\_\_ Clapboard (if applicable) \_\_\_\_\_ Roof \_\_\_\_\_

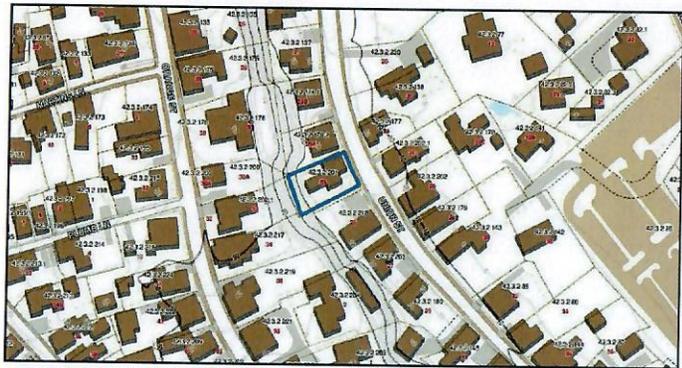
Trim \_\_\_\_\_ Sash \_\_\_\_\_ Doors \_\_\_\_\_

Deck \_\_\_\_\_ Foundation \_\_\_\_\_ Fence \_\_\_\_\_ Shutters \_\_\_\_\_

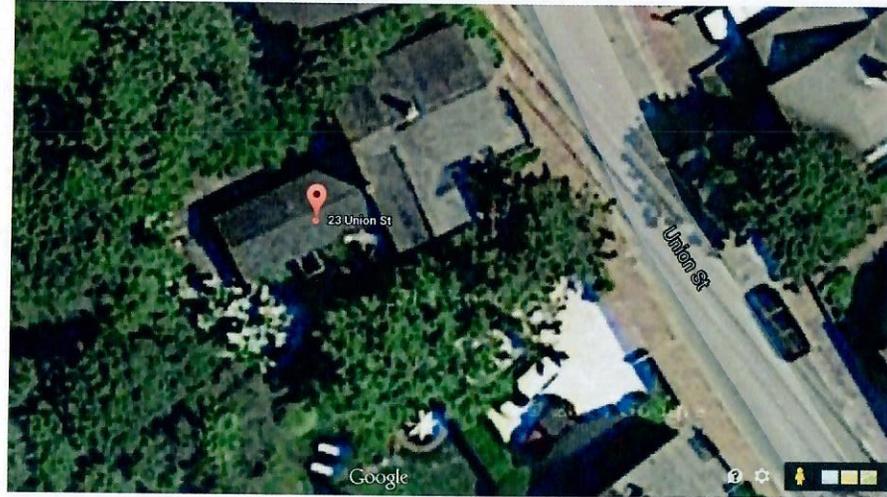
\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 2/20/10 Signature of owner of record \_\_\_\_\_ Signed under penalties of perjury



<b>GOTHAM</b> <small>17 Clarendon Center          01904-0001          Tel: 508-251-0011          Fax: 508-251-0016</small>	<b>Locus Map</b> 23 Union St, Nantucket, MA 02554		Drawn by <b>GMR</b>	Scale <b>NTS @ ARCHD</b>	Date <b>30/01/15</b>
			Drawing <b>23US001</b>	Rev <b>-</b>	



## MAP 42.3.2 PARCEL 201



EAST FACADE /  
VIEW FROM THE UNION STREET



VIEW FROM THE DECK



VIEW OF THE NEW ADDITION  
FROM THE HILL



VIEW OF THE SPA

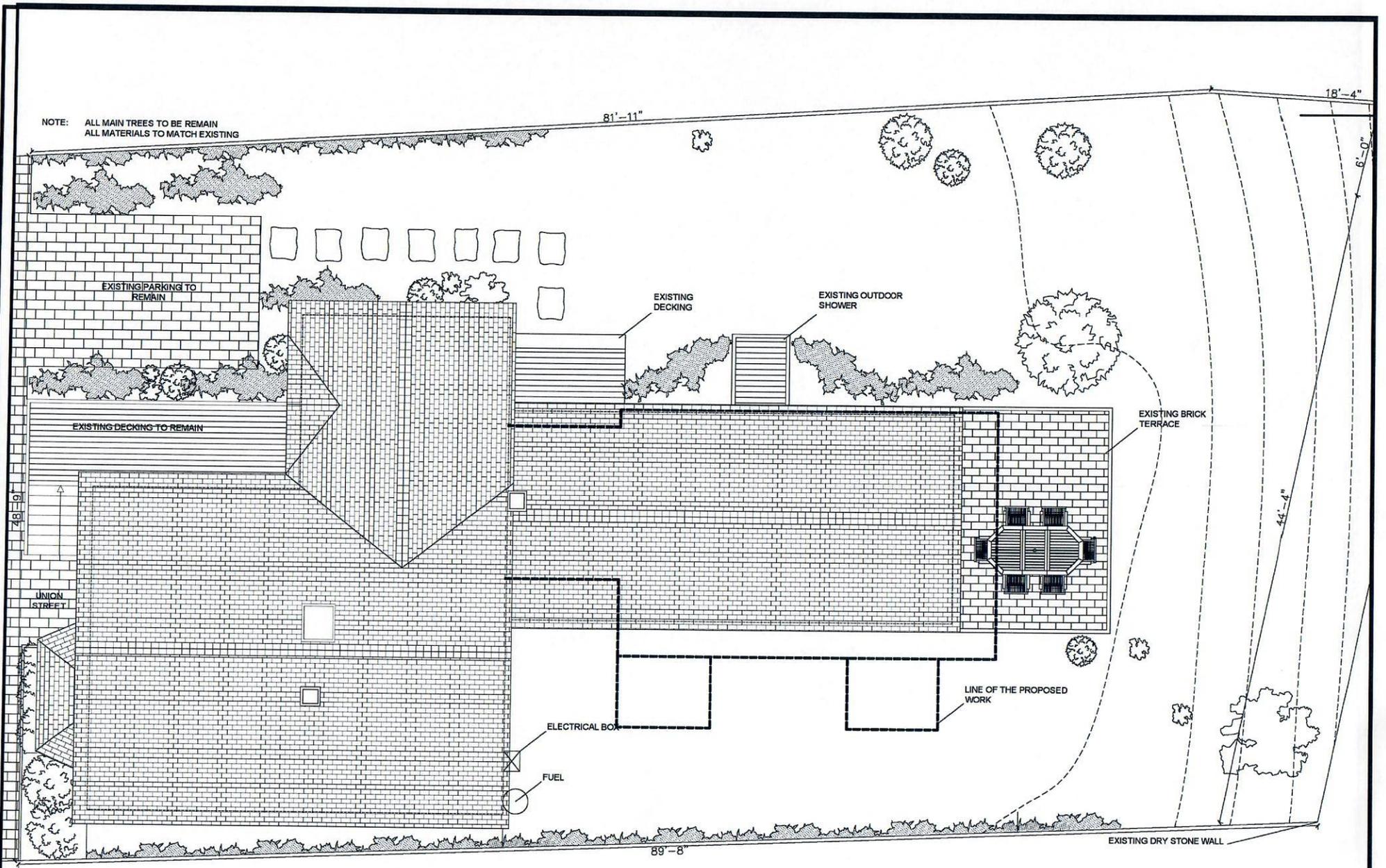
<b>GOTHAM</b> <small>17 Clarendon Center          01904-0001          Tel: 508-251-0011          Fax: 508-251-0016</small>	<b>PROPOSED PERSPECTIVES</b> 23 Union St, Nantucket, MA 02554		Drawn by <b>GMR</b>	Scale <b>NTS @ARCH FB C</b>	Date <b>17/02/15</b>
			Drawing <b>01SL</b>	Rev <b>-</b>	

SCALE: VARIES

DRAWN BY:

DATE: 2-23-16

DAN LONERGAN AND J. PENNEY FROHLING  
 23 UNION STREET  
 HARDSCAPE ITEMS



NO DIMENSIONS ARE TO BE SCALED FROM THIS DRAWING.  
 ALL FIGURED DIMENSIONS ARE TO BE CHECKED ON SITE.  
 THE CONTRACTOR OR MANUFACTURER IS RESPONSIBLE FOR CHECKING ALL  
 DIMENSIONS AND SITE CONDITIONS AND QUERYING ANY DISCREPANCIES.

**DAN LONERGAN AND J. PENNEY FROHLING**  
**23 UNION STREET**  
**HARDSCAPE ITEMS**

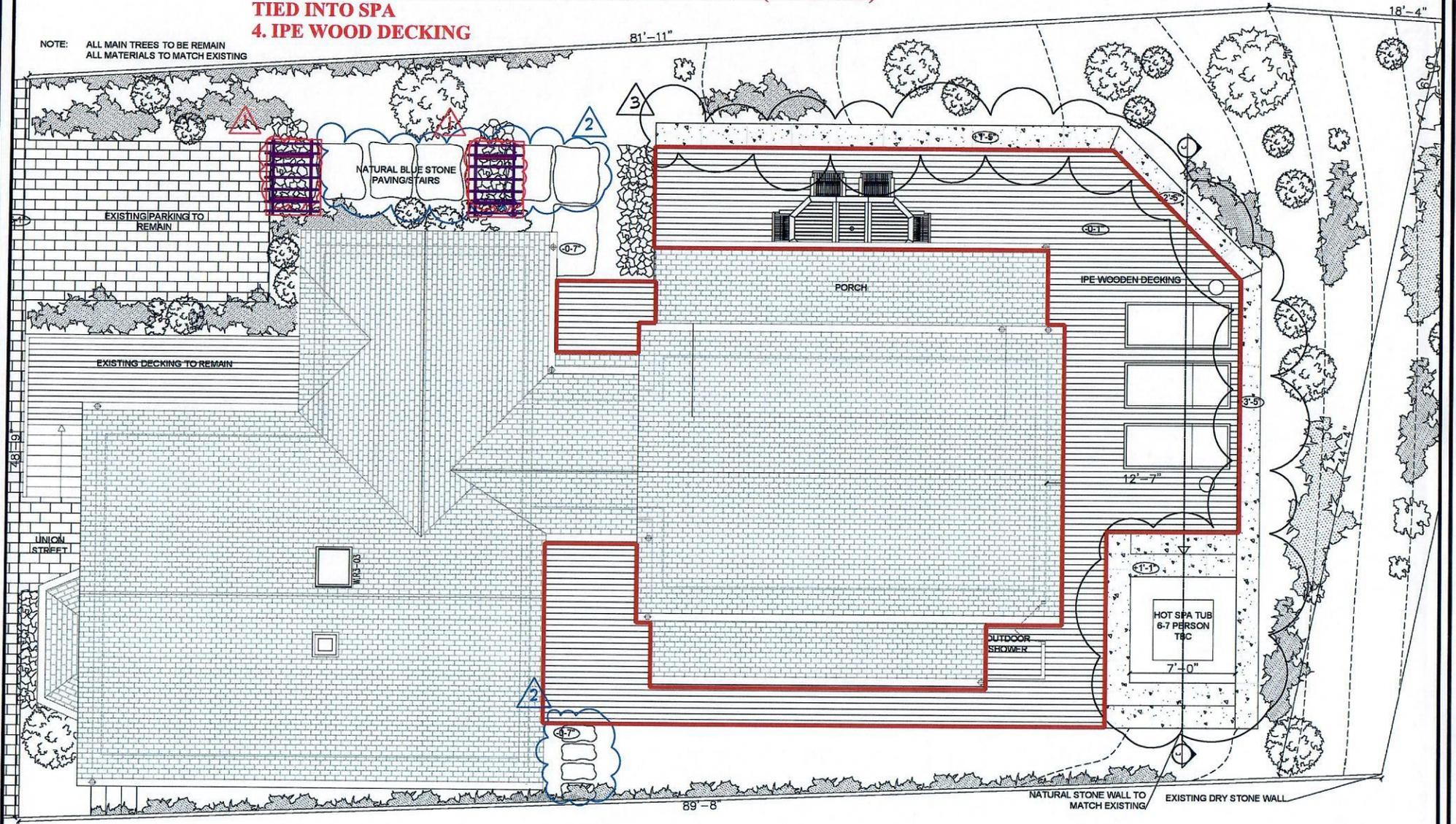
**GOTHAM**  
 17 Chepstow Corner  
 1 Pembroke Villas  
 London W2 4XE  
 Tel: 0207 243 0011  
 Fax: 0207 243 0066

**EXISTING LANDSCAPE PLAN**  
 23 Union St, Nantucket, MA 02554

Drawn by <b>GMR</b>	Scale <b>1/4" @ ARCH FB C</b>	Date <b>17/02/15</b>
Notes: Drawings are for design intent only, do not scale. All dimensions must be field verified prior to construction.	Drawing <b>000L</b>	Rev <b>-</b>

1. ARBOR
2. BLUESTONE PATH
3. 18" DRYSTONE WALL TO MATCH EXISTING WALL (WITH CAP)
4. IPE WOOD DECKING

NOTE: ALL MAIN TREES TO BE REMAIN  
ALL MATERIALS TO MATCH EXISTING



NO DIMENSIONS ARE TO BE SCALED FROM THIS DRAWING.  
ALL FIGURED DIMENSIONS ARE TO BE CHECKED ON SITE.  
THE CONTRACTOR OR MANUFACTURER IS RESPONSIBLE FOR CHECKING ALL  
DIMENSIONS AND SITE CONDITIONS AND QUERYING ANY DISCREPANCIES.

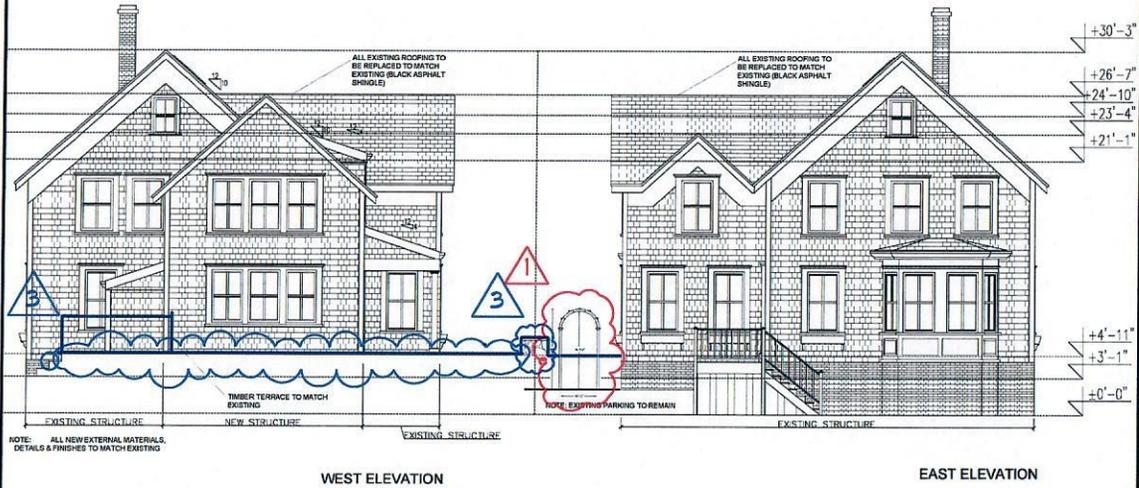
**DAN LONERGAN AND J. PENNEY FROHLING**  
23 UNION STREET  
HARDSCAPE ITEMS

**GOTHAM**  
17 Chestnut Corner  
1 Penbridge Villas  
London W2 4XE  
Tel: 0207 243 0011  
Fax: 0207 243 0066

**PROPOSED LANDSCAPE PLAN**  
23 Union St, Nantucket, MA 02554

Drawn by <b>GMR</b>	Scale <b>1/4" @ARCH FB C</b>	Date <b>17/02/15</b>
Note: Drawings are for design intent only, do not scale. All dimensions must be field verified prior to construction	Drawing <b>010L</b>	Rev <b>-</b>

DAN LONERGAN AND J. PENNEY FROHLING  
 23 UNION STREET  
 HARDSCAPE ITEMS



- 1. ARBOR (NATURAL TO WEATHER) NO GATE
- 2. BLUESTONE PATH
- 3. 18" DRYSTONE WALL (TO MATCH EXIST WALL (WITH CAP) AND TIED INTO SPA
- 4. IPE WOOD DECKING

**GOHAM** 17 Chapman Street, 17 Parkridge Villas, Nantucket, MA 02554, Tel: 827-242-8071, Fax: 827-242-0002

**FACADE EAST AND WEST**  
 23 Union St, Nantucket, MA 02554

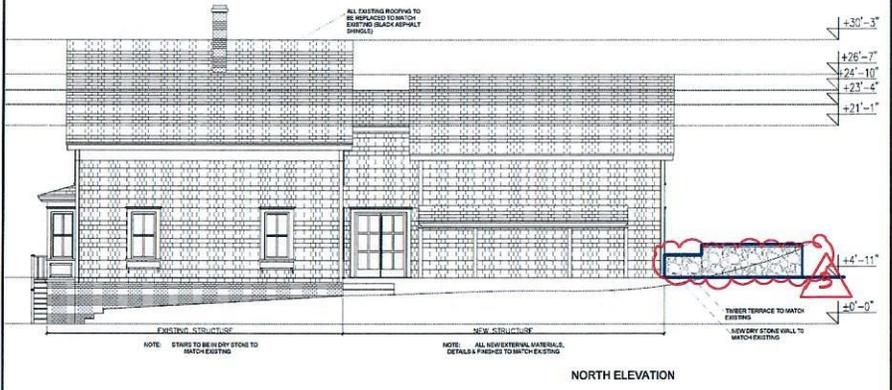
Drawn by: GMR Scale: NTS @ARCH FB C Date: 17/02/15  
 Drawing: 014L Rev: -



**GOHAM** 17 Chapman Street, 17 Parkridge Villas, Nantucket, MA 02554, Tel: 827-242-8071, Fax: 827-242-0002

**FACADE SOUTH**  
 23 Union St, Nantucket, MA 02554

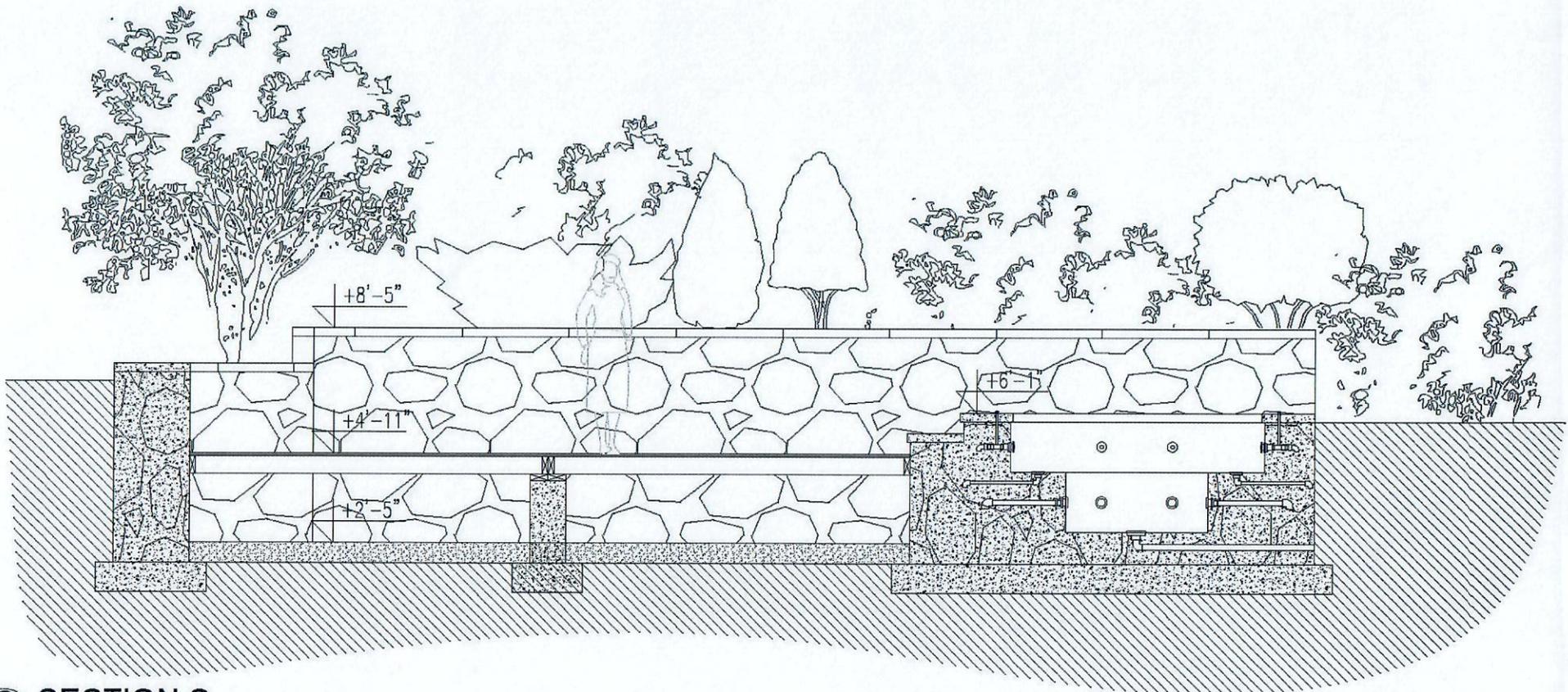
Drawn by: GMR Scale: NTS @ARCH FB C Date: 17/02/15  
 Drawing: 012L Rev: -



**GOHAM** 17 Chapman Street, 17 Parkridge Villas, Nantucket, MA 02554, Tel: 827-242-8071, Fax: 827-242-0002

**FACADE NORTH**  
 23 Union St, Nantucket, MA 02554

Drawn by: GMR Scale: NTS @ARCH FB C Date: 17/02/15  
 Drawing: 013L Rev: -



**C SECTION C**  
SCALE: 1/2" = 1'-0"



EXISTING CONDITION



EXISTING CONDITION



EXISTING CONDITION



TIMBER



DRY STONE WALL TO MATCH EXISTING

NO DIMENSIONS ARE TO BE SCALED FROM THIS DRAWING.  
ALL FIGURED DIMENSIONS ARE TO BE CHECKED ON SITE.  
THE CONTRACTOR OR MANUFACTURER IS RESPONSIBLE FOR CHECKING ALL DIMENSIONS AND SITE CONDITIONS AND QUERING ANY DISCREPANCIES.



17 Cheslow Corner  
1 Penbridge Villas  
London W2 4XE  
Tel: 0207 243 0011  
Fax: 0207 243 0088

**DECK SECTION AND MATERIALS**

23 Union St, Nantucket, MA 02554

Drawn by <b>GMR</b>	Scale <b>1/2" @ ARCH FB C</b>	Date <b>17/02/15</b>
Notes: Drawings are for design intent only, do not scale. All dimensions must be field verified prior to construction		Rev <b>011L</b>

CERTIFICATE NO: \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

### CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

#### PROPERTY DESCRIPTION

TAX MAP N°: 7313 PARCEL N°: 57  
Street & Number of Proposed Work: 27 SHELL ST.  
Owner of record: TOM & ELLEN HAKES  
Mailing Address: 18 FRONT TUCK CIRCLE  
SUMMIT, NJ 07901  
Contact Phone #: 908-391-6116 E-mail: ehakes@gmail.com

#### AGENT INFORMATION (if applicable)

Name: S.M. ROETHKE DESIGN  
Mailing Address: 19 OLD SOUTH RD. #17  
NANTUCKET, MA 02554  
Contact Phone #: 508-925-7588 E-mail: stevemroethke@design.com

#### FOR OFFICE USE ONLY

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
Must be acted on by: \_\_\_\_\_  
Extended to: \_\_\_\_\_  
Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
Chairman: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Notes - Comments - Restrictions - Conditions

#### DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed  
 Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_  
 Pool (Zoning District \_\_\_\_\_)  Roof  Other REPLACE EXISTING 6' LATTICE FENCE W/ BOARD FENCE, GENERATOR + FENCE, GATES, ARBOR, PERCOL.  
Size of Structure or Addition: Length: \_\_\_\_\_ Sq. Footage 1st floor: \_\_\_\_\_ Decks (Patio): Size: 12' x 14'  1st floor  2nd floor  
Width: \_\_\_\_\_ Sq. Footage 2nd floor: \_\_\_\_\_ Size: 10' x 12'  1st floor  2nd floor  
Sq. Footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North N/A South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_  
Height of ridge above final finish grade: North N/A South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

#### Additional Remarks

Historic Name: \_\_\_\_\_  
Original Date: \_\_\_\_\_  
Original Builder: \_\_\_\_\_  
Is there an HDC survey form for this building attached?  Yes  N/A

- REVISIONS\***
1. East Elevation
  2. South Elevation
  3. West Elevation
  4. North Elevation

\*Cloud on drawings and submit photographs of existing elevations.

#### DETAIL OF WORK TO BE PERFORMED

**Foundation:** Height Exposed \_\_\_\_\_  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
**Masonry Chimney:**  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
**Roof Pitch:** Main Mass \_\_\_\_\_/12 Secondary Mass \_\_\_\_\_/12 Dormer \_\_\_\_\_/12 Other \_\_\_\_\_  
**Roofing material:**  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_  
**Skylights (flat only):** Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
**Gutters:**  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_  
**Leaders (material and size):** \_\_\_\_\_  
**Sidewall:**  White cedar shingles  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_  
**Trim:** A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_  
C. Dimensions: Fascia \_\_\_\_\_ Rake \_\_\_\_\_ Soffit (Overhang) \_\_\_\_\_ Corner boards \_\_\_\_\_ Frieze \_\_\_\_\_  
Window Casing \_\_\_\_\_ Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_  
**Windows\*:**  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_  
**Doors\* (type and material):**  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_  
Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_  
**Hardscape materials:** Driveways SHELL Walkways GREENSTONE STEPPERS + GREENSTONE PATIO

Fence: Height: 36", 39", 72"  
Type: PICKET + BOARD TYPES  
Length: SEE PLAN. SEE DETAILS.

\* Note: Complete door and window schedules are required.

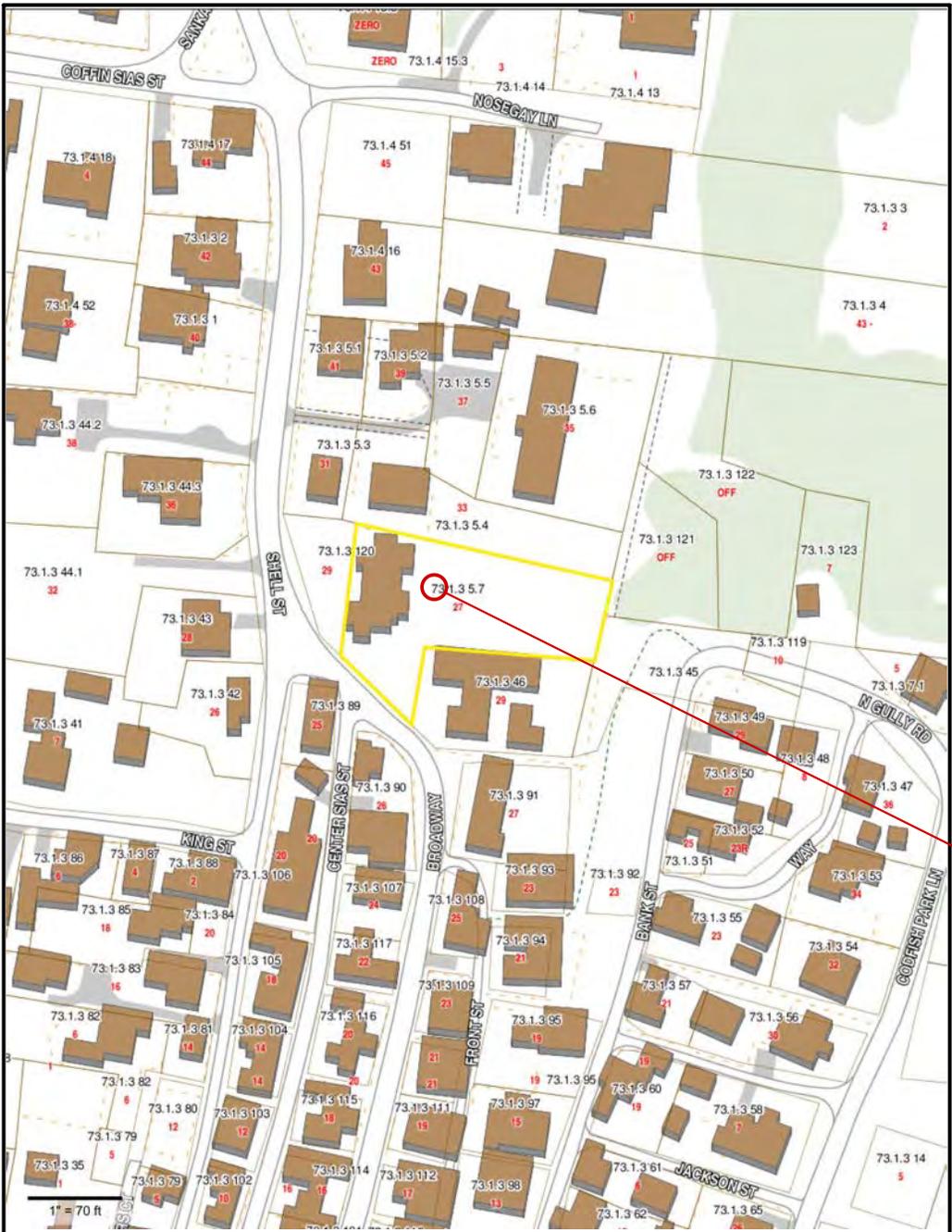
#### COLORS

Sidewall \_\_\_\_\_ Clapboard (if applicable) \_\_\_\_\_ Roof \_\_\_\_\_  
Trim \_\_\_\_\_ Sash \_\_\_\_\_ Doors \_\_\_\_\_  
Deck \_\_\_\_\_ Foundation \_\_\_\_\_ Fence NTW + PAINTED Shutters \_\_\_\_\_  
SEE PLANS!

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 2/23/16 Signature of owner of record \_\_\_\_\_ Signed under penalties of perjury



27 Shell Street  
 (3,129+/- SF. Ft.)

MAP: 7313  
 PARCEL: 5.7

**OWNER INFORMATION:**  
 Thomas & Ellen Hakes  
 18 Friar Tuck Circle  
 Summit, NJ. 07901



**LOCUS FOR GARAGE**

**HAKES RESIDENCE**  
 27 Shell Street  
 Siasconset, MA 02564

**LOCUS**

# 27 SHELL STREET LOCUS MAP

Scale: 1:224.30

REVISIONS:


STAMP:

HDC Review Set  
 2/18/16

**HDC 0.1**



S. M. ROETHKE  
design, inc.

19 old south road  
nantucket, ma 02534  
t. 508.823.7989 f. e.  
508.823.7989  
www.smaroethkedesign.com

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**SITE PLAN FOR GARAGE**

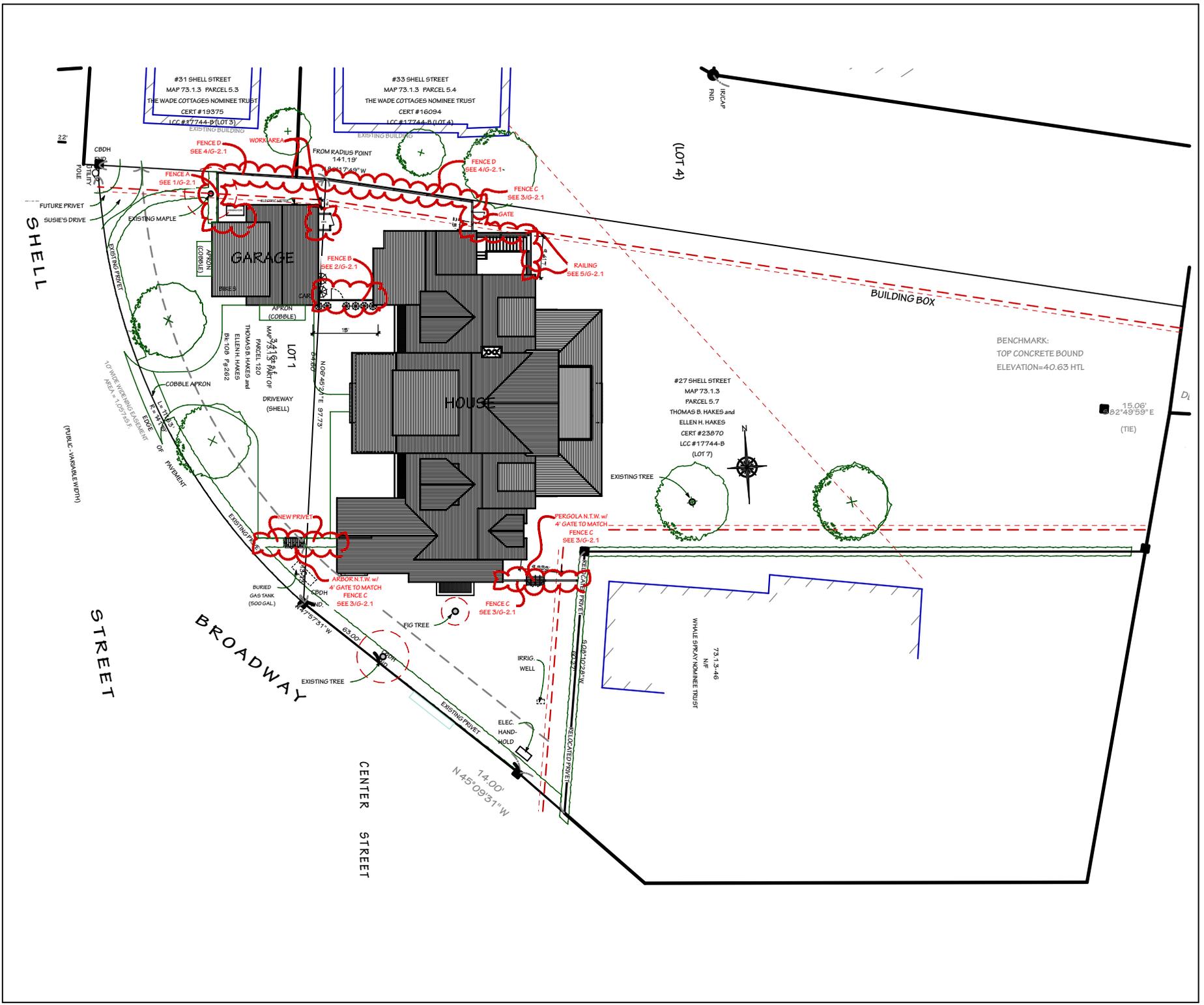
**HAKES RESIDENCE**  
27 Shell Street  
Siasconset, MA 02564

REVISIONS:


STAMP:

HDC Review Set  
2/18/16

**HDC 0.2**



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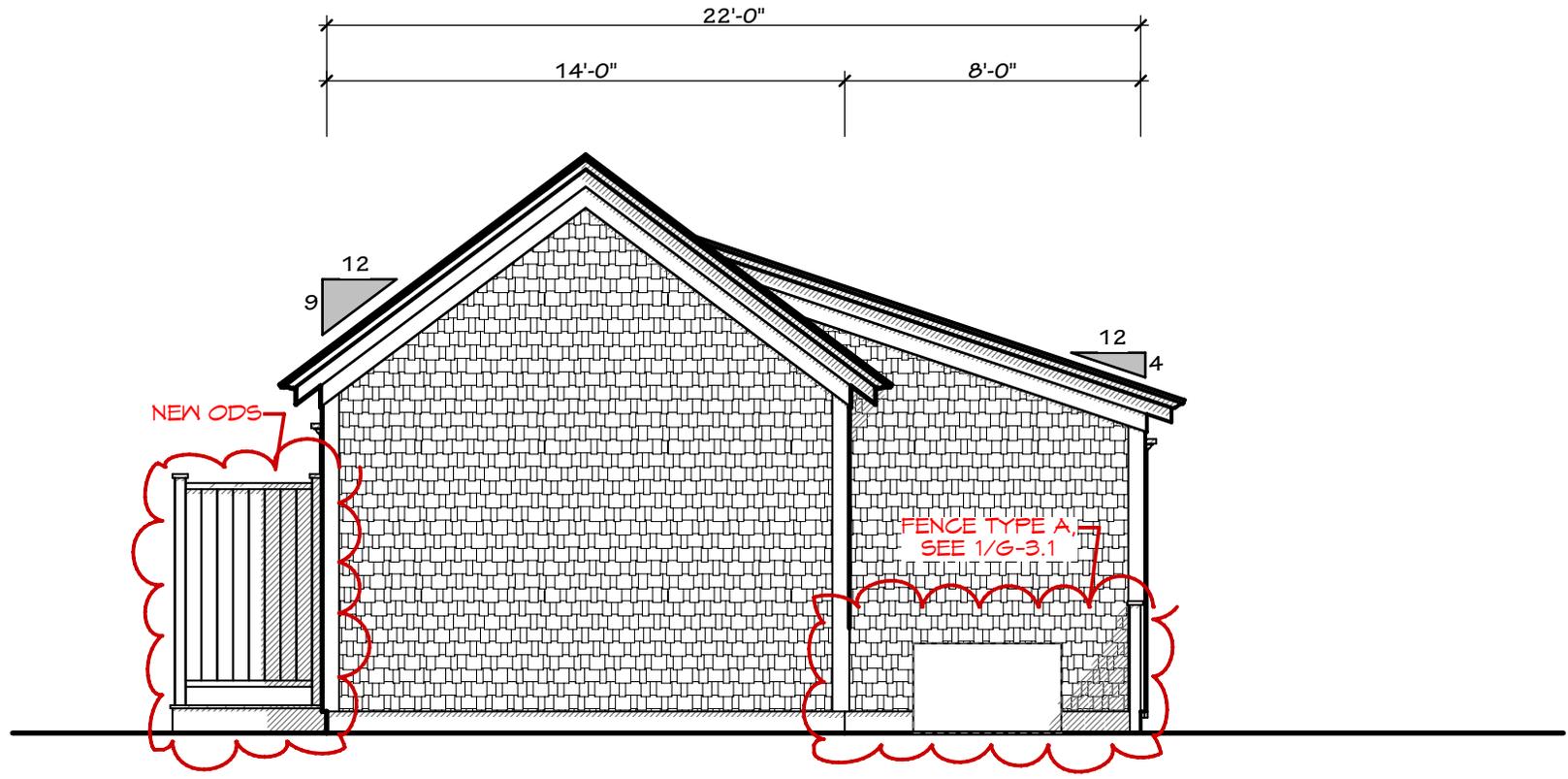
DATE PLOTTED: 11/18/2016 10:58:00 AM



S. M. ROETHKE  
design, inc.

19 old south road  
nantucket, ma 02554  
t: 508.823.7989 | f:  
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**PROPOSED NORTH ELEVATION**

**HAKES RESIDENCE**  
27 Shell Street  
Siasconset, MA 02564

REVISIONS:


STAMP:

HDC Review Set  
2/18/16

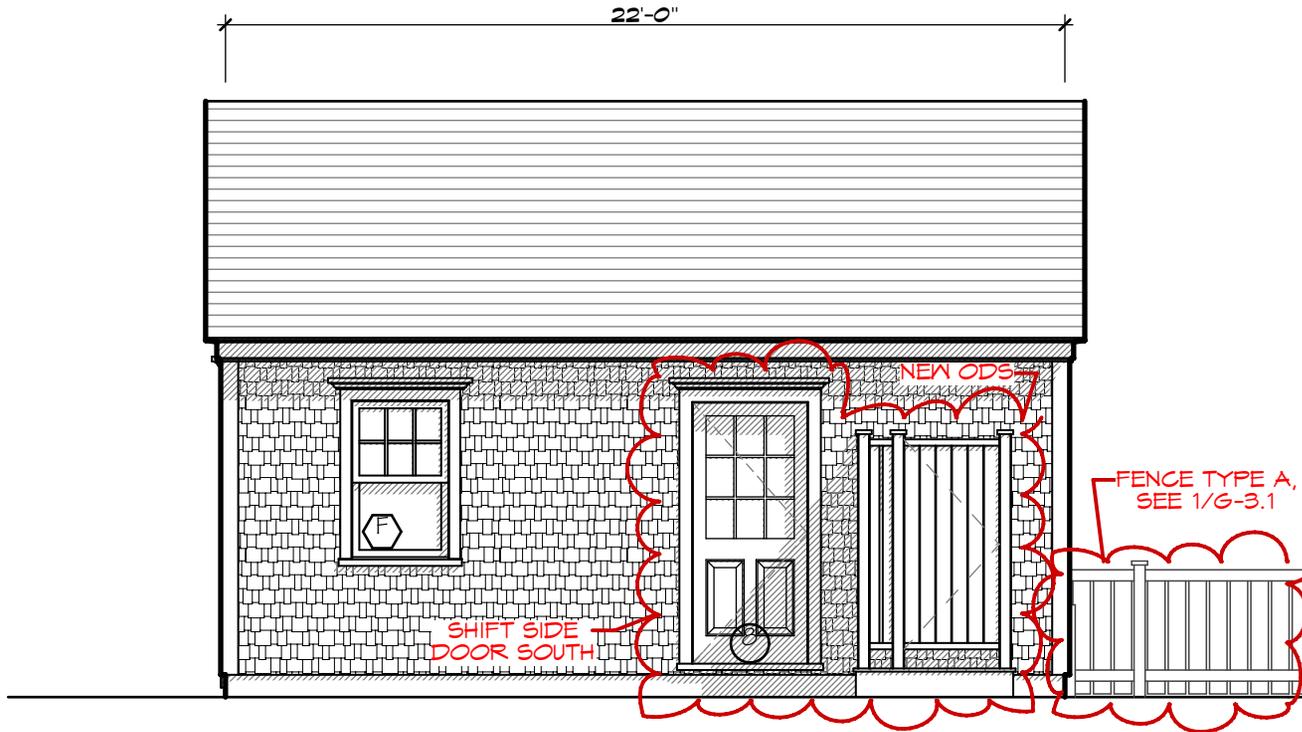
2014/03/25 10:41 AM 1/16/16 10:41 AM 1/16/16 10:41 AM



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t. 508.825.7989 | f. 508.825.7989  
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**PROPOSED EAST ELEVATION**

**HAKES RESIDENCE**  
27 Shell Street  
Siasconset, MA 02564

REVISIONS:


STAMP:

HDC Review Set  
2/18/16

**GHDC 2.4**

CERTIFICATE NO: \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

### CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

#### PROPERTY DESCRIPTION

TAX MAP N<sup>o</sup>: 54 PARCEL N<sup>o</sup>: 209

Street & Number of Proposed Work: 29 Monomoy Rd.

Owner of record: Christopher Choma

Mailing Address: 29 Monomoy Rd.  
Nantucket MA 02554

Contact Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

#### AGENT INFORMATION (if applicable)

Name: Milton Rowland & Assoc.

Mailing Address: 15 Commercial Street  
Nantucket MA 02554

Contact Phone #: 776-2044 E-mail: \_\_\_\_\_

#### FOR OFFICE USE ONLY

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_

Must be acted on by: \_\_\_\_\_

Extended to: \_\_\_\_\_

Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_

Chairman: \_\_\_\_\_

Member: \_\_\_\_\_

Member: \_\_\_\_\_

Member: \_\_\_\_\_

Member: \_\_\_\_\_

Notes - Comments - Restrictions - Conditions

#### DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling
- Addition
- Garage
- Driveway/Apron
- Commercial
- Historical Renovation
- Deck/Patio
- Steps
- Shed
- Color Change
- Fence
- Gate
- Hardscaping
- Move Building
- Demolition
- Revisions to previous Cert. No. \_\_\_\_\_
- Pool (Zoning District \_\_\_\_\_)
- Roof
- Other \_\_\_\_\_

Size of Structure or Addition: Length: 73'3" Sq. Footage 1st floor: 1440 s.f. Decks/Patio: Size: 1050 1,050  1st floor  2nd floor  
 Width: 52'3" Sq. Footage 2nd floor: 1440 s.f. Size: 300 s.f.  1st floor  2nd floor  
 Sq. Footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North No Change South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_  
 Height of ridge above final finish grade: North 29'4" South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

#### Additional Remarks

Historic Name: \_\_\_\_\_ REVISIONS: 1. East Elevation  
 Original Date: \_\_\_\_\_ (describe) 2. South Elevation  
 Original Builder: \_\_\_\_\_ 3. West Elevation  
 Is there an HDC survey form for this building attached?  Yes  N/A 4. North Elevation

*New Dwelling*

\*Cloud on drawings and submit photographs of existing elevations.

#### DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 6"  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers

Masonry Chimney:  Block Parged  Brick (type) new-used  Other \_\_\_\_\_

Roof Pitch: Main Mass 9/12 Secondary Mass 9/12 Dormer 5/12 Other \_\_\_\_\_

Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.)

Fence: Height: \_\_\_\_\_  
 Type: \_\_\_\_\_  
 Length: \_\_\_\_\_

Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
 Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_

Leaders (material and size): 4x4 wood

Sidewall:  White cedar shingles Natural  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_

Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_

B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_

C. Dimensions: Fascia 1x6 Rake 1x6 Soffit (Overhang) 6" Corner boards 5/4x6 Frieze 1x6  
 Window Casing 5/4x4 Door Frame 5/4x4 Columns/Posts: Round \_\_\_\_\_ Square 6x6

Windows\*:  Double Hung  Casement  All Wood  Other fixed  
 True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer Anderson

Doors\* (type and material):  TDL  SDL Front 6 light 2 panel Rear 15 light slider Side 12 light 1 panel

Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_

Hardscape materials: Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

#### COLORS

Sidewall Natural Clapboard (if applicable) \_\_\_\_\_ Roof Natural  
 Trim White Sash White Doors White  
 Deck Natural Foundation gray Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

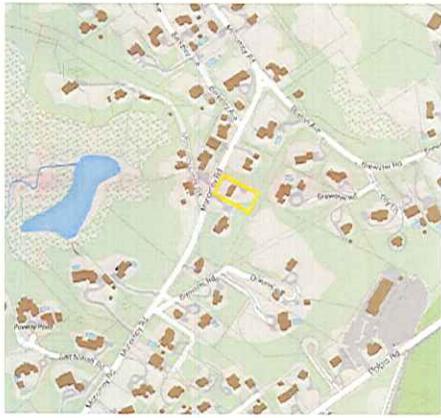
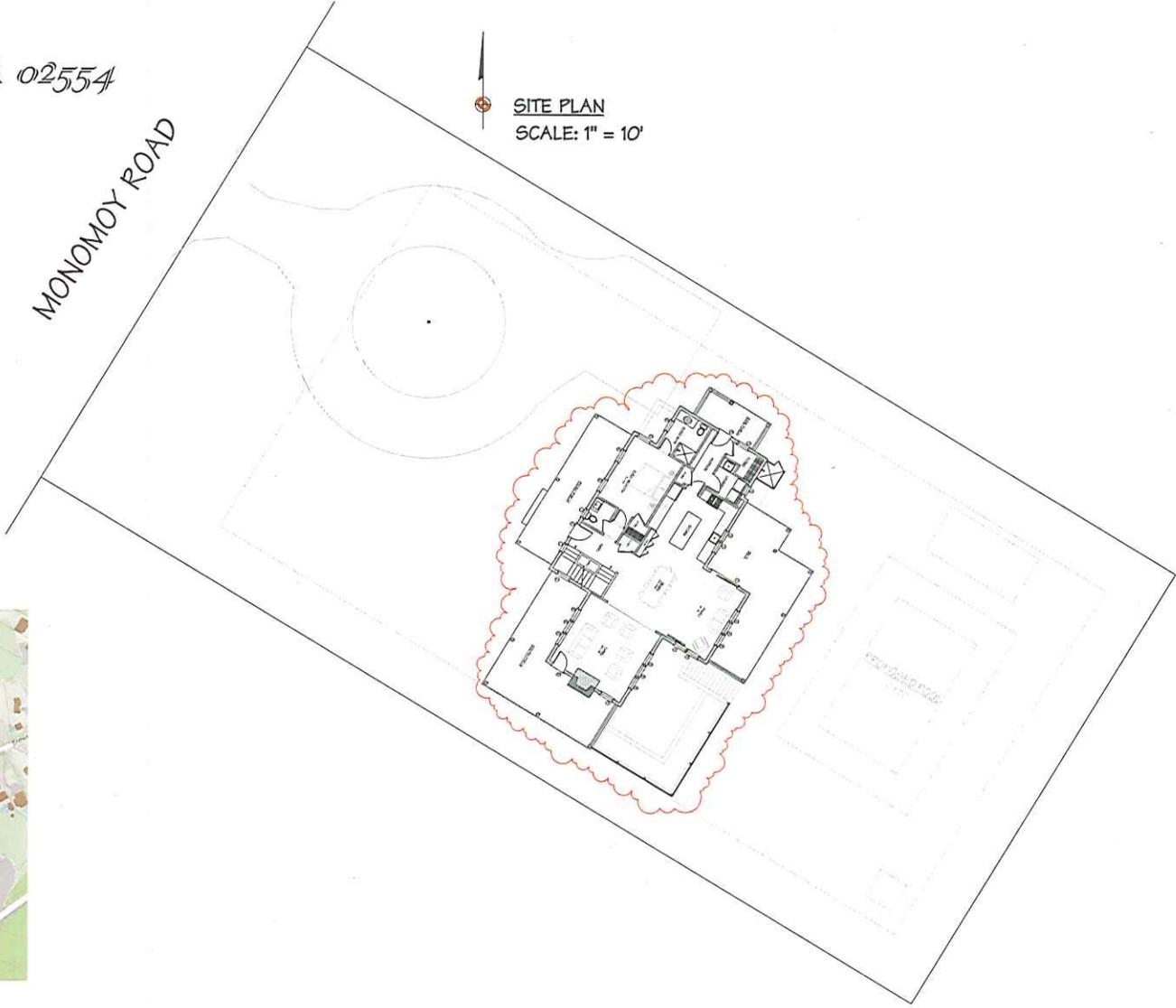
I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 2/23/2016 Signature of owner of record \_\_\_\_\_ Signed under penalties of perjury

*THE CHOMA RESIDENCE*  
*29 MONOMOY RD.*  
*NANTUCKET, MA 02554*

MONOMOY ROAD


**SITE PLAN**  
 SCALE: 1" = 10'



**THE CHOMA RESIDENCE**  
 29 Monomoy Rd.  
 Nantucket, MA  
 10/11/14

COVER SHEET  
 DATE: 02/22/2016  
 SCALE: AS NOTED

REVISIONS

MILTON HOWLAND & ASSOCIATES  
 15 COTTAGE STREET  
 NANTUCKET, MASSACHUSETTS  
 508.228.2604





WEST ELEVATION



NORTH ELEVATION

Choma Main House						2/22/2016
Number	Description	Quantity	Unit	Type	Comments	Sheet
1	1" x 4" x 8"	100	Each	Architrave	14 High 2 panel	1
2	2" x 4" x 8"	100	Each	Capitol	14 High 2 panel	1
3	2" x 4" x 8"	100	Each	Architrave	14 High 2 panel	1
4	2" x 4" x 8"	100	Each	Architrave	14 High 2 panel	1
5	2" x 4" x 8"	100	Each	Architrave	14 High 2 panel	1
6	2" x 4" x 8"	100	Each	Architrave	14 High 2 panel	1
7	2" x 4" x 8"	100	Each	Architrave	14 High 2 panel	1
8	2" x 4" x 8"	100	Each	Architrave	14 High 2 panel	1
9	2" x 4" x 8"	100	Each	Architrave	14 High 2 panel	1
10	2" x 4" x 8"	100	Each	Architrave	14 High 2 panel	1
11	2" x 4" x 8"	100	Each	Architrave	14 High 2 panel	1
12	2" x 4" x 8"	100	Each	Architrave	14 High 2 panel	1
13	2" x 4" x 8"	100	Each	Architrave	14 High 2 panel	1
14	2" x 4" x 8"	100	Each	Architrave	14 High 2 panel	1
15	2" x 4" x 8"	100	Each	Architrave	14 High 2 panel	1
16	2" x 4" x 8"	100	Each	Architrave	14 High 2 panel	1
17	2" x 4" x 8"	100	Each	Architrave	14 High 2 panel	1
18	2" x 4" x 8"	100	Each	Architrave	14 High 2 panel	1
19	2" x 4" x 8"	100	Each	Architrave	14 High 2 panel	1
20	2" x 4" x 8"	100	Each	Architrave	14 High 2 panel	1
21	2" x 4" x 8"	100	Each	Architrave	14 High 2 panel	1
22	2" x 4" x 8"	100	Each	Architrave	14 High 2 panel	1
23	2" x 4" x 8"	100	Each	Architrave	14 High 2 panel	1
24	2" x 4" x 8"	100	Each	Architrave	14 High 2 panel	1
25	2" x 4" x 8"	100	Each	Architrave	14 High 2 panel	1
26	2" x 4" x 8"	100	Each	Architrave	14 High 2 panel	1
27	2" x 4" x 8"	100	Each	Architrave	14 High 2 panel	1
28	2" x 4" x 8"	100	Each	Architrave	14 High 2 panel	1
29	2" x 4" x 8"	100	Each	Architrave	14 High 2 panel	1
30	2" x 4" x 8"	100	Each	Architrave	14 High 2 panel	1
31	2" x 4" x 8"	100	Each	Architrave	14 High 2 panel	1
32	2" x 4" x 8"	100	Each	Architrave	14 High 2 panel	1
33	2" x 4" x 8"	100	Each	Architrave	14 High 2 panel	1
34	2" x 4" x 8"	100	Each	Architrave	14 High 2 panel	1
35	2" x 4" x 8"	100	Each	Architrave	14 High 2 panel	1
36	2" x 4" x 8"	100	Each	Architrave	14 High 2 panel	1
37	2" x 4" x 8"	100	Each	Architrave	14 High 2 panel	1
38	2" x 4" x 8"	100	Each	Architrave	14 High 2 panel	1
39	2" x 4" x 8"	100	Each	Architrave	14 High 2 panel	1
40	2" x 4" x 8"	100	Each	Architrave	14 High 2 panel	1
41	2" x 4" x 8"	100	Each	Architrave	14 High 2 panel	1
42	2" x 4" x 8"	100	Each	Architrave	14 High 2 panel	1
43	2" x 4" x 8"	100	Each	Architrave	14 High 2 panel	1
44	2" x 4" x 8"	100	Each	Architrave	14 High 2 panel	1
45	2" x 4" x 8"	100	Each	Architrave	14 High 2 panel	1
46	2" x 4" x 8"	100	Each	Architrave	14 High 2 panel	1
47	2" x 4" x 8"	100	Each	Architrave	14 High 2 panel	1
48	2" x 4" x 8"	100	Each	Architrave	14 High 2 panel	1
49	2" x 4" x 8"	100	Each	Architrave	14 High 2 panel	1
50	2" x 4" x 8"	100	Each	Architrave	14 High 2 panel	1

Window Notes: (indicate window style #)

1. Used walls to be determined on site for window placement.
2. All window casings should be installed.
3. All window head casing must be 1/2" steel for compliance to Building Code 780/800/1000.
4. All window casings must be 1/2" steel for compliance to Building Code 780/800/1000.

Notes:

1. Contractor is responsible for coordinating window and door sizes and for window and door installation.

MILTON FOLAND & ASSOCIATES  
15 CORNHILL WHARF  
NANTUCKET, MASSACHUSETTS  
508.228.2044

EE/05/10/15

ELEVATION 5  
DATE: 02/22/2016  
SCALE: 1/4" = 1'-0"

THE CHOMA RESIDENCE  
29 Monomoy Rd.  
Nantucket, MA

1/17/14 7:00P

3



EAST ELEVATION



SOUTH ELEVATION

MILTON FORTLAND & ASSOCIATES  
 15 COLLEGE AVENUE  
 NANTUCKET, MASSACHUSETTS  
 508.228.2004

REVISED

ELEVATIONS  
 10/20/2005  
 SCALE 1/4" = 1'-0"

THE CHOMA RESIDENCE  
 29 Monomoy Rd.  
 Nantucket, MA

CERTIFICATE NO: \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a  
**CERTIFICATE OF APPROPRIATENESS**  
for structural work.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application.**  
Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

**PROPERTY DESCRIPTION**

TAX MAP N°: 68 PARCEL N°: 744  
Street & Number of Proposed Work: 31 DIFFORD LANE  
Owner of record: WILLIAM NOGUEIRA  
Mailing Address: 2 WILCOCKMANE PMSB3  
NANTUCKET, MA 02544  
Contact Phone #: (508) 329-4830 E-mail: \_\_\_\_\_

**AGENT INFORMATION (if applicable)**

Name: JAV OUNSE / WILLIAM NOGUEIRA  
Mailing Address: PO BOX 3057  
NANTUCKET, MA 02544  
Contact Phone: (508) 329-4819 E-mail: WILLIAM@NOGUEIRA.COM

**FOR OFFICE USE ONLY**

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
Must be acted on by: \_\_\_\_\_  
Extended to: \_\_\_\_\_  
Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
Chairman: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Notes - Comments - Restrictions - Conditions  
\_\_\_\_\_  
\_\_\_\_\_

**DESCRIPTION OF WORK TO BE PERFORMED**

See reverse for required documentation.

- New Dwelling     Addition     Garage     Driveway/Apron     Commercial     Historical Renovation     Deck/Patio     Steps     Shed  
 Color Change     Fence     Gate     Hardscaping     Move Building     Demolition     Revisions to previous Cert. No. \_\_\_\_\_  
 Pool (Zoning District \_\_\_\_\_)     Roof     Other \_\_\_\_\_

Size of Structure or Addition: Length: 40' Sq. Footage 1st floor: 10935 Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
Width: 28' Sq. Footage 2nd floor: 1000 Size: \_\_\_\_\_  1st floor  2nd floor  
Sq. Footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_  
Height of ridge above final finish grade: North 24'-6" South 24'-6" East 24'-6" West 24'-6"

**Additional Remarks**

Historic Name: \_\_\_\_\_  
Original Date: \_\_\_\_\_ (describe) \_\_\_\_\_  
Original Builder: \_\_\_\_\_  
Is there an HDC survey form for this building attached?  Yes  N/A

\*Cloud on drawings and submit photographs of existing elevations.

**DETAIL OF WORK TO BE PERFORMED**

Foundation: Height Exposed 8"  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
Roof Pitch: Main Mass 9/12 Secondary Mass \_\_\_\_\_/12 Dormer 4/12 Other \_\_\_\_\_  
Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_

Fence: Height: \_\_\_\_\_  
Type: \_\_\_\_\_  
Length: \_\_\_\_\_

Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_

Leaders (material and size): \_\_\_\_\_

Sidewall:  White cedar shingles \_\_\_\_\_  Clapboard (exposure: 5" inches) Front  Side   
 Other \_\_\_\_\_

Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_

B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_

C. Dimensions: Fascia 6" Rake 1x3 Soffit (Overhang) 4'-0" Corner boards 1x4 Frieze \_\_\_\_\_  
Window Casing 1x4 Door Frame 1x4 Columns/Posts: Round \_\_\_\_\_ Square 4" x 6"

Windows:  Double Hung  Casement  All Wood  Other \_\_\_\_\_

True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer ANDERSON

Doors\* (type and material):  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_

Garage Door(s): Type OVERHEAD Material \_\_\_\_\_

Hardscape materials: Driveways ASPHALT Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

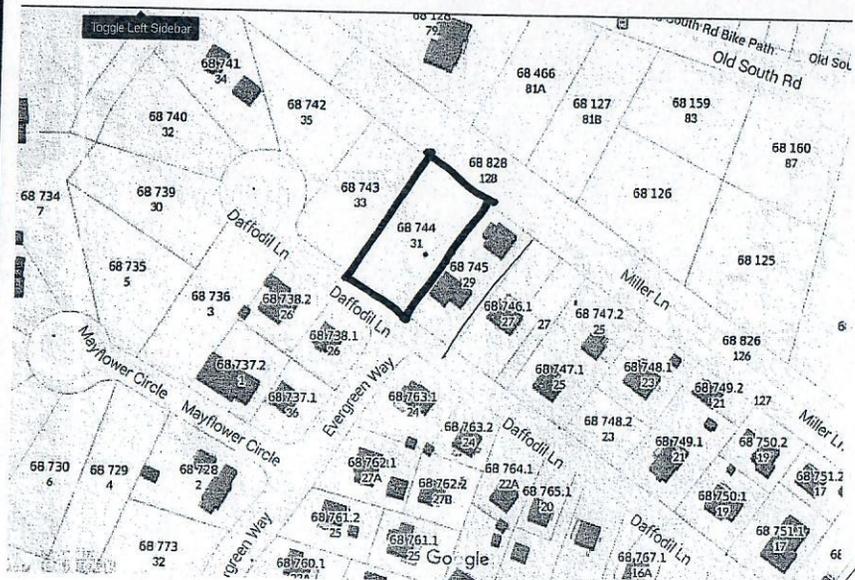
**COLORS**

Sidewall NATURAL Clapboard (if applicable) MAIN STREET YELLOW Roof ASPHALT FLT 1 PECTURAL  
Trim CORBESSTONE Sash WHITE Doors CORBESSTONE  
Deck NATURAL Foundation CORBES Fence \_\_\_\_\_ Shutters \_\_\_\_\_

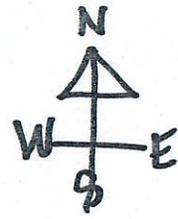
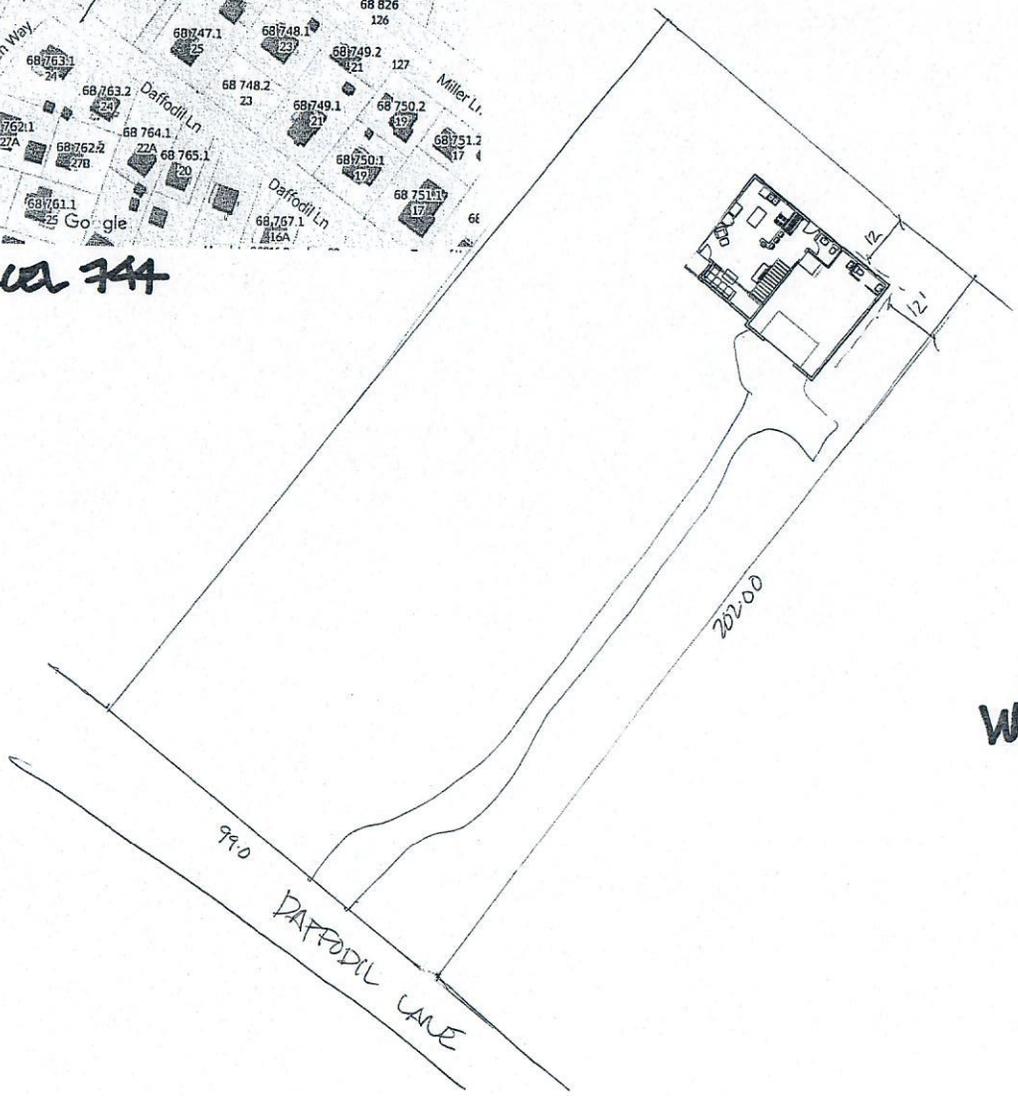
\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 2/25/16 Signature of owner of record X Signed under penalties of perjury



MAP 68 - Parcel 744



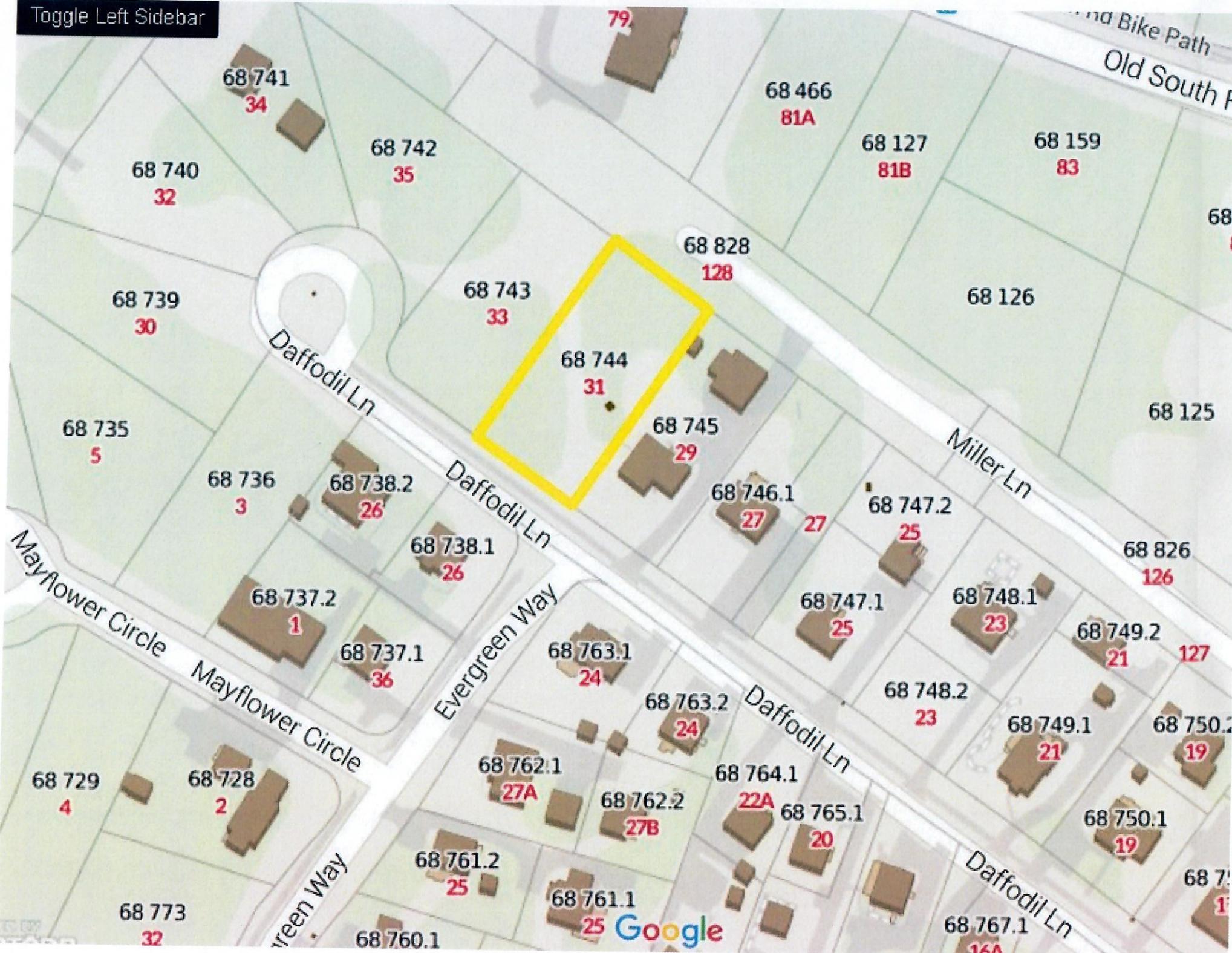
SCALE: 1/4" = 1'
DRAWN BY: VO
DATE: 2-5-16

**(31 Daffodil)**  
**NOGUEIRA - NEW DWELLING**

VAL OLIVER DESIGN  
 PO BOX 3057  
 NANTUCKET, MA 02584



Toggle Left Sidebar



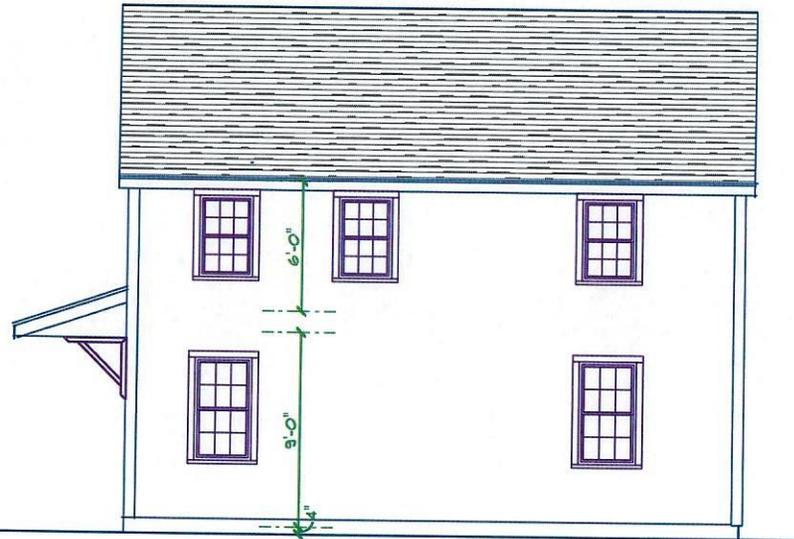
LEFT (WEST)



FRONT (SOUTH) FACING ROAD



REAR (NORTH)



RIGHT (EAST)

SCALE: 1/4"=1'  
 DRAWN BY: VO  
 DATE: 2-5-16

NOGUEIRA- NEW DWELLING  
 31 DAFFODIL LANE

VAL OLIVER DESIGN  
 PO BOX 3057  
 NANTUCKET, MA 02584



CERTIFICATE NO: \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

### CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

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The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

#### PROPERTY DESCRIPTION

TAX MAP N°: 7331 PARCEL N°: 03  
 Street & Number of Proposed Work: 36 MAIN ST. 'SCANSSET  
 Owner of record: GREG & LAURA SPIVY  
 Mailing Address: 50 PRESIDIO  
SAN FRANCISCO, CA 94129  
 Contact Phone #: \_\_\_\_\_ E-mail: lspivy@spivyfamily.com

#### AGENT INFORMATION (if applicable)

Name: S.M. ROETHKE DESIGN  
 Mailing Address: 19 OLD SOUTH RD. #17  
NANTUCKET, MA 02554  
 Contact Phone #: 509-825-7506 E-mail: steve@smroethke.com

#### FOR OFFICE USE ONLY

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
 Must be acted on by: \_\_\_\_\_  
 Extended to: \_\_\_\_\_  
 Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
 Chairman: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_

Notes - Comments - Restrictions - Conditions

#### DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed
- Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_
- Pool (Zoning District \_\_\_\_\_)  Roof  Other \_\_\_\_\_

Size of Structure or Addition: Length: 24' Sq. Footage 1st floor: 576 SF Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
 Width: 24' Sq. footage 2nd floor: \_\_\_\_\_ Size: \_\_\_\_\_  1st floor  2nd floor  
 Sq. footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North 12" ± South 12" ± East 12" ± West 12" ±  
 Height of ridge above final finish grade: North 21'-3" South 21'-3" East 21'-3" West 21'-3"

#### Additional Remarks

Historic Name: \_\_\_\_\_ REVISIONS\* 1. East Elevation  
 Original Date: \_\_\_\_\_ (describe) 2. South Elevation  
 Original Builder: \_\_\_\_\_ 3. West Elevation  
 Is there an HDC survey form for this building attached?  Yes  N/A 4. North Elevation

\*Cloud on drawings and submit photographs of existing elevations.

#### DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 8"-24"  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers

Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_

Roof Pitch: Main Mass 10/12 Secondary Mass \_\_\_\_\_/12 Dormer 4/12 Other \_\_\_\_\_

Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_

Fence: Height: \_\_\_\_\_  
 Type: \_\_\_\_\_  
 Length: \_\_\_\_\_

Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
 Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_

Leaders (material and size): COPPER 2 1/2" φ

Sidewall:  White cedar shingles  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_

Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
 B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_

C. Dimensions: Fascia 6" Rake 6" Soffit (Overhang) 4" Corner boards 6" Frieze 3"  
 Window Casing 4" Door Frame 4" Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_

Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer HARVIN

Doors\* (type and material):  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_

Garage Door(s): Type OVERHEAD Material HARDWOOD

Hardscape materials: Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

#### COLORS

Sidewall NAT. Clapboard (if applicable) \_\_\_\_\_ Roof NAT. R/L  
 Trim COBBLESTONE Sash BLACK Doors BLACK / COBBLESTONE  
 Deck NAT. Foundation NAT. Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

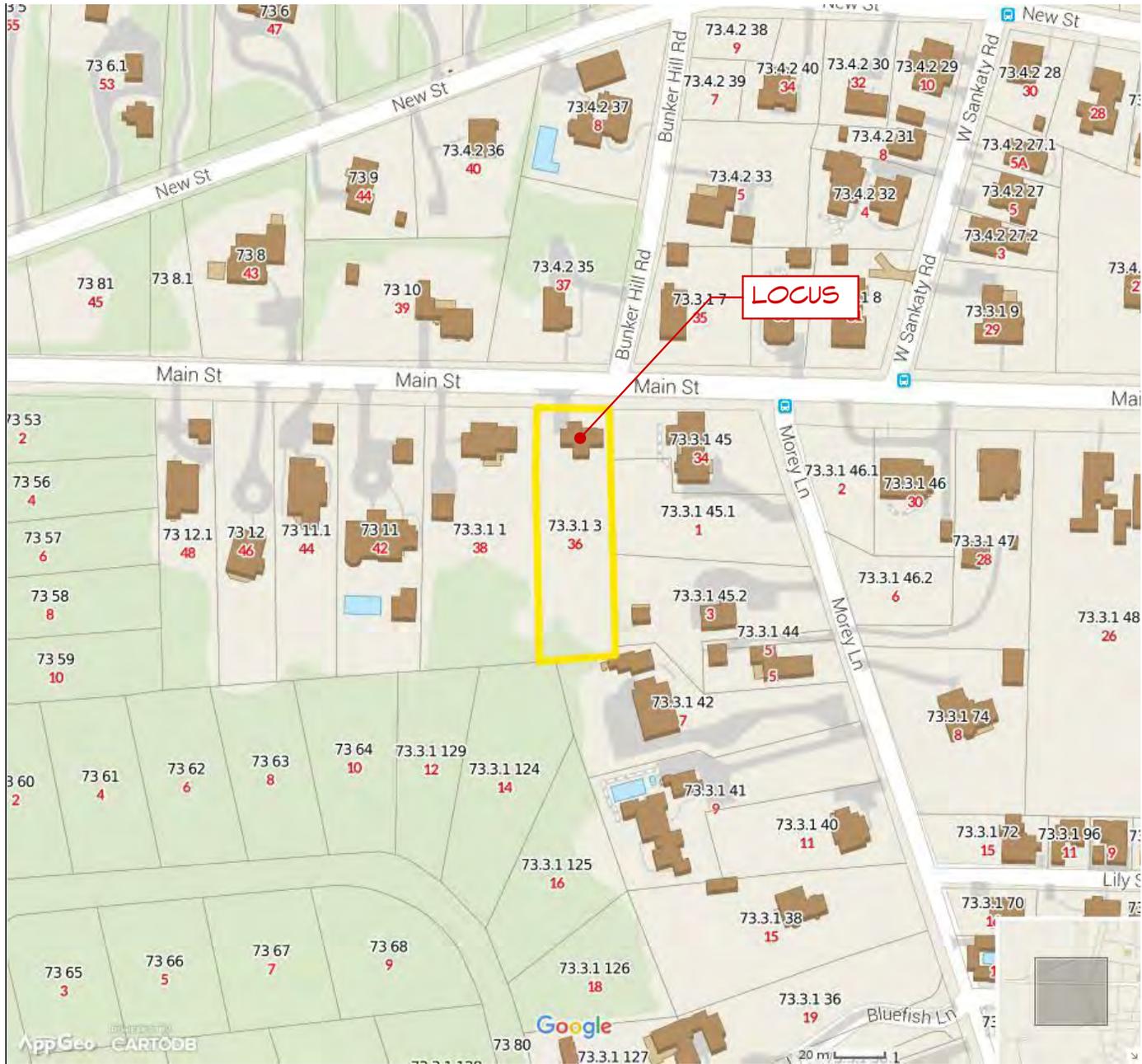
Date 2/27/16 Signature of owner of record \_\_\_\_\_ Signed under penalties of perjury



S.M. ROETHKE  
design, inc.

19 old south road  
nantucket, ma 02554  
t. 508.823.7989 f. 508.823.7989  
www.smaroethkedesign.com

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**LOCUS MAP**

Spivy Cabanas  
36 Main Street  
Nantucket, MA 02554

**REVISIONS:**

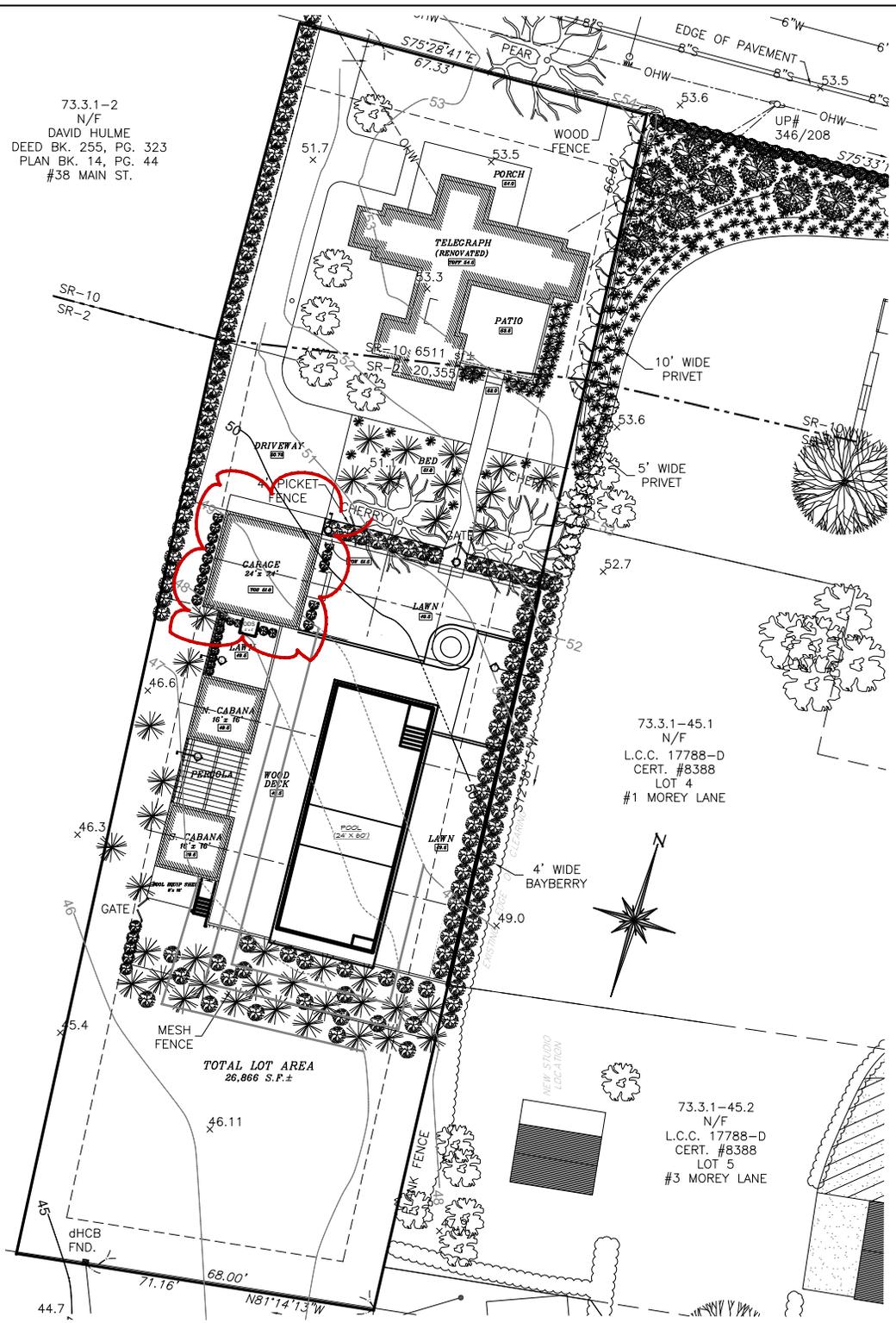

**STAMP:**

HDC Review Set  
2/23/16

**HDC 0.1**

DATE: 08/18/2016 11:41:00 AM

73.3.1-2  
N/F  
DAVID HULME  
DEED BK. 255, PG. 323  
PLAN BK. 14, PG. 44  
#38 MAIN ST.



73.3.1-45.1  
N/F  
L.C.C. 17788-D  
CERT. #8388  
LOT 4  
#1 MOREY LANE

73.3.1-45.2  
N/F  
L.C.C. 17788-D  
CERT. #8388  
LOT 5  
#3 MOREY LANE

TOTAL LOT AREA  
20,866 S.F.±



S.M. ROETHKE  
design, inc.

19 old south road  
nantucket, ma 02554  
t.508.523.7988 f.508.523.7989  
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### PROPOSED SITE PLAN

Spivy Cabanas  
36 Main Street  
Nantucket, MA 02554

REVISIONS:


STAMP:

HDC Review Set  
2/23/16

# HDC 0.2

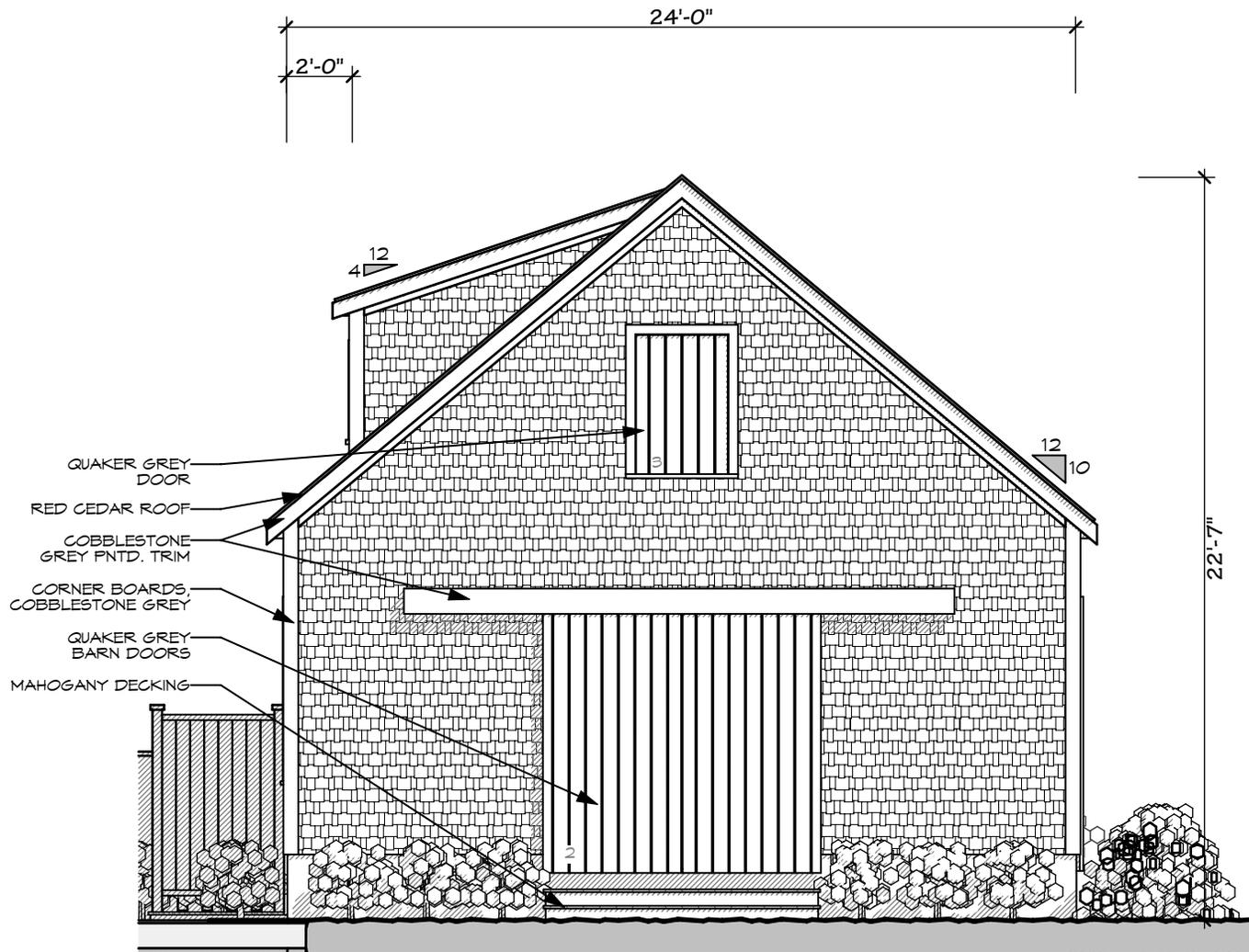




S. M. ROETHKE  
design, inc.

19 old south road  
nantucket, ma 02554  
t. 508.823.7989 | f.  
508.823.7989  
www.smaroethkedesign.com

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consent. All applicable  
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**PROPOSED EAST ELEVATION**

Spivy Cabanas  
36 Main Street  
Nantucket, MA 02554

REVISIONS:


STAMP:

HDC Review Set  
2/23/16

**HDC 2.1**

NOVA ESTE PLUMBING, MA 02554



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19 old south road  
nantucket, ma 02554  
t. 508.823.7989 | f. 508.823.7989  
www.smaroethkedesign.com

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**PROPOSED NORTH ELEVATION**

Spivy Cabanas  
36 Main Street  
Nantucket, MA 02554

REVISIONS:


STAMP:

HDC Review Set  
2/23/16

**HDC 2.2**



CERTIFICATE NO: \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

### CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

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#### PROPERTY DESCRIPTION

TAX MAP N°: 7331 PARCEL N°: 03  
 Street & Number of Proposed Work: 36 MAIN ST. SCUNSET  
 Owner of record: GREG & LAURIE SPIVY  
 Mailing Address: 58 PRESIDIO  
SAN FRANCISCO, CA 94129  
 Contact Phone #: \_\_\_\_\_ E-mail: lspivy@spivyfamily.com

#### AGENT INFORMATION (if applicable)

Name: S.M. ROETHKE DESIGN  
 Mailing Address: 19 OLD SOUTH RD #17  
NANTUCKET, MA 02554  
 Contact Phone #: 508-925-7588 E-mail: steve@smroethke.com

#### FOR OFFICE USE ONLY

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
 Must be acted on by: \_\_\_\_\_  
 Extended to: \_\_\_\_\_  
 Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
 Chairman: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Notes - Comments - Restrictions - Conditions  
 \_\_\_\_\_  
 \_\_\_\_\_

#### DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed  
 Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_  
 Pool (Zoning District \_\_\_\_\_)  Roof  Other POOL SIDE CABANAS & PERGOLA.  
 Size of Structure or Addition: Length: 16' x 16' Sq. Footage 1st floor: (2) @ 256 SF Decks/Patio: Size: 16' x 16'  1st floor  2nd floor  
 Width: 16' x 16' Sq. footage 2nd floor: \_\_\_\_\_ Size: \_\_\_\_\_  1st floor  2nd floor  
 Sq. footage 3rd floor: \_\_\_\_\_  
 Difference between existing grade and proposed finish grade: North 12" +/- South 12" +/- East 12" +/- West 12" +/-  
 Height of ridge above final finish grade: North 16'-5" +/- South 16'-5" +/- East 16'-5" +/- West 16'-5" +/-

#### Additional Remarks

Historic Name: \_\_\_\_\_  
 Original Date: \_\_\_\_\_  
 Original Builder: \_\_\_\_\_  
 Is there an HDC survey form for this building attached?  Yes  N/A

- REVISIONS\***
1. East Elevation
  2. South Elevation
  3. West Elevation
  4. North Elevation

\*Cloud on drawings and submit photographs of existing elevations.

#### DETAIL OF WORK TO BE PERFORMED

**Foundation:** Height Exposed 12-24"  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
**Masonry Chimney:**  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
**Roof Pitch:** Main Mass 6/12 Secondary Mass /12 Dormer /12 Other \_\_\_\_\_  
**Roofing material:**  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.)  
**Skylights (flat only):** Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
 Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
**Gutters:**  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_  
**Leaders (material and size):** \_\_\_\_\_  
**Sidewall:**  White cedar shingles  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_  
**Trim:** A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
 B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_  
 C. Dimensions: Fascia 6" Rake \_\_\_\_\_ Soffit (Overhang) 6" Corner boards \_\_\_\_\_ Frieze 3"  
 Window Casing 4" Door Frame 4" Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_  
**Windows\*:**  Double Hung  Casement  All Wood  Other AWNINGS  
 True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer MARVIN  
**Doors\* (type and material):**  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_  
 Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_  
**Hardscape materials:** Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

#### COLORS

Sidewall NAT. Clapboard (if applicable) \_\_\_\_\_ Roof NAT R/C.  
 Trim COBBLESTONE Sash BLACK Doors BLACK / COBBLESTONE  
 Deck NAT. Foundation NAT. Fence NAT R/C Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

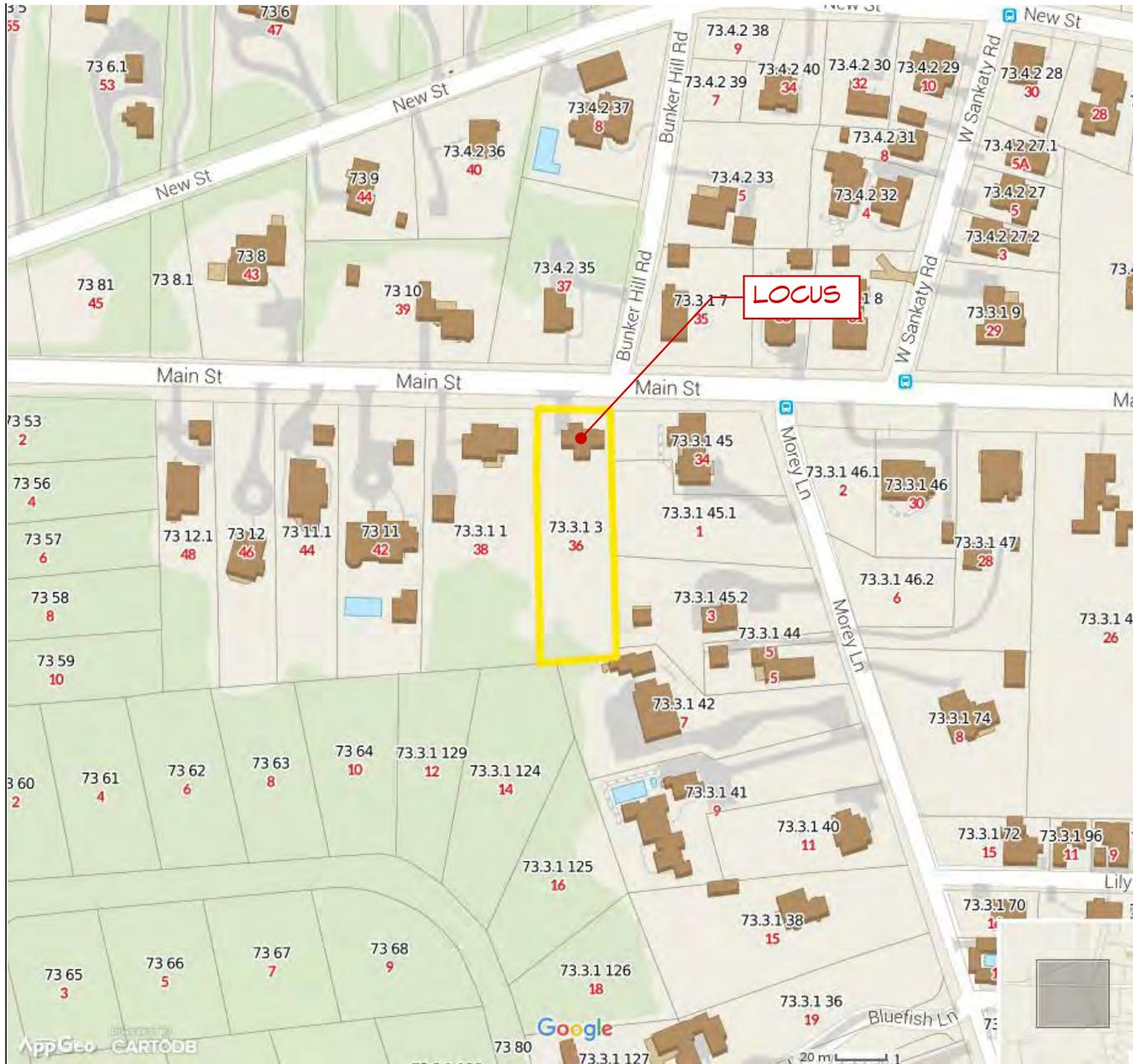
Date 2/22/16 Signature of owner of record \_\_\_\_\_ Signed under penalties of perjury



S. M. ROETHKE  
design, inc.

19 old south road  
nantucket, ma 02554  
t. 508.825.7989 f. 508.825.7989  
www.smaroethkedesign.com

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**LOCUS MAP**

Spivy Cabanas  
36 Main Street  
Nantucket, MA 02554

**REVISIONS:**

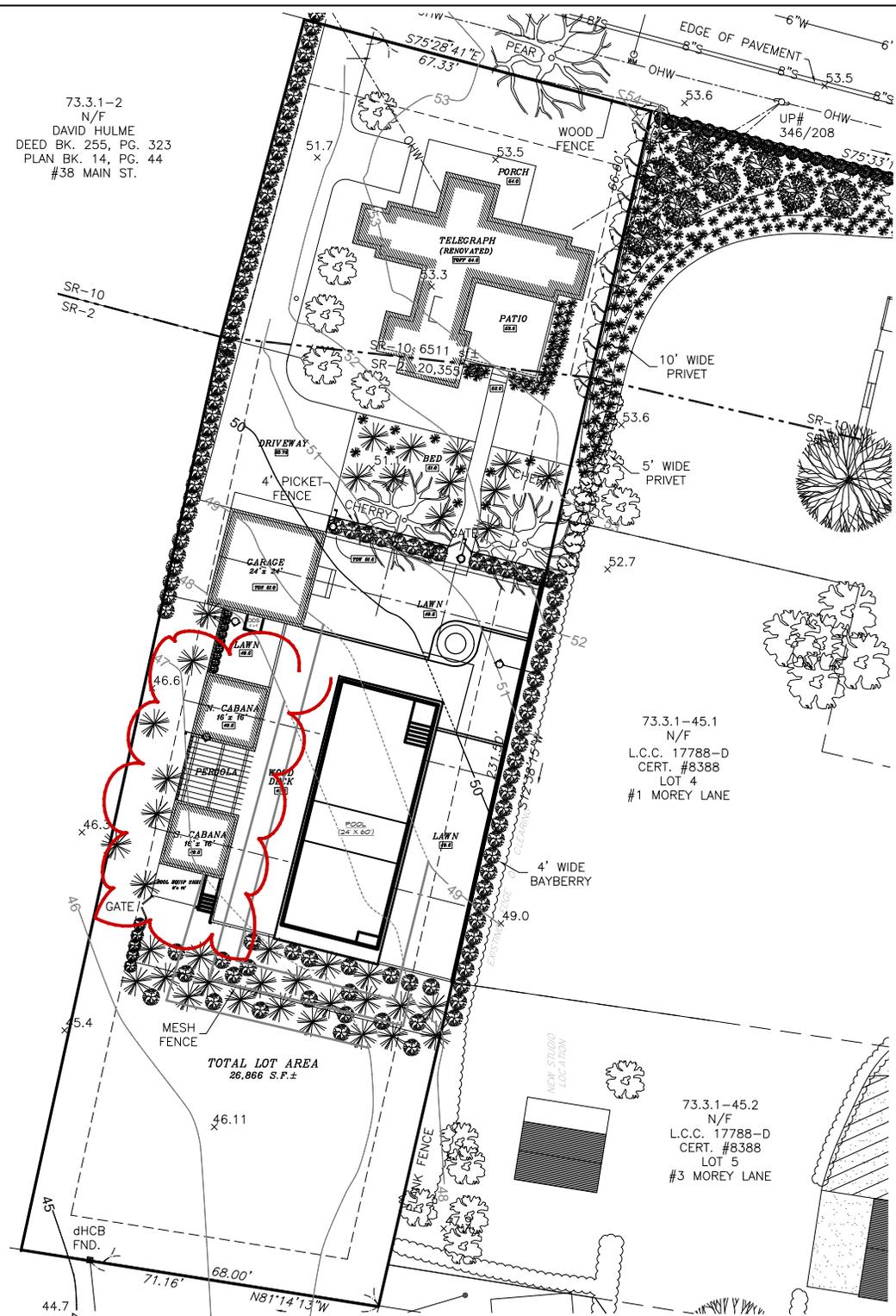

**STAMP:**

HDC Review Set  
2/23/16

**HDC 0.1**

DATE: 02/23/16 11:41 AM 11:41 AM 11:41 AM

73.3.1-2  
N/F  
DAVID HULME  
DEED BK. 255, PG. 323  
PLAN BK. 14, PG. 44  
#38 MAIN ST.



73.3.1-45.1  
N/F  
L.C.C. 17788-D  
CERT. #8388  
LOT 4  
#1 MOREY LANE

73.3.1-45.2  
N/F  
L.C.C. 17788-D  
CERT. #8388  
LOT 5  
#3 MOREY LANE

TOTAL LOT AREA  
28,866 S.F.±



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### PROPOSED SITE PLAN

Spivy Cabanas  
36 Main Street  
Nantucket, MA 02554

REVISIONS:


STAMP:

HDC Review Set  
2/23/16

# HDC 0.2

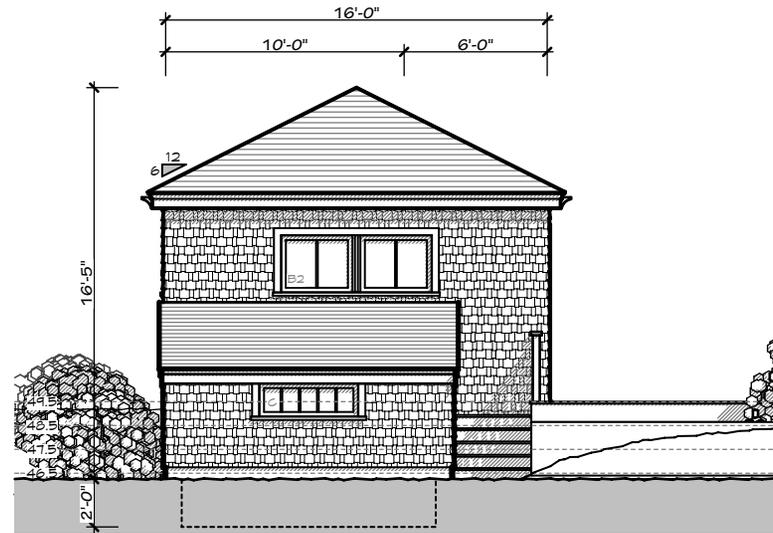
NANTUCKET HISTORIC COMMISSION PHOTOGRAPHY: WWW.HISTORICCOMMISSION.COM



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**PROPOSED SOUTH ELEVATION**

Spivy Cabanas  
36 Main Street  
Nantucket, MA 02554

REVISIONS:


STAMP:

HDC Review Set  
2/23/16

**HDC 2.4**





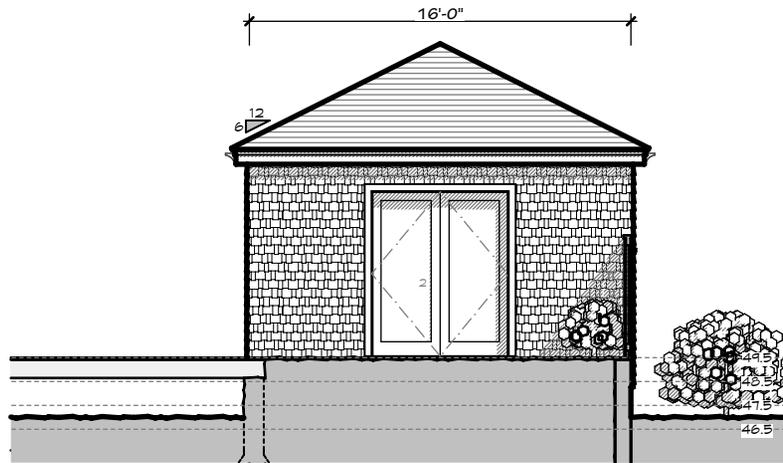
NOVA ESTE PLUMBING, LLC/NOVA ESTE PLUMBING, INC. 1000 STATE STREET, SUITE 100, NANTUCKET, MA 02554



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**PROPOSED NORTH ELEVATION**

Spivy Cabanas  
36 Main Street  
Nantucket, MA 02554

REVISIONS:


STAMP:

HDC Review Set  
2/23/16

**HDC 2.2**



CERTIFICATE NO: \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

### CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

#### PROPERTY DESCRIPTION

TAX MAP N°: 7331 PARCEL N°: 03  
 Street & Number of Proposed Work: 36 MARIA ST. SCANSSET  
 Owner of record: GREG & LAURA SPIVY  
 Mailing Address: 50 PRESIDIO  
SAN FRANCISCO, CA 94129  
 Contact Phone #: \_\_\_\_\_ E-mail: lspivy@spivyfamily.com

#### AGENT INFORMATION (if applicable)

Name: S.M. ROETHKE DESIGN  
 Mailing Address: 19 OLD SOUTH RD. #17  
NANTUCKET, MA 02554  
 Contact Phone #: 508-825-7588 E-mail: stev@smroethke.com

#### FOR OFFICE USE ONLY

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
 Must be acted on by: \_\_\_\_\_  
 Extended to: \_\_\_\_\_  
 Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
 Chairman: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Notes - Comments - Restrictions - Conditions

#### DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling
- Addition
- Garage
- Driveway/Apron
- Commercial
- Historical Renovation
- Deck/Patio
- Steps
- Shed
- Color Change
- Fence
- Gate
- Hardscaping
- Move Building
- Demolition
- Revisions to previous Cert. No. \_\_\_\_\_
- Pool (Zoning District SR-80)
- Roof
- Other W/ 9' DIA. IN-GROUND SPA.

Size of Structure or Addition: Length: 60' Sq. Footage 1st floor: \_\_\_\_\_ Decks/Patio: Size: 14'x60'  1st floor  2nd floor  
 Width: 24' Sq. footage 2nd floor: \_\_\_\_\_ WOOD Size: 12'x40'  1st floor  2nd floor  
 Sq. footage 3rd floor: \_\_\_\_\_ DECKS @ GRADE, IPE NAT. TO WEATHER

Difference between existing grade and proposed finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_  
 Height of ridge above final finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

#### Additional Remarks

Historic Name: \_\_\_\_\_ REVISIONS\* 1. East Elevation  
 Original Date: \_\_\_\_\_ (describe) 2. South Elevation  
 Original Builder: \_\_\_\_\_ 3. West Elevation  
 Is there an HDC survey form for this building attached?  Yes  N/A 4. North Elevation

\*Cloud on drawings and submit photographs of existing elevations.

#### DETAIL OF WORK TO BE PERFORMED

**Foundation:** Height Exposed \_\_\_\_\_  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
**Masonry Chimney:**  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
**Roof Pitch:** Main Mass \_\_\_\_\_/12 Secondary Mass \_\_\_\_\_/12 Dormer \_\_\_\_\_/12 Other \_\_\_\_\_  
**Roofing material:**  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_  
**Skylights (flat only):** Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
 Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
**Gutters:**  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_  
**Leaders (material and size):** \_\_\_\_\_  
**Sidewall:**  White cedar shingles \_\_\_\_\_  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_  
**Trim:** A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
 B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_  
 C. Dimensions: Fascia \_\_\_\_\_ Rake \_\_\_\_\_ Soffit (Overhang) \_\_\_\_\_ Corner boards \_\_\_\_\_ Frieze \_\_\_\_\_  
 Window Casing \_\_\_\_\_ Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_  
**Windows\*:**  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights(muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_  
**Doors\* (type and material):**  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_  
 Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_  
**Hardscape materials:** Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

Fence: Height: 46" HESB, BLACK @  
 Type: SOUTH + EAST. SEE DETAILS.  
 Length: \_\_\_\_\_

\* Note: Complete door and window schedules are required. COPING = GREENSTONE.

#### COLORS

Sidewall \_\_\_\_\_ Clapboard (if applicable) \_\_\_\_\_ Roof \_\_\_\_\_  
 Trim \_\_\_\_\_ Sash \_\_\_\_\_ Doors \_\_\_\_\_  
 Deck NEW! Foundation \_\_\_\_\_ Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

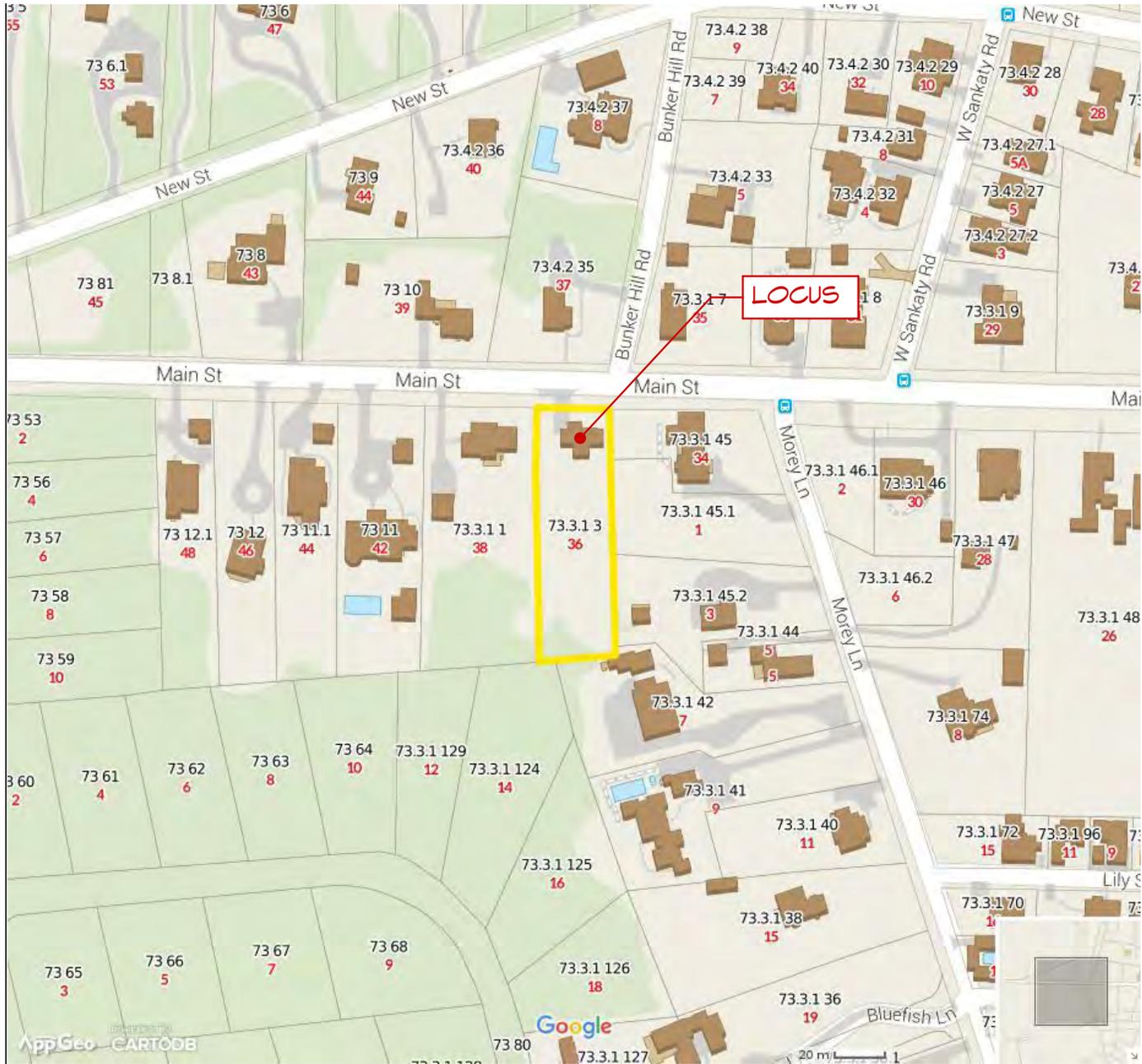
Date 2/23/16 Signature of owner of record \_\_\_\_\_ Signed under penalties of perjury \_\_\_\_\_  
 \_\_\_\_\_ AGENT



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nantucket, ma 02554  
t: 508.823.7989 f: 508.823.7989  
www.smmroethkedesign.com

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**LOCUS MAP**

Spivy Cabanas  
36 Main Street  
Nantucket, MA 02554

**REVISIONS:**


**STAMP:**

HDC Review Set  
2/23/16

**HDC-0.1**





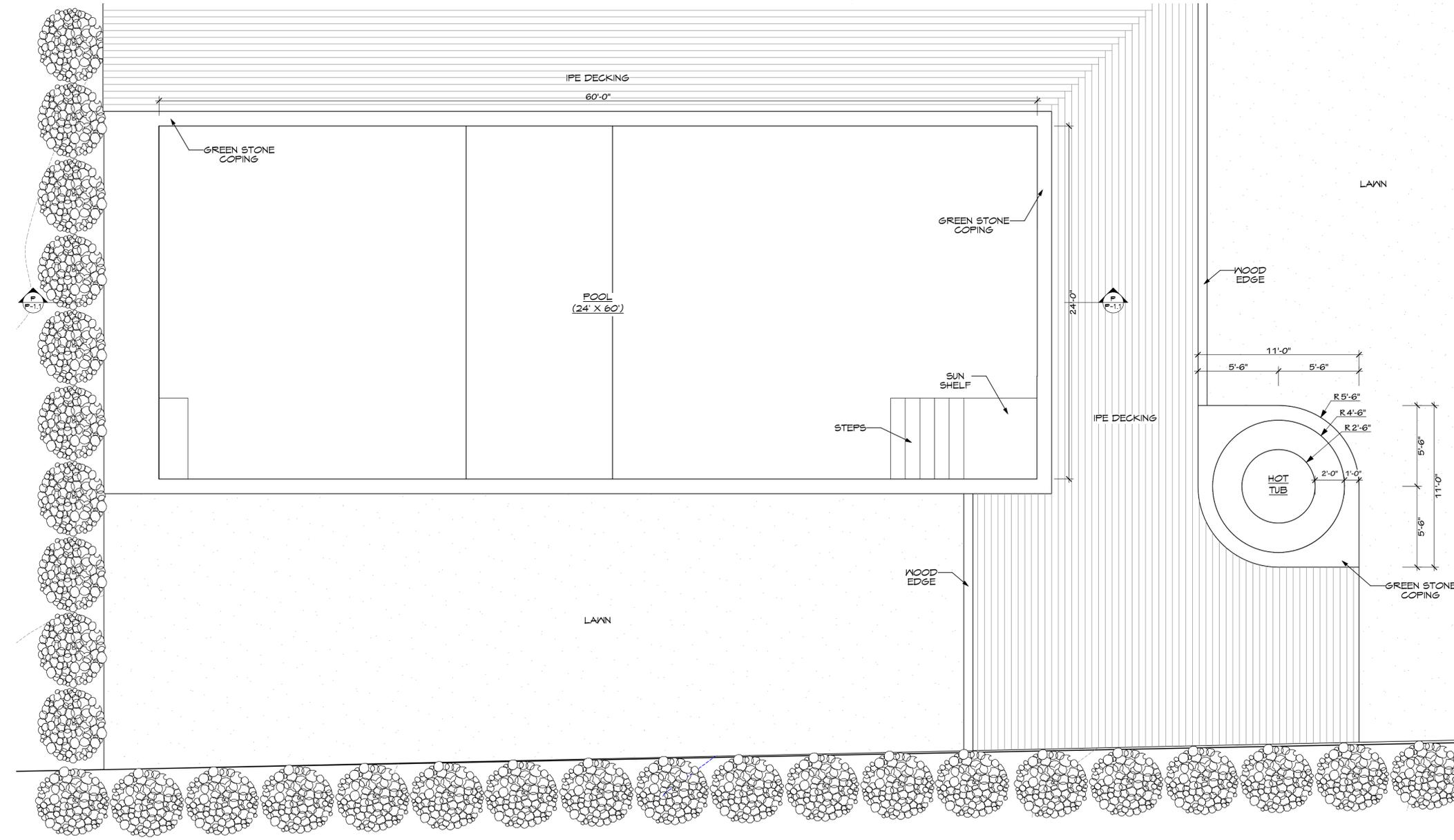
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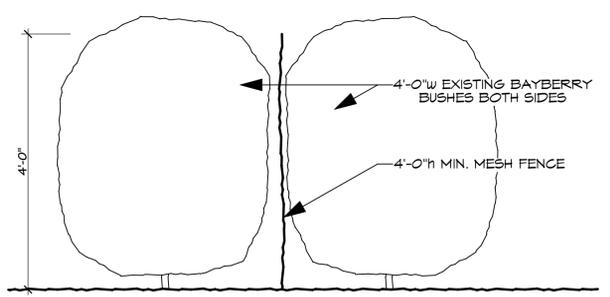
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**PROPOSED POOL PLAN & FENCE  
DETAILS**

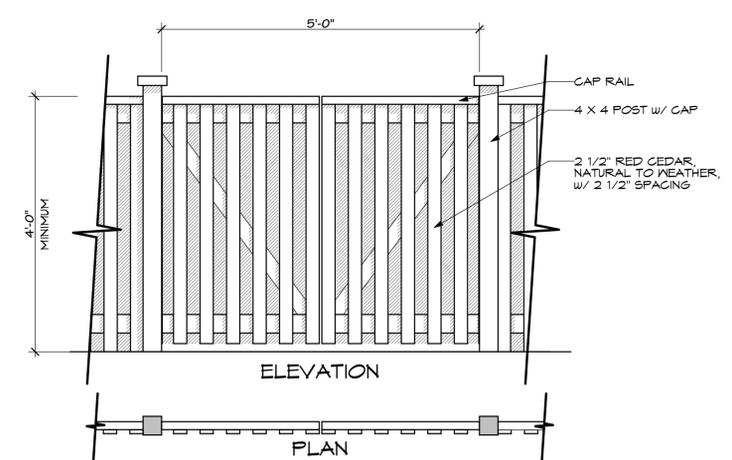
Spivy Cabanas  
36 Main Street  
Nantucket, MA 02554



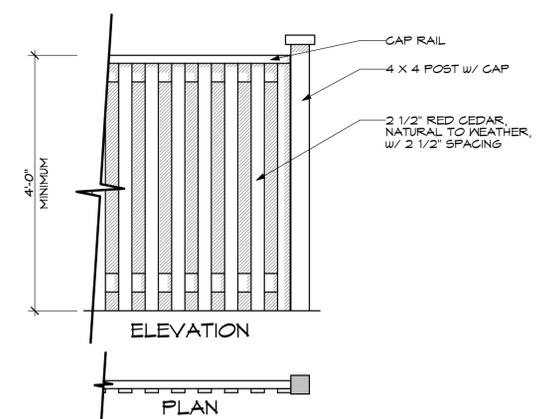
**1 PROPOSED POOL PLAN**  
Scale: 1/4" = 1'-0"



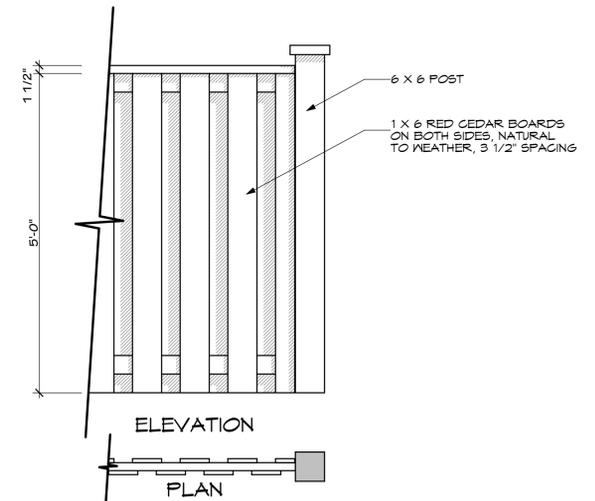
**5 POOL FENCE - MESH 4'**  
Scale: 3/4" = 1'-0"



**4 POOL GATE - 4' DETAIL**  
Scale: 3/4" = 1'-0"



**3 POOL FENCE - 4' DETAIL**  
Scale: 3/4" = 1'-0"



**2 CABANA FENCE DETAIL**  
Scale: 3/4" = 1'-0"

REVISIONS:

NO.	DESCRIPTION

STAMP:

HDC Review Set  
2/23/16

CERTIFICATE NO: \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

**CERTIFICATE OF APPROPRIATENESS**

for structural work.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

**PROPERTY DESCRIPTION**

TAX MAP N°: \_\_\_\_\_ PARCEL N°: \_\_\_\_\_

Street & Number of Proposed Work: 47 Devon Street, Nantucket, MA 02554, US

Owner of record: Leonard Rappaport

Mailing Address: 47 Devon Street, Nantucket, MA 02554, US

Contact Phone #: 617-717-8641 E-mail: leonard.rappaport@childrens.harvard.edu

**AGENT INFORMATION (if applicable)**

Name: Usman Wajid, Sungevity Solar

Mailing Address: 1100 Main Suite 400

Kansas City, MO 64105

Contact Phone #: 816-492-3028 E-mail: uwajid@sungevity.com

**FOR OFFICE USE ONLY**

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_

Must be acted on by: \_\_\_\_\_

Extended to: \_\_\_\_\_

Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_

Chairman: \_\_\_\_\_

Member: \_\_\_\_\_

Member: \_\_\_\_\_

Member: \_\_\_\_\_

Member: \_\_\_\_\_

Notes - Comments - Restrictions - Conditions

**DESCRIPTION OF WORK TO BE PERFORMED**

See reverse for required documentation.

New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed

Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_

Pool (Zoning District \_\_\_\_\_)  Roof  Other Roof top PV Electric Solar System (see attached planset)

Size of Structure or Addition: Length: 14'1" Sq. Footage 1st floor: \_\_\_\_\_ Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor

Width: 26'2" Sq. Footage 2nd floor: 299.4 Size: \_\_\_\_\_  1st floor  2nd floor

Sq. Footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

Height of ridge above final finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

**Additional Remarks**

Historic Name: \_\_\_\_\_ REVISIONS\* 1. East Elevation

Original Date: \_\_\_\_\_ (describe) 2. South Elevation

Original Builder: \_\_\_\_\_ 3. West Elevation

Is there an HDC survey form for this building attached?  Yes  N/A 4. North Elevation

\*Cloud on drawings and submit photographs of existing elevations.

**DETAIL OF WORK TO BE PERFORMED**

Foundation: Height Exposed \_\_\_\_\_  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers

Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_

Roof Pitch: Main Mass \_\_\_\_\_/12 Secondary Mass \_\_\_\_\_/12 Dormer \_\_\_\_\_/12 Other \_\_\_\_\_

Roofing material:  Asphalt:  3-Tab  Architectural

Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_

Fence: Height: \_\_\_\_\_  
Type: \_\_\_\_\_  
Length: \_\_\_\_\_

Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_

Leaders (material and size): \_\_\_\_\_

Sidewall:  White cedar shingles \_\_\_\_\_  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side

Other \_\_\_\_\_

Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_

B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_

C. Dimensions: Fascia \_\_\_\_\_ Rake \_\_\_\_\_ Soffit (Overhang) \_\_\_\_\_ Corner boards \_\_\_\_\_ Frieze \_\_\_\_\_

Window Casing \_\_\_\_\_ Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_

Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_

True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_

Doors\* (type and material):  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_

Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_

Hardscape materials: Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

**COLORS**

Sidewall \_\_\_\_\_ Clapboard (if applicable) \_\_\_\_\_ Roof \_\_\_\_\_

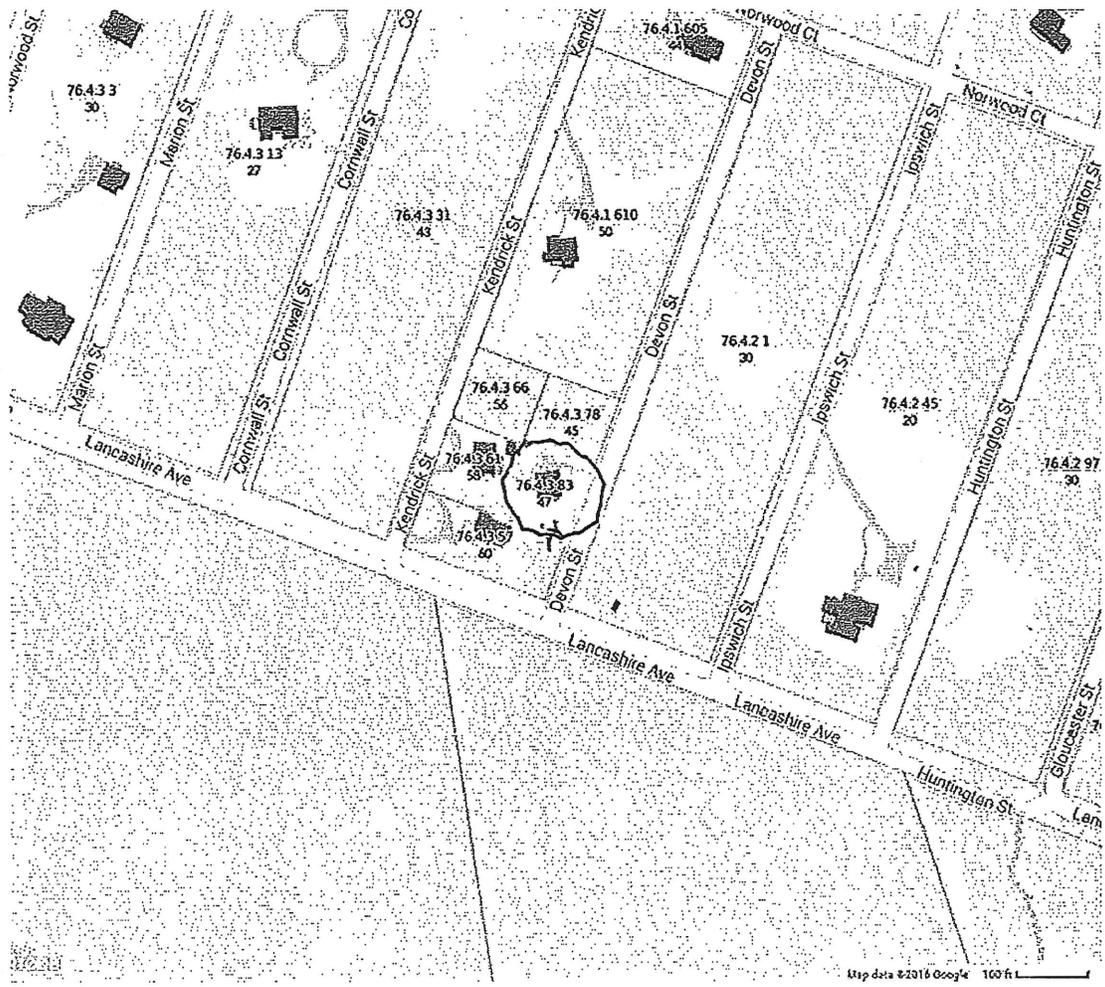
Trim \_\_\_\_\_ Sash \_\_\_\_\_ Doors \_\_\_\_\_

Deck \_\_\_\_\_ Foundation \_\_\_\_\_ Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date \_\_\_\_\_ Signature of owner of record \_\_\_\_\_ Signed under penalties of perjury



LOCUS  
MAP

# PHOTOVOLTAIC SYSTEM

## SYSTEM SIZE:

AC / DC KW STC: 3.865kW \ 4.335kW

## EQUIPMENT:

PV MODULES: (17) Trina Solar TSM-255 PD05.05

INVERTER(S): (1) SolarEdge SE3800A-US

## SCOPE OF WORK:

INSTALLATION OF A SAFE AND CODE-COMPLIANT GRID-TIED SOLAR PV SYSTEM ON AN EXISTING RESIDENTIAL ROOF TOP.

## SHEET INDEX

PV0.0	COVER AND SITE PLAN
PV1.0	GENERAL NOTES
PV2.0	ARRAY LAYOUT
PV2.1	ELEVATIONS
PV3.0	LINE DIAGRAM
PV4.0	LABELS

KEY:	
---	PROPERTY LINE
---	CONDUIT RUN
---	DRIVEWAY
---	FENCE
---	FIRE CLEARANCE
---	STRUCTURAL UPGRADES
☐	SOLAR MODULE
☐	MAIN SERVICE PANEL
☐	UTILITY METER
☐	PV METER
☐	INVERTER
☐	SUBPANEL
☐	DC DISCONNECT
☐	AC DISCONNECT
☐	JUNCTION BOX
☐	MONITORING UNIT
☐	COMBINER BOX
☐	ROOF OBSTRUCTION

## APPLICABLE CODES:

2014 NEC  
2009 INTERNATIONAL CODES WITH MA AMENDMENTS

## CONTRACTOR INFORMATION:

SKYLINE SOLAR WEST BRIDGEWATER  
124 TURNPIKE ST.  
WEST BRIDGEWATER, MA 02379

## JURISDICTIONAL INFORMATION:

NANTUCKET, TOWN OF  
2 FAIRGROUNDS ROAD  
NANTUCKET, MA 02554

## NOTES TO INSTALLER:

## FOR INSTALLER USE ONLY

POST INSTALL SUNEYES REQUIRED? NO

I CERTIFY THAT NO CHANGES HAVE BEEN MADE TO THE ARRAY LAYOUT:

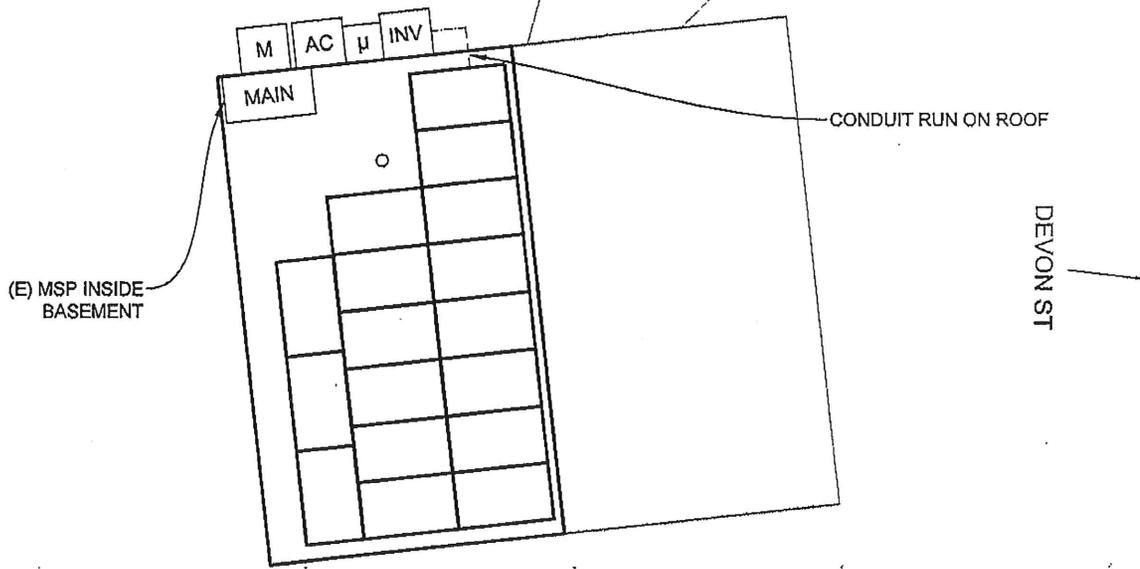
## CUSTOMER INFORMATION:

LEONARD RAPPAPORT  
47 DEVON STREET  
NANTUCKET, MA 02554  
(617) 717-8641 / #1984594

DESIGNED BY:	REV #:	DATE:	PV- 0.0
AJINKYA.C	1	2/18/16	

1 2 3 4 5

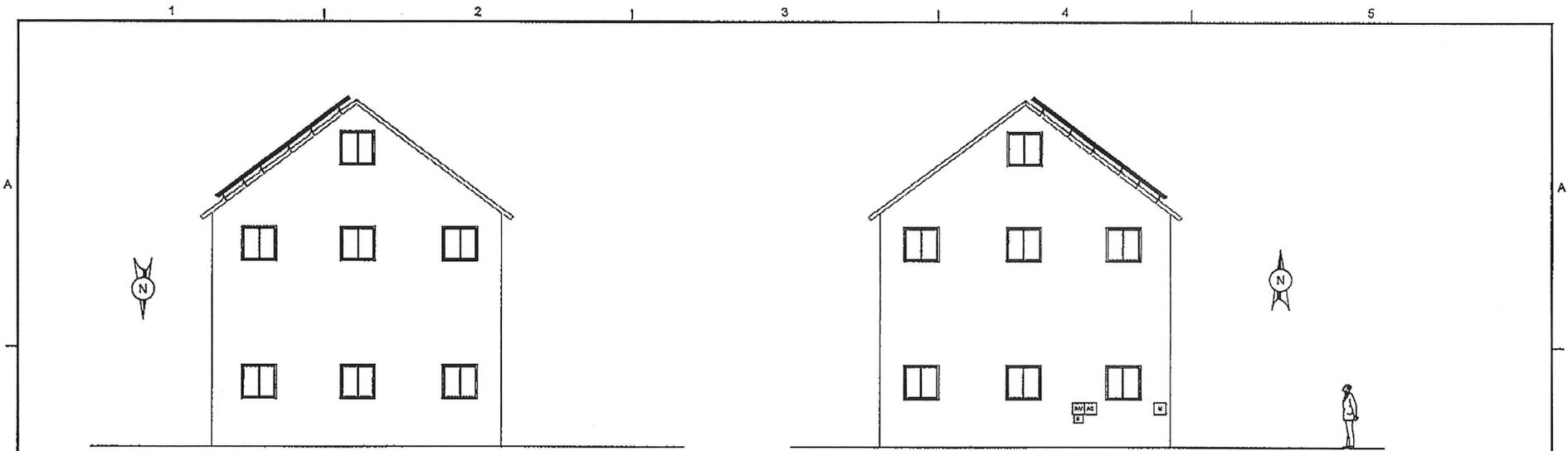
A  
B  
C



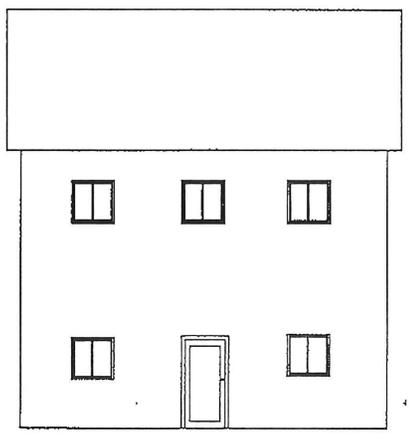
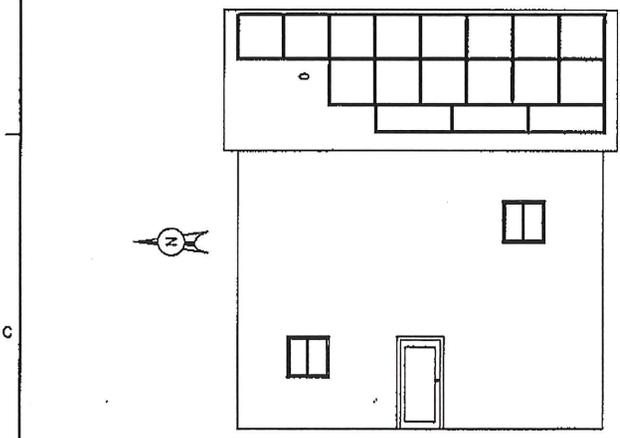
## SITE PLAN

SCALE: N.T.S.





**ELEVATIONS**  
SCALE: 1/8" = 1'



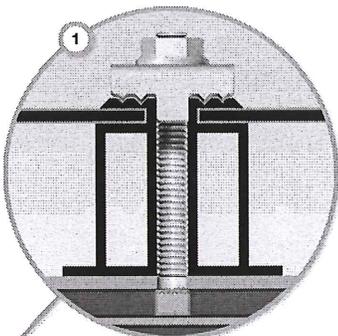
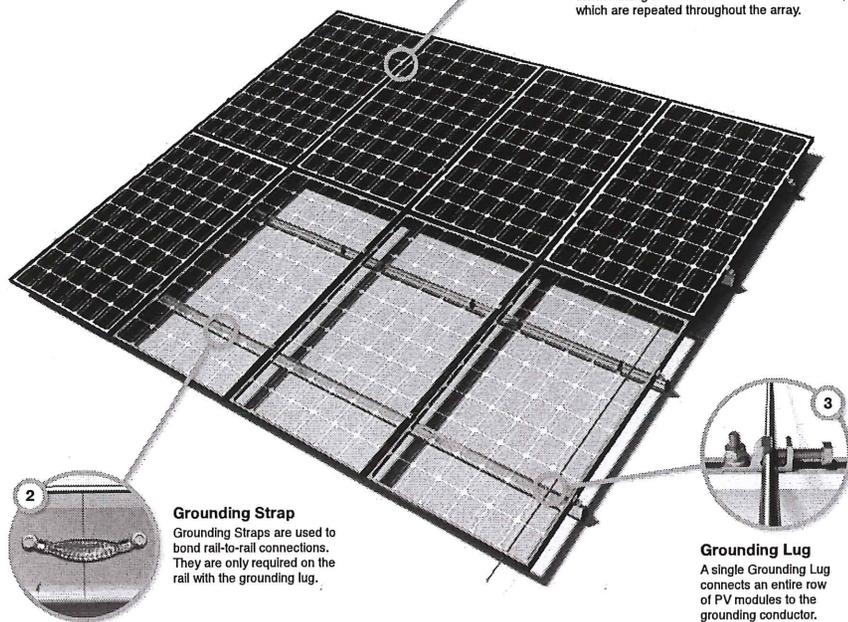
*Janyce Ajiko Spencer*

CUSTOMER INFORMATION:			
LEONARD RAPPAPORT 47 DEVON STREET NANTUCKET, MA 02554 (617) 717-8641 / #1984594			
DESIGNED BY:	REV #:	DATE:	PV-2.1
AJINKYA.C	1	2/18/16	

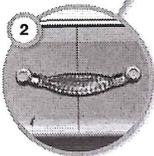
## Simplified Grounding For Greater Safety & Lower Cost

Traditionally, solar modules are grounded by attaching lugs, bolts or clips to the module frame, then connecting these to a copper conductor that runs throughout the array. This process adds time and cost to the installation, and often results in improper grounding, creating significant long-term safety risks.

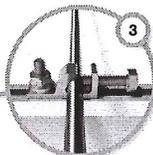
The IronRidge Integrated Grounding System solves these challenges by bonding modules directly to the mounting rails. This approach eliminates separate module grounding hardware, and it creates many parallel grounding paths throughout the array, providing greater safety for system owners.



**Grounding Mid Clamp**  
Each Grounding Mid Clamp pierces through the anodized coatings of both the module frame and the mounting rail to form secure electrical bonds, which are repeated throughout the array.



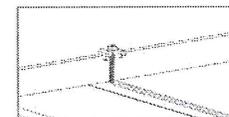
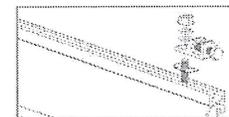
**Grounding Strap**  
Grounding Straps are used to bond rail-to-rail connections. They are only required on the rail with the grounding lug.



**Grounding Lug**  
A single Grounding Lug connects an entire row of PV modules to the grounding conductor.

## Installation Overview

- 1 **Install Roof Attachments**
  - Install appropriate roof flashing and/or standoff for roof type.
  - Attach L-Feet to flashing or standoff.
- 2 **Prepare Rail Connections**
  - Insert splice into first rail, then secure with Grounding Strap and self-drilling screw.
  - Slide second rail over splice, then secure with opposite end of Grounding Strap and self-drilling screw.
- 3 **Mount & Ground Rails**
  - Attach rails to L-Feet and level rails.
  - Install one Grounding Lug per row of modules.
  - Connect Grounding Lug to grounding conductor.
- 4 **Install Modules & Clamps**
  - Install first module using End Clamps and Grounding Mid Clamps.
  - Install additional modules using Grounding Mid Clamps.
  - Finish row with a second pair of End Clamps.



## Testing & Certification

The IronRidge Integrated Grounding System has been tested and certified to UL 2703 by Intertek Group plc.

UL 2703 is a proposed UL standard for evaluating solar module mounting and clamping devices. It ensures these devices will maintain strong electrical and mechanical connections over an extended period of time in extreme outdoor environments.

The testing process closely mirrors that of UL 1703, the solar module testing standard, including temperature and humidity cycling, electrical and mechanical load testing, and manufacturing quality reviews.

### Module Frame Compatibility

Dimension	Range
A	31.0mm - 51.0mm
B	5.08mm (minimum)

Any module frames whose parameters are not listed in the provided table have not been tested for compatibility.

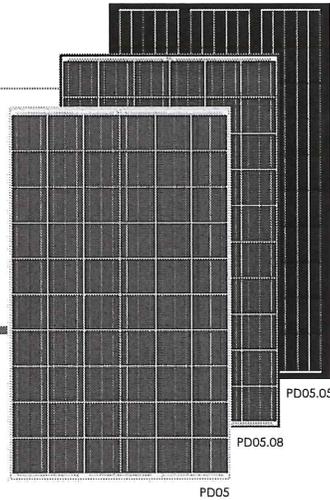
The Grounding Clamp has proven robust in grounding 60-cell and 72-cell solar module frames with box construction and a range of anodization thicknesses.

All solar modules listed to UL 1703 and with frame construction within the parameters stated above are compatible with the IronRidge Integrated Grounding System.

Go to [ironridge.com/ig](http://ironridge.com/ig)

Mono Multi Solutions

# THE Universal MODULE



**60 CELL**  
MULTICRYSTALLINE MODULE

**245-265W**  
POWER OUTPUT RANGE

**16.2%**  
MAXIMUM EFFICIENCY

**0~+3%**  
POSITIVE POWER TOLERANCE



**Our most versatile product**

- Compatible with all major BOS components and system designs
- IEC/UL/1000V IEC certified



**One of the industry's most trusted modules**

- Field proven performance



**Highly reliable due to stringent quality control**

- Over 30 in-house tests (UV, TC, HF, and many more)
- In-house testing goes well beyond certification requirements
- PID resistant



**Certified to withstand challenging environmental conditions**

- 2400 Pa wind load
- 5400 Pa snow load

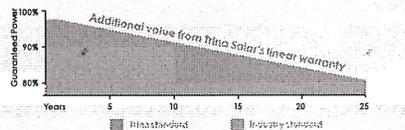
As a leading global manufacturer of next generation photovoltaic products, we believe close cooperation with our partners is critical to success. With local presence around the globe, Trina is able to provide exceptional service to each customer in each market and implement our innovative, reliable products with the backing of Trina as a strong, bankable partner. We are committed to building strategic, mutually beneficial collaboration with installers, developers, distributors and other partners as the backbone of our shared economic driving Smart Energy Together.

Trina Solar Limited  
www.trinasolar.com



## LINEAR PERFORMANCE WARRANTY

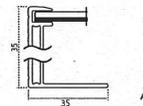
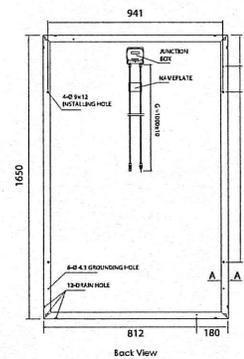
10 Year Product Warranty • 25 Year Linear Power Warranty



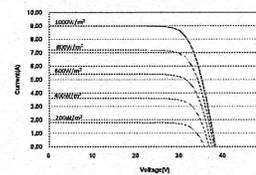
## THE Universal MODULE

PRODUCTS	POWER RANGE
TSM-PD05	250-265W
TSM-PD05.08	250-265W
TSM-PD05.05	245-260W

### DIMENSIONS OF PV MODULE (mm)



I-V CURVES OF PV MODULE (240W)



### CERTIFICATION



### ELECTRICAL DATA (STC)

	245	250	255	260	265
Peak Power Watts-P <sub>max</sub> (Wp)					
Power Output Tolerance-P <sub>max</sub> (%)	0~+3				
Maximum Power Voltage-V <sub>mp</sub> (V)	29.9	30.3	30.5	30.6	30.8
Maximum Power Current-I <sub>mp</sub> (A)	8.20	8.27	8.37	8.50	8.61
Open Circuit Voltage-V <sub>oc</sub> (V)	37.8	38.0	38.1	38.2	38.3
Short Circuit Current-I <sub>sc</sub> (A)	8.75	8.79	8.88	9.00	9.10
Module Efficiency η <sub>m</sub> (%)	15.0	15.3	15.6	15.9	16.2

STC: Irradiance 1000 W/m<sup>2</sup>, Cell Temperature 25°C, Air Mass AM1.5, Typical efficiency reduction of 4.5% at 200 W/m<sup>2</sup> according to EN 60904-1.

### ELECTRICAL DATA (NOCT)

	182	186	190	193	197
Maximum Power-P <sub>max</sub> (Wp)					
Maximum Power Voltage-V <sub>mp</sub> (V)	27.6	28.0	28.1	28.3	28.4
Maximum Power Current-I <sub>mp</sub> (A)	6.59	6.65	6.74	6.84	6.93
Open Circuit Voltage-V <sub>oc</sub> (V)	35.1	35.2	35.3	35.4	35.5
Short Circuit Current-I <sub>sc</sub> (A)	7.07	7.10	7.17	7.27	7.35

NOCT: Irradiance at 800 W/m<sup>2</sup>, Ambient Temperature 20°C, Wind Speed 1 m/s.

### MECHANICAL DATA

Solar cells	Multicrystalline 156 × 156 mm (6 inches)
Cell orientation	60 cells (6 × 10)
Module dimensions	1650 × 992 × 35 mm (64.95 × 39.05 × 1.37 inches)
Weight	18.6 kg (41lb)
Glass	3.2 mm (0.13 inches), High Transmission, AR Coated Tempered Glass
Backsheet	White (PD05&PD05.08); Black (PD05.05)
Frame	Silver Anodized Aluminum Alloy (PD05); Black (PD05.08&PD05.05)
J-Box	IP 65 or IP 67 rated
Cables	Photovoltaic Technology cable 4.0mm <sup>2</sup> (0.006 inches <sup>2</sup> ), 1000mm (39.37 inches)
Connector	MC4 Compatible

### TEMPERATURE RATINGS

Nominal Operating Cell Temperature (NOCT)	44°C (±2°C)
Temperature Coefficient of P <sub>max</sub>	-0.41%/°C
Temperature Coefficient of V <sub>oc</sub>	-0.32%/°C
Temperature Coefficient of I <sub>sc</sub>	0.05%/°C

### MAXIMUM RATINGS

Operational Temperature	-40~+85°C
Maximum System Voltage	1000V DC (IEC) 1000V DC (UL)
Max Series Fuse Rating	15A

### WARRANTY

10 year Product Workmanship Warranty  
25 year Linear Power Warranty  
(Please refer to product warranty for details)

### PACKAGING CONFIGURATION

Modules per box: 30 pieces  
Modules per 40' container: 840 pieces

CAUTION: READ SAFETY AND INSTALLATION INSTRUCTIONS BEFORE USING THE PRODUCT.  
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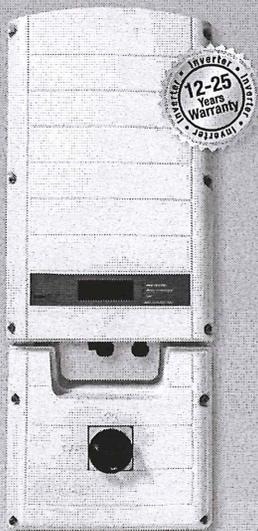


TSM-EP-Monoc-2015\_A



## SolarEdge Single Phase Inverters For North America

SE3000A-US / SE3800A-US / SE5000A-US / SE6000A-US /  
SE7600A-US / SE10000A-US / SE11400A-US



INVERTERS

### The best choice for SolarEdge enabled systems

- Integrated arc fault protection (Type 1) for NEC 2011 690.11 compliance
- Superior efficiency (98%)
- Small, lightweight and easy to install on provided bracket
- Built-in module-level monitoring
- Internet connection through Ethernet or Wireless
- Outdoor and indoor installation
- Fixed voltage inverter, DC/AC conversion only
- Pre-assembled Safety Switch for faster installation
- Optional – revenue grade data, ANSI C12.1

USA - GERMANY - ITALY - FRANCE - JAPAN - CHINA - AUSTRALIA - THE NETHERLANDS - ISRAEL

[www.solaredge.us](http://www.solaredge.us)



## Single Phase Inverters for North America

SE3000A-US / SE3800A-US / SE5000A-US / SE6000A-US /  
SE7600A-US / SE10000A-US / SE11400A-US

	SE3000A-US	SE3800A-US	SE5000A-US	SE6000A-US	SE7600A-US	SE10000A-US	SE11400A-US	
<b>OUTPUT</b>								
Nominal AC Power Output	3000	3800	5000	6000	7600	9980 @ 208V 10900 @ 240V	11400	VA
Max. AC Power Output	3300	4150	5400 @ 208V 5450 @ 240V	6000	8350	10800 @ 208V 10950 @ 240V	12000	VA
AC Output Voltage Min.-Nom.-Max. <sup>(1)</sup>	-	-	✓	-	-	✓	-	
183 - 208 - 229 Vac								
AC Output Voltage Min.-Nom.-Max. <sup>(2)</sup>	✓	✓	✓	✓	✓	✓	✓	
211 - 240 - 264 Vac								
AC Frequency Min.-Nom.-Max. <sup>(3)</sup>	59.3 - 60 - 60.5 (with HI country setting 57 - 60 - 60.5)							Hz
Max. Continuous Output Current	12.5	16	24 @ 208V 21 @ 240V	25	32	48 @ 208V 42 @ 240V	47.5	A
GFDI Threshold	1							A
Utility Monitoring, islanding Protection, Country Configurable Thresholds	Yes							Yes
<b>INPUT</b>								
Maximum DC Power (STC)	4050	5100	6750	8100	10250	13500	15350	W
Transformer-less, Ungrounded	Yes							
Max. Input Voltage	500							Vdc
Nom. DC Input Voltage	325 @ 208V / 350 @ 240V							Vdc
Max. Input Current <sup>(4)</sup>	9.5	13	16.5 @ 208V 15.5 @ 240V	18	23	33 @ 208V 30.5 @ 240V	34.5	Adc
Max. Input Short Circuit Current	45							Adc
Reverse-Polarity Protection	Yes							
Ground-Fault Isolation Detection	600ka Sensitivity							
Maximum Inverter Efficiency	97.7	98.2	98.3	98.3	98	98	98	%
CEC Weighted Efficiency	97.5	98	97.5 @ 208V 96 @ 240V	97.5	97.5	97 @ 208V 97.5 @ 240V	97.5	%
Nighttime Power Consumption	< 2.5						< 4	W
<b>ADDITIONAL FEATURES</b>								
Supported Communication Interfaces	RS485, RS232, Ethernet, ZigBee (optional)							
Revenue Grade Data, ANSI C12.1	Optional <sup>(5)</sup>							
Rapid Shutdown – NEC 2014 690.12	Functionality enabled when SolarEdge rapid shutdown kit is installed <sup>(6)</sup>							
<b>STANDARD COMPLIANCE</b>								
Safety	UL1741, UL1699B, UL1996, CSA 22.2							
Grid Connection Standards	IEEE1547							
Emissions	FCC part15 class B							
<b>INSTALLATION SPECIFICATIONS</b>								
AC output conduit size / AWG range	3/4" minimum / 16-6 AWG				3/4" minimum / 8-3 AWG			
DC input conduit size / # of strings / AWG range	3/4" minimum / 1-2 strings / 16-6 AWG				3/4" minimum / 1-2 strings / 14-6 AWG			
Dimensions with Safety Switch (HxWxD)	30.5 x 12.5 x 7.2 / 775 x 315 x 184				30.5 x 12.5 x 10.5 / 775 x 315 x 260			in / mm
Weight with Safety Switch	51.2 / 23.2		54.7 / 24.7		88.4 / 40.1			lb / kg
Cooling	Natural Convection				Natural convection and internal fan (user replaceable)		Fans (user replaceable)	
Noise	< 25						< 50	dBA
Min.-Max. Operating Temperature	-13 to +140 / -25 to +60 (-40 to +60 version available <sup>(7)</sup> )							°F / °C
Protection Rating	NEMA 3R							

<sup>(1)</sup> For other regional settings please contact SolarEdge support.  
<sup>(2)</sup> A higher current source may be used; the inverter will limit its input current to the values stated.  
<sup>(3)</sup> Revenue grade inverter only: SE3000A-US/SE3800A-US/SE5000A-US/SE6000A-US/SE7600A-US/SE10000A-US/SE11400A-US.  
<sup>(4)</sup> Rapid shutdown kit 97W: SE1000-RSD-S1.  
<sup>(5)</sup> 40 version 97W: SE3000-US/SD000NU4 (for 7600W inverter: SE7600A-US/SD000NU4).



**RoHS**

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Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

**CERTIFICATE OF APPROPRIATENESS**

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

**PROPERTY DESCRIPTION**

TAX MAP N°: 59.4 PARCEL N°: 310  
Street & Number of Proposed Work: 43 Tennessee Ave.  
Owner of record: Wood Osgood  
Mailing Address: 43 Tennessee Ave.  
Nantucket MA 02554  
Contact Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

**AGENT INFORMATION (if applicable)**

Name: Milva Rowland & Assoc.  
Mailing Address: 15 Commercial Wharf  
Nantucket MA 02554  
Contact Phone #: 728-2044 E-mail: \_\_\_\_\_

FOR OFFICE USE ONLY	
Date application received: _____	Fee Paid: \$ _____
Must be acted on by: _____	
Extended to: _____	
Approved: _____	Disapproved: _____
Chairman: _____	
Member: _____	
Member: _____	
Member: _____	
Member: _____	
Notes - Comments - Restrictions - Conditions	

**DESCRIPTION OF WORK TO BE PERFORMED**

See reverse for required documentation.

- New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed
- Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_
- Pool (Zoning District \_\_\_\_\_)  Roof  Other \_\_\_\_\_

Size of Structure or Addition: Length: \_\_\_\_\_ Sq. Footage 1st floor: 139 s.f. Decks/Patio: Size: 740 s.f.  1st floor  2nd floor  
Width: \_\_\_\_\_ Sq. Footage 2nd floor: 305 s.f. Size: 85 s.f.  1st floor  2nd floor  
Sq. Footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North No Change South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_  
Height of ridge above final finish grade: North No Change South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

**Additional Remarks**

Historic Name: \_\_\_\_\_ REVISIONS: 1. East Elevation Additions & renovations to existing structure  
Original Date: 1984 (describe) 2. South Elevation 1st floor: 139 s.f.  
Original Builder: \_\_\_\_\_ 3. West Elevation 2nd floor: 305 s.f.  
Is there an HDC survey form for this building attached?  Yes  N/A 4. North Elevation Replace all windows & Doors  
\*Cloud on drawings and submit photographs of existing elevations.

**DETAIL OF WORK TO BE PERFORMED**

Foundation: Height Exposed \_\_\_\_\_  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_

Roof Pitch: Main Mass /12 Secondary Mass /12 Dormer /12 Other \_\_\_\_\_

Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar White Cedar, Shakes, etc.) \_\_\_\_\_

Fence: Height: _____
Type: _____
Length: _____

Skylights (flat only): Manufacturer Velux Rough Opening T&D Size 2'x3' Location \_\_\_\_\_  
Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_

Leaders (material and size): \_\_\_\_\_

Sidewall:  White cedar shingles Natural  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_

Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_

C. Dimensions: Fascia 1x6 Rake 1x6 Soffit (Overhang) \_\_\_\_\_ Corner boards 5/4x6 Frieze \_\_\_\_\_  
Window Casing 5/4x4 Door Frame 5/4x4 Columns/Posts: Round \_\_\_\_\_ Square 6x6

Windows:  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights(muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer Anderson

Doors\* (type and material):  TDL  SDL Front 12 light 1 panel Rear 12 light 1 panel Side 15 light  
Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_

Hardscape materials: Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

**COLORS**

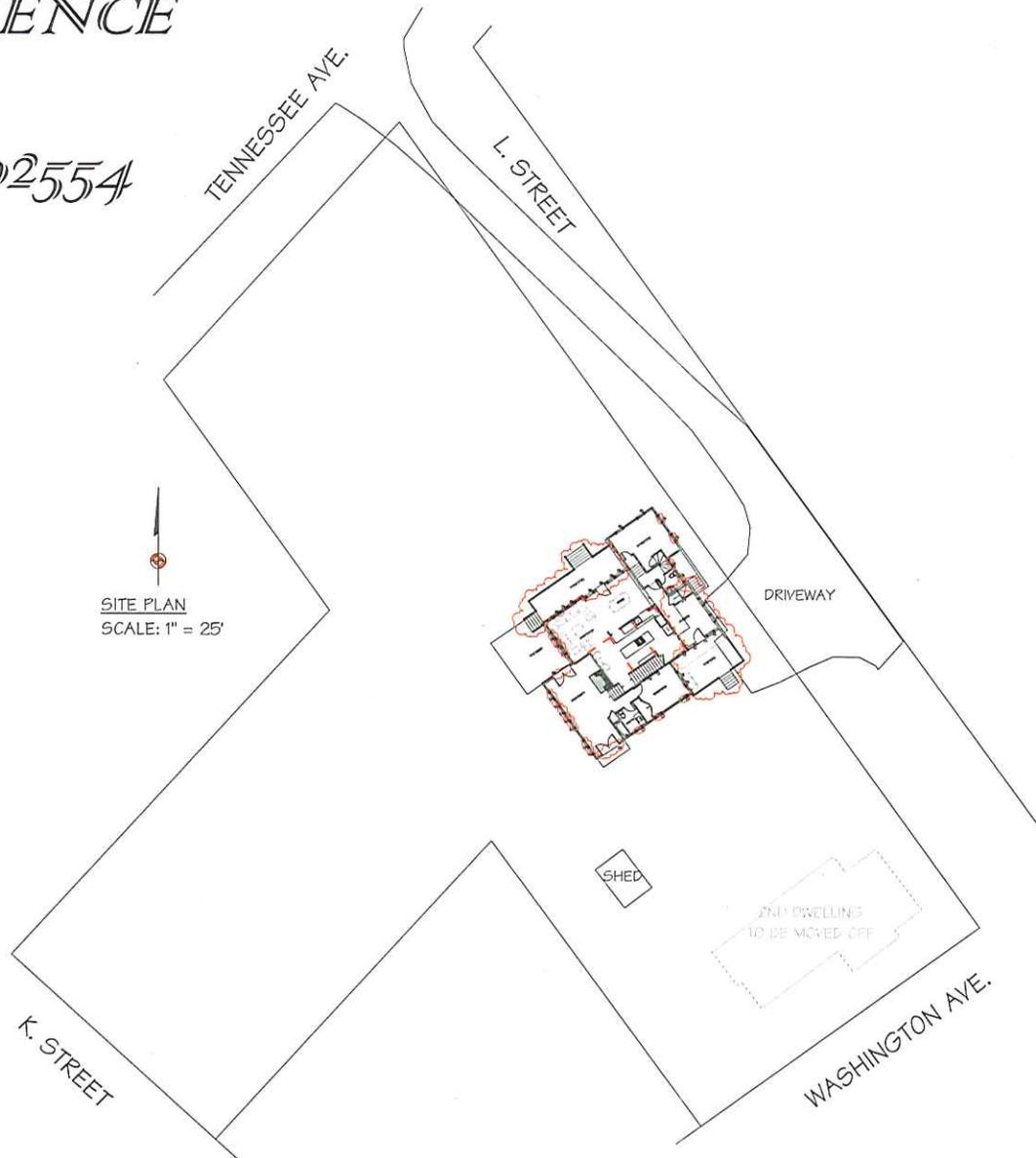
Sidewall Natural Clapboard (if applicable) \_\_\_\_\_ Roof Natural  
Trim Natural Sash Sand tone Doors Natural  
Deck Natural Foundation Gray Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 11/23/2015 Signature of owner of record [Signature] Signed under penalties of perjury

*THE OSGOOD RESIDENCE*  
*47 TENNESSEE AVE.*  
*NANTUCKET, MA 02554*



SITE PLAN  
 SCALE: 1" = 25'

MAP & PARCEL: 59.4 / 309, 310, 314  
 ZONE: VR  
 FRONT / REAR SETBACKS: 20' / 10'  
 MINIMUM LOT SIZE: 20,000 s.f.  
 LOT AREA: 38,154 s.f.  
 GROUND COVER RATIO: 10 %  
 EXISTING GROUND COVER:  
 MAIN HOUSE: 1,813 +/- s.f.  
 SHED: 145 S.F.  
 PROPOSED NEW GROUND COVER: 139 s.f.  
 TOTAL GROUND COVER: 2,097 s.f.  
 ALLOWABLE GROUND COVER: 3,815 s.f.

MILTON ROWLAND & ASSOCIATES  
 15 COMMERCIAL WHARF  
 NANTUCKET, MASSACHUSETTS  
 508.228.2044

REVISIONS:

COVER SHEET  
 DATE: 02/12/2016  
 SCALE: AS NOTED

**THE OSGOOD RESIDENCE**  
 43 Tennessee Ave.  
 Nantucket, MA

MAP: 59.4 / 309

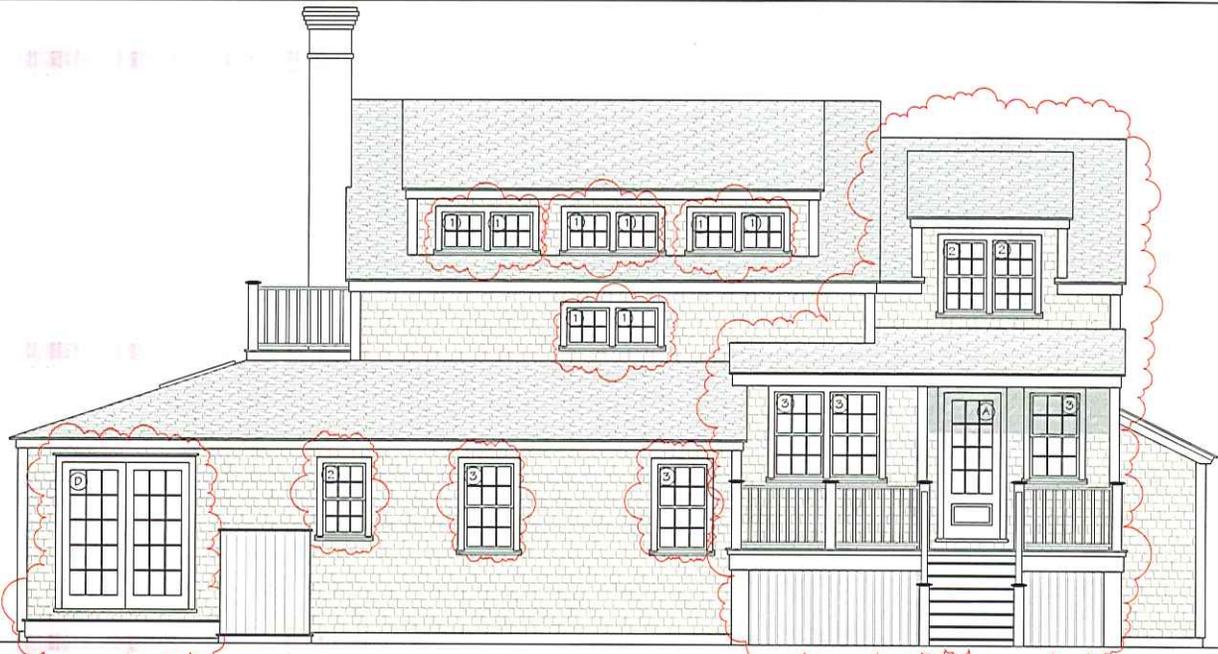


NOT FOR CONSTRUCTION

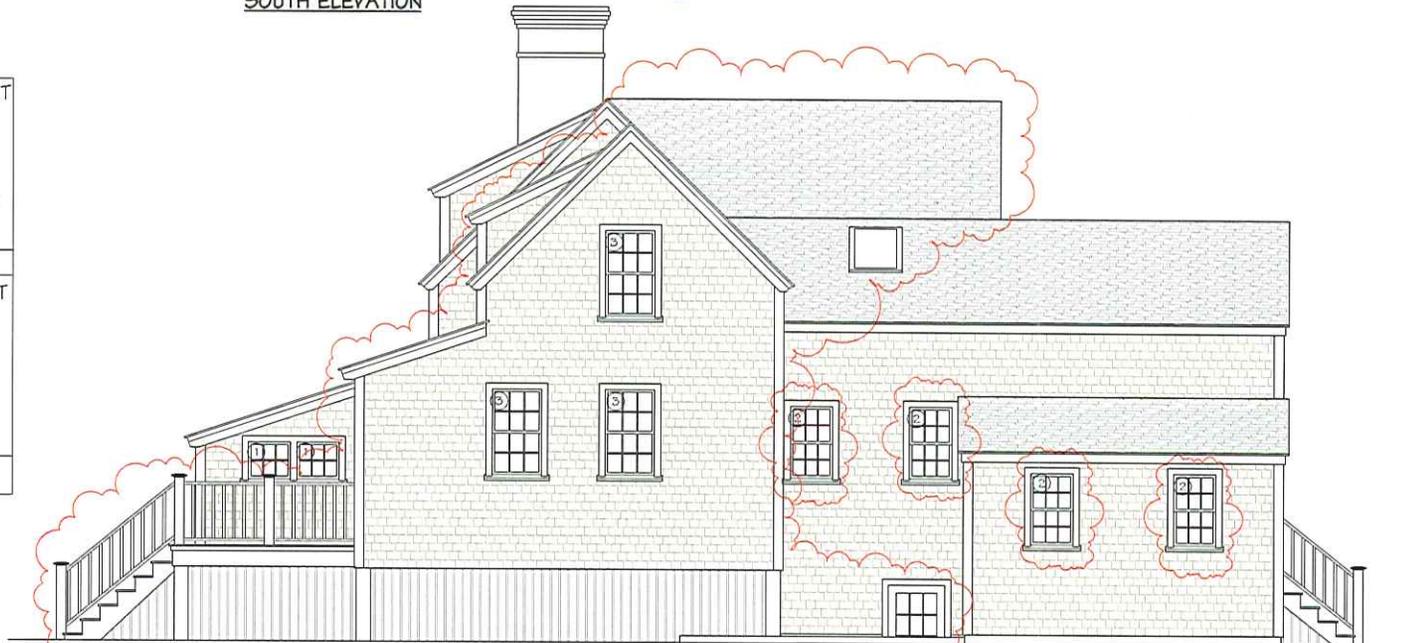
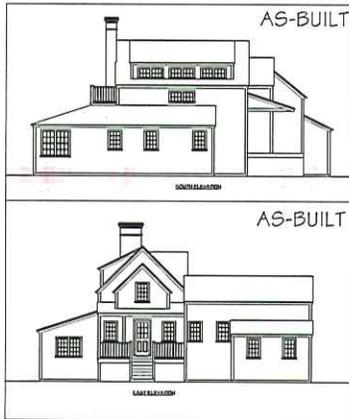
Osgood Residence						2/12/2016		
Number	Manufacturer	Size	Rough Opening	Manuf.	Type	Units	Comments	Quant.
1	TBD	2' 0" x 1' 10"	TBD	TBD	6 light awning	Single		10
2	Andersen	2' 1 1/2" x 3' 6 7/8"	2' 2 1/8" x 3' 6 7/8"	Andersen	Double Hung	Single		11
3	Andersen	2' 5 1/2" x 4' 6 7/8"	2' 6 1/8" x 4' 6 7/8"	Andersen	Double Hung	Single		16
4	Andersen	2' 5 1/2" x 5' 0 7/8"	2' 6 1/8" x 5' 0 7/8"	Andersen	Double Hung	Single		7
5	Andersen	2' 1 1/2" x 5' 0 7/8"	2' 6 1/8" x 5' 0 7/8"	Andersen	Double Hung	Single		3
A	TBD	2' 8" x 7' 0"	TBD	TBD	12 light 1 panel	Single		2
B	TBD	3' 0" x 7' 0"	TBD	TBD	12 light 1 panel	Single		1
C	TBD	2' 0" x 6' 8"	TBD	TBD	10 light	Single		1
D	TBD	6' 0" x 7' 0"	TBD	TBD	15 light french	double		1

Window Notes: (unless otherwise noted)  
 1. Sash width to be determined on site before ordering windows.  
 2. All window casing details to match elevations.  
 3. All windows and doors must be D.P.T. rated in accordance to Building Code 200 CMR 5.01.2  
 4. All ganged windows to have a double stud pocket.

Note:  
 Contractor is responsible for coordinating window and door sizes and for verifying and updating any inconsistencies.  
 Please refer to manufacturer's specifications prior to framing rough openings.



SOUTH ELEVATION



EAST ELEVATION

MILTON ROWLAND & ASSOCIATES  
 15 COMMERCIAL WHARF  
 NANTUCKET, MASSACHUSETTS  
 508.226.2044

REVISIONS:

ELEVATIONS  
 DATE: 02/12/2016  
 SCALE: 1/4" = 1'-0"

THE OSGOOD RESIDENCE  
 43 Tennessee Ave.  
 Nantucket, MA

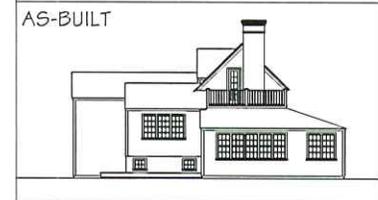
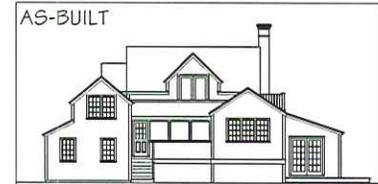
MIP: 004 / 329



NORTH ELEVATION



WEST ELEVATION



MILTON ROWLAND & ASSOCIATES  
15 COMMERCIAL WHARF  
NANTUCKET, MASSACHUSETTS  
508.228.2044

REVISIONS:

ELEVATIONS  
DATE: 02/12/2016  
SCALE: 1/4" = 1'-0"

THE OSGOOD RESIDENCE  
43 Tennessee Ave.  
Nantucket, MA

NIP 994 / 509

NOT FOR CONSTRUCTION

4

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

**CERTIFICATE OF APPROPRIATENESS**

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, Building with Nantucket in Mind, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

**PROPERTY DESCRIPTION**

TAX MAP N°: 68 PARCEL N°: 157  
Street & Number of Proposed Work: 63 Old South Road  
Owner of record: Phil Pastan/Richmond Great Point Dev  
Mailing Address: 20 Dawken Ln.  
Nantucket, MA 02554  
Contact Phone #: 508 901-9030 E-mail: proggeveen@richmondco.com

**AGENT INFORMATION (if applicable)**

Name: Patty Roggeveen  
Mailing Address: 20 Dawken Ln.  
Nantucket, MA 02554  
Contact Phone #: 508 332 9046 E-mail: proggeveen@richmondco.com

**FOR OFFICE USE ONLY**

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
Must be acted on by: \_\_\_\_\_  
Extended to: \_\_\_\_\_  
Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
Chairman: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Notes - Comments - Restrictions - Conditions  
\_\_\_\_\_  
\_\_\_\_\_

**DESCRIPTION OF WORK TO BE PERFORMED**

See reverse for required documentation.

New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed  
 Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_  
 Pool (Zoning District \_\_\_\_\_)  Roof  Other \_\_\_\_\_  
Size of Structure or Addition: Length: 80'-8" Sq. Footage 1st floor: 3200 SF Decks/Patio: Size: 17'-2"  1st floor  2nd floor  
Width: 39'-10" Sq. Footage 2nd floor: \_\_\_\_\_ Size: 5'-10"  1st floor  2nd floor  
Sq. Footage 3rd floor: \_\_\_\_\_  
Difference between existing grade and proposed finish grade: North 12" South 12" East 12" West 12"  
Height of ridge above final finish grade: North 21'-11" South 21'-11" East 21'-11" West 21'-11"

**Additional Remarks**

Historic Name: \_\_\_\_\_  
Original Date: \_\_\_\_\_ (describe)  
Original Builder: \_\_\_\_\_  
Is there an HDC survey form for this building attached?  Yes  N/A  
REVISIONS\*: 1. East Elevation  
2. South Elevation  
3. West Elevation  
4. North Elevation

\*Cloud on drawings and submit photographs of existing elevations.

**DETAIL OF WORK TO BE PERFORMED**

Foundation: Height Exposed 6"  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
Roof Pitch: Main Mass 7/12 Secondary Mass 7/12 Dormer 1/2 Other \_\_\_\_\_  
Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_  
Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_  
Leaders (material and size): 3" PVC Boxed out as Plaster w/10" x 5/4" wood trim  
Sidewall:  White cedar shingles  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side  Other \_\_\_\_\_  
Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_  
C. Dimensions: Fascia 9" Rake 10" Soffit (Overhang) 6" Corner boards 10" Frieze 8"  
Window Casing 4" Door Frame 4" Columns/Posts: Round \_\_\_\_\_ Square 10" x 10"  
Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer Anderson  
Doors\* (type and material):  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_  
Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_  
Hardscape materials: Driveways Asphalt Walkways Asphalt Walls \_\_\_\_\_  
Note: Complete door and window schedules are required.

**COLORS**

Sidewall White Cedar Splinge Clapboard (if applicable) \_\_\_\_\_ Roof Black  
Trim White Sash White Doors White  
Deck \_\_\_\_\_ Foundation Concrete Fence \_\_\_\_\_ Shutters \_\_\_\_\_

Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 2-22-16 Signature of owner of record \_\_\_\_\_ Signed under penalties of perjury

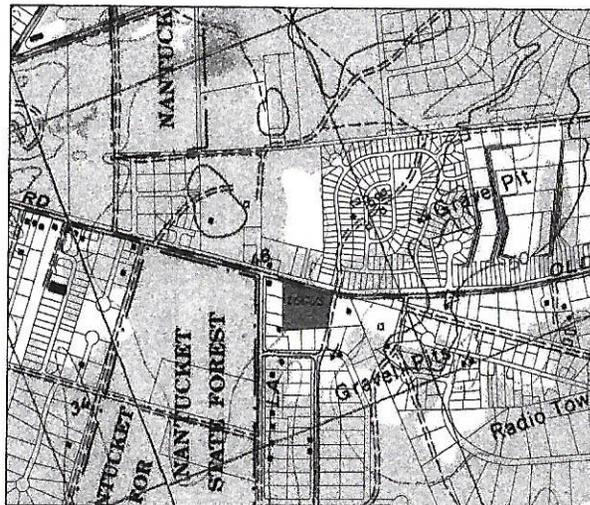
# HISTORIC DISTRICT COMMISSION SITE PLAN

AT  
63 OLD SOUTH ROAD  
NANTUCKET, MASSACHUSETTS

## LEGEND OF SYMBOLS & ABBREVIATIONS

### EXISTING PROPOSED

	BENCH MARK		
	BITUMINOUS BERM		
	BITUMINOUS CAPE COD BERM		
	BUILDING		
	UNDERGROUND CABLE		
	CONTOUR (1')		
	CONTOUR (5')		
	ZONE A (100-YEAR FLOOD ZONE)		
	CEMENT CONCRETE		
	SLOPED GRANITE CURB		
	VERTICAL GRANITE CURB		
	EDGE OF DISTURBANCE		
	UNDERGROUND DRAIN PIPE		
	CATCH BASIN		
	DRAIN MANHOLE		
	ROUND CATCH BASIN		
	UNDERGROUND ELECTRIC		
	CHAIN LINK FENCE		
	POST & RAIL FENCE		
	STOCKADE FENCE		
	VINYL FENCE		
	FINISHED FLOOR ELEVATION		
	GARAGE FLOOR ELEVATION		
	FOUNDATION		
	UNDERGROUND GAS MAIN		
	UNDERGROUND GAS SERVICE		
	EDGE OF GRAVEL		
	SPOT GRADE		
	GUARD RAIL		
	HANDICAP PLACARD PARKING		
	WHEEL CHAIR RAMP		
	HEADWALL		
	LANDSCAPE AREA		
	LEDGE OUTCROP		
	BOLLARD		
	OVERHEAD WIRE		
	UTILITY POLE		
	PAINTED PARKING & SPACE COUNT		
	PATH		
	EDGE OF PAVEMENT		
	BOULDER RIP-RAP & SLOPE		
	UNDERGROUND SEWER		
	UNDERGROUND SEWER SERVICE		
	SEWER MANHOLE		
	SEWER CLEANOUT		
	BITUMINOUS CONCRETE SIDEWALK		
	SIGN		
	EROSION & SEDIMENTATION CONTROL		
	STEPS		
	BOULDER		
	STONEWALL		
	CENTERLINE OF SWALE		
	UNDERGROUND TELEPHONE		
	TESTHOLE LOCATION		
	MONITORING WELL LOCATION		
	PERCOLATION TEST LOCATION		
	PAINTED TRAFFIC LINE & TYPE		
	DECIDUOUS TREE, SIZE & TYPE		
	CONIFEROUS TREE, SIZE & TYPE		
	HEDGE ROW AND TYPE		
	RETAINING WALL		
	UNDERGROUND WATER MAIN		
	UNDERGROUND WATER SERVICE		
	PAINTED UNDERGROUND WATER		
	WATER GATE VALVE BOX		
	WATER SERVICE CURB BOX		



KEY MAP  
SCALE: 1"=500'±  
0' 500' 1,000'



### NOTES:

- LOT LINES DEPICTED HEREON ARE TAKEN FROM "SUBDIVISION PLAN OF LAND IN NANTUCKET, MASS." DATE JULY 16, 2015 REVISED THROUGH OCTOBER 5, 2015 PREPARED BY HAYES ENGINEERING, INC.
- TOPOGRAPHIC INFORMATION DEPICTED HEREON IS THE RESULT OF AN ACTUAL FIELD SURVEY PERFORMED BY HAYES ENGINEERING, INC. ON THE FOLLOWING DATES:
  - SEPTEMBER 22, 2014
  - JUNE 18, 2015
  - SEPTEMBER 17, 2015
- THE DATUM IS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- THE ENTIRE PARCEL IS LOCATED WITHIN THE WATER RESOURCE PROTECTION DISTRICT, ZONE II WELLHEAD PROTECTION AREA.
- THE PROPERTY IS NOT LOCATED WITHIN A FLOOD HAZARD ZONE (A or V) AS DEPICTED ON FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 25019C 0099G EFFECTIVE JUNE 9, 2014.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN COMPILED FROM FIELD SURVEY INFORMATION AND AVAILABLE EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED. FURTHER, THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES AND DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING AND VERIFYING THE LOCATIONS, SIZES, AND ELEVATIONS OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS AND SHALL NOTIFY THE ENGINEER IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED DESIGN AND THE APPROPRIATE REMEDIAL ACTION PRIOR TO PROCEEDING WITH THE WORK.
- THE CONTRACTORS ARE RESPONSIBLE FOR CONTACTING DIG SAFE AT (800) 322-4844 PRIOR TO THE START OF ANY CONSTRUCTION.

ZONING TABLE				
ZONE	CN	LOT 1	LOT 2	LOT 3
DIMENSIONAL CONTROLS	REQUIRED/ALLOWED	PROVIDED	PROVIDED	PROVIDED
FRONT YARD SETBACK	10 ft.	N/A	40.0 ft.	29.0 ft.
SIDE YARD SETBACK	5 ft.	N/A	44.9 ft.	15.0 ft.
REAR YARD SETBACK	10 ft.	N/A	100 ft.	77.0 ft.
MIN. FRONTAGE	50 ft.	140.77 ft.	181.78 ft.	110.00 ft.
MIN. LOT AREA	7,500 s.f.	91,940± s.f.	40,855± s.f.	15,500± s.f.
MIN. REGULARITY FACTOR (RF)	0.55	0.67	0.93	1.00
MAX. GROUND COVER RATIO	40%	0%	12%	21%
MIN. OPEN AREA	30%	73%	50%	39%

PROPERTY LIES WITHIN THE WELLHEAD PROTECTION DISTRICT.

### PARKING REQUIREMENTS:

- LOT 1: NONE REQUIRED
- LOT 2: RETAIL - 1 space PER 200sf OF GROSS FLOOR AREA (GFA)  
(5,000sf GFA)(1sp/200sf) = 25 spaces REQUIRED  
HANDICAP ACCESSIBLE SPACES REQUIRED = 1sp  
PROVIDED = 25 spaces (9'x20') INCLUDING 1 HP space
- LOT 3: RETAIL - 1 space PER 200sf OF GFA  
(3,200sf GFA)(1sp/200sf) = 16 spaces REQUIRED  
HANDICAP ACCESSIBLE SPACES REQUIRED = 1sp  
PROVIDED = 16 spaces (9'x20') INCLUDING 1 HP space

### WARRANTS REQUESTED:

- §139-20.1.B(1) MORE THAN ONE DRIVEWAY ACCESS PER LOT: TWO DRIVEWAYS ARE PROPOSED.
- §139-20.1.B(2)(f)(1) MAXIMUM DRIVEWAY WIDTH AND CORNER ROUNDINGS: ALLOW CORNER ROUNDINGS WITH RADII UP TO 30'.

PLAN TITLE	SHEET DESIGNATION
INDEX	C1
SITE PLAN	C2



Prepared For:  
Owner / Applicant  
ROCHESTER GREAT POINT  
DEVELOPMENT LLC  
1000 WASHINGTON ST. UNIT 01087  
WILMINGTON, MA 01897  
(978) 965-3900

Prepared By:  
Hayes Engineering, Inc.  
1000 WASHINGTON ST. UNIT 01087  
WILMINGTON, MA 01897  
PH: 978-965-3900  
www.hayeseng.com

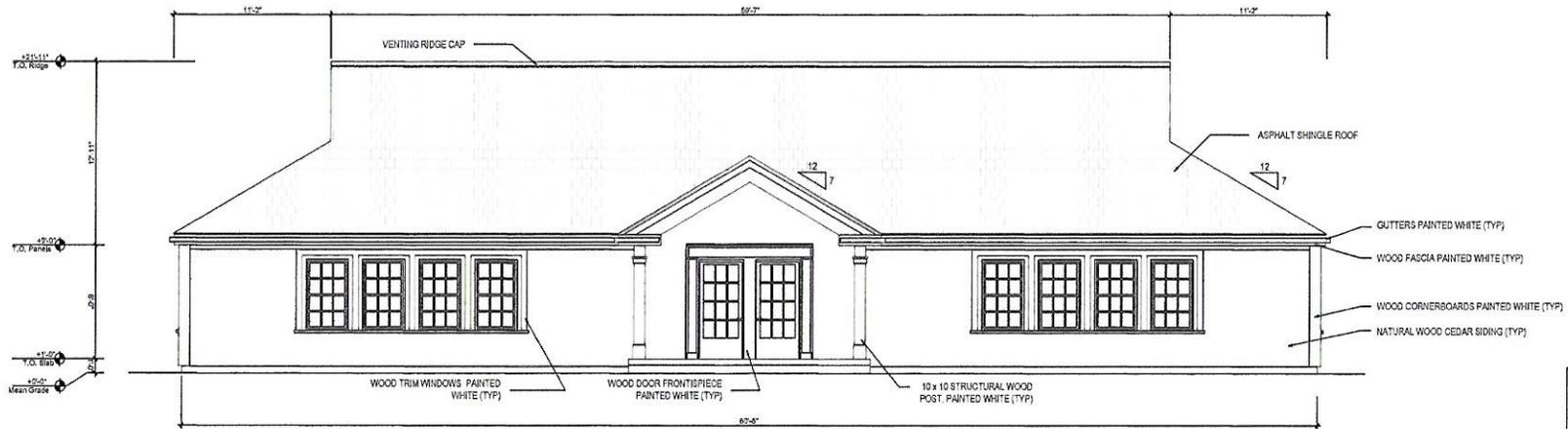
Design By: PJO  
Drawn By: AMC  
Checked By: PJO  
Project File: NAN-0107  
Comp. No: NAN65  
 Issued For Permit  
 Issued For Review  
 Issued For Bid  
 Issued For Construction  
 Not For Construction

Scale: 1"=30'  
0' 10' 20' 30' 60'  
Date: February 19, 2016

Drawing Title:  
HISTORIC DISTRICT COMMISSION  
SITE PLAN  
63 OLD SOUTH ROAD  
NANTUCKET, MASS.

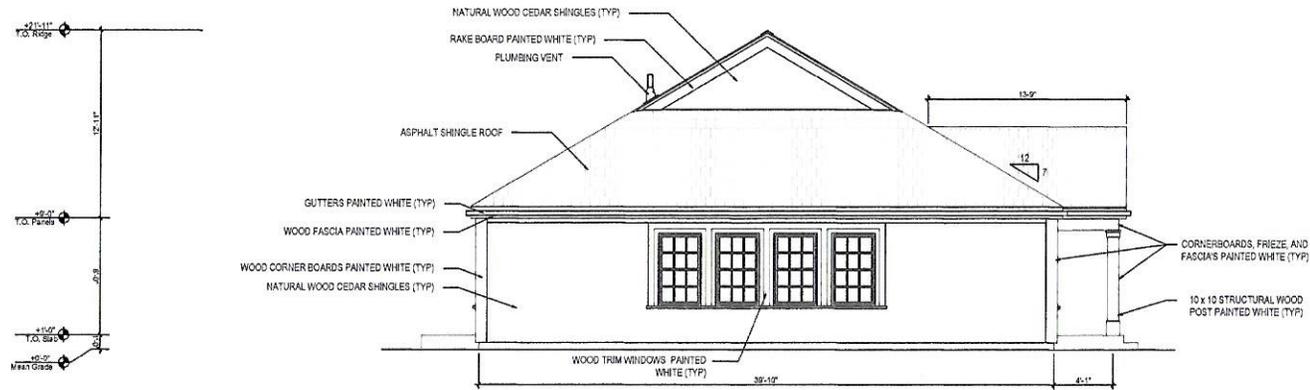
Drawing No.:  
C1  
INDEX PLAN  
SHEET 1 OF 2





1 3,200 SF RETAIL - FRONT ELEVATION  
A-01

SCALE: 1/4" = 1'-0"



2 3,200 SF RETAIL - SIDE ELEVATION  
A-01

SCALE: 1/4" = 1'-0"

DCM Architecture and Engineering expressly reserves its common law copyright and other property rights in these plans. All designs, specifications and drawings are the property of DCM Architecture and Engineering which are to be used only as issued for this project. They shall not be used on any other project in full or in part, without the obtaining the express written approval and consent of DCM Architecture and Engineering. These documents shall not be transferred to any unauthorized third party without the same consent.

Do not make drawings. Contractors shall verify all dimensions prior to construction, and shall bring any discrepancies to the attention of the Architect.

The Contractor shall make no structural changes or substitutions without the written approval of the Architect.



200 Federal Street, Suite 405, Camden NJ 08103  
Telephone: 609.478.9101 info@dcmae.com  
Facsimile: 609.757.0282 www.dcmajec.com

EDUARDO GUZMAN, R.A.

ROBERT BENSON, PE

Anton Levchenko  
Andrew Hanikmeyer

**PRITON**

RETAIL  
LINER BUILDINGS

DCML 13-362

The Richmond Company

SCHEMATIC DESIGN

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

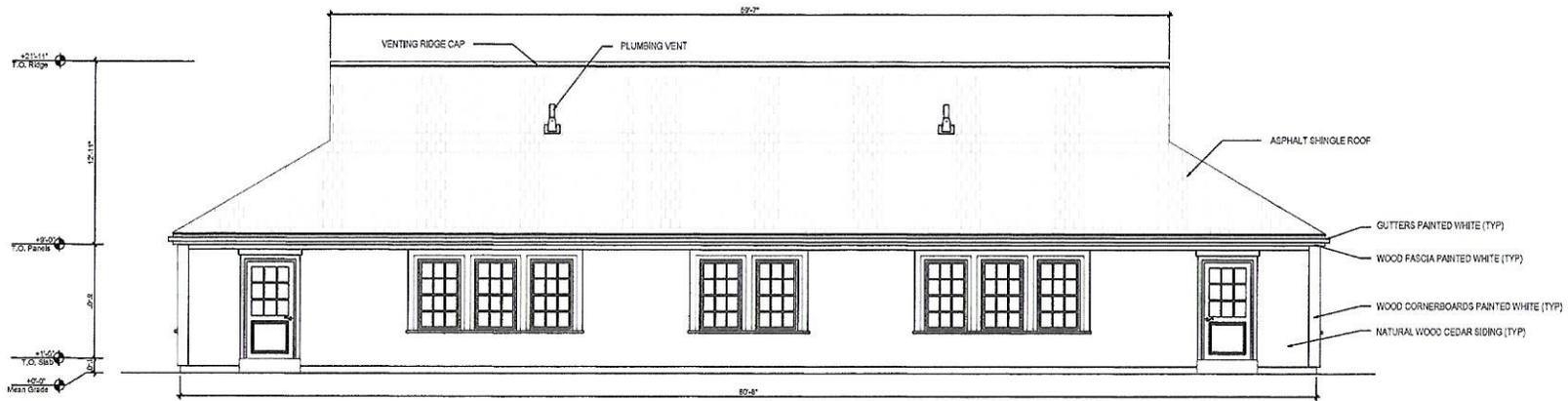
DRAWN BY: awh CHECK BY:

ARCH D 1/4" = 1'-0"

FEBRUARY 2016

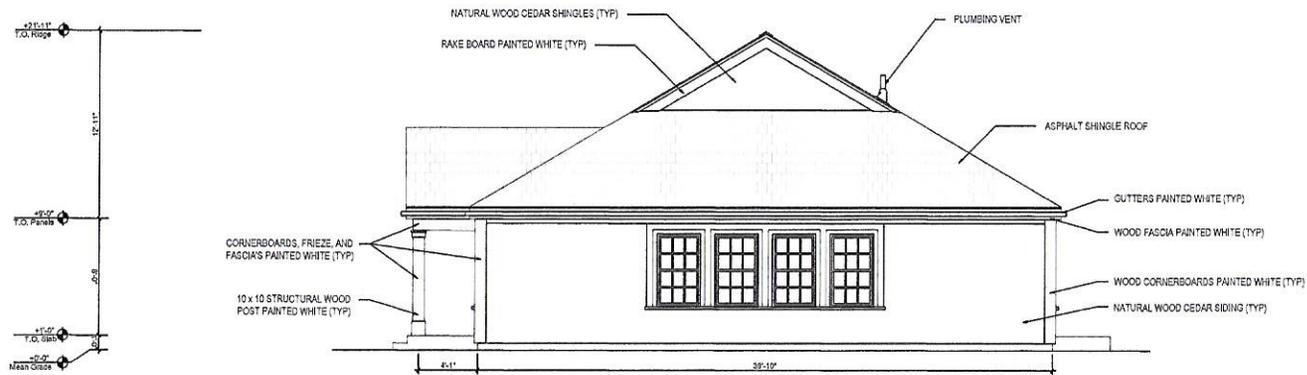
3,200 SF RETAIL

A-01



1 3,200 SF RETAIL - REAR ELEVATION  
A-02

SCALE: 1/4" = 1'-0"



2 3,200 SF RETAIL - SIDE ELEVATION  
A-02

SCALE: 1/4" = 1'-0"

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Do not scale drawings. Contractors shall verify all dimensions prior to construction, and shall bring any discrepancies to the attention of the Architect.

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200 Federal Street, Suite 435, Camden NJ 08103  
Telephone: 856.479.8101 info@dcmae.com  
Facsimile: 856.787.0052 www.dcm-ae.com

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ROBERT BENSON, PE

Anton Lavchenko  
Andrew Hanihammeyer

**PRITON**

RETAIL  
LINER BUILDINGS

DCML 13-362

The Richmond Company

SCHEMATIC DESIGN


DRAWN BY: swh CHECK BY:

ARCH D 1/4" = 1'-0"

FEBRUARY 2016

3,200 SF RETAIL

A-02

Project: 13-362 Retail Liner Building  
 Revised: 02/16/16  
 Date: 02/16/16  
 Drawn: swh  
 Checked: [blank]  
 Date: 02/16/16  
 Project: 13-362 Retail Liner Building





1  
P-01 3,200 SF RETAIL - FRONT ELEVATION

SCALE: 1/4" = 1'-0"



2  
P-01 3,200 SF RETAIL - SIDE ELEVATION

SCALE: 1/4" = 1'-0"

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200 Federal Street, 6th Fl., Camden NJ 08103  
 Telephone: 856.479.8101 info@dcmae.com  
 Facsimile: 856.707.0032 www.dcm-ae.com

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ROBERT BENSON, PE

Anton Levchenko  
 Andrew Halkinmeyer

**PRITON**

RETAIL  
 LINER BUILDINGS

DCM: 13-362

The Richmond Company

SCHEMATIC DESIGN


DRAWN BY: svh CHECK BY:

ARCH D 1/4" = 1'-0"

FEBRUARY 2016

3,200 SF RETAIL

P-01

P-01 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100



1  
P-02 3,200 SF RETAIL - REAR ELEVATION

SCALE: 1/4" = 1'-0"



2  
P-02 3,200 SF RETAIL - SIDE ELEVATION

SCALE: 1/4" = 1'-0"

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**10DCM**

200 Federal Street, Suite 405, Camden NJ 08103  
Telephone: 856.479.2121 info@dcmae.com  
Facsimile: 856.787.5002 www.DCMAE.com

EDUARDO GUZMAN, R.A.

ROBERT BENSON, PE

Anton Levchenko  
Andrew Hankemeyer

**PRITON**

RETAIL  
LINER BUILDINGS

DCML 13-362

The Richmond Company  
SCHEMATIC DESIGN

△  
△  
△

DRAWN BY: CHECK BY:  
swh

ARCH D 1/4" = 1'-0"

FEBRUARY 2016

3,200 SF RETAIL

P-02

Sheet: 01/01/2016 10:00 AM

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

**CERTIFICATE OF APPROPRIATENESS**

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

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TAX MAP N°: 68 PARCEL N°: 157  
Street & Number of Proposed Work: 63 Old South Road  
Owner of record: Phil Pasten / Richmond Great Point Dev  
Mailing Address: 20 Dawkins Ln.  
Nantucket, MA 02554  
Contact Phone #: 508-901-9030 E-mail: proggreen@richmondco.com  
508-332-9646

**AGENT INFORMATION (if applicable)**

Name: Patty Roggeveen  
Mailing Address: 20 Dawkins Ln.  
Nantucket, MA 02554  
Contact Phone #: 508-332-9646 E-mail: proggreen@richmondco.com

FOR OFFICE USE ONLY

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
Must be acted on by: \_\_\_\_\_  
Extended to: \_\_\_\_\_  
Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
Chairman: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Notes - Comments - Restrictions - Conditions

**DESCRIPTION OF WORK TO BE PERFORMED**

See reverse for required documentation.

- New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed
- Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_
- Pool (Zoning District \_\_\_\_\_)  Roof  Other \_\_\_\_\_

Size of Structure or Addition: Length: 108' 9" Sq. Footage 1st floor: 5600 S.F. Decks/Patio: Size: 17' - 2"  1st floor  2nd floor  
Width: 59' 10" Sq. footage 2nd floor: \_\_\_\_\_ porch Size: 5' 10"  1st floor  2nd floor  
Sq. footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North 12" South 12" East 12" West 12"  
Height of ridge above final finish grade: North 22' - 2" South 22' - 2" East 22' - 2" West 22' - 2"

**Additional Remarks**

Historic Name: \_\_\_\_\_  
Original Date: \_\_\_\_\_ (describe)  
Original Builder: \_\_\_\_\_  
Is there an HDC survey form for this building attached?  Yes  N/A

- REVISIONS\***
1. East Elevation
  2. South Elevation
  3. West Elevation
  4. North Elevation

\*Cloud on drawings and submit photographs of existing elevations.

**DETAIL OF WORK TO BE PERFORMED**

Foundation: Height Exposed 6"  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers

Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_

Roof Pitch: Main Mass 7/12 Secondary Mass 7/12 Dormer 1/12 Other \_\_\_\_\_

Roofing material:  Asphalt  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_

Fence: Height: \_\_\_\_\_  
Type: \_\_\_\_\_  
Length: \_\_\_\_\_

Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_

Leaders (material and size): 3" PVC Boxed out as PLASTER w/ 10" x 5/4" wood trim

Sidewall:  White cedar shingles  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side

Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_

B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_

C. Dimensions: Fascia 9" Rake 10" Soffit (Overhang) 6" Corner boards 10" Frieze 8"

Window Casing 4" Door Frame 4" Columns/Posts: Round \_\_\_\_\_ Square 10" x 10"

Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_

True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer ANDERSON

Doors\* (type and material):  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_

Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_

Hardscape materials: Driveways asphalt Walkways asphalt Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

**COLORS**

Sidewall White Cedar Shingles Clapboard (if applicable) \_\_\_\_\_ Roof Black  
Trim White Sash White Doors White  
Deck \_\_\_\_\_ Foundation Concrete Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 2-22-16 Signature of owner of record \_\_\_\_\_

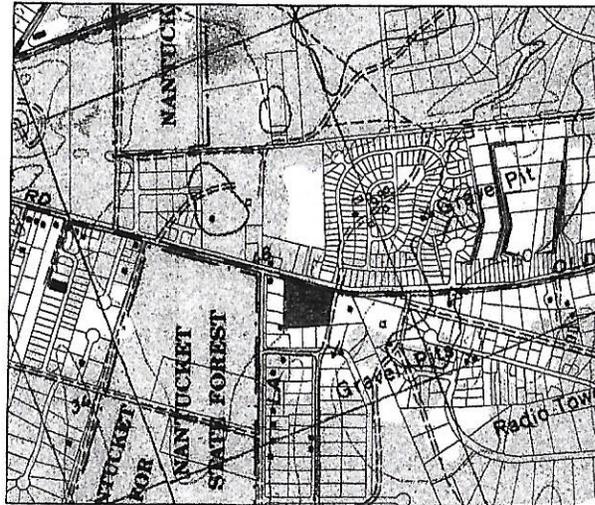
Signed under penalties of perjury

# HISTORIC DISTRICT COMMISSION SITE PLAN

AT  
63 OLD SOUTH ROAD  
NANTUCKET, MASSACHUSETTS

## LEGEND OF SYMBOLS & ABBREVIATIONS

EXISTING	PROPOSED



KEY MAP  
SCALE: 1"=500'±



### NOTES:

- LOT LINES DEPICTED HEREON ARE TAKEN FROM "SUBDIVISION PLAN OF LAND IN NANTUCKET, MASS." DATE JULY 16, 2015 REVISED THROUGH OCTOBER 5, 2016 PREPARED BY HAYES ENGINEERING, INC.
- TOPOGRAPHIC INFORMATION DEPICTED HEREON IS THE RESULT OF AN ACTUAL FIELD SURVEY PERFORMED BY HAYES ENGINEERING, INC. ON THE FOLLOWING DATES:
  - SEPTEMBER 22, 2014
  - JUNE 18, 2015
  - SEPTEMBER 17, 2015
- THE DATUM IS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- THE ENTIRE PARCEL IS LOCATED WITHIN THE WATER RESOURCE PROTECTION DISTRICT, ZONE II WELLHEAD PROTECTION AREA.
- THE PROPERTY IS NOT LOCATED WITHIN A FLOOD HAZARD ZONE (A or V) AS DEPICTED ON FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 25019C 0089G EFFECTIVE JUNE 9, 2014.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN COMPILED FROM FIELD SURVEY INFORMATION AND AVAILABLE EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHER, THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES AND DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING AND VERIFYING THE LOCATIONS, SIZES, AND ELEVATIONS OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS AND SHALL NOTIFY THE ENGINEER IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED DESIGN AND THE APPROPRIATE REMEDIAL ACTION PRIOR TO PROCEEDING WITH THE WORK.
- THE CONTRACTORS ARE RESPONSIBLE FOR CONTACTING DIG SAFE AT (800) 322-4844 PRIOR TO THE START OF ANY CONSTRUCTION.

ZONE	ZONING TABLE			
	CN	LOT 1	LOT 2	LOT 3
FRONT YARD SETBACK	10 ft.	N/A	40.0 ft.	28.0 ft.
SIDE YARD SETBACK	5 ft.	N/A	44.0 ft.	15.0 ft.
REAR YARD SETBACK	10 ft.	N/A	100 ft.	77.0 ft.
MIN. FRONTAGE	50 ft.	140.77 ft.	181.78 ft.	110.00 ft.
MIN. LOT AREA	7,500 sq. ft.	91,840 sq. ft.	40,655 sq. ft.	15,500 sq. ft.
MIN. REGULARITY FACTOR (RF)	0.55	0.67	0.93	1.00
MAX. GROUND COVER RATIO	40%	0%	12%	21%
MIN. OPEN AREA	30%	72%	50%	39%

PROPERTY LIES WITHIN THE WELLHEAD PROTECTION DISTRICT.

### PARKING REQUIREMENTS:

- LOT 1: NONE REQUIRED
- LOT 2: RETAIL = 1 space PER 200sf OF GROSS FLOOR AREA (GFA)  
 (5,000sf GFA)(1sp/200sf) = 25 spaces REQUIRED  
 HANDICAP ACCESSIBLE SPACES REQUIRED = 1sp  
 PROVIDED = 25 spaces (9'x20') INCLUDING 1 HP space
- LOT 3: RETAIL = 1 space PER 200sf OF GFA  
 (3,200sf GFA)(1sp/200sf) = 16 spaces REQUIRED  
 HANDICAP ACCESSIBLE SPACES REQUIRED = 1sp  
 PROVIDED = 16 spaces (9'x20') INCLUDING 1 HP space

### WARRANTS REQUESTED:

- §139-20.1.B(1) MORE THAN ONE DRIVEWAY ACCESS PER LOT: TWO DRIVEWAYS ARE PROPOSED.
- §139-20.1.B(2)(f)(1) MAXIMUM DRIVEWAY WIDTH AND CORNER ROUNDINGS: ALLOW CORNER ROUNDINGS WITH RADII UP TO 30'.

PLAN TITLE	SHEET DESIGNATION
INDEX	C1
SITE PLAN	C2



Prepared For:  
 Owner / Applicant:  
 RICHMOND GREAT POINT DEVELOPMENT, LLC  
 6021 Salem Street  
 WILMINGTON, MA 01897  
 (978) 988-3500

Prepared By:  
 Hayes Engineering, Inc.  
 1000 Main Street  
 Nantucket, MA 01906  
 (508) 775-2467  
 (508) 775-2468  
 (508) 775-2469  
 (508) 775-2470  
 (508) 775-2471  
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 (508) 775-2498  
 (508) 775-2499

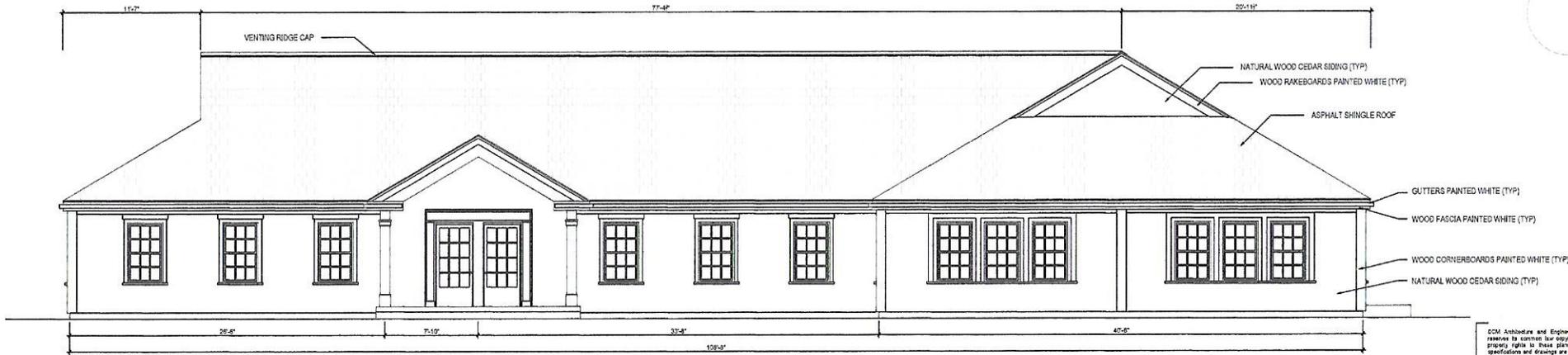
Design By: PJO  
 Drawn By: AAC  
 Checked By: PJO  
 Project No: NNI-0107T  
 Comp. No: HAYES  
 Issued For Permit  
 Issued For Review  
 Issued For Bid  
 Issued For Construction  
 Not For Construction

Scale: 1"=30'  
 0' 15' 30' 60'  
 Date: February 19, 2016

Drawing Title:  
 HISTORIC DISTRICT COMMISSION  
 SITE PLAN  
 63 OLD SOUTH ROAD  
 NANTUCKET, MASS.

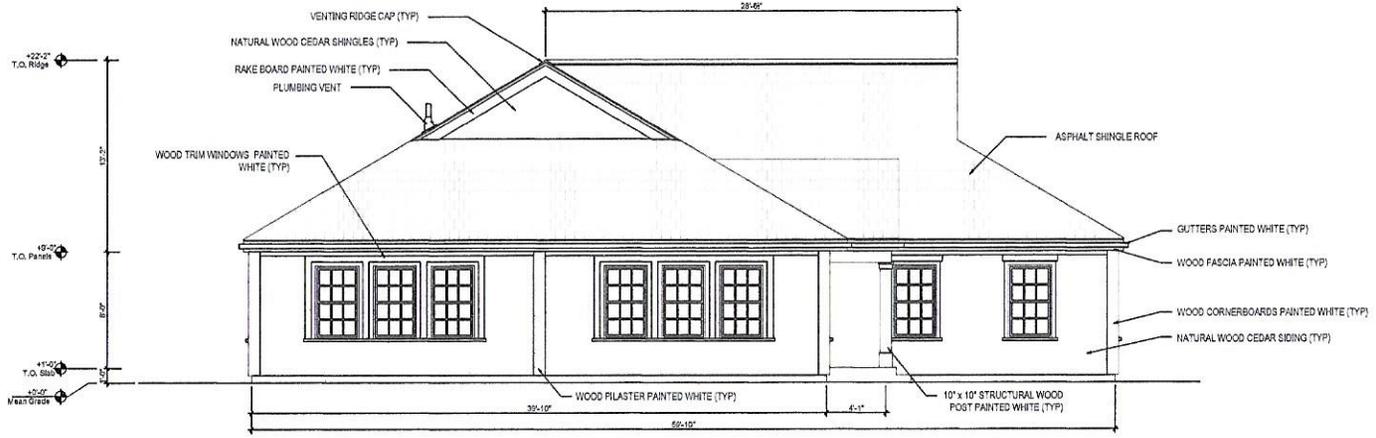
Drawing No.:  
 C1  
 INDEX PLAN  
 SHEET 1 OF 2





1 5000 SF RETAIL - FRONT ELEVATION

SCALE: 1/4" = 1'-0"



2 5000 SF RETAIL - SIDE ELEVATION

SCALE: 1/4" = 1'-0"

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Do not scale drawings. Contractors shall verify all dimensions prior to construction, and shall bring any discrepancies to the attention of the Architect.

The Contractor shall make no structural changes or substitutions without the written approval of the Architect.

**10 YEARS**  
**DCM**

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ROBERT BENSON, PE  
Anton Lezhchenko  
Andrew Hanflameyer

**PRITON**  
RETAIL LINER BUILDINGS  
DCML 13-362  
The Richmond Company  
SCHEMATIC DESIGN


DRAWN BY: CHECK BY:  
awh

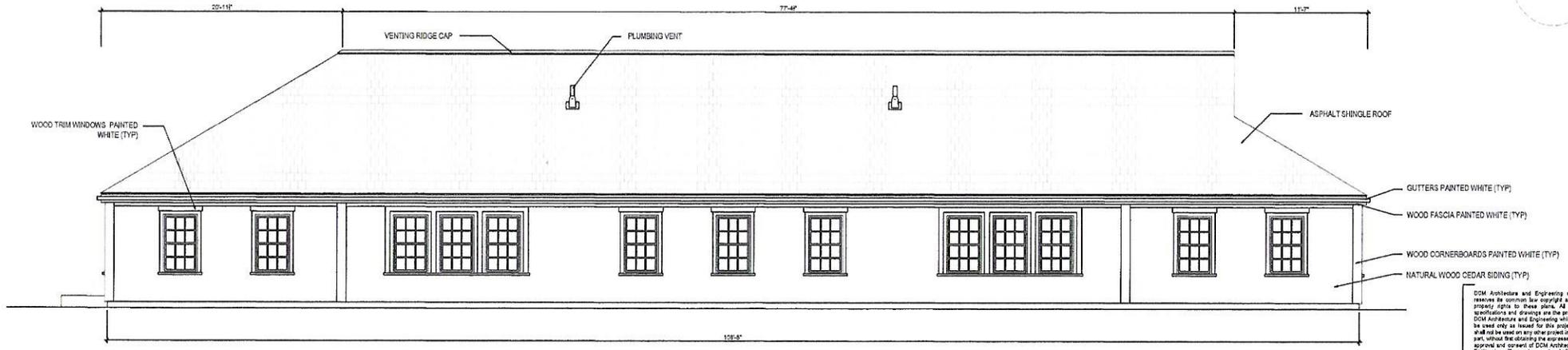
ARCH D 1/4" = 1'-0"

FEBRUARY 2016

5000 SF RETAIL

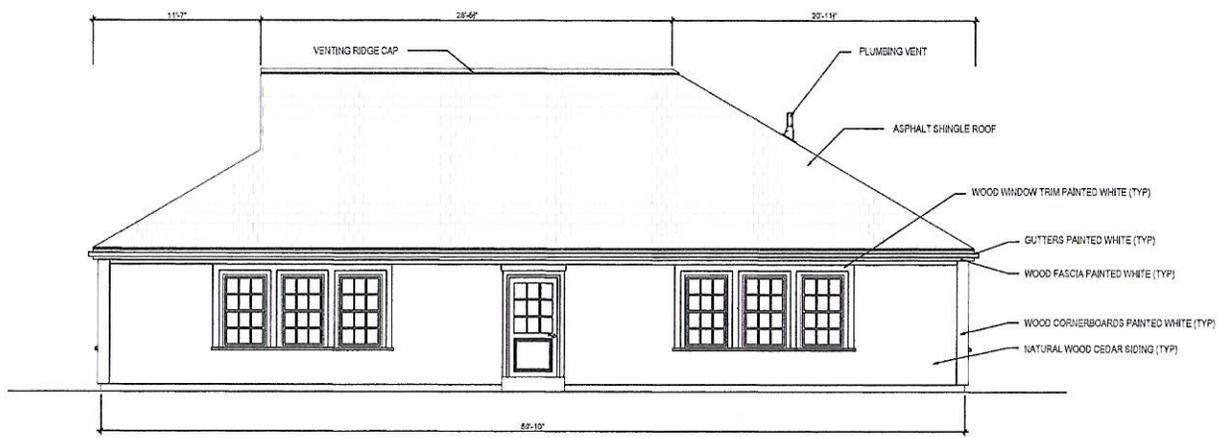
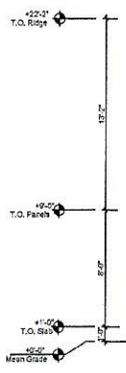
A-01

Project: 13-362 Retail Liner Building  
 Sheet: 01 of 01  
 Date: 02/01/16  
 Title: Schematic Design



1 5000 SF RETAIL - REAR ELEVATION  
A-02

SCALE: 1/4" = 1'-0"



2 5000 SF RETAIL - SIDE ELEVATION  
A-02

SCALE: 1/4" = 1'-0"

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Andrew Hanziemeyer

**PRITON**

RETAIL  
LINER BUILDINGS

DCML 13-342

The Richmond Company

SCHEMATIC DESIGN


DRAWN BY: awh  
ARCH D 1/4" = 1'-0"

FEBRUARY 2016

5000 SF RETAIL

A-02

Project: 13-342  
 Design: 13-342  
 Detail: 13-342  
 Date: 02/16/16



1  
P-00 5000 SF RETAIL - PERSPECTIVE

SCALE: NA

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**PRITON**

RETAIL  
LINER BUILDINGS

DCNL 13-362

The Richmond Company

SCHEMATIC DESIGN


DRAWN BY: awh CHECK BY:

ARCH D NO SCALE

FEBRUARY 2016

5000 SF RETAIL

P-00

PLOT 001 002 003 004 005 006 007 008 009 010 011 012 013 014 015 016 017 018 019 020 021 022 023 024 025 026 027 028 029 030 031 032 033 034 035 036 037 038 039 040 041 042 043 044 045 046 047 048 049 050 051 052 053 054 055 056 057 058 059 060 061 062 063 064 065 066 067 068 069 070 071 072 073 074 075 076 077 078 079 080 081 082 083 084 085 086 087 088 089 090 091 092 093 094 095 096 097 098 099 100 101 102 103 104 105 106 107 108 109 110 111 112 113 114 115 116 117 118 119 120 121 122 123 124 125 126 127 128 129 130 131 132 133 134 135 136 137 138 139 140 141 142 143 144 145 146 147 148 149 150 151 152 153 154 155 156 157 158 159 160 161 162 163 164 165 166 167 168 169 170 171 172 173 174 175 176 177 178 179 180 181 182 183 184 185 186 187 188 189 190 191 192 193 194 195 196 197 198 199 200 201 202 203 204 205 206 207 208 209 210 211 212 213 214 215 216 217 218 219 220 221 222 223 224 225 226 227 228 229 230 231 232 233 234 235 236 237 238 239 240 241 242 243 244 245 246 247 248 249 250 251 252 253 254 255 256 257 258 259 260 261 262 263 264 265 266 267 268 269 270 271 272 273 274 275 276 277 278 279 280 281 282 283 284 285 286 287 288 289 290 291 292 293 294 295 296 297 298 299 300 301 302 303 304 305 306 307 308 309 310 311 312 313 314 315 316 317 318 319 320 321 322 323 324 325 326 327 328 329 330 331 332 333 334 335 336 337 338 339 340 341 342 343 344 345 346 347 348 349 350 351 352 353 354 355 356 357 358 359 360 361 362 363 364 365 366 367 368 369 370 371 372 373 374 375 376 377 378 379 380 381 382 383 384 385 386 387 388 389 390 391 392 393 394 395 396 397 398 399 400 401 402 403 404 405 406 407 408 409 410 411 412 413 414 415 416 417 418 419 420 421 422 423 424 425 426 427 428 429 430 431 432 433 434 435 436 437 438 439 440 441 442 443 444 445 446 447 448 449 450 451 452 453 454 455 456 457 458 459 460 461 462 463 464 465 466 467 468 469 470 471 472 473 474 475 476 477 478 479 480 481 482 483 484 485 486 487 488 489 490 491 492 493 494 495 496 497 498 499 500 501 502 503 504 505 506 507 508 509 510 511 512 513 514 515 516 517 518 519 520 521 522 523 524 525 526 527 528 529 530 531 532 533 534 535 536 537 538 539 540 541 542 543 544 545 546 547 548 549 550 551 552 553 554 555 556 557 558 559 560 561 562 563 564 565 566 567 568 569 570 571 572 573 574 575 576 577 578 579 580 581 582 583 584 585 586 587 588 589 590 591 592 593 594 595 596 597 598 599 600 601 602 603 604 605 606 607 608 609 610 611 612 613 614 615 616 617 618 619 620 621 622 623 624 625 626 627 628 629 630 631 632 633 634 635 636 637 638 639 640 641 642 643 644 645 646 647 648 649 650 651 652 653 654 655 656 657 658 659 660 661 662 663 664 665 666 667 668 669 670 671 672 673 674 675 676 677 678 679 680 681 682 683 684 685 686 687 688 689 690 691 692 693 694 695 696 697 698 699 700 701 702 703 704 705 706 707 708 709 710 711 712 713 714 715 716 717 718 719 720 721 722 723 724 725 726 727 728 729 730 731 732 733 734 735 736 737 738 739 740 741 742 743 744 745 746 747 748 749 750 751 752 753 754 755 756 757 758 759 760 761 762 763 764 765 766 767 768 769 770 771 772 773 774 775 776 777 778 779 780 781 782 783 784 785 786 787 788 789 790 791 792 793 794 795 796 797 798 799 800 801 802 803 804 805 806 807 808 809 810 811 812 813 814 815 816 817 818 819 820 821 822 823 824 825 826 827 828 829 830 831 832 833 834 835 836 837 838 839 840 841 842 843 844 845 846 847 848 849 850 851 852 853 854 855 856 857 858 859 860 861 862 863 864 865 866 867 868 869 870 871 872 873 874 875 876 877 878 879 880 881 882 883 884 885 886 887 888 889 890 891 892 893 894 895 896 897 898 899 900 901 902 903 904 905 906 907 908 909 910 911 912 913 914 915 916 917 918 919 920 921 922 923 924 925 926 927 928 929 930 931 932 933 934 935 936 937 938 939 940 941 942 943 944 945 946 947 948 949 950 951 952 953 954 955 956 957 958 959 960 961 962 963 964 965 966 967 968 969 970 971 972 973 974 975 976 977 978 979 980 981 982 983 984 985 986 987 988 989 990 991 992 993 994 995 996 997 998 999 1000



1  
P-01 5000 SF RETAIL - FRONT ELEVATION

SCALE: 1/4" = 1'-0"



2  
P-01 5000 SF RETAIL - SIDE ELEVATION

SCALE: 1/4" = 1'-0"

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Anton Levchenko  
Andrew Hackarmeyer

**PRITON**

RETAIL  
LINER BUILDINGS

DCML 13-262

The Richmond Company

SCHEMATIC DESIGN

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

DRAWN BY: CHECK BY:  
awh

ARCH D 1/4" = 1'-0"

FEBRUARY 2016

5000 SF RETAIL

P-01

P-01 5000 SF RETAIL - FRONT ELEVATION



1  
P-02 5000 SF RETAIL - REAR ELEVATION

SCALE 1/4" = 1'-0"



2  
P-02 5000 SF RETAIL - SIDE ELEVATION

SCALE 1/4" = 1'-0"

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Telephone: 856.478.9171 info@dcmae.com  
Facsimile: 856.797.0582 www.DCMAE.com

EDUARDO GUZMAN, R.A.  
ROBERT BENSON, PE  
Anton Leichterko  
Andrew Hankelmeyer



RETAIL LINER BUILDINGS

DCML 13-362

The Richmond Company  
SCHEMATIC DESIGN



DRAWN BY: awh CHECK BY:

ARCH D 1/4" = 1'-0"

FEBRUARY 2016

5000 SF RETAIL

P-02

Project: 13-362  
 Sheet: P-02  
 Date: 02/16/16  
 Drawn: awh  
 Checked: [ ]  
 Revised: [ ]  
 Title: 5000 SF RETAIL

CERTIFICATE NO: \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

### CERTIFICATE OF APPROPRIATENESS

for structural work.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

#### PROPERTY DESCRIPTION

TAX MAP N<sup>o</sup>: 67 PARCEL N<sup>o</sup>: 222  
Street & Number of Proposed Work: 65 Surfside Rd.  
Owner of record: Dalgaard Hans  
Mailing Address: 65 Surfside rd.  
Nantucket, MA 02554  
Contact Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

#### AGENT INFORMATION (if applicable)

Name: JB Studio  
Mailing Address: PO Box 3741  
Nantucket, MA 02584  
Contact Phone #: 108 372 9654 E-mail: juvaj@thejbstudio.com

FOR OFFICE USE ONLY

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
Must be acted on by: \_\_\_\_\_  
Extended to: \_\_\_\_\_  
Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
Chairman: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_

Notes - Comments - Restrictions - Conditions

#### DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed  
 Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_  
 Pool (Zoning District \_\_\_\_\_)  Roof  Other \_\_\_\_\_  
Size of Structure or Addition: Length: 50' Sq. Footage 1st floor: 1320 SF Decks/Patio: Size: 344 SF  1st floor  2nd floor  
Width: 32' Sq. Footage 2nd floor: 1100 SF Size: \_\_\_\_\_  1st floor  2nd floor  
Sq. Footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_  
Height of ridge above final finish grade: North 25'4" South 25'4" East 33' West 21'4"

#### Additional Remarks

REVISIONS: 1. East Elevation

Historic Name: \_\_\_\_\_

(describe) 2. South Elevation

Original Date: \_\_\_\_\_

3. West Elevation

Original Builder: \_\_\_\_\_

4. North Elevation

Is there an HDC survey form for this building attached?  Yes  N/A

\*Cloud on drawings and submit photographs of existing elevations.

#### DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 8"  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
Roof Pitch: Main Mass 1/12 Secondary Mass 1/12 Dormer 6/12 Other Scrubbed  
Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.)

Fence: Height: \_\_\_\_\_  
Type: \_\_\_\_\_  
Length: \_\_\_\_\_

Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_

#### Leaders (material and size):

Sidewall:  White cedar shingles 5" Typ.  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_

Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_

B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_

C. Dimensions: Fascia 1x8 Rake 1x6 Soffit (Overhang) 5.5" Corner boards 1x6 Frieze \_\_\_\_\_

Window Casing 1x4 Door Frame 1x4 Columns/Posts: Round \_\_\_\_\_ Square 6x6

Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_

True Divided Lights(muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_

Doors\* (type and material):  TDL  SDL Front 6 Lite / 2 panel, Wood Rear 15 Lite / wood Side Garage overhead

Garage Door(s): Type Overhead Material TBD

Hardscape materials: Driveways paved Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

#### COLORS

Sidewall NTU Clapboard (if applicable) \_\_\_\_\_ Roof Black  
Trim White Sash White Doors White  
Deck NTU Foundation NTU Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 2/22/16 Signature of owner of record \_\_\_\_\_ Signed under penalties of perjury



#4 Miacomet Av.  
Map 67 Parcel 223.3

#63 Surfside Rd.  
Map 67 Parcel 222.1

#6 Miacomet Av.  
Map 67 Parcel 223.4

Existing Paved Driveway

Proposed 1 1/2 Story Dwelling  
1,320 SF

Bike Path

SURFSIDE RD.

N

Existing Dwelling

#65- Surfside Rd.  
Map 67 Parcel 223.5

**Property Info:**

Map & Parcel: 67/222  
District/Zoning: RC2M  
Minimum Lot Size:  
Frontage:

Lot Size:  
Allowable Ground Coverage:  
Existing Ground Coverage:  
Proposed Ground Coverage:

1 Site Plan  
1" = 10'-0"





1 South Elevation  
 1/4" = 1'-0"



2 East Elevation  
 1/4" = 1'-0"



**3** North Elevation  
 1/4" = 1'-0"



4 West Elevation  
1/4" = 1'-0"

CERTIFICATE NO: \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

**CERTIFICATE OF APPROPRIATENESS**

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

**PROPERTY DESCRIPTION**

TAX MAP N°: 42.4.3 PARCEL N°: 98  
Street & Number of Proposed Work: 78 CENTER STREET  
Owner of record: Paul Bank  
Mailing Address: 34 Oyster Point  
Warren, RI 02885  
Contact Phone #: 908-938-2420 E-mail: p.bank@att.net

**AGENT INFORMATION (if applicable)**

Name: Emeritus Developments  
Mailing Address: 8 Williams Ln  
Nantucket, MA 02554  
Contact Phone #: 508 325 4995 E-mail: matt@emeritus-developments.com

**FOR OFFICE USE ONLY**

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
Must be acted on by: \_\_\_\_\_  
Extended to: \_\_\_\_\_  
Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
Chairman: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Notes - Comments - Restrictions - Conditions  
\_\_\_\_\_  
\_\_\_\_\_

**DESCRIPTION OF WORK TO BE PERFORMED**

See reverse for required documentation.

New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed  
 Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No Alteration  
 Pool (Zoning District \_\_\_\_\_)  Roof  Other 3 STORY ADDITION, 3 SEASON PORCH, COMMERCIAL KITCHEN RENOVATION  
Size of Structure or Addition: Length: 41'4" Sq. Footage 1st floor: 869 Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
Width: 17'8" Sq. Footage 2nd floor: 655 Size: \_\_\_\_\_  1st floor  2nd floor  
Sq. Footage 3rd floor: 0

Difference between existing grade and proposed finish grade: North N/A South 3' East N/A West 3'  
Height of ridge above final finish grade: North ± 15'0" South ± 33'7" East ± 31'7" West ± 33'7"

**Additional Remarks**

Historic Name: 78 CENTER ST.

- REVISIONS\***
1. East Elevation
  2. South Elevation
  3. West Elevation
  4. North Elevation

Original Date: 1800's

Original Builder: UNKNOWN

Is there an HDC survey form for this building attached?  Yes  N/A

\*Cloud on drawings and submit photographs of existing elevations.

**DETAIL OF WORK TO BE PERFORMED**

Foundation: Height Exposed VARIES  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers

Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_

Roof Pitch: Main Mass 9/12 Secondary Mass 4/12 Dormer N/A/12 Other \_\_\_\_\_

Roofing material:  Asphalt  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_

Fence: Height: \_\_\_\_\_  
Type: \_\_\_\_\_  
Length: \_\_\_\_\_

Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Gutters:  Wood  Aluminum  Copper  Leaders (material)

Leaders (material and size): \_\_\_\_\_

Sidewall:  White cedar shingles  Clapboard (exposure: 3.5 inches) Front  Side   
 Other \_\_\_\_\_

Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_

B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_

C. Dimensions: Fascia 1x8 Rake 1x6 Soffit (Overhang) N/A Corner boards 5/2 Frieze N/A  
Window Casing 3/2 Door Frame 3/2 Columns/Posts: Round N/A Square 7/4

Windows\*:  Double Hung  Casement  All Wood  Other FIXED

True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer BOSTON SASH

Doors\* (type and material):  TDL  SDL Front BOSTON SASH Rear BOSTON SASH Side BOSTON SASH

Garage Door(s): Type N/A Material \_\_\_\_\_

Hardscape materials: Driveways N/A Walkways N/A Walls N/A

\* Note: Complete door and window schedules are required.

**COLORS**

Sidewall NATURAL Clapboard (if applicable) EXISTING GRAY Roof BLACK  
Trim WHITE Sash WHITE Doors WHITE  
Deck NATURAL Foundation NATURAL Fence WHITE Shutters N/A

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

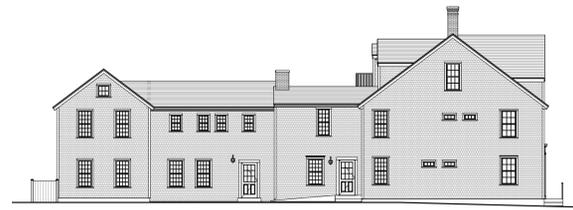
Date 02/24/16

Signature of owner of record \_\_\_\_\_

Signed under penalties of perjury

# The Regatta Inn

78 Centre Street  
Nantucket, MA 02554



Proposed East Elevation  
1/16" = 1'-0"



Proposed West Elevation  
1/16" = 1'-0"



Proposed South Elevation  
1/16" = 1'-0"



Proposed North Elevation  
1/16" = 1'-0"

**1435**  
The Regatta Inn  
78 Centre Street  
Nantucket, MA 02554



## Site Plan, Locus Map

### Site Information

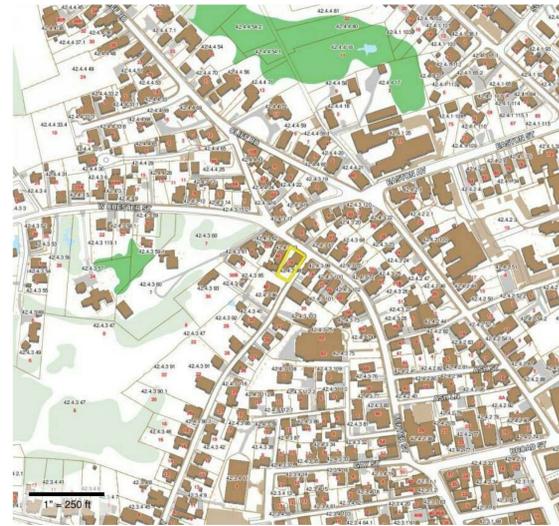
Map & Parcel:	42.4.3 98
Current Zoning:	ROH
Minimum Frontage:	50 ft.
Front Setback:	0 ft.
Side/Rear Setback:	5 ft.
Lot Size:	5,557 sq. ft.
Min. Lot Size:	5,000 sq. ft.
Allowable G.C.:	50% or 2,778.5 sq. ft.
Existing G.C.:	1,868 sq. ft.
Proposed G.C.:	869 sq. ft.
Total Proposed G.C.:	2,737 sq. ft.

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

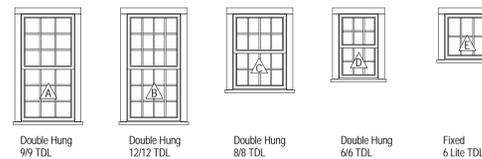
### SHEET INDEX

G.1.1	Site Plan, Locus Map
A.1.0	Basement Level Floor Plans
A.1.1	First Floor Plans
A.1.2	Second Floor Plans
A.1.3	Third Floor Plans
A.2.1	Elevations
A.2.2	Elevations
A.2.3	Elevations
A.2.4	Elevations
A.2.5	Building Section

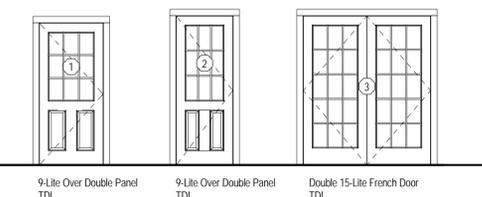
H. D. C. Submission - Not For Construction 02.24.16



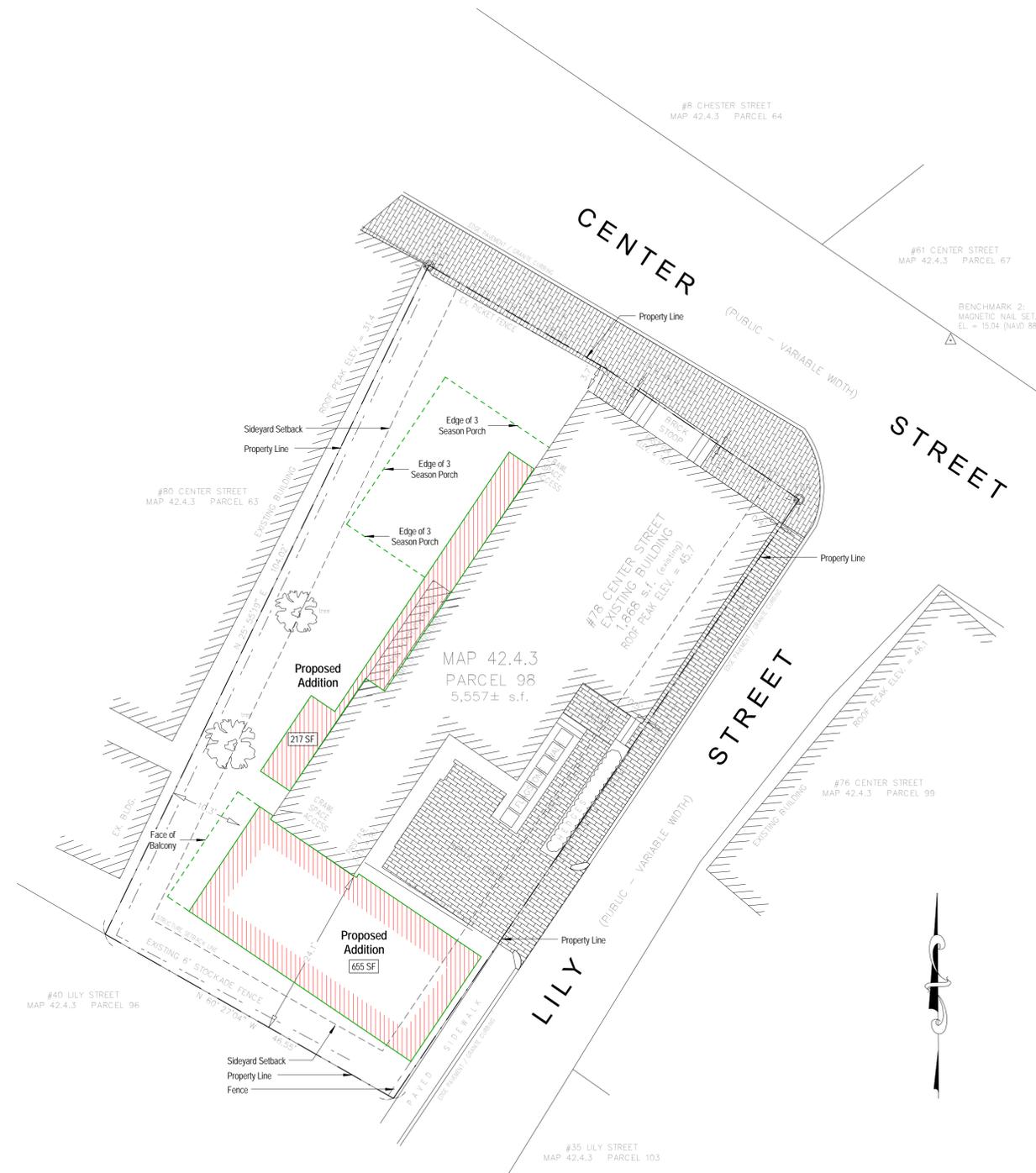
1 Locus Map  
3/4" = 1'-0"



2 Window Types  
1/4" = 1'-0"



3 Door Types  
1/4" = 1'-0"



4 Proposed Site Plan  
1" = 10'-0"

### Revisions

THIS DRAWING IS THE PROPERTY OF EMERITUS DEVELOPMENT LTD. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF EMERITUS DEVELOPMENT LTD. ANY UNAUTHORIZED USE OF THIS DRAWING IS PROHIBITED AND WILL BE CONSIDERED A VIOLATION OF THE APPLICABLE LAW. ALL RIGHTS ARE RESERVED.

**G.1.1**  
**1435**

H. D. C. Submission - Not For Construction 02.24.16



**3** Perspective View Looking West  
1/16" = 1'-0"



**4** Perspective View Looking Southeast  
1/16" = 1'-0"



**1** North Elevation- Proposed  
1/4" = 1'-0"



**2** North Elevation - Existing / Demolition  
3/16" = 1'-0"

1435

The Regatta Inn  
78 Centre Street  
Nantucket, MA 02554



Elevations

Site Information

Map & Parcel:	42.4.3.98
Current Zoning:	ROH
Minimum Frontage:	50 ft.
Front Setback:	0 ft.
Side/Rear Setback:	5 ft.
Lot Size:	5,557 sq. ft.
Min. Lot Size:	5,000 sq. ft.
Allowable G.C.:	50% or 2,778.5 sq. ft.
Existing G.C.:	1,868 sq. ft.
Proposed G.C.:	869 sq. ft.
Total Proposed G.C.:	2,737 sq. ft.

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

SHEET INDEX

- G.1.1 Site Plan, Locus Map
- A.1.0 Basement Level Floor Plans
- A.1.1 First Floor Plans
- A.1.2 Second Floor Plans
- A.1.3 Third Floor Plans
- A.2.1 Elevations
- A.2.2 Elevations
- A.2.3 Elevations
- A.2.4 Elevations
- A.2.5 Building Section

Revisions

THIS DRAWING AND THE SHEET INDEX ILLUSTRATE THE SIZE AND LOCATION OF THE PROPOSED WORK AND DO NOT CONSTITUTE A REGISTERED SURVEY. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES AND OBSTRUCTIONS PRIOR TO CONSTRUCTION. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION.

**A.2.1**  
**1435**

H. D. C. Submission - Not For Construction 02.24.16



3 Perspective View Looking North  
Not to Scale



4 Perspective View Looking Northeast  
Not to Scale



1 South Elevation - Proposed  
1/4" = 1'-0"



2 South Elevation - Existing / Demolition  
3/16" = 1'-0"

1435  
The Regatta Inn  
78 Centre Street  
Nantucket, MA 02554



Elevations

Site Information

Map & Parcel:	42.4.3.98
Current Zoning:	ROH
Minimum Frontage:	50 ft.
Front Setback:	0 ft.
Side/Rear Setback:	5 ft.
Lot Size:	5,557 sq. ft.
Min. Lot Size:	5,000 sq. ft.
Allowable G.C.:	50% or 2,778.5 sq. ft.
Existing G.C.:	1,868 sq. ft.
Proposed G.C.:	869 sq. ft.
Total Proposed G.C.:	2,737 sq. ft.

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

SHEET INDEX

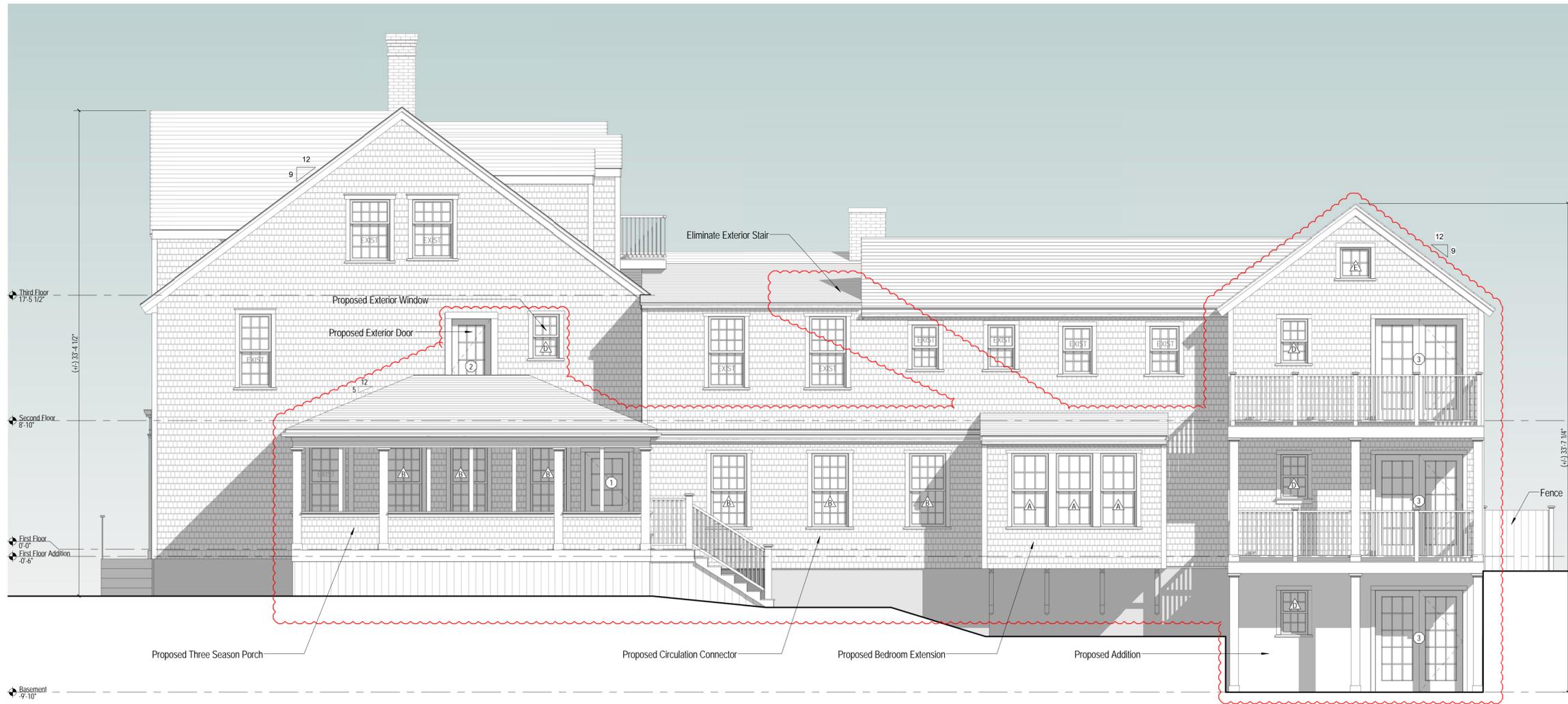
G.1.1	Site Plan, Locust Map
A.1.0	Basement Level Floor Plans
A.1.1	First Floor Plans
A.1.2	Second Floor Plans
A.1.3	Third Floor Plans
A.2.1	Elevations
A.2.2	Elevations
A.2.3	Elevations
A.2.4	Elevations
A.2.5	Building Section

Revisions

THIS DRAWING IS THE PROPERTY OF EMERITUS DEVELOPMENT, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF EMERITUS DEVELOPMENT, INC. ANY UNAUTHORIZED USE OF THIS DRAWING IS PROHIBITED AND WILL BE CONSIDERED A VIOLATION OF APPLICABLE LAWS AND REGULATIONS.

A.2.2  
1435

H. D. C. Submission - Not For Construction 02.24.16



**1** West Elevation - Proposed  
3/16" = 1'-0"



**2** West Elevation - Existing / Demolition  
3/16" = 1'-0"

**1435**  
The Regatta Inn  
78 Centre Street  
Nantucket, MA 02554



**Elevations**

**Site Information**

Map & Parcel:	42.4.3.98
Current Zoning:	ROH
Minimum Frontage:	50 ft.
Front Setback:	0 ft.
Side/Rear Setback:	5 ft.
Lot Size:	5,557 sq. ft.
Min. Lot Size:	5,000 sq. ft.
Allowable G.C.:	50% or 2,778.5 sq. ft.
Existing G.C.:	1,868 sq. ft.
Proposed G.C.:	869 sq. ft.
Total Proposed G.C.:	2,737 sq. ft.

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

**SHEET INDEX**

- G.1.1 Site Plan, Locus Map
- A.1.0 Basement Level Floor Plans
- A.1.1 First Floor Plans
- A.1.2 Second Floor Plans
- A.1.3 Third Floor Plans
- A.2.1 Elevations
- A.2.2 Elevations
- A.2.3 Elevations
- A.2.4 Elevations
- A.2.5 Building Section

**Revisions**

THIS DRAWING AND THE SITE PLAN ILLUSTRATIONS ARE THE SOLE PROPERTY OF EMERITUS DEVELOPMENT LTD. AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF EMERITUS DEVELOPMENT LTD. WORKS ON AS SHOWN. NO OTHER PERMIT TO EXERCISE CONTRACT RIGHTS WILL BE FORWARDED UPON REQUEST.

**A.2.3**  
**1435**

H. D. C. Submission - Not For Construction 02.24.16



1 East Elevation - Proposed  
1/4" = 1'-0"



2 East Elevation - Existing / Demolition  
3/16" = 1'-0"

1435

The Regatta Inn  
78 Centre Street  
Nantucket, MA 02554



Elevations

Site Information

Map & Parcel:	42.4.3.98
Current Zoning:	ROH
Minimum Frontage:	50 ft.
Front Setback:	0 ft.
Side/Rear Setback:	5 ft.
Lot Size:	5,557 sq. ft.
Min. Lot Size:	5,000 sq. ft.
Allowable G.C.:	50% or 2,778.5 sq. ft.
Existing G.C.:	1,868 sq. ft.
Proposed G.C.:	869 sq. ft.
Total Proposed G.C.:	2,737 sq. ft.

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

SHEET INDEX

- G.1.1 Site Plan, Locus Map
- A.1.0 Basement Level Floor Plans
- A.1.1 First Floor Plans
- A.1.2 Second Floor Plans
- A.1.3 Third Floor Plans
- A.2.1 Elevations
- A.2.2 Elevations
- A.2.3 Elevations
- A.2.4 Elevations
- A.2.5 Building Section

Revisions

THIS DRAWING IS THE PROPERTY OF EMERITUS DEVELOPMENT LTD. AND SHALL REMAIN THE PROPERTY OF EMERITUS DEVELOPMENT LTD. ANY REVISIONS TO THIS DRAWING SHALL BE MADE BY EMERITUS DEVELOPMENT LTD. AND SHALL BE FORWARDED UPON REQUEST.

A.2.4  
1435

CERTIFICATE NO: \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a  
**CERTIFICATE OF APPROPRIATENESS**

for structural work.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application.**  
Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference. The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

**PROPERTY DESCRIPTION**

TAX MAP N°: 41 PARCEL N°: 402-6  
Street & Number of Proposed Work: 78 MADONIST RD.  
Owner of record: WILLIAM RATTLEY  
Mailing Address: 910 VAL OWNER  
PO BOX 3057 NANTUCKET MA 02584  
Contact Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

**AGENT INFORMATION (if applicable)**

Name: VAL OWNER  
Mailing Address: PO BOX 3057  
NANTUCKET MA 02584  
Contact Phone # (508) 325-4319 E-mail: VALOWNER@GMAIL.COM

**FOR OFFICE USE ONLY**

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
Must be acted on by: \_\_\_\_\_  
Extended to: \_\_\_\_\_  
Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
Chairman: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Notes - Comments - Restrictions - Conditions

**DESCRIPTION OF WORK TO BE PERFORMED**  
See reverse for required documentation.

- New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed
- Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_
- Pool (Zoning District \_\_\_\_\_)  Roof  Other \_\_\_\_\_

Size of Structure or Addition: Length: 30' Sq. Footage 1st floor: 732sq Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
Width: 25' Sq. Footage 2nd floor: 0 Size: \_\_\_\_\_  1st floor  2nd floor  
Sq. Footage 3rd floor: 0

Difference between existing grade and proposed finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_  
Height of ridge above final finish grade: North 16'-6" ± South 16'-6" ± East 16'-6" ± West 16'-6" ±

**Additional Remarks**

Historic Name: \_\_\_\_\_ **REVISIONS\*** 1. East Elevation  
Original Date: \_\_\_\_\_ (describe) 2. South Elevation  
Original Builder: \_\_\_\_\_ 3. West Elevation  
Is there an HDC survey form for this building attached?  Yes  N/A 4. North Elevation

\*Cloud on drawings and submit photographs of existing elevations.

**DETAIL OF WORK TO BE PERFORMED**

Foundation: Height Exposed 8"  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
Roof Pitch: Main Mass 9/12 Secondary Mass /12 Dormer /12 Other \_\_\_\_\_  
Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_

Fence: Height: \_\_\_\_\_  
Type: \_\_\_\_\_  
Length: \_\_\_\_\_

Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_

**Leaders (material and size):**

Sidewall:  White cedar shingles \_\_\_\_\_  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side

Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_

B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_

C. Dimensions: Fascia 8" Rake 1x6 Soffit (Overhang) 6'-0" Corner boards 1x4 Frieze \_\_\_\_\_  
Window Casing 1x4 Door Frame 1x6 Columns/Posts: Round \_\_\_\_\_ Square 8"

Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_

True Divided Lights(muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer AMBERSON

Doors\* (type and material):  TDL  SDL Front FRENCH SANDERS Rear \_\_\_\_\_ Side \_\_\_\_\_

Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_

Hardscape materials: Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

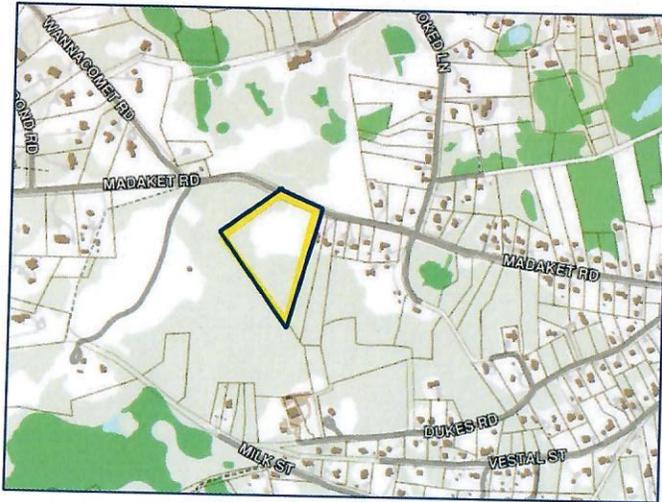
**COLORS**

Sidewall NATURAL Clapboard (if applicable) \_\_\_\_\_ Roof WOOD (NATURAL)  
Trim QUAKER CORN Sash PINK Doors BROWN  
Deck \_\_\_\_\_ Foundation CORAL Fence \_\_\_\_\_ Shutters \_\_\_\_\_

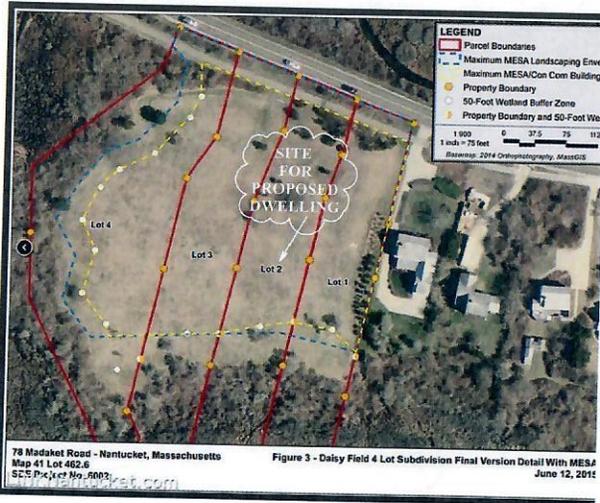
\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 2/1/12 Signature of owner of record [Signature] Signed under penalties of perjury



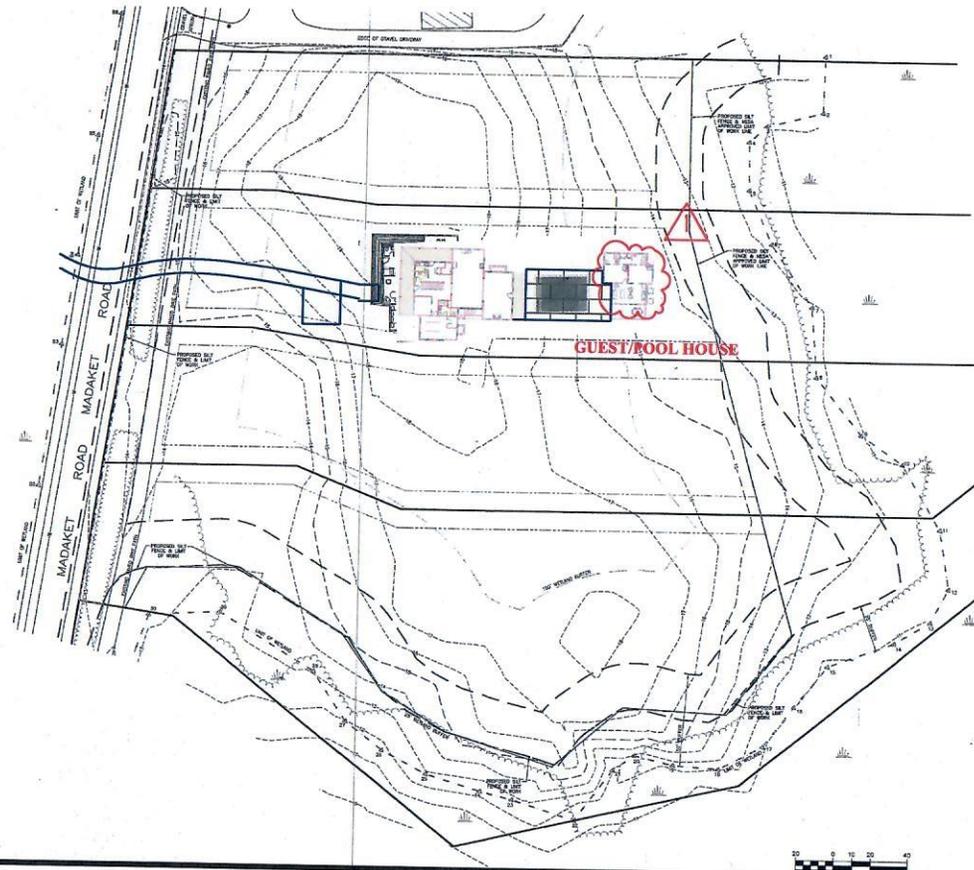
MAP 41 PARCEL 462.6



NOTES:  
 ALL FINAL DIMENSIONS SHALL BE VERIFIED IN THE FIELD.  
 ALL SITE WORK SHOULD BE VERIFIED BY A REGISTERED LAND SURVEYOR PRIOR TO AND DURING CONSTRUCTION FOR PROPER LOCATION OF PROPERTY AND SETBACK LINES.



APPROVED MAIN HOUSE COA#644821



SCALE: 1/4"=1'  
 DRAWN BY: VO  
 DATE: 1-30-16

78 MADAKET ROAD-  
 PROPOSED GUEST/POOL HOUSE

VAL OLIVER DESIGN  
 PO BOX 3057  
 NANTUCKET, MA 02584



**FRONT- FACING HOUSE (NORTH)**



**RIGHT- FACING POOL (WEST)**

**TO MATCH MAIN HOUSE: ALREADY APPROVED  
QUAKER GREY TRIM  
BLACK SASH  
WOOD ROOF**



**LEFT- FACING (EAST)**



**REAR- FACING SOUTH)**

SCALE: 1/4"=1'

DRAWN BY: VO

DATE: 2-18-16

**RAFTERY- 78 MADKAET ROAD  
POOL HOUSE/GUEST**

**VAL OLIVER DESIGN  
PO BOX 3057  
NANTUCKET, MA 02584**



Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

**CERTIFICATE OF APPROPRIATENESS**

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.  
**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application.**  
Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

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The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

**PROPERTY DESCRIPTION**

TAX MAP N°: 41 PARCEL N°: 40214  
Street & Number of Proposed Work: 78 NANTUCKET ROAD  
Owner of record: WILLIAM RAPTORY  
Mailing Address: 97 VAL OUNCE  
PO BOX 3057 NANTUCKET, MA 01904  
Contact Phone #: (508) 325-4319 E-mail: \_\_\_\_\_

**AGENT INFORMATION (if applicable)**

Name: VAL OUNCE  
Mailing Address: PO BOX 3057  
NANTUCKET, MA 01904  
Contact Phone #: (508) 325-4319 E-mail: BEWNA@202.COM  
COM

FOR OFFICE USE ONLY  
Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
Must be acted on by: \_\_\_\_\_  
Extended to: \_\_\_\_\_  
Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
Chairman: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Notes - Comments - Restrictions - Conditions  
\_\_\_\_\_  
\_\_\_\_\_

**DESCRIPTION OF WORK TO BE PERFORMED**

See reverse for required documentation.

- New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed
- Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_
- Pool (Zoning District R-2B)  Roof  Other \_\_\_\_\_

Size of Structure or Addition: Length: 20 Sq. Footage 1st floor: POOL Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
Width: 30 Sq. Footage 2nd floor: \_\_\_\_\_ Size: \_\_\_\_\_  1st floor  2nd floor  
Sq. Footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_  
Height of ridge above final finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

**Additional Remarks**

Historic Name: \_\_\_\_\_

**REVISIONS\***

Original Date: \_\_\_\_\_ (describe)

1. East Elevation

Original Builder: \_\_\_\_\_

2. South Elevation

3. West Elevation

4. North Elevation

Is there an HDC survey form for this building attached?  Yes  N/A

\*Cloud on drawings and submit photographs of existing elevations.

**DETAIL OF WORK TO BE PERFORMED**

Foundation: Height Exposed \_\_\_\_\_  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers

Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_

Roof Pitch: Main Mass \_\_\_\_\_ /12 Secondary Mass \_\_\_\_\_ /12 Dormer \_\_\_\_\_ /12 Other \_\_\_\_\_

Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_

Fence: Height: 4'0"  
Type: CAPPED PICKET (NTW)  
Length: BEHIND POOL

Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_

Leaders (material and size): \_\_\_\_\_

Sidewall:  White cedar shingles  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_

Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_

B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_

C. Dimensions: Fascia \_\_\_\_\_ Rake \_\_\_\_\_ Soffit (Overhang) \_\_\_\_\_ Corner boards \_\_\_\_\_ Frieze \_\_\_\_\_

Window Casing \_\_\_\_\_ Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_

Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_

True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_

Doors\* (type and material):  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_

Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_

Hardscape materials: Driveways REASONS WITH Walkways TBD Walls NONE

\* Note: Complete door and window schedules are required. BELGIAN BUCK DRIVE APRON

**COLORS**

Sidewall \_\_\_\_\_ Clapboard (if applicable) \_\_\_\_\_ Roof \_\_\_\_\_

Trim \_\_\_\_\_ Sash \_\_\_\_\_ Doors \_\_\_\_\_

Deck \_\_\_\_\_ Foundation \_\_\_\_\_ Fence N.T.W Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 2/12/16 Signature of owner of record \_\_\_\_\_ Signed under penalties of perjury \_\_\_\_\_

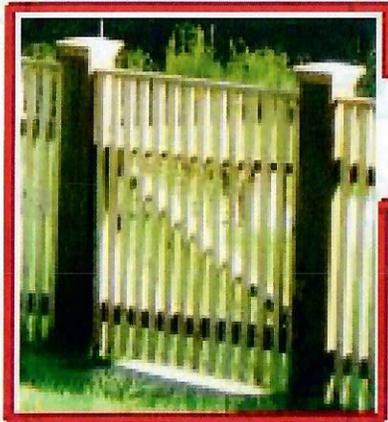
**BELGIAN BLOCK  
DRIVEWAY APRON**



**BLUESTONE DRIVEWAY**



**BLUESTONE PATIO AROUND  
28' X 30' POOL**



**NATURAL TO WEATHER  
4' HEIGHT AROUND POOL  
WITH GATES TO MATCH  
FENCING**

SCALE: 1/4" = 1'
DRAWING NO: 2012000000
DATE: 03-18

**78 MADAKET ROAD  
PROPOSED POOL**

**VALORINI DESIGN  
PO BOX 2851  
MADAKET, MARIETTA**



Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

### CERTIFICATE OF APPROPRIATENESS

for structural work.

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#### PROPERTY DESCRIPTION

TAX MAP N°: 42.2.3 PARCEL N°: 22  
Street & Number of Proposed Work: 92 Washington Street  
Owner of record: Great State Properties, LLC c/o Joseph Quay  
Mailing Address: PO Box 1294  
Nantucket, MA 02554  
Contact Phone #: (314) 727 0512 E-mail: \_\_\_\_\_

#### AGENT INFORMATION (if applicable)

Name: Smith & Hutton Architects - Scott Hutton  
Mailing Address: 19 E. Clearfield Road  
Havertown, PA 19083  
Contact Phone #: (610) (955-2045) E-mail: scott@smithhutton.com

#### FOR OFFICE USE ONLY

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
Must be acted on by: \_\_\_\_\_  
Extended to: \_\_\_\_\_  
Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
Chairman: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Notes - Comments - Restrictions - Conditions

#### DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed  
 Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_  
 Pool (Zoning District \_\_\_\_\_)  Roof  Other \_\_\_\_\_  
Size of Structure or Addition: Length: 22'-11" Sq. Footage 1st floor: 842 SF Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
Width: 39'-0" Sq. Footage 2nd floor: 667 SF Size: \_\_\_\_\_  1st floor  2nd floor  
Sq. Footage 3rd floor: \_\_\_\_\_  
Difference between existing grade and proposed finish grade: North 19'-3" South 21'-4" East 21'-4" West 21'-4"  
Height of ridge above final finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

#### Additional Remarks

Historic Name: \_\_\_\_\_ REVISIONS\* 1. East Elevation  
Original Date: \_\_\_\_\_ (describe) 2. South Elevation  
Original Builder: \_\_\_\_\_ 3. West Elevation  
Is there an HDC survey form for this building attached?  Yes  N/A 4. North Elevation  
\*Cloud on drawings and submit photographs of existing elevations.

#### DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 6"  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
Roof Pitch: Main Mass 9/12 Secondary Mass 9/12 Dormer 3.5/12 Other \_\_\_\_\_  
Roofing material:  Asphalt:  3-Tab  Architectural (to match existing main house)  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_  
Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Gutters:  Wood  Aluminum  Copper  Leaders (material) natural gutter w/ alum. leader (to match existing main house)  
Leaders (material and size): \_\_\_\_\_  
Sidewall:  White cedar shingles natural  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_  
Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_  
C. Dimensions: Fascia 6" Rake 7 1/4" Soffit (Overhang) 6" Corner boards 5 1/2" Frieze \_\_\_\_\_  
Window Casing 5 1/2" Door Frame 5 1/2" Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_  
Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights(muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer Marvin  
Doors\* (type and material):  TDL  SDL Front wood Rear wood Side \_\_\_\_\_  
Garage Door(s): Type Overhead Material wood, ptd.  
Hardscape materials: Driveways Gravel Walkways Bluestone Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

#### COLORS

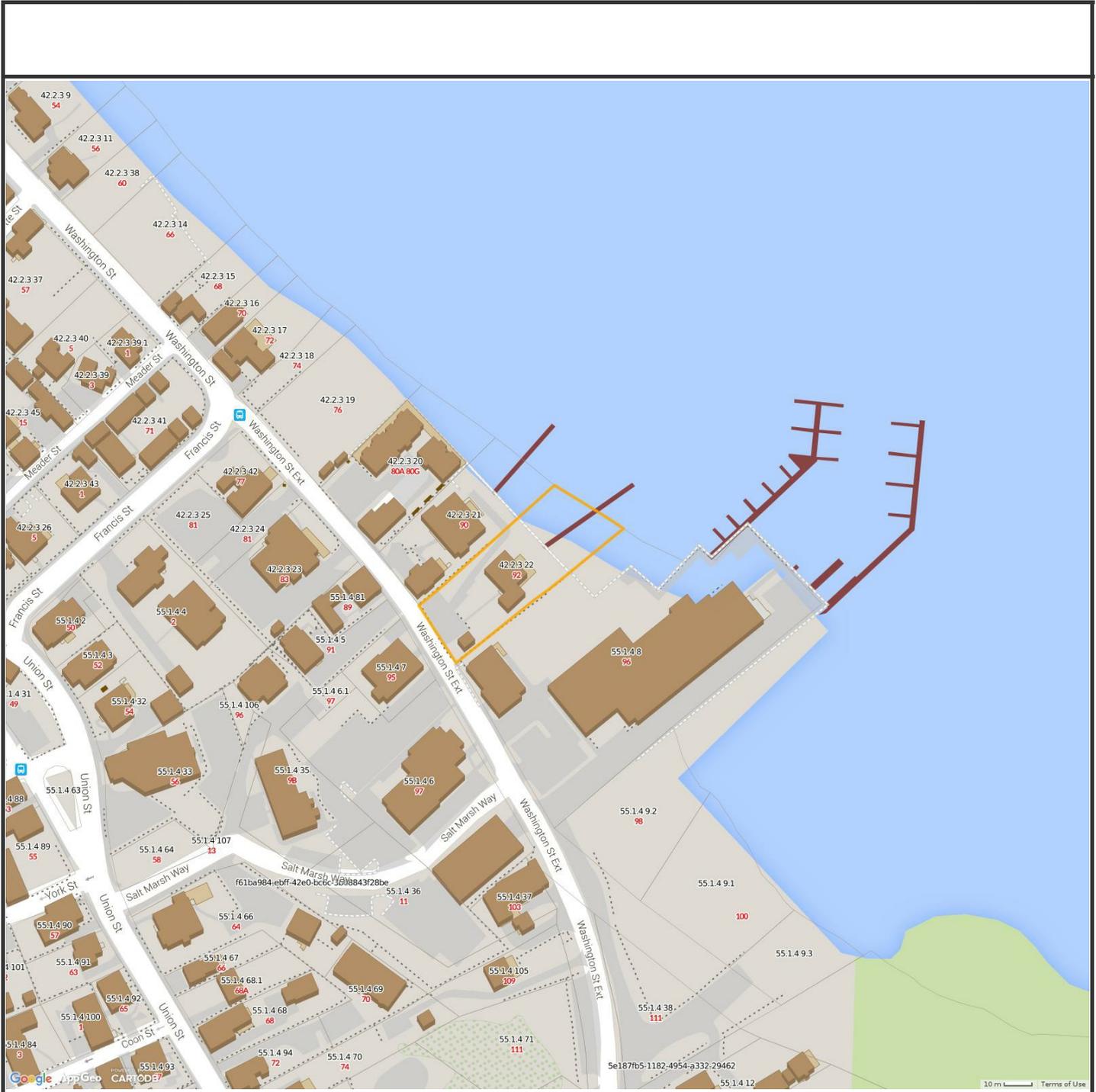
Sidewall Natural to weather Clapboard (if applicable) \_\_\_\_\_ Roof asphalt  
Trim Natural to weather Sash ptd. white Doors ptd.  
Deck \_\_\_\_\_ Foundation \_\_\_\_\_ Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

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Date \_\_\_\_\_ Signature of owner of record Joseph Marshall - member Signed under penalties of perjury

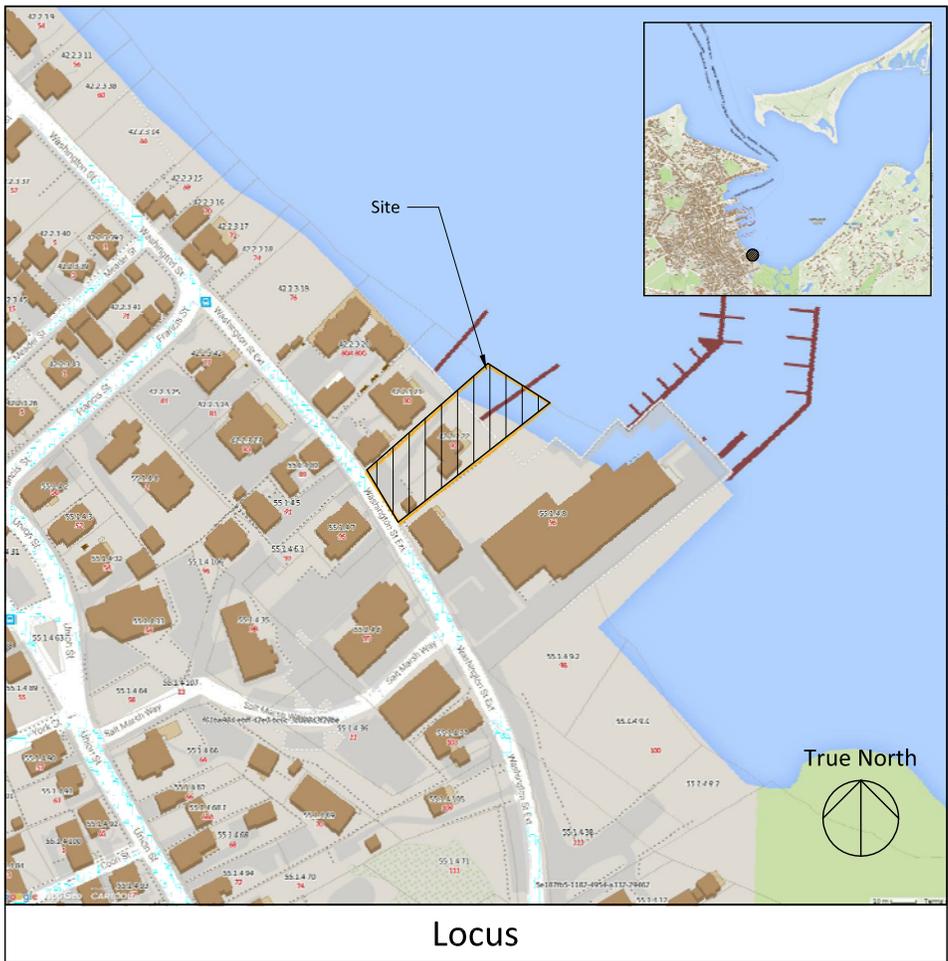
Great State Properties



**MAP FOR REFERENCE ONLY  
NOT A LEGAL DOCUMENT**

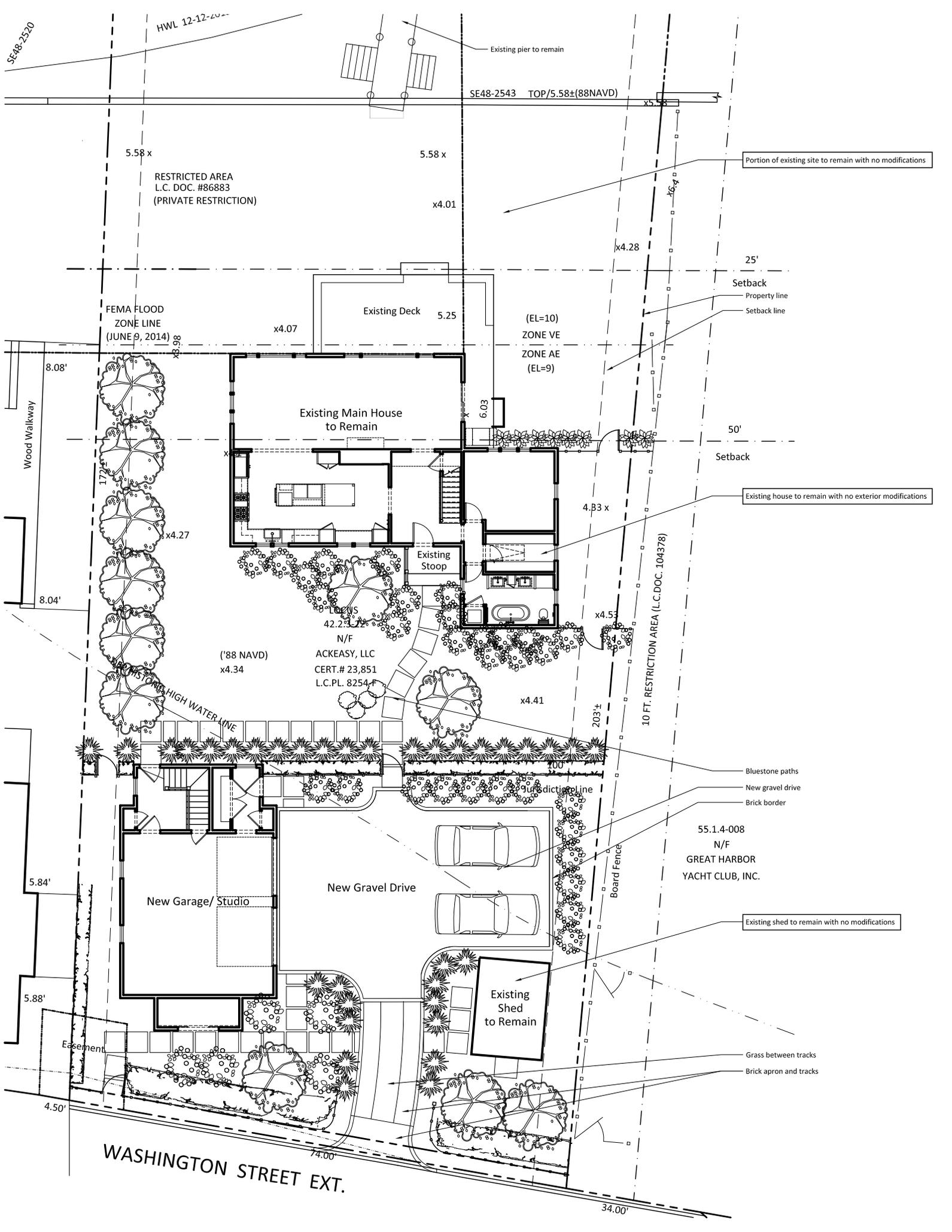
Town and County of Nantucket, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Parcels updated December, 2014  
Properties updated January, 2015



<b>Zoning Information</b>	
Assessor's Map and Parcel Number	42.2.3 22
Zone	RC
Minimum lot size	5,000 S.F.
Current Lot Size	14,635 S.F.
Front Setback	0'-0"
Side and Rear Setback	5'-0"
Allowable ground cover ratio	50%
Allowable ground cover	7,317 S.F.
Current ground cover	1,342 S.F.
Current ground cover ratio	9.2%
Proposed ground cover	2,184 S.F.
Proposed ground cover ratio	15%
Minimum Frontage	40'-0"
Current Frontage	74'-0"

<b>Drawing List</b>	
A1.1	Cover Sheet and Site Plan
AG2.1	Floor Plans
AG3.1	Exterior Elevations & Door/ Window Schedule



SE48-2520

HWL 12-12-2020

SE48-2543 TOP/5.58±(88NAVD)

5.58 x  
RESTRICTED AREA  
L.C. DOC. #86883  
(PRIVATE RESTRICTION)

Portion of existing site to remain with no modifications

FEMA FLOOD ZONE LINE (JUNE 9, 2014)

Existing Deck 5.25

(EL=10)  
ZONE VE  
ZONE AE (EL=9)

Existing Main House to Remain

50'

Setback

Existing Stoop

Existing house to remain with no exterior modifications

Wood Walkway

8.04'

(88 NAVD)  
x4.34

N/F  
ACKEASY, LLC  
CERT.# 23,851  
L.C.PL. 8254

10 FT. RESTRICTION AREA (L.C.DOC. 104378)

Bluestone paths  
New gravel drive  
Brick border

55.1.4-008  
N/F  
GREAT HARBOR  
YACHT CLUB, INC.

New Garage/Studio

New Gravel Drive

Existing Shed to Remain

Existing shed to remain with no modifications

Grass between tracks  
Brick apron and tracks

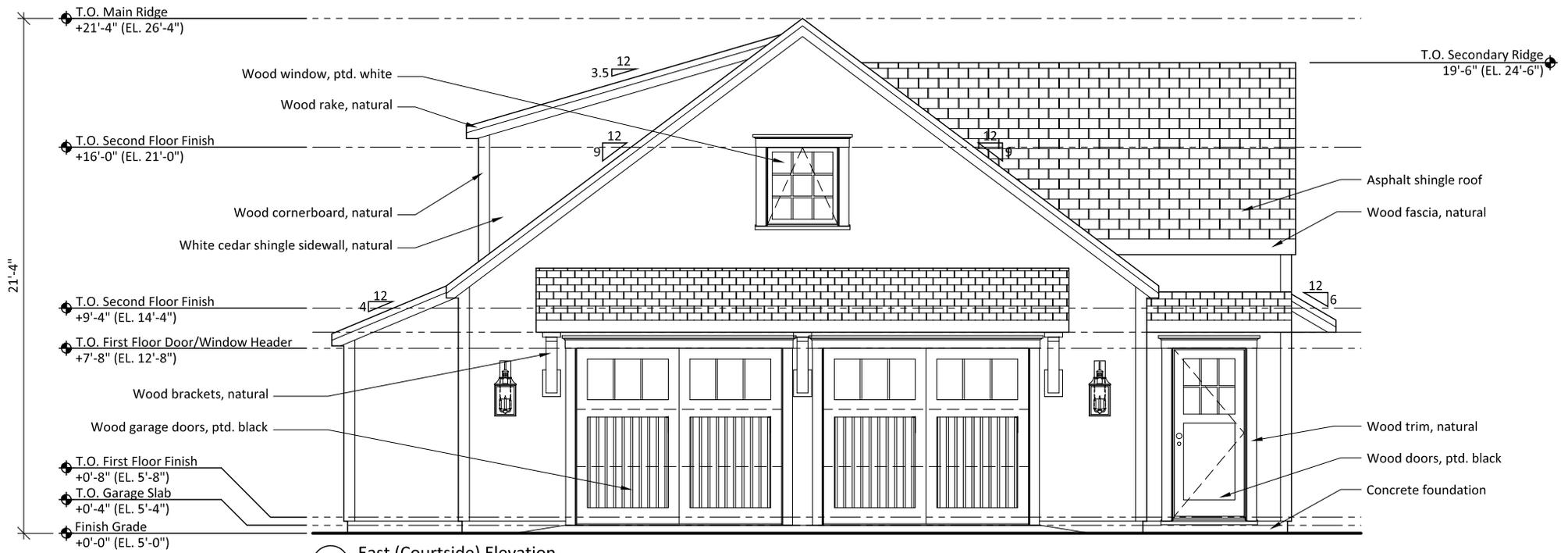
5.88'

Easement

4.50'

WASHINGTON STREET EXT.

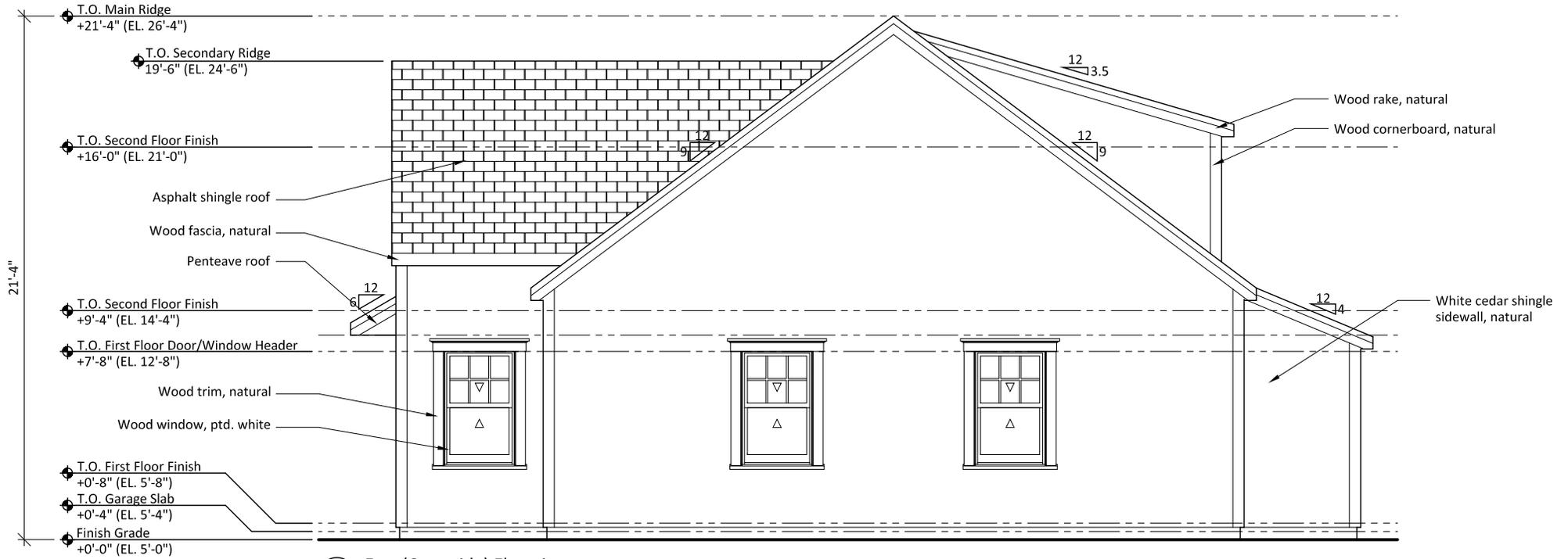
34.00'



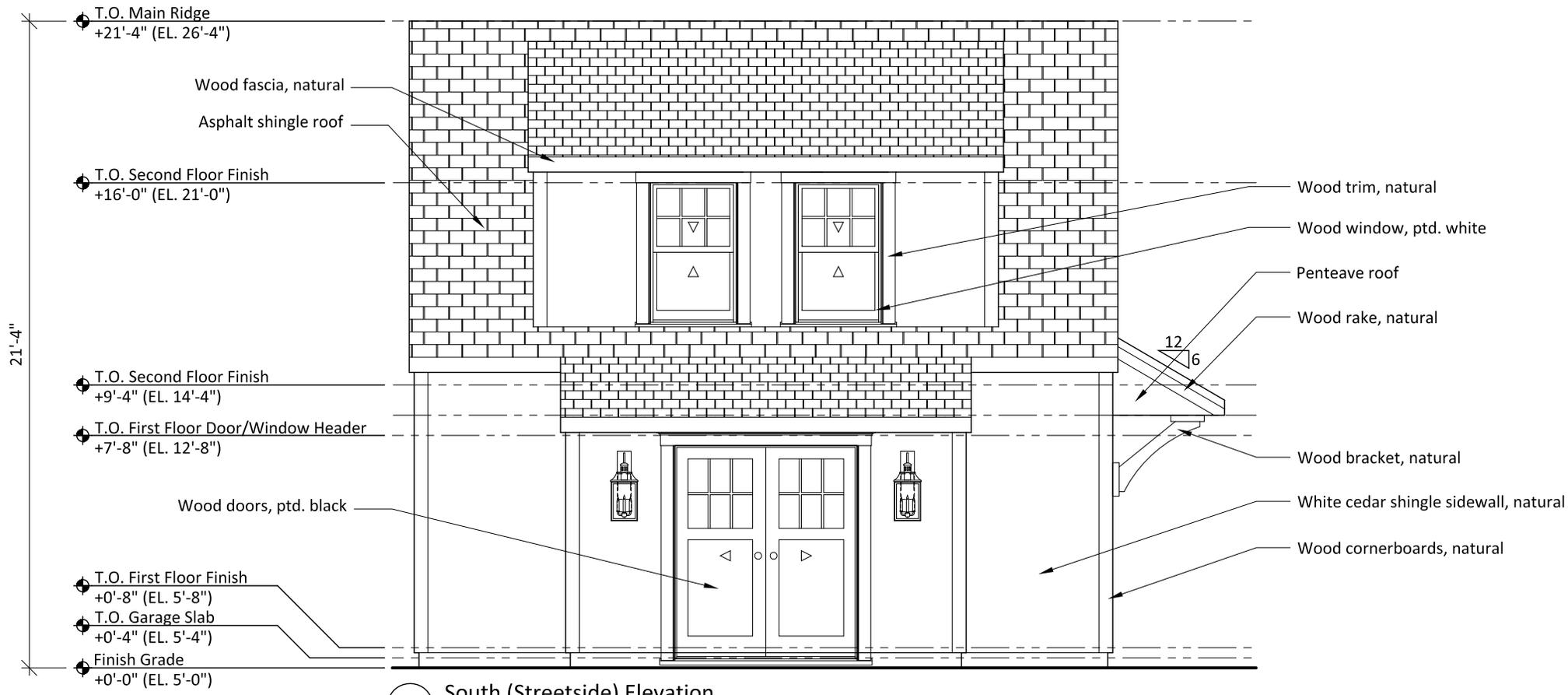
1 East (Courtside) Elevation  
Scale: 1/4" = 1'-0"



2 North (Waterside) Elevation  
 Scale: 1/4" = 1'-0"



3 East (Courtside) Elevation  
 Scale: 1/4" = 1'-0"



4 South (Streetside) Elevation  
 Scale: 1/4" = 1'-0"

CERTIFICATE NO: \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

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#### PROPERTY DESCRIPTION

TAX MAP No: 42.3.2 PARCEL No: 44  
 Street & Number of Proposed Work: 125 Main Street  
 Owner of record: Cleaves Rhodes  
 Mailing Address: 76 Personal Administrators 3737 Bivgate Rd  
Blkg C-100 Austin TX 78746  
 Contact Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

#### AGENT INFORMATION (if applicable)

Name: Thornewill Design LLC  
 Mailing Address: 48 Duke's Rd  
Nantucket, Ma  
 Contact Phone #: 228 9161 E-mail: Thornewill design  
@comcast.net.

#### FOR OFFICE USE ONLY

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
 Must be acted on by: \_\_\_\_\_  
 Extended to: \_\_\_\_\_  
 Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
 Chairman: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Notes - Comments - Restrictions - Conditions

#### DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed  
 Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_  
 Pool (Zoning District \_\_\_\_\_)  Roof  Other \_\_\_\_\_  
 Size of Structure or Addition: Length: 20 Sq. Footage 1st floor: 296 Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
 Width: 16 Sq. footage 2nd floor: \_\_\_\_\_ Size: \_\_\_\_\_  1st floor  2nd floor  
 Sq. footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_  
 Height of ridge above final finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

#### Additional Remarks

Historic Name: \_\_\_\_\_ REVISIONS: 1. East Elevation Additions  
 Original Date: \_\_\_\_\_ (describe) 2. South Elevation Additions  
 Original Builder: \_\_\_\_\_ 3. West Elevation Additions  
 4. North Elevation Doornicks / Doors & windows  
 Is there an HDC survey form for this building attached?  Yes  N/A  
 \*Cloud on drawings and submit photographs of existing elevations.

#### DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 8"  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
 Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
 Roof Pitch: Main Mass 10/12 Secondary Mass 12 Dormer 4/12 Other \_\_\_\_\_  
 Roofing material:  Asphalt:  3-Tab  Architectural TO MATCH EXISTING  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_

Fence: Height: \_\_\_\_\_  
 Type: \_\_\_\_\_  
 Length: \_\_\_\_\_

Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
 Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_

Leaders (material and size): \_\_\_\_\_

Sidewall:  White cedar shingles \_\_\_\_\_  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_

Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_

B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_

C. Dimensions: Fascia \_\_\_\_\_ Rake 1x8 Soffit (Overhang) 12" Corner boards 6" Frieze \_\_\_\_\_

Window Casing T.M.E Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_

Windows:  Double Hung  Casement  All Wood  Other \_\_\_\_\_

True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer Boston Sash / Casement doors w/ Alum. Top Track

Doors\* (type and material):  TDL  SDL Front 4 1/2" V-Groove / window Rear 9 Lite / panel wood Side French & Lite

Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_

Hardscape materials: Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required. (PATIO) = separate application.

#### COLORS

Sidewall flat Clapboard (if applicable) \_\_\_\_\_ Roof Black

Trim white T.M.E Sash white Doors Front Nat. side & Rear ptd white

Deck \_\_\_\_\_ Foundation Nat Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

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Date 2/9/16 Signature of owner of record Luke Thornewill for Cleaves Signed under penalties of perjury







CERTIFICATE NO: \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

### CERTIFICATE OF APPROPRIATENESS

for structural work.

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#### PROPERTY DESCRIPTION

TAX MAP N°: 41 PARCEL N°: 37.2  
 Street & Number of Proposed Work: 134 C Main Street  
 Owner of record: Darrell Ferguson  
 Mailing Address: 134 C Main Street  
Nantucket, MA, 02554  
 Contact Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

#### AGENT INFORMATION (if applicable)

Name: Emelitus Developments  
 Mailing Address: 8 Williams Ln  
Nantucket MA 02554  
 Contact Phone #: 508 325 4995 E-mail: matt@emelitus-developments.com

#### FOR OFFICE USE ONLY

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
 Must be acted on by: \_\_\_\_\_  
 Extended to: \_\_\_\_\_  
 Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
 Chairman: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_

Notes - Comments - Restrictions - Conditions

#### DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed
  - Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. 65101
  - Pool (Zoning District \_\_\_\_\_)  Roof  Other fenestration changes
- Size of Structure or Addition: Length: \_\_\_\_\_ Sq. Footage 1st floor: \_\_\_\_\_ Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
 Width: \_\_\_\_\_ Sq. Footage 2nd floor: \_\_\_\_\_ Size: \_\_\_\_\_  1st floor  2nd floor  
 Sq. Footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_  
 Height of ridge above final finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

#### Additional Remarks

Historic Name: \_\_\_\_\_  
 Original Date: \_\_\_\_\_ (describe)  
 Original Builder: \_\_\_\_\_  
 Is there an HDC survey form for this building attached?  Yes  N/A

#### REVISIONS:

1. East Elevation shifted window well
2. South Elevation replace single doors w/ double french
3. West Elevation replace windows w/ single doors
4. North Elevation shifted window well

\*Cloud on drawings and submit photographs of existing elevations.

#### DETAIL OF WORK TO BE PERFORMED

NO CHANGE  
 Foundation: Height Exposed \_\_\_\_\_  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
 Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
 Roof Pitch: Main Mass \_\_\_\_\_/12 Secondary Mass \_\_\_\_\_/12 Dormer \_\_\_\_\_/12 Other \_\_\_\_\_  
 Roofing material:  Asphalt  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.)  
 Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
 Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_  
 Leaders (material and size): \_\_\_\_\_  
 Sidewall:  White cedar shingles \_\_\_\_\_  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_  
 Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
 B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_  
 C. Dimensions: Fascia \_\_\_\_\_ Rake \_\_\_\_\_ Soffit (Overhang) \_\_\_\_\_ Corner boards \_\_\_\_\_ Frieze \_\_\_\_\_  
 Window Casing \_\_\_\_\_ Door Frame \_\_\_\_\_ Columns / Posts: Round \_\_\_\_\_ Square \_\_\_\_\_  
 Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_  
 Doors\* (type and material):  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_  
 Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_  
 Hardscape materials: Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

#### COLORS

NO CHANGE  
 Sidewall \_\_\_\_\_ Clapboard (if applicable) \_\_\_\_\_ Roof \_\_\_\_\_  
 Trim \_\_\_\_\_ Sash \_\_\_\_\_ Doors \_\_\_\_\_  
 Deck \_\_\_\_\_ Foundation \_\_\_\_\_ Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 02/24/16 Signature of owner of record \_\_\_\_\_ Signed under penalties of perjury \_\_\_\_\_

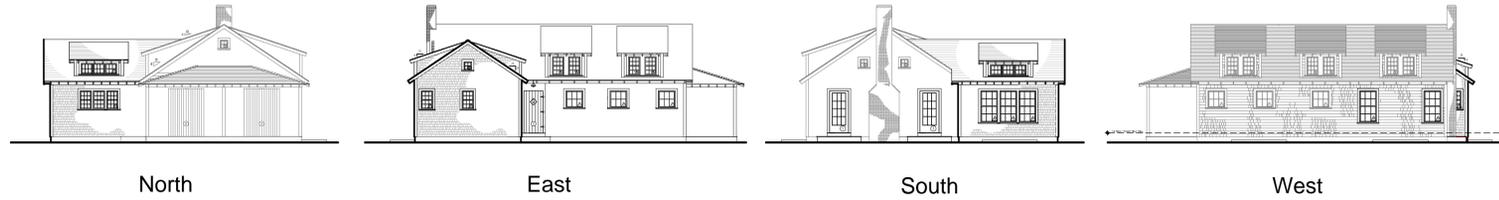
1529

Ferguson Residence  
134 C Main Str., # 2  
Nantucket, MA 02554



# Ferguson Residence

134 C Main Street # 2  
Nantucket, MA 02554



2 Proposed Elevations  
Not To Scale

### Site Plan + Locus Map

#### Site Information

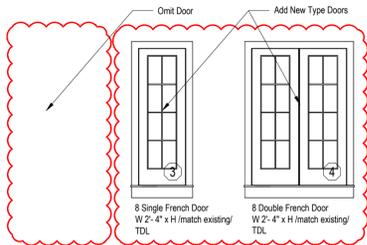
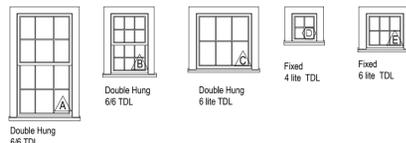
Map & Parcel:	41 / 37.2
Current Zoning:	R-OH
Minimum Frontage:	50 ft.
Front Setback:	0 ft.
Side/Rear Setback:	5 ft.
Lot Size:	+/- 4,338 sq. ft.
Min. Lot Size:	5,000 sq. ft. *
Allowable G.C.:	50% or 2,169 sq. ft.
Existing G.C.:	1,019 sq. ft.
Proposed G.C.:	1,280 sq. ft.

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

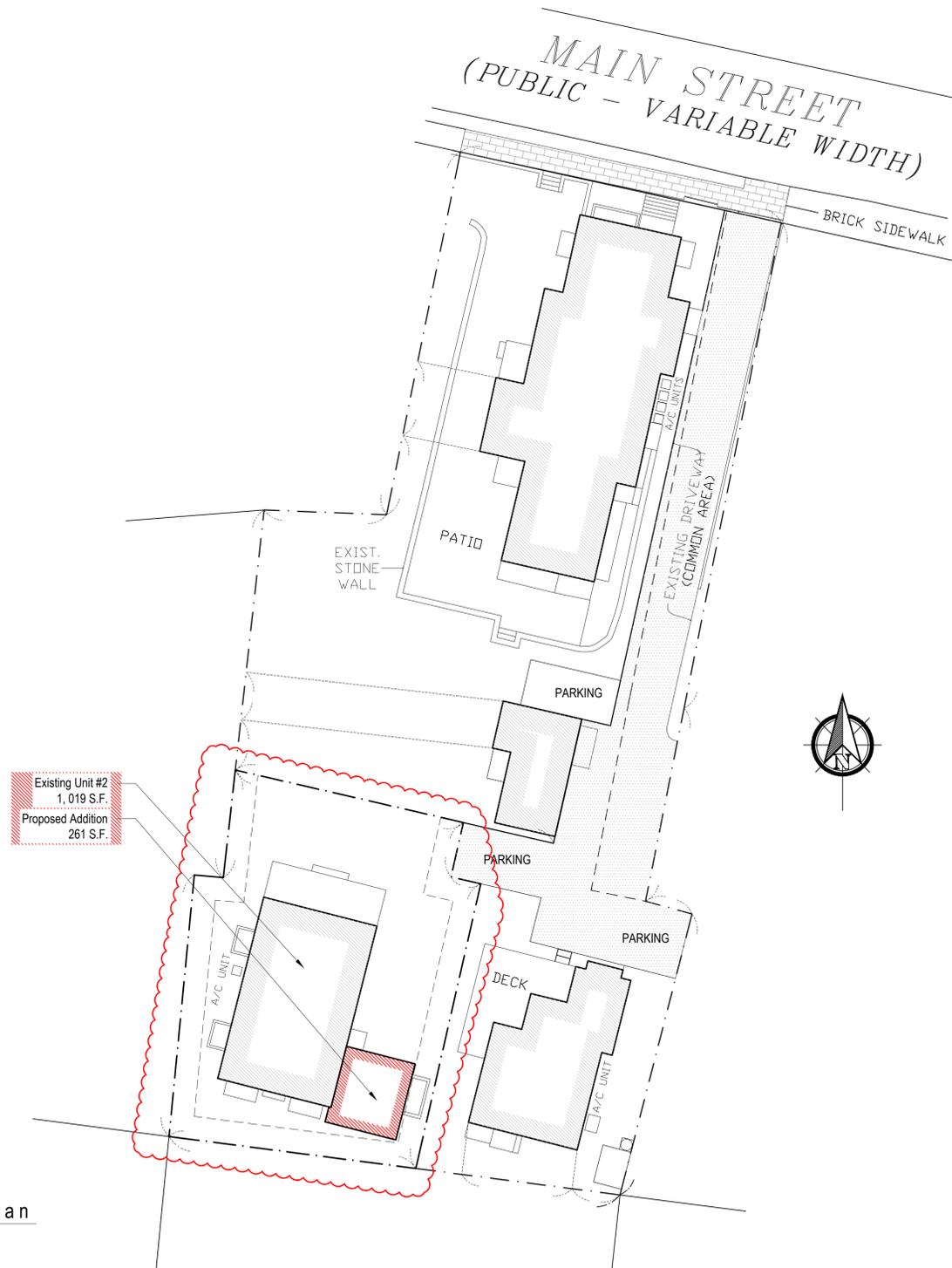
H.D.C. Submission Only 02.24.16



1 Locus Map  
Not To Scale



3 Door & Window Schedule  
Not To Scale



4 Site Plan  
1"=40'

### Release

### Revisions

THESE DRAWINGS AND THE INFORMATION CONTAINED HEREIN ARE THE PROPERTY OF EMERITUS DEVELOPMENT, LLC AND MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN AUTHORIZATION OF EMERITUS DEVELOPMENT, LLC. ANY UNAUTHORIZED USE OF THESE DRAWINGS OR INFORMATION CONTAINED HEREIN MAY BE PROSECUTED TO THE FULL EXTENT OF THE LAW. THESE DRAWINGS WILL BE FURNISHED UPON REQUEST.

G.1.1  
1529

02.24.16

H.D.C. Submission Only

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Ferguson Residence  
134 C Main Str., # 2  
Nantucket, MA 02554

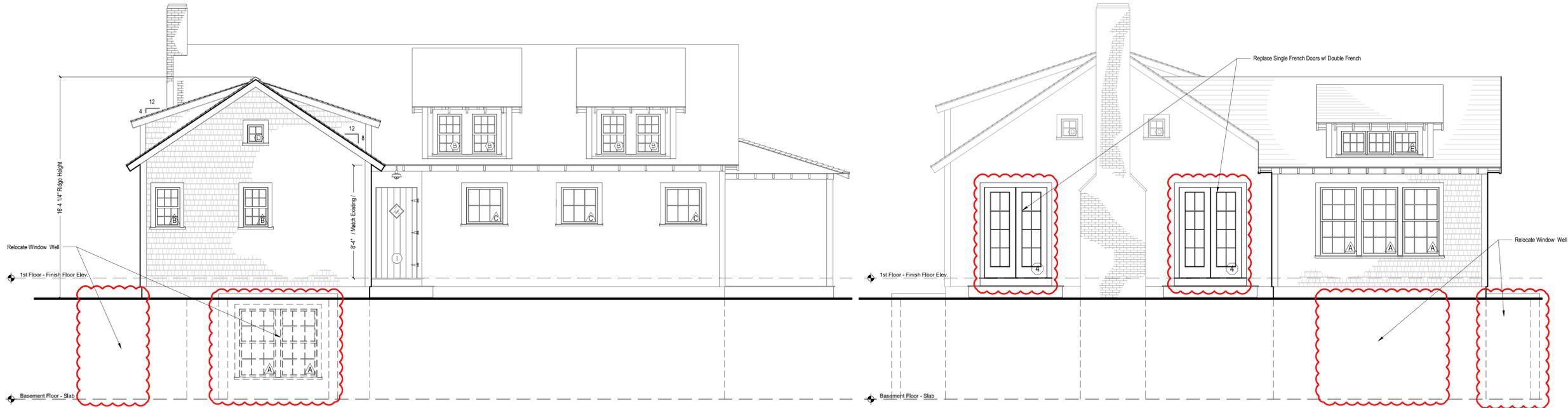


Exterior Elevations

Site Information

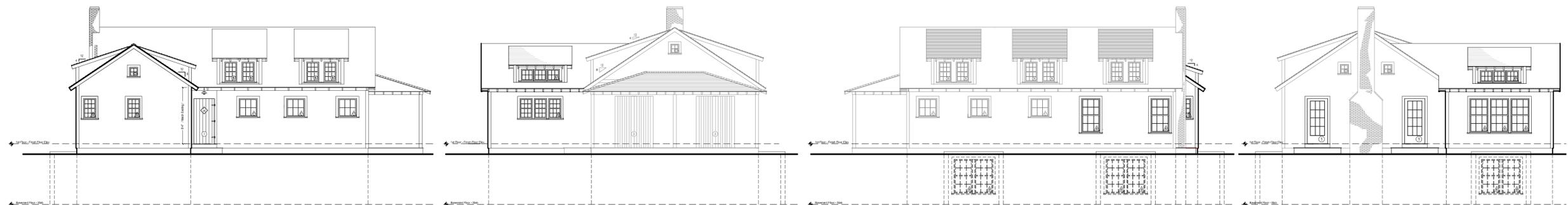
Map & Parcel:	41 / 37.2
Current Zoning:	R-OH
Minimum Frontage:	50 ft.
Front Setback:	0 ft.
Side/Rear Setback:	5 ft.
Lot Size:	+/- 4,338 sq. ft.
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Existing G.C.:	1,019 sq. ft.
Proposed G.C.:	1,280 sq. ft.

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.



1 Proposed East Elevation  
1/4" = 1'-0"

2 Proposed South Elevation  
1/4" = 1'-0"

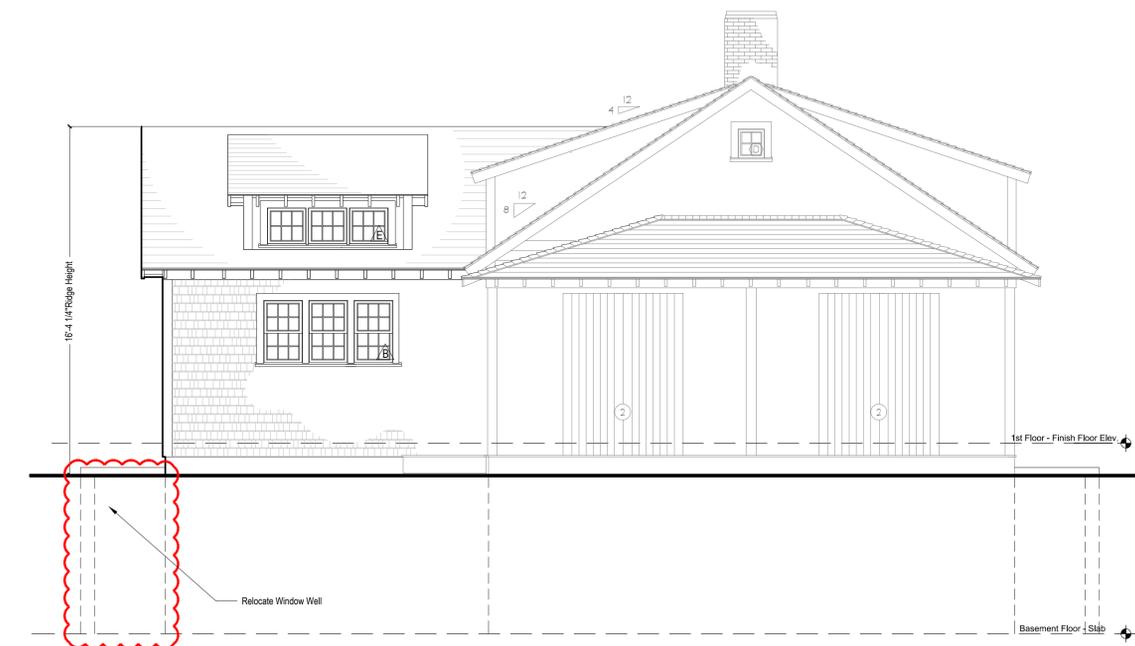


5 Previously Approved East Elevation  
1/8" = 1'-0"

6 Previously Approved North Elevation  
1/8" = 1'-0"

7 Previously Approved West Elevation  
1/8" = 1'-0"

8 Previously Approved South Elevation  
1/8" = 1'-0"



3 Proposed North Elevation  
1/4" = 1'-0"



4 Proposed West Elevation  
1/4" = 1'-0"

Release

Revisions

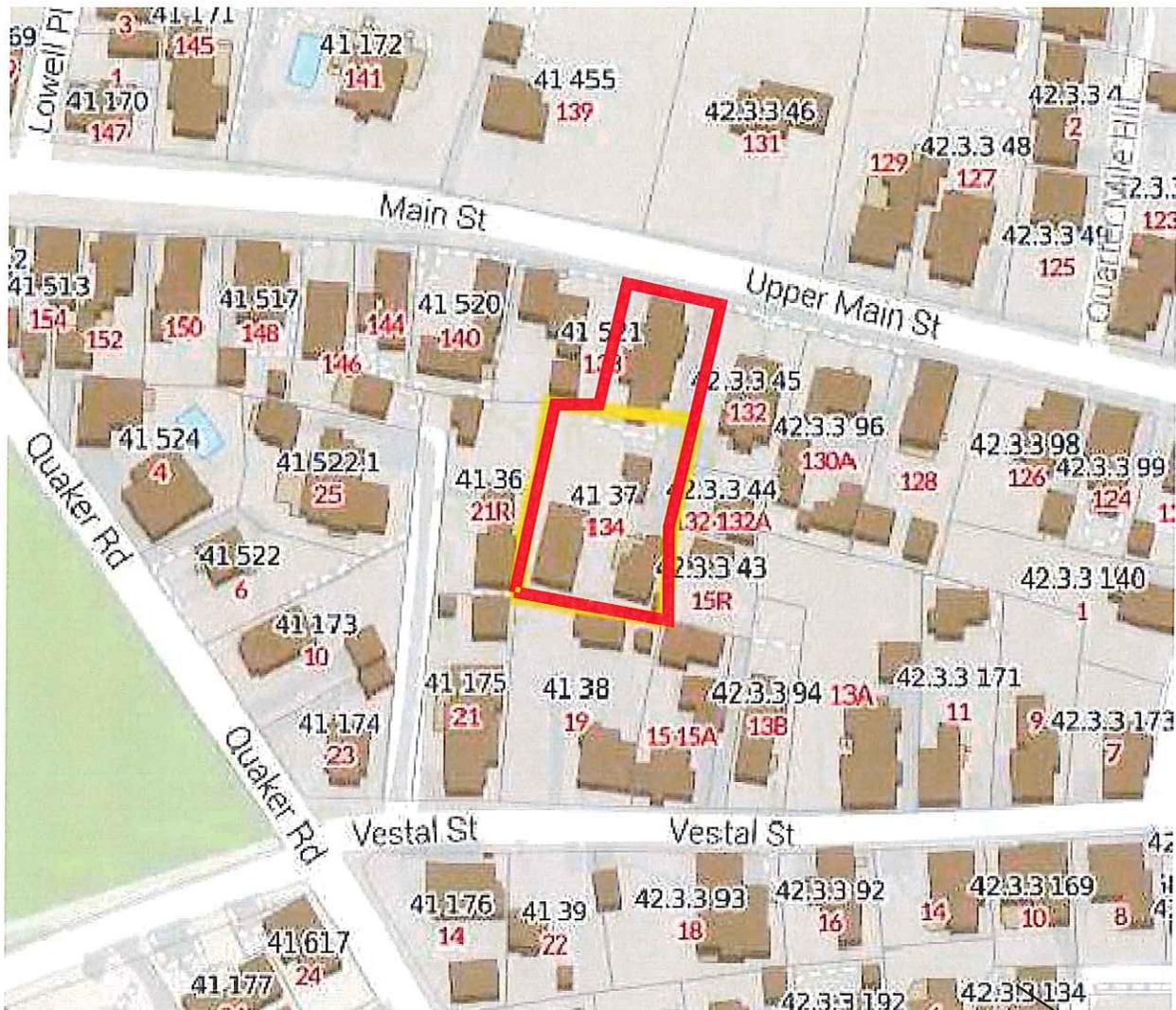
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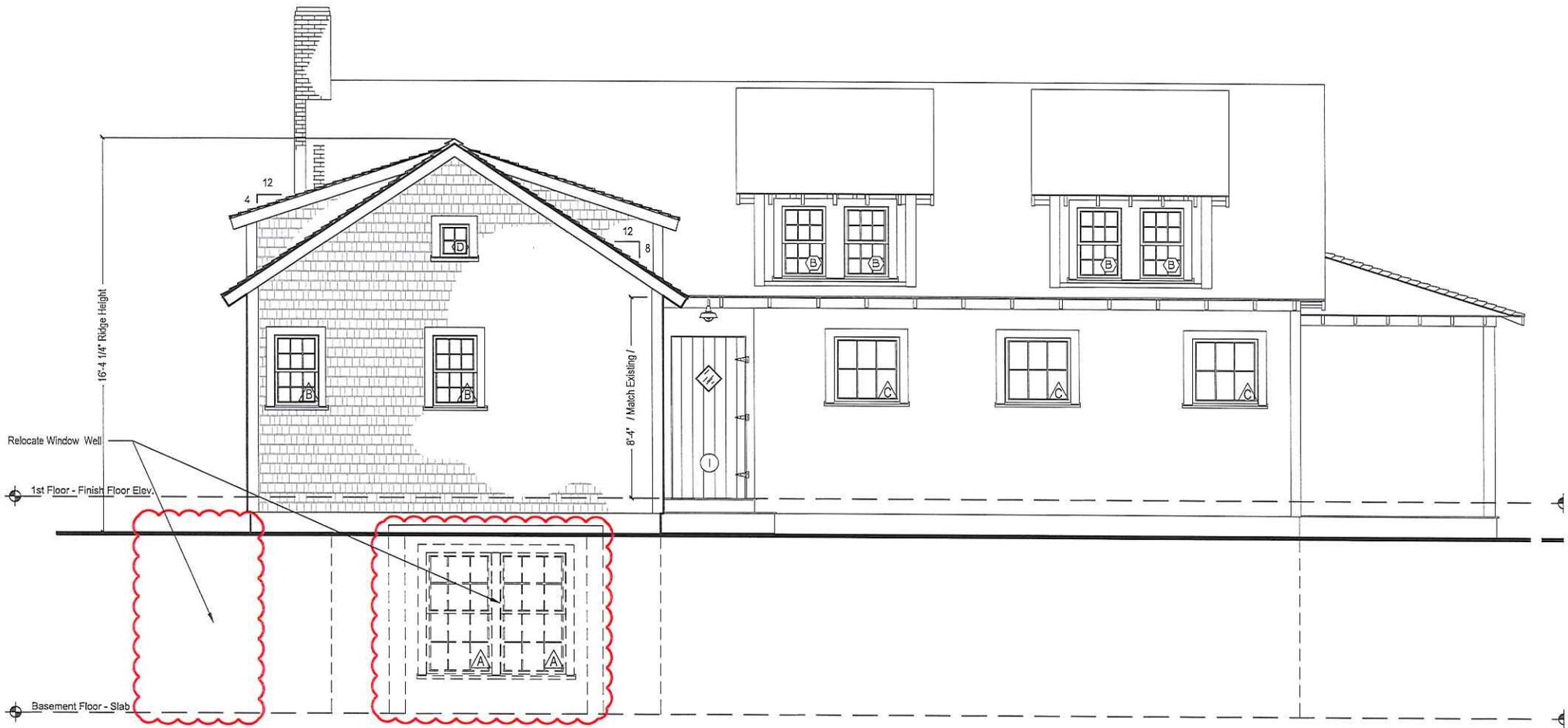
A.2.1  
1529

# Ferguson Residence

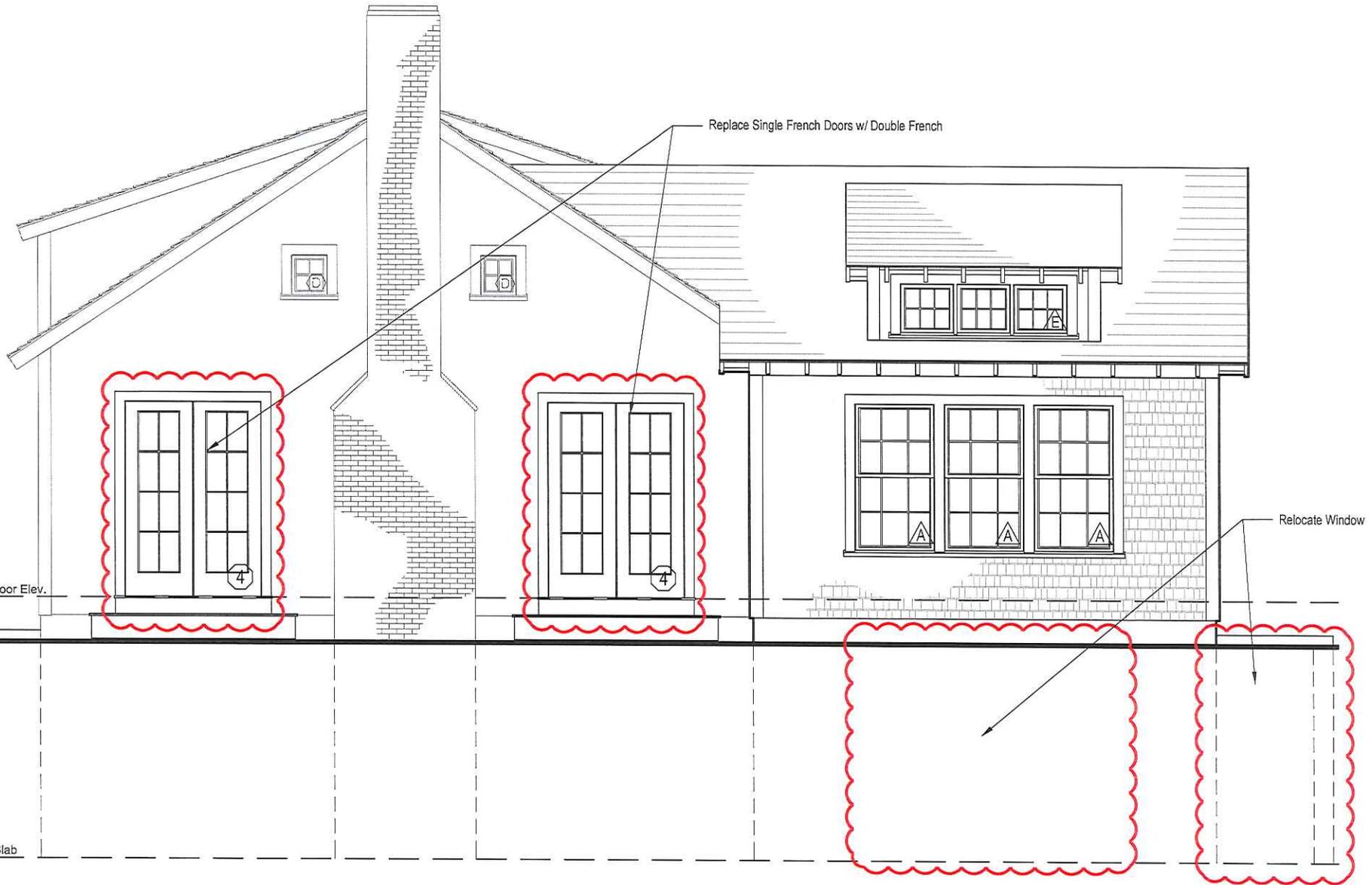
134 C Main Street # 2

Nantucket, MA 02554





**1** Proposed East Elevation  
 1/4" = 1'-0"



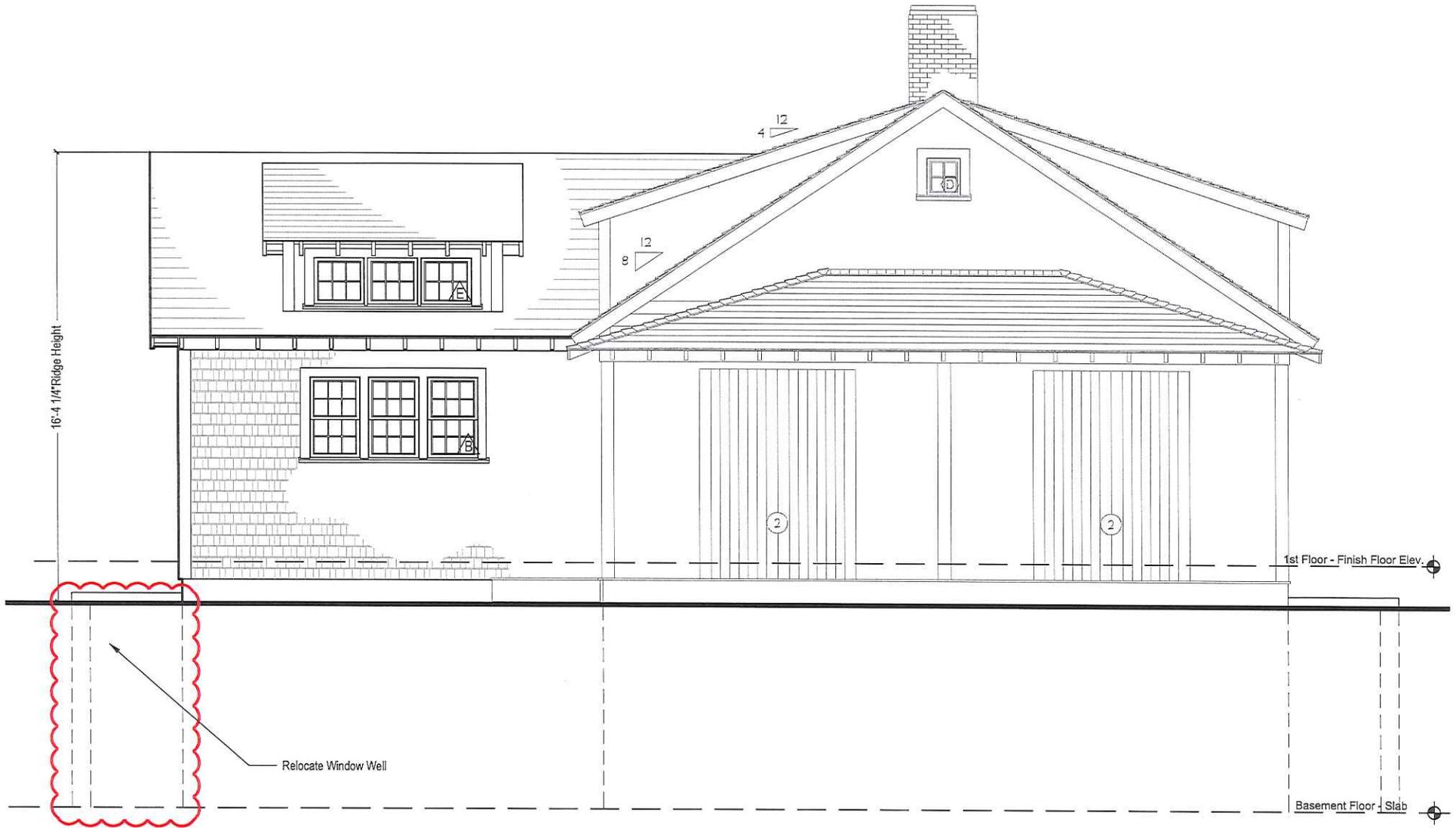
## 2 Proposed South Elevation

1/4" = 1'-0"



**5** Previously Approved East Elevation  
1/8" = 1'-0"

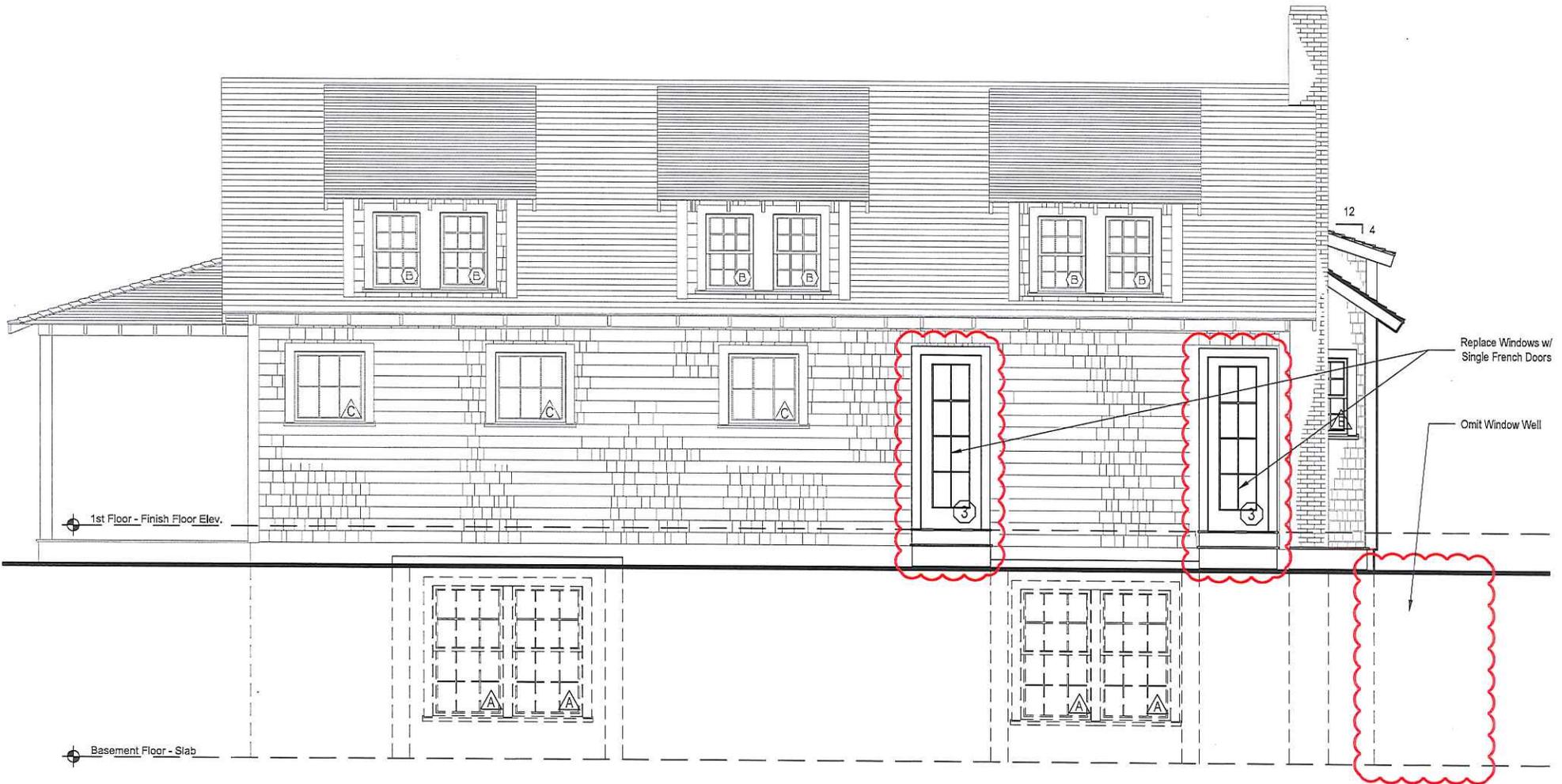
**6** Previously Approved North Elevation  
1/8" = 1'-0"



**3** Proposed North Elevation  
1/4" = 1'-0"

1/8" = 1'-0"

1/8" = 1'-0"



# 4 Proposed West Elevation

1/4" = 1'-0"