

1. 6:30 P.M. 050916 PLANNING BOARD PACKET

Documents: [050916 FINAL PACKET_PART1.PDF](#), [050916 FINAL PACKET_PART2.PDF](#), [050916 FINAL PACKET_PART3.PDF](#)



Nantucket Planning Board

STAFF REPORT

Date: May 2, 2016
To: Planning Board
From: Holly E. Backus
Land Use Specialist
Re: Staff Report for May 9, 2016 Planning Board Meeting

Call to Order:

Approval of the Agenda:

Minutes:

- March 3, 2016
- March 7, 2016
- April 11, 2016
- April 14, 2016 Special Meeting

Staff prepared and reviewed the minutes from the past meetings. Staff recommends approval.

ANRs:

- **#7959 Skiff Lane, LLC, 5 & 7 Skiff Lane (Map 55 Parcels 109-1 & 109.2)**
The purpose of this plan is to divide Lot 3 (as shown on Plan #2002-31) into Lot A and Lot B. The plan creates two (2) buildable lots pursuant to a pending Special Permit for secondary residential lot under the Nantucket Housing Needs Program for year-round residents (File #10-16). Lot A is approximately 6,176 square feet and Lot B is approximately 4,899 square feet. The proposed lots meet the frontage requirements for R-10, which is 20'. Should the board approve the pending Special Permit, staff recommends endorsement.
- **# 7561 Town of Nantucket, Mequash Avenue, Laurel Street, School Street & Copeland Street (Lots A through N) (Map 80)**
The purpose of this plan is a "Roadway Acquisition Plan" for portions of unconstructed sections of Mequash Avenue, Laurel Street, School Street, and Copeland Street pursuant to Articles 76 & 77 of ATM 2010. The plan creates Lots A through N ranging from 400 square feet to 24,000 square feet. These lots will be available under the Yard Sale Program. Staff recommends endorsement.
- **#7962 Le Select Properties, Inc., 3 & 5 South Mill Street (Map 55.4.4 Parcel 22.1 & Map 55.4.1 Parcel 22.3)** The purpose of this plan is a perimeter plan. Each lot shown on the plan has frontage on South Mill Street which has been in existence since 1955 when the Subdivision Control Law was adopted by the Town of Nantucket. Both Lot 8 and Lot 9 have in excess of 50' of frontage. Staff recommends endorsement.
- **#7963 Nantucket Cottage Hospital, 57 Prospect Street (Map 55 Parcel 3)**
The purpose of this plan is a "Taking and Disposition" plan of Parcels 1, 2, 3, 4, and 5 of two private unnamed and unregistered ways pursuant to Articles 102 & 103 of the 2015 Town Meeting. Staff recommends endorsement.

- **#7964 Town of Nantucket – L Street (Lots A – C) (Map 59.4)**
The purpose of this plan is to subdivide unconstructed “L” Street and create unbuildable lots: Lot A, Lot B and Lot C. These lots will be available under the Yard Sale Program to be acquired by the abutters. Staff recommends endorsement.
- **#7965 Graham Kilvert, Trustee Mueller Nominee Trust, 34 Prospect Street (Map 55.4.4 Parcel 77)** The purpose of this plan is to create an unbuildable lot (Lot 12) at 41 square feet. Lot 12 will be conveyed to and combined with the adjacent lot (Map 55.4.4 Parcel 92). Staff recommends endorsement.
- **#7966 Christopher Gallant & Annette Tremblay, 15A Gray Avenue Map 67 Parcel 683)**
The purpose of this plan is to divide a single lot into Lot 1 and Lot 2. The plan creates two (2) buildable lots pursuant to an approved Special Permit for a secondary residential lot under the Nantucket Housing Needs Program for year-round residents (File #15-16) which was approved by the board at the April 11, 2016 Planning Board Meeting. Lot 1 is approximately 9,057 square feet and Lot 2 is approximately 8,356 square feet. Staff recommends endorsement.
- **#7967 Michael K. & Dawn E. Holdgate, 15 Exeter Street (Map 76.4.1 Parcel 410)**
The purpose of this plan is to divide the lot into Lot 1 and Lot 2. The plan creates two (2) buildable lots pursuant to a pending Special Permit for secondary residential lot under the Nantucket Housing Needs Program for year-round residents (File #17-16). The proposed lots meet the frontage requirements for LUG-3, which is 200'. Should the board approve the pending Special Permit, staff recommends endorsement.
- **#7968 Geraldine R. Roos, Tr., 56R Madequecham Valley Road Map 88 Parcels 19, 64 & 65)**
The purpose of this plan is a perimeter plan. Staff recommends endorsement.
- **#7969 Annie K. Kay (aka Annie Kay) 18A & 18B Atlantic Avenue (Map 55 Parcels 24.1 & 24.2)**
The purpose of this plan is to divide a single lot, on which two (2) or more buildings were in existence prior to 1955, when the Subdivision Control Law went into effect. The Applicant provided a copy of the Town of Nantucket 1938 Aerial Views (slide 169B) as evidence of such buildings. The existing buildings were built approximately 1925. Both proposed lots have frontage along Atlantic Avenue and will continue the shared driveway access. Staff recommends endorsement.
- **#7970 Sunset Realty Trust, Point Road (Lot A)(Maps 38 Parcels 32 & 21)**
The purpose of this plan is to divide an existing 40' wide section of Eel Point Road into Lot A (approximately 4,488 square feet) pursuant to Articles 102 and 103 of the 2015 Annual Town Meeting. The lot is to be conveyed and combined with abutting land owned by Sunset Realty Trust. Staff recommends endorsement.
- **#7971 Richmond Great Point Development, LLC, 10A, 10B, 12A, 12B & 14A Greglen Avenue (Map 68 Parcels 180, 180.1, 181, 181.1 & 182)**
The purpose of this plan is a minor reconfiguration of interior lot lines for five (5) existing lots of record. These lots were previously subdivided and endorsed by the board in September 2014. All of the five (5) lots will conform to the minimum frontage requirement of 50' for CTEC. Staff recommends endorsement.

Second Dwellings:

- **3 Beacon Lane, 3 Beacon Land Nominee Trust 9Map 21 Parcel 26.9)**
 - **13 Folger Ave, Brent Williams (Map 80 Parcel 157)**
 - **14 Eat Fire Spring, John Esposito (Map 20 Parcel 61)**
 - **250 Polpis Road, Polpis Harbor LLC 9Map 26 Parcel 61)**
 - **3 School Street, Mary G. Heard (Map 42.3.2 Parcel 125)**
- Reports issued by Holly E. Backus are included in your packet.

Tertiary Dwellings:

- **50 Appleton Road, Karen D. Baird (Map 66 Parcel 51)**
 - **16 Monohansett Road, 16 Monohansett Road Trust (Map 79 Parcel 143)**
- Reports issued by Holly E. Backus are included in your packet.

Previous Plans:

- **#3222 Camelia Lane Subdivision, Form J Lot 1A)**
The Applicant is requesting the release of Lot 1A from Oliver Estates, which was approved February 23, 1988. Staff recommends release of Lot 1A.
- **#7263 Reed Pond Properties, extension request (April 22, 2016 to April 23, 2018)**
The Applicant is requesting an extension in order to complete all the required infrastructure improvements to the subdivision. A copy of the January 21, 2010 decision is included in the board's packet. Staff recommends approval of the extension request.
- **#7264 Bunting Lane Subdivision, endorse plans & Legal documents**
The Applicant's attorney is requesting the endorsement of the final definitive plans, statement of conditions of the subdivision approval, Covenant, Instrument of Trust, Declaration of Restrictions and Easements, Grant of Right of Enforcement of Restrictions, and Facilities Maintenance and Endowment Agreement. Staff notes that the subdivision approval required these documents to be submitted within six (6) months from the date of the decision, which was January 21, 2010.
- **4 Hull Lane, Juanita Gill, modification to the approval to remove requirement**
The approval of the Secondary & Tertiary Dwelling Permits included a requirement to install an apron at the entrance of the driveway. Hull Lane is only partially paved and the roadway surface in this location is dirt, therefore, the apron requirement should not be applied.

Public Hearings:

- **#7716 Valero Road Subdivision, 60, 62, 64, 66 & 68 Old South Road, CONTINUED TO 06-13-16**
This Application was not heard at the December, January & February meetings.
- **#7918 – Richmond Great Point Development, LLC, owner, 42, 46, 48, 54 Skyline Drive & 20 Davkim Lane, CONTINUED TO 06-13-16**
This Application was last heard at the February meeting.
- **#16-15 Brotherhood of Thieves, 23 Broad Street, CONTINUED TO 06-13-16**
This Application was not heard at the December, January, February & March meetings.

- **#7771 White Elephant Hotel LLC, 50 Easton Street,**
This Application was not heard at the December, January, February, March & April meetings.

FROM 10-15-16 MEETING MINUTES:

At the last meeting the proposed subdivision was discussed was October 2015. At the last meeting, Mr. Marcklinger requested that no subdivision be done off the interior road. There was also a request from Attorney Sarah Alger that there be a restriction in place for no further subdivision of the property. Attorney Alger also stated that there was no traffic report provided with the original application.

UPDATE:

As of May 3, 2016, staff is in receipt of a letter from the Applicant's attorney, Mr. Rick Beaudette who states that his client (the Applicant) have agreed to the condition of restricting the property to three (3) lots that could not further be subdivided without Planning Board relief.

- **#7917 – 4 North Mill Court, LLC – 11 Mill Hill,**
This Application was heard at the March 7 and March 17th meetings.

FROM 03-07-16 STAFF REPORT:

The Applicant is requesting to amend paragraph 12 of the Planning Board's decision to allow a portion of a structure, patio, and swimming pool to be sited within the required 10' buffer affecting Lot 15.

Paragraph 12 states:

“That a ten (10) foot wide, densely vegetated buffer including a mixture of coniferous and deciduous plant material, shall be established and permanently maintained along the southern and eastern limits of the subdivision, specifically affecting Lots 18,14,15,16, and 17, but excluding the drainage easement area within Lots 18, 16, and 17. This restriction shall be included in future deeds and included within the legal documents, with enforcement granted to the Town of Nantucket. On an as-needed basis, plantings shall be replaced within a year of their removal/deterioration/demise...”

The site is currently vacant; therefore the applicant could comply with the buffer requirement. Staff notes that a prior applicant was unsuccessful in obtaining a waiver from the Board and the Board expressed very strong feelings about maintaining the required buffers.

FROM 03-17-16 MEETING:

At the last meeting, staff provided photos of the existing lot in question showing the areas of concern. The legal counsel of the Applicant provided additional information at the meeting showing proposed plantings within the Mill Hill Park near the area of the lot in question. However, the Head of the DPW has declined any proposed plantings within the Park. The Applicant’s legal counsel stated that they are willing to do more and ask for less. They are willing to not have the proposed second dwelling within 10’ buffer; however they would like to be able to have the AC units allowed within the buffer.

UPDATE:

Staff has not received anything new since the last meeting. We have received a letter in opposition to the request, which is included in the board’s packet.

▪ **#17-16 Dawn & Michael Holdgate, 15 Exeter Street**

(The Public Notice for April’s meeting contained the incorrect property identified and therefore, this Application has been re-noticed with the correct property information.)

The Applicants are seeking a special permit to create a secondary residential lot for year-round residents. Specifically, the Applicant proposes to divide the existing lot in order to create a primary and secondary lot pursuant to NHNC Program. The Applicants are further requesting a waiver from the shared driveway requirement. The primary lot, which contains a 1,235 square foot two (2) story dwelling and a 102 square foot shed, will contain 96,440 square feet and will have frontage on Exeter Street. The vacant secondary lot will contain 43,560 square feet and will also have frontage on Exeter Street. Both proposed lots meet the frontage requirements pursuant to Section 139-8C(2)(g). Neighbors have expressed some concern regarding the location of the proposed driveway for the new lot. Staff recommends approval of this application; however, the Board may want to discuss the location of the proposed driveway.

▪ **#7946 Stephen M. Waterhouse, 20 Sparks Avenue**

(This application was not discussed at the last meeting.)

The Applicant is proposing an approval of a Definitive Subdivision Plan at 20 Sparks Avenue. The Applicant is proposing a four (4) lot subdivision, three (3) of which are buildable lots. The site contains approximately 21,038 square feet and currently contains two (2) residential structures on the lot. The Applicant proposes three (3) buildable lots and a roadway lot containing a 14’ wide gravel roadway with a 20’ wide layout named Waterhouse Way and terminating in a *cul de sac*. The Applicant is requesting a variety of waivers, including a reduction in the roadway width and the allowance of a gravel surface. Each lot meets the minimum lot area requirements for the CMI district; however, the current plan shows a roadway layout that creates a frontage issue for Lot 3. Also, the list of waivers submitted with the application was taken from a Planning Board decision for an entirely different area, so the applicant should confirm that all of those apply and that they are seeking similar conditions. For example, the conditions that were submitted included a duplex prohibition. Staff notes that the plan in your packet does not meet the frontage requirements for the CMI district. Specifically, Lot 3 does not have 50 feet of frontage. Staff anticipates that a new plan will be provided prior to the meeting. We also note that the zoning information on the plan references the RC district, and this property was rezoned at the 2016 ATM. Although a prior sketch plan was submitted, that does not provide the zoning freeze protection that a preliminary plan provides.

▪ **#10-16 Skiff Lane, LLC, 5 Skiff Lane**

The Applicant is seeking a Special Permit to convert an existing condominium to fee simple ownership through the secondary residential lot program. The site is located within the R-10 zoning district and consists of an 11,075 square foot lot, two (2) freestanding condo units, and a shed. The Applicant proposes to create 6,176 square foot lot as the primary lot (Lot A) with the existing 884 square foot dwelling and 80 square shed and a 4,899 square foot lot as the secondary lot (Lot B) with the existing 729 square foot dwelling. Lot A will be the covenant lot and Lot B will be the market rate lot. Both lots exceed the minimum lot area requirements pursuant to Section 139-8C.2.e. The Applicant is further requesting a waiver of the setback requirements pursuant to Section 139-8C.2f, as they pertain to the proposed interior lot lines. Staff recommends approval.

▪ **#18-16 Hillsboro & 15th, LLC and 5050 Properties, LLC, 1, 3, 5, and 7 Flint Road, and 34 Tomahawk Road**

The Applicant is seeking a MCD Special Permit to construct a mixed commercial and residential use structure with a self-storage facility. The site is located in the Commercial Industrial (CI) zoning district, a part of the Coffin Subdivision, which is currently under a zoning freeze under the RC-2 zoning district that will expire on October 15, 2017. The proposed facility will be comprised of two (2) buildings and will take up eight (8) vacant lots for a total of approximately 41,424 square feet of structure. The proposed primary structure is approximately 17,378 square feet and the secondary structure is proposed to be approximately 3,203 square feet. The proposed ground cover is 49.9%, where 50% is allowed. The proposed open area ratio is 27.8%, where 30% is required; therefore the Applicant requests a waiver on the open area requirement. The primary structure will have two (2) basement levels and three (3) levels above grade for a total of 82,457 square feet of self-storage space with a 954 square foot office. The second structure will have one (1) level of self-storage of about 691 square feet. The second structure will also have a residential two (2) bedroom apartment for employee housing. The proposed facility requires a total of thirty-three (33) parking spaces. The Applicant proposes to provide six (6) parking spaces with thirteen (13) overflow parking spaces between the buildings. The proposed number of parking spaces is consistent with other self-storage facilities approved by the Planning Board. During peak operation, the facility is proposed to have three (3) or less employees. The proposed hours of operation of the self-storage facility are 7AM to 7PM. The Applicant has requested eight (8) total waivers for this application under the Zoning Bylaw. The Applicant further requests to construct the facility in phases and to be released from the previous MCD (File #4-84) as necessary. Plans have been provided to Pesce Engineering for review and a report is forthcoming. Staff does not have a recommendation at this time.

▪ **#19-16 Amos B. Hostetter, Jr., Stephen W. Kidder, and Michael J. Puzo, Trustees of A & B Realty Trust, 53 Baxter Road**

The Applicant is seeking a Special Permit to alter the driveway location and configuration, and to expand the width at the intersection with Baxter Road. Specifically, the Applicant proposes to move the existing structures to a slightly higher elevation located on the site. The Applicant has filed the appropriate application to the Zoning Board of Appeals in order to move said structures. With the move of the structures to the north, the driveway entrance will be reduced from 43.3' wide to 37.9' wide. Should the board be so inclined to approve this request, the board must find that the granting of the Special Permit would not have a significant and adverse effect on the scenic or historic integrity of the neighborhood. Staff recommends approval.

▪ **#20-16 Nantucket Land Bank, 2A Massasoit Bridge Road**

The Applicant is seeking a Special Permit to construct the addition of a 341 square foot garage onto an existing single-family dwelling. The site is located within the Moorlands Management District (MMD) and the addition will result in the dwelling being in excess of 800 square feet of ground cover. Ground cover in excess of 800 square feet may be allowed provided that the special permit includes conditions requiring the siting of the structures and uses in manner which minimizes potentially adverse effects on the moorlands environment and its scenic integrity. The site includes an existing 1 ½ story structure with a total of 759 square feet and another 1 story structure with 709 square feet. Considered collectively both buildings are pre-existing nonconforming relative to the MMD requirements. The MMD allows for 400 square feet in the aggregate devoted to decks, covered porches, accessory buildings, or other impervious surfaces. Out of the proposed 341 square feet of additions, a 220 square foot garage is proposed, leaving 121 square feet of decks and steps. The proposed ground cover ratio after the proposed construction will be .07%, which is less than .5% allowed. The Applicant further requests Site Plan Approval pursuant to Section 139-13D of the Zoning Bylaw. Due to the overall size of the property and the fact that the proposed expansion will be within the existing disturbed areas of the property, staff recommends approval.

▪ **#21-16 Arthur I. Reade, Jr., as Trustee of Glenhurst West Realty Trust, 137 Cliff Road and 11 Chase Links Circle**

The Applicant is seeking a Special Permit to exceed the maximum allowable gross floor area of 650 square feet in order to convert a 780 square foot area over a garage into a one (1) bedroom tertiary dwelling. There will be no additional ground cover proposed and therefore, the ground cover will be kept at 2.8% (where 4% is allowed within the LUG-2 zoning district.) Both the primary and secondary dwellings are currently under construction, however all dwellings will be in common ownership.

The tertiary dwelling will be accessed by a shared stone shell mix driveway (currently under construction) off Cliff Road, which is a public paved roadway. The driveway will have a block apron. The site will contain a total of five (5) parking spaces for the primary, secondary, and tertiary structures. *Please note: the Applicant received Secondary Dwelling Permit approval at the February 9, 2015 Planning Board meeting.*

Planning staff recommends approval of this application with the following conditions:

- (1) That an apron at the driveway entrance shall be constructed to a minimum depth of ten (10) feet and a maximum width of fifteen (15) feet and shall be constructed in accordance with the requirements of Nantucket Zoning Bylaw Section 139-20.1B.(2)(d);
- (2) That the driveway be cleared free of vegetation and obstruction to a width of twelve (12) feet and a height of thirteen (13) feet;
- (3) That any landscaping at the driveway entrance be limited to low growing plant material not to exceed three (3) feet in height; and,
- (4) That the applicant shall submit an As-Built prior to the final inspection by staff which shall take place prior to the issuance of a Certificate of Occupancy.

▪ **#22-16 Walter J. Glowacki, 4 Perry Lane**

The Applicant is seeking a Special Permit to construct a building for storage and warehousing for personal use. The items will include personal tools, landscaping equipment, mowers, snow plow, etc. Specifically, the Applicant wishes to construct 3,430 square foot steel building for warehousing. The Applicant has provided a site plan that shows a Belgian block apron into the site with a shell or gravel driveway. Flanking the entrance are Leland Cypress trees along the property line, setback behind the 10' setback line and proposed split rail fence. At the rear of the property, the Applicant proposes a 6' tall wood fence with lattice top. The property is located within the RC-2 district and interior storage is an allowed use with a Special Permit. Staff does not have a recommendation at this time.

▪ **#23-16 Walter J. Glowacki, 6 Perry Lane**

In conjunction with the above 4 Perry Lane request, the Applicant is seeking a Special Permit to construct a building for storage and warehousing for personal use. Specifically, the Applicant wishes to construct a 330 square foot wood framed garage for storage. Because the proposed garage is already constructed and proposed to be moved from Davkim Lane, the Applicant has received a Certificate of Appropriateness from the HDC to move said structure. Staff does not have a recommendation at this time.

▪ **#24-16 Michael F. Boylan, 3B Windy Way**

The Applicant is seeking a Special Permit to waive one (1) off street parking space required for a commercial business known as "The UPS Store". The business is currently located at 2 Windy Way, but will be moving to 3B Windy Way in August of 2017. The Applicant represents that customers at his current location (across the street at 2 Windy Way) are only in his store on an average of 5 to 10 minutes, therefore the demand for parking is less than what the Bylaw requires. The site plan indicates seven (7) parking spaces, four (4) of which are for the use of four (4) condo units. One of the condo owners expressed a concern about the use of the dedicated spaces for the condo units by the commercial business customers. The Board has had the installation of signs for other mixed use projects, and that has worked well. Staff recommends approval.

▪ **#25-16 Nantucket Cottage Hospital ("NCH") as the Owner, 57 & 59 South Prospect Street and 10 Vesper Lane**

The Applicant is seeking a Site Plan Review and approval to demolish or move existing structures on the site and to construct a new hospital facility. Specifically, the site will be reconfigured during the phased construction process in order to build the 106,605 square foot new hospital. The proposed phased construction is necessary in order to continue to provide quality healthcare services on the island while the new hospital is under

construction. Part of the premise is located within the Public Wellhead Recharge District. Plans have been provided to Pesce Engineering and a review is forthcoming. The project team will be present at the meeting to provide a presentation to the Board.

▪ **#26-16 South Valley Industrial MCD, 8B Greglen Avenue**

The Applicant is seeking a modification to a previously granted Major Commercial Development (MCD) Special Permit for South Valley Industrial Park (File #3-94.) Specifically, the owner proposes to construct a residential structure and a commercial structure on the site and is requesting a waiver from the 30' densely vegetated buffer requirement for lots containing a commercial use. The Applicant provided a site plan showing a 3' deep privet hedge along Greglen Avenue, as opposed to the MCD required 30' densely vegetated buffer. The Applicant received a building permit to "move on" a residential dwelling from 13 Folger Avenue and the new foundation footings have been inspected by the Building Commissioner. Therefore, it would be difficult for the house to move from its 18'-2" setback. There is somewhat of a discrepancy in the 1994 decision that creates a conflict if a residential structure is built without having to meet a buffer requirement and then a commercial structure is later proposed and the buffer is required. Staff inspected the area, and the buffer on this and other lots has been compromised to the point that the remaining vegetation provides essentially no screening and no longer meets the intent of the 1994 decision. Further, the point of the vegetated buffer was to screen the commercial use from the roadway and adjacent residential properties. In this case, a residential structure will be located in the front of the lot and will be similar in character to residential structures on the opposite side of the street. It will also provide screening of the commercial structure proposed at the rear of the property. The former owner of the property has expressed concerns about noncompliance with private deed restrictions addressing buffers. That is not an issue that the Board should be involved with resolving and that should be left to the private parties to discuss. A copy of the Water Quality Compliance Certificate and is also provided in the board's packet.

Preliminary Plans:

- **Nantucket Cottage Hospital, Gouin Village**
There will be a presentation by the Applicant.

Public Comments:

Other Business:

- **ZBA comments for Surfside Commons Comprehensive Permit Application**
- **Election of officers**

Adjourn:



Nantucket Planning Board

Nantucket Planning Board Agenda

Monday, May 9, 2016

6:30PM

4 Fairgrounds Road

Public Safety Facility Community Room

First Floor

www.nantucket-ma.gov

Video of meeting available on Town website

(AGENDA SUBJECT TO CHANGE)

The complete text, plans, application, or other material relative to each agenda items are available for inspection at the Planning Office at 2 Fairgrounds Road between the hours of 8:30 AM and 4:30 PM

- I. Call to order:
- II. Approval of the agenda:
- III. Minutes:
 - March 3, 2016
 - March 7, 2016
 - April 11, 2016
 - April 14, 2016 Special Meeting
- IV. ANRs:
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V. Second Dwellings:

- 3 Beacon Lane, 3 Beacon Land Nominee Trust (Map 21 Parcel 26.9)
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- 14 Eat Fire Spring, John Esposito (Map 20 Parcel 61)
- 250 Polpis Road, Polpis Harbor LLC (Map 26 Parcel 27)
- 3 School Street, Mary G. Heard (Map 42.3.2 Parcel 125)

VI. Tertiary Dwellings:

- 50 Appleton Road, Karen D. Baird (Map 66 Parcel 51)
- 16 Monohansett Road, 16 Monohansett Road Trust (Map 79 Parcel 143)

VII. Previous Plans:

- #3540 Camelia Lane Subdivision, *Form J (Lot 1A)*
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- 4 Hull Lane, Juanita Gill, *modification to the approval to remove requirement*

VIII. Public Hearings:

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- #7918 Richmond Great Point Development, LLC – 42, 48, 54 Skyline Drive & 20 Davkim Lane, *action deadline 07-31-16, **CONTINUED TO 06-13-16***
- #16-15 Brotherhood of Thieves, 23 Broad Street, *action deadline 06-30-16, **CONTINUED TO 06-13-16***
- #7771 White Elephant Hotel LLC, 50 Easton Street, *action deadline 04-30-16*
- #7917 4 North Mill Court LLC, 11 Mill Hill, *action deadline 05-25-16*
- #7946 Stephen M. Waterhouse, 20 Sparks Avenue, *action deadline 07-27-16*
- #10-16 Skiff Lane, 5 Skiff Lane, *action deadline 08-07-16*
- #17-16 Dawn Holdgate & Michael Holdgate, 15 Exeter Street, *action deadline 07-10-16*
- #18-16 Hillsboro & 15th, LLC & 5050 Properties, LLC, 1,3, 5 & 7 Flint Road and 28, 30, 32 & 34 Tomahawk Road, *action deadline 08-07-16*
- #19-16 Amos B. Hostetter, Jr., Stephen W. Kidder & Michael J. Puzo, Trustees of A & B Realty Trust, 53 Baxter Road, *action deadline 08-07-16*
- #20-16 Nantucket Land Bank, 2A Massasoit Bridge Road, *action deadline 08-07-16*
- #21-16 Arthur I. Reade, Jr., as Trustee of Glenhurst West Realty Trust, 137 Cliff Road & 11 Chase Links Circle, *action deadline 08-07-16*
- #22-16 Walter J. Glowacki, 4 Perry Lane, *action deadline 08-07-16*
- #23-16 Walter J. Glowacki, 6 Perry Lane, *action deadline 08-07-16*
- #24-16 Michael F. Boylan, 3B Windy Way, *action deadline 08-07-16*



#7959 ANR
Skiff Lane, LLC
5 & 7 Skiff Lane
Map 55 Parcel 109





CHK # 11223

Town Clerk
Town & County Building
16 Broad St
Nantucket, MA 02554

2016 APR 29 AM 10: 54

Nantucket Planning Board

APR 29 2016 AM 9:43

MJB

Form A

Application for Endorsement of a Plan Believed Not to Require Approval (ANR)

Date: APRIL 28, 2016 *Name of Owner(s)/Applicant(s): SKIFF LANE, LLC

*Owner's/Applicant's address: 1 EXPRESS DRIVE, WAREHAM State: MA Zip Code: 02571

*(include all names and addresses of the principals of the owner entity such as principal officer of corporation, trustees of the trust and partners of the partnership)

Location of Property (Street or Area): 5 & 7 SKIFF LANE

Name of Registered Land Surveyor: ALAN M. GRADY, PLS., BRACKEN ENGINEERING, INC.

Surveyor's address: 19 OLD SOUTH ROAD NANTUCKET, MA 02554

The owner's title to the land derived under deed from SAV Associates, LLC, dated 01/02/2008 and recorded at the Nantucket Registry of Deeds in Deed Book 1120 Page 75 (See also 1120/148) and shown on Assessor's Map 55, Parcel 109.1 & 109.2.

To the Planning Board of the Town of Nantucket:

The undersigned wishes to record the accompanying plan and requests a determination and endorsement by said Board that approval by it under the Subdivision Control Law is not required. The undersigned believes that such approval is not required for the following reasons: (check all that apply)

- The accompanying plan is not a subdivision because it does not show a division of land (perimeter plan).
- The division of the tract of land shown on the accompanying plan is not a subdivision because every lot on the plan has frontage of at least such distance as is presently required by the *Nantucket Zoning By-Law* under Section 5 which requires 20 feet for erection of a building on such lot; and every lot shown on the plan has such frontage on:

A. a public way or a way which the City or Town Clerk certifies is maintained and used as a Public way, namely _____; OR

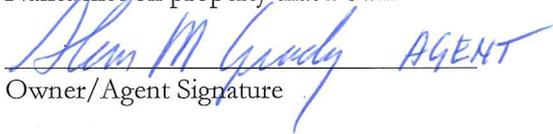
B. a way shown on a plan theretofore approved and endorsed in accordance with the Subdivision Control Law, namely SKIFF LANE on 6/24/2002 (date) and Subject to the following conditions _____; OR

C. a way in existence on _____ (date); the date when the Subdivision Control Law became effective in the Town of Nantucket, having in the opinion of the Planning Board, sufficient

width, suitable grades, and adequate construction to provide for the need to vehicular traffic in relation to the proposed use of the land abutting thereon or served thereby, and for the installation of municipal services to serve such land and the buildings erected or to be erected thereon, namely _____.

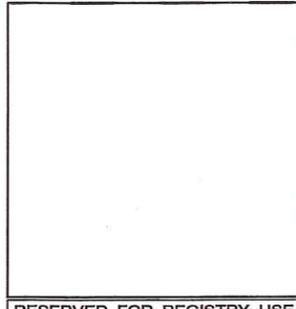
- The division of the tract of land shown on the accompanying plan is not a subdivision because it shows a proposed conveyance or other instrument, namely _____, which adds to, takes away from or changes the size and shape of lots in such a manner so that no lot affected is left without frontage as required by the *Nantucket Zoning By-Law* under Section 5, which requires _____ feet.
 - The division of the tract of land shown on the accompanying plan is not a subdivision because two or more buildings, specifically _____ buildings were standing on the land prior to 1955, the date when the Subdivision Control Law went into effect in the Town of Nantucket, and one of such building remains standing on each of the lots; said buildings as shown and located on the accompanying plan. Evidence of the existence of such buildings prior to the effective date of the Subdivision Control Law is submitted as follows: _____
-
- Other reasons or comments: (see M.G.L., Chapter 41, Section 81-L)
-
-

I hereby certify that the applicant(s) listed above have been authorized by me to file a plan with the Planning Board of Nantucket on property that I own.

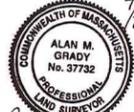
 AGENT
Owner/Agent Signature

Planning Board File # _____

Endorsement Date: _____



I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.



ALAN M. GRADY, PLS
MASSACHUSETTS REG.
No. 37732

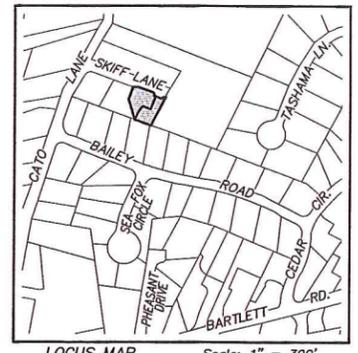
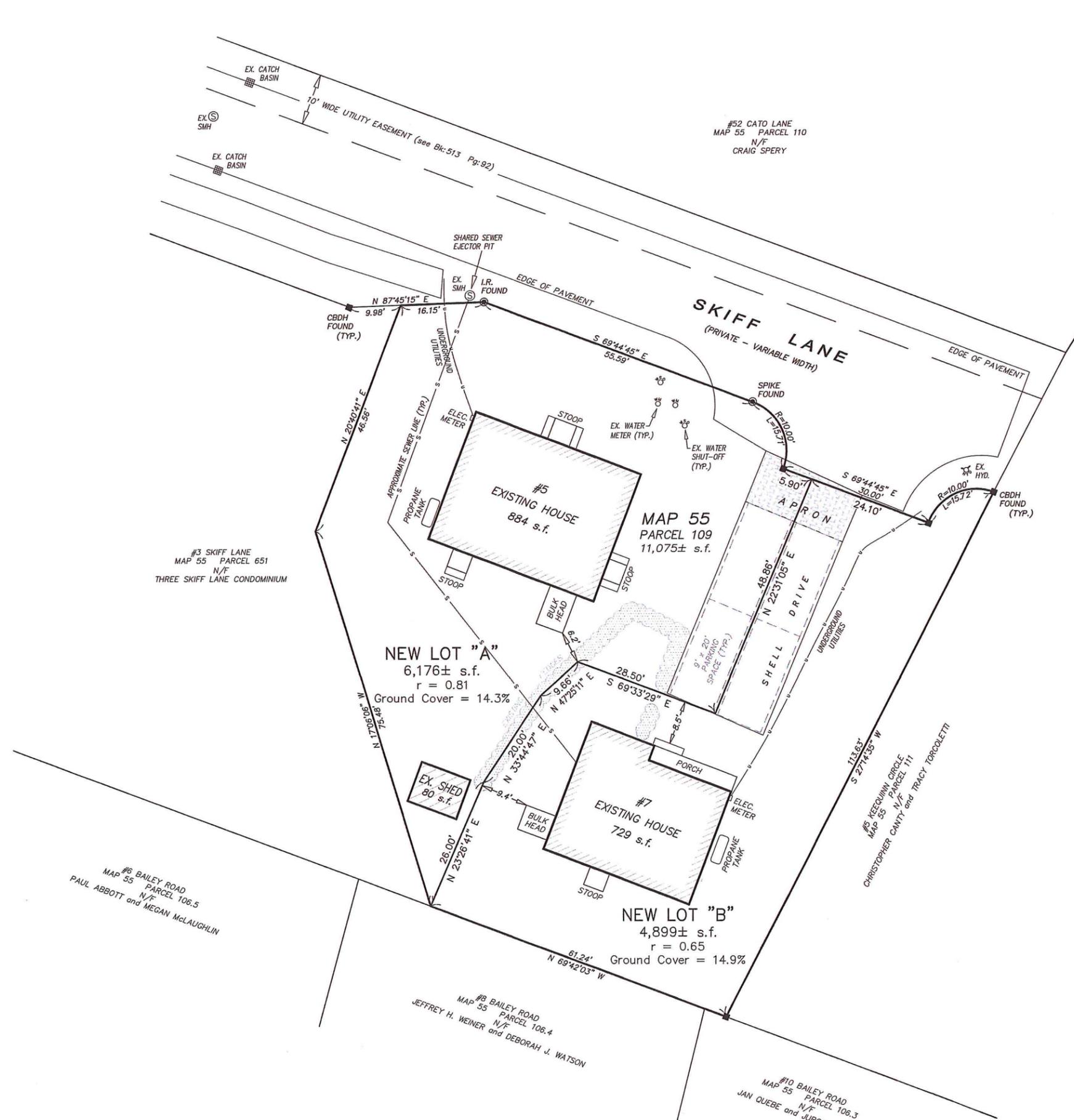


NOTES:

- LOCUS: #5 SKIFF LANE
MAP 55 PARCEL 109.1
- OWNER: SKIFF LANE, LLC
1 EXPRESS DRIVE
WAREHAM, MA 02571
- DEED REF: Bk:1120 Pg:75
- PLAN REF: Plan No: 2010-13
Plan No: 2002-31 (LOT 3)
- LOCUS DOES NOT FALL WITHIN A SPECIAL FLOOD HAZARD ZONE AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP No. 25019C-0088-G dated 06/09/2014.
- PLANNING BOARD ENDORSEMENT DOES NOT CONSTITUTE A DETERMINATION OF CONFORMANCE UNDER CURRENT ZONING.
- THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE LOT "3" AS SHOWN ON PLAN No:2002-31.

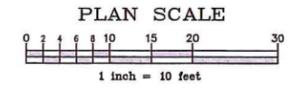
THE PLANNING BOARD DETERMINES THAT:

- (b) PARCELS "A" and "B" DO NOT CONTAIN AREAS SUBJECT TO PROTECTION UNDER THE MASSACHUSETTS WETLANDS PROTECTION ACT WHICH ARE REQUIRED TO BE EXCLUDED FROM LOT AREA UNDER THE NANTUCKET ZONING BYLAW, BUT STILL MAY BE SUBJECT TO PROTECTION UNDER STATE AND LOCAL WETLAND BYLAWS. DETERMINATION OF APPLICABILITY MAY BE OBTAINED THROUGH APPLICATION TO THE CONSERVATION COMMISSION.



ZONE: R-10

	REQUIRED
LOT AREA:	10,000 s.f.
LOT FRONTAGE:	75'
FRONT YARD:	20'
SIDE YARD:	10'
REAR YARD:	10'
GROUND COVER RATIO:	25% (MAX.)
REGULARITY FACTOR:	> 0.55



**PLAN OF LAND
IN
NANTUCKET, MASS.**

PREPARED FOR
SKIFF LANE, LLC
PREPARED BY
BRACKEN ENGINEERING, INC.
19 OLD SOUTH ROAD
NANTUCKET, MA 02554
tel: (508) 325-0044
fax: (508) 833-2282
SCALE: 1" = 10' APRIL 7, 2016

APPROVAL BY THE
NANTUCKET PLANNING BOARD
NOT REQUIRED

FILE NUMBER: _____
DATE APPROVED: _____



#7961 ANR
Town of Nantucket
Mequash Ave, Laurel Street, School Street, Copeland Street
Map 80





Nantucket Planning Board

Form A

Application for Endorsement of a Plan Believed Not to Require Approval (ANR)

Date: April 29, 2016

*Name of Owner(s)/Applicant(s): Town of Nantucket

*Owner's/Applicant's address: 16 Broad Street State: MA Zip Code: 02554

*(include all names and addresses of the principals of the owner entity such as principal officer of corporation, trustees of the trust and partners of the partnership)

Location of Property (Street or Area): Mequash Av., Laurel St., School St., & Copeland St., Lots A through N

Name of Registered Land Surveyor: Bracken Engineering, Inc.

Surveyor's address: 19 Old South Road, Nantucket, MA 02554

The owner's title to the land derived under deed from ___ date ___ and recorded in Nantucket Registry of Deed, Books ___ Pages ___ or Land Court Certificate of Title # ___ registered in Nantucket Document Number ___, and shown on Assessor's Maps # 80 Parcels ___.

To the Planning Board of the Town of Nantucket:

The undersigned wishes to record the accompanying plan and requests a determination and endorsement by said Board that approval by it under the Subdivision Control Law is not required. The undersigned believes that such approval is not required for the following reasons: (check all that apply)

- The accompanying plan is not a subdivision because it does not show a division of land (perimeter plan).
- The division of the tract of land shown on the accompanying plan is not a subdivision because every lot on the plan has frontage of at least such distance as is presently required by the *Nantucket Zoning By-Law* under Section 5 which requires _____ feet for erection of a building on such lot; and every lot shown on the plan has such frontage on:
 - A. a public way or a way which the City or Town Clerk certifies is maintained and used as a Public way, namely _____; **OR**
 - B. a way shown on a plan theretofore approved and endorsed in accordance with the Subdivision Control Law, namely _____ on _____ (date) and Subject to the following conditions _____; **OR**
 - C. a way in existence on _____ (date); the date when the Subdivision Control Law became effective in the Town of Nantucket, having in the opinion of the Planning Board, sufficient width, suitable grades, and adequate construction to provide for the need to vehicular traffic in relation to the proposed use of the land abutting thereon or served thereby, and for the installation of municipal services to serve such land and the buildings erected or to be erected thereon, namely _____.

- The division of the tract of land shown on the accompanying plan is not a subdivision because it shows a proposed conveyance or other instrument, namely _____, which adds to, takes away from or changes the size and shape of lots in such a manner so that no lot affected is left without frontage as required by the *Nantucket Zoning By-Law* under Section 5, which requires _____ feet.
- The division of the tract of land shown on the accompanying plan is not a subdivision because two or more buildings, specifically _____ buildings were standing on the land prior to 1955, the date when the Subdivision Control Law went into effect in the Town of Nantucket, and one of such building remains standing on each of the lots; said buildings as shown and located on the accompanying plan. Evidence of the existence of such buildings prior to the effective date of the Subdivision Control Law is submitted as follows: _____

- Other reasons or comments: (see M.G.L., Chapter 41, Section 81-L)

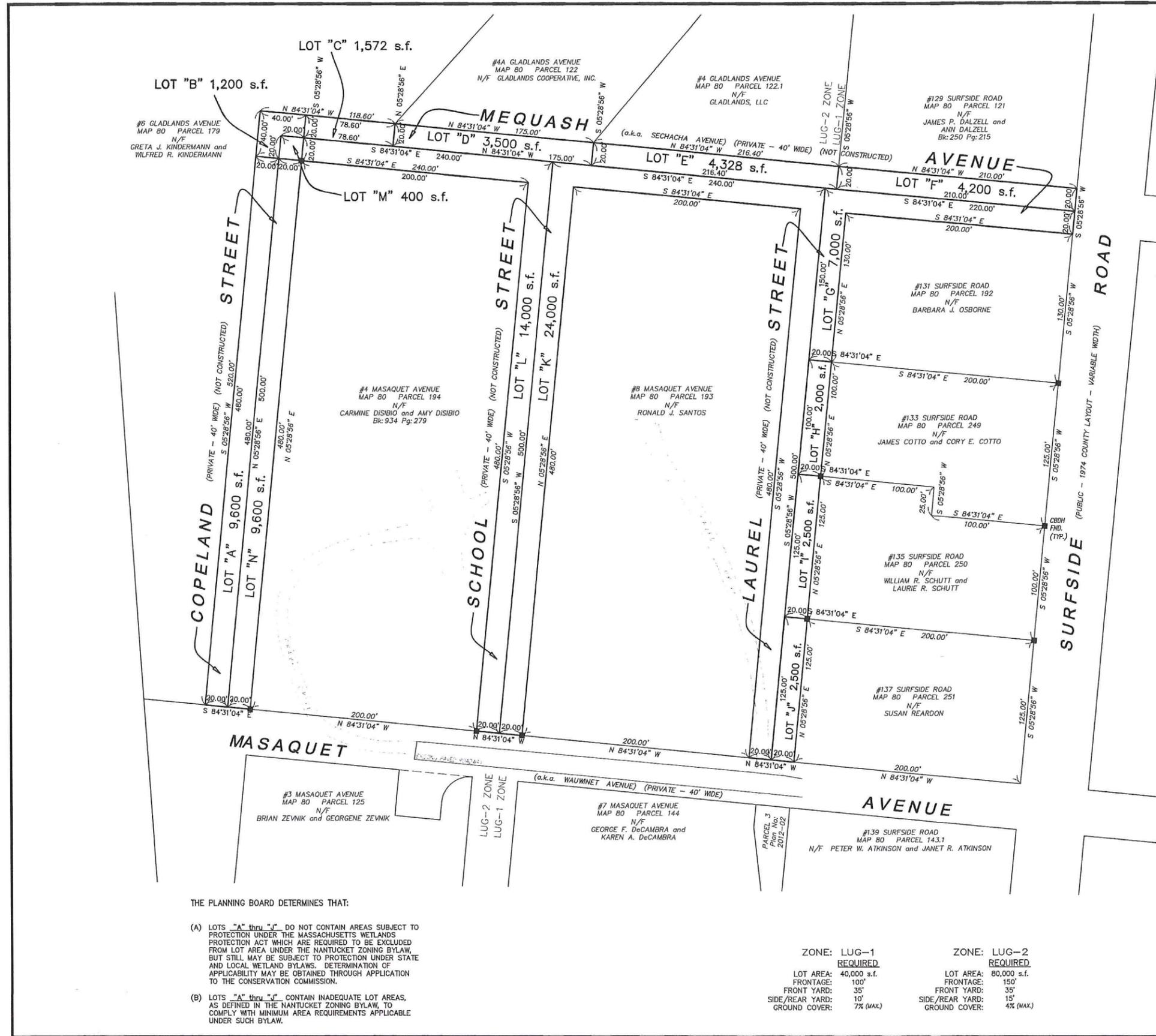
Roadway Acquisition Plan

I hereby certify that the applicant(s) listed above have been authorized by me to file a plan with the Planning Board of Nantucket on property that I own.

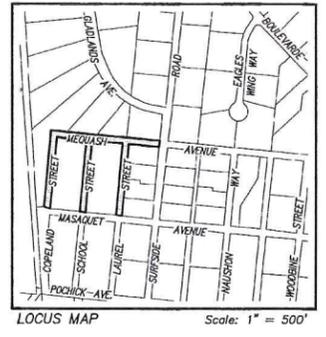
Owner's Signature

Planning Board File #7961 _____

Endorsement Date: _____



- NOTES:**
1. LOCUS: MEQUASH AVENUE
LAUREL STREET
SCHOOL STREET
COPELAND STREET
(ON ASSESSORS MAP 80)
 2. PLAN: Plan Bk: 2 Pg: 60
Plan Bk: 22 Pg: 35
Plan File: 11-A
Plan No: 2001-08
Plan No: 2002-45
Plan No: 2013-36
 3. TOWN MEETING REFERENCE: ARTICLES 76 & 77 (2010)



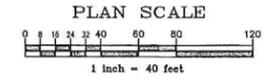
RESERVED FOR REGISTRY USE

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

ALAN M. GRADY, PLS
MASSACHUSETTS REG. No. 37732



ROADWAY ACQUISITION PLAN
IN
NANTUCKET, MASS.
OF PORTIONS OF UNCONSTRUCTED
"MEQUASH AVENUE"
"LAUREL STREET"
"SCHOOL STREET"
"COPELAND STREET"
PREPARED BY
BRACKEN ENGINEERING, INC.
19 OLD SOUTH ROAD
NANTUCKET, MA 02554
tel: (508) 325-0044
fax: (508) 833-2282
SCALE: 1" = 40' APRIL 25, 2016



THE PLANNING BOARD DETERMINES THAT:

- (A) LOTS "A" thru "J" DO NOT CONTAIN AREAS SUBJECT TO PROTECTION UNDER THE MASSACHUSETTS WETLANDS PROTECTION ACT WHICH ARE REQUIRED TO BE EXCLUDED FROM LOT AREA UNDER THE NANTUCKET ZONING BYLAW, BUT STILL MAY BE SUBJECT TO PROTECTION UNDER STATE AND LOCAL WETLAND BYLAWS. DETERMINATION OF APPLICABILITY MAY BE OBTAINED THROUGH APPLICATION TO THE CONSERVATION COMMISSION.
- (B) LOTS "A" thru "J" CONTAIN INADEQUATE LOT AREAS, AS DEFINED IN THE NANTUCKET ZONING BYLAW, TO COMPLY WITH MINIMUM AREA REQUIREMENTS APPLICABLE UNDER SUCH BYLAW.

ZONE: LUG-1 REQUIRED	ZONE: LUG-2 REQUIRED
LOT AREA: 40,000 s.f.	LOT AREA: 80,000 s.f.
FRONTAGE: 100'	FRONTAGE: 150'
FRONT YARD: 35'	FRONT YARD: 35'
SIDE/REAR YARD: 10'	SIDE/REAR YARD: 15'
GROUND COVER: 7% (MAX)	GROUND COVER: 4% (MAX)

TOWN OF NANTUCKET
BOARD OF SELECTMEN

DATE APPROVED: _____

APPROVAL BY THE
NANTUCKET PLANNING BOARD
NOT REQUIRED

FILE NUMBER: _____

DATE APPROVED: _____



#7962 ANR
Le Select Properties, Inc.
3 & 5 South Mill Street
Map 55.4.4 Parcel 22.1 and Map 55.4.1 Parcel 22.3





MAY 2 2016 PM 12:01

Town Clerk
Town & County Building
16 Broad St
Nantucket, MA 02554

Nantucket Planning Board

CHK# 1793

Form A Application for Endorsement of a Plan Believed Not to Require Approval (ANR)

Date: April 28, 2016 *Name of Owner(s)/Applicant(s): Le Select Properties, LLC

*Owner's/Applicant's address: 14 South Mill Street
State: MA Zip Code: 02554

*(include all names and addresses of the principals of the owner entity such as principal officer of corporation, trustees of the trust and partners of the partnership)

Location of Property (Street or Area): #3 And #5 South Mill Street

Name of Registered Land Surveyor: Jeffrey L. Blackwell, P.L.S.
Surveyor's address: Blackwell + Associates, Inc. 20 Tensdale Circle, Nantucket MA

The owner's title to the land derived under deed from Patricia H. Schreiber, date October 21, 2005
And recorded in Nantucket Registry of Deed, Book 984 Page 330 or Land Court Certificate of
Title # _____, registered in Nantucket District Book _____, Page _____ and shown on
Assessor's Map# 55.4.4, Parcel # 22.1
To the Planning Board of the Town of Nantucket:

The undersigned wishes to record the accompanying plan and requests a determination and endorsement by said Board that approval by it under the Subdivision Control Law is not required. The undersigned believes that such approval is not required for the following reasons: (check all that apply)

- The accompanying plan is not a subdivision because it does not show a division of land (perimeter plan).
- The division of the tract of land shown on the accompanying plan is not a subdivision because every lot on plan has frontage of at least such distance as is presently required by the Nantucket Zoning By-Law under Section 5 which requires _____ feet for erection of a building on such lot; and every lot shown on the plan has such frontage on:

A. a public way or a way which the City or Town Clerk certifies is maintained and used as a Public way, namely _____; OR

B. a way shown on a plan theretofore approved and endorsed in accordance with the Subdivision Control Law, namely _____ on _____ (date) and Subject to the following conditions _____; OR

C. a way in existence on 1955 (date); the date when the Subdivision Control Law became effective in the Town of Nantucket, having in the opinion of the Planning Board, sufficient

2016 MAY -2 PM 4:07

width, suitable grades, and adequate construction to provide for the need to vehicular traffic in relation to the proposed use of the land abutting thereon or served thereby, and for the installation of municipal services to serve such land and the buildings erected or to be erected thereon, namely South Mill Street.

- The division of the tract of land shown on the accompanying plan is not a subdivision because it shows a proposed conveyance or other instrument, namely Conveyance, which adds to, takes away from or changes the size and shape of lots in such a manner so that no lot affected is left without frontage as required by the *Nantucket Zoning By-Law* under Section 5, which requires 50 feet.
- The division of the tract of land shown on the accompanying plan is not a subdivision because two or more buildings, specifically _____ buildings were standing on the land prior to 1955, the date when the Subdivision Control Law went into effect in the Town of Nantucket, and one of such building remains standing on each of the lots; said buildings as shown and located on the accompanying plan. Evidence of the existence of such buildings prior to the effective date of the Subdivision Control Law is submitted as follows: _____
- Other reasons or comments: (see M.G.L., Chapter 41, Section 81-L)

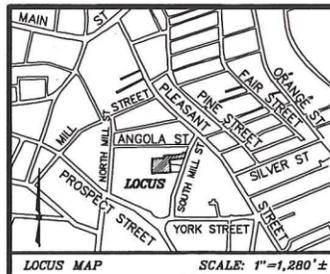
I hereby certify that the applicant(s) listed above have been authorized by me to file a plan with the Planning Board of Nantucket on property that I own.

Candice Miller

Owner's Signature

Planning Board File # 7962

Endorsement Date: _____



CURRENT ZONING CLASSIFICATION:
Residential Old Historic (R-OH)

MINIMUM LOT SIZE: 5000 S.F.
MINIMUM FRONTAGE: 50 FT.
FRONT YARD SETBACK: none
REAR/SIDE SETBACK: 5 FT.
GROUND COVER % : 50%

55.4.4-101
N/F
EIGHT ANGOLA STREET
NOMINEE TRUST
DEED BK. 634, PG. 198
PLAN FILE 53-0
LOT 1
#8 ANGOLA STREET

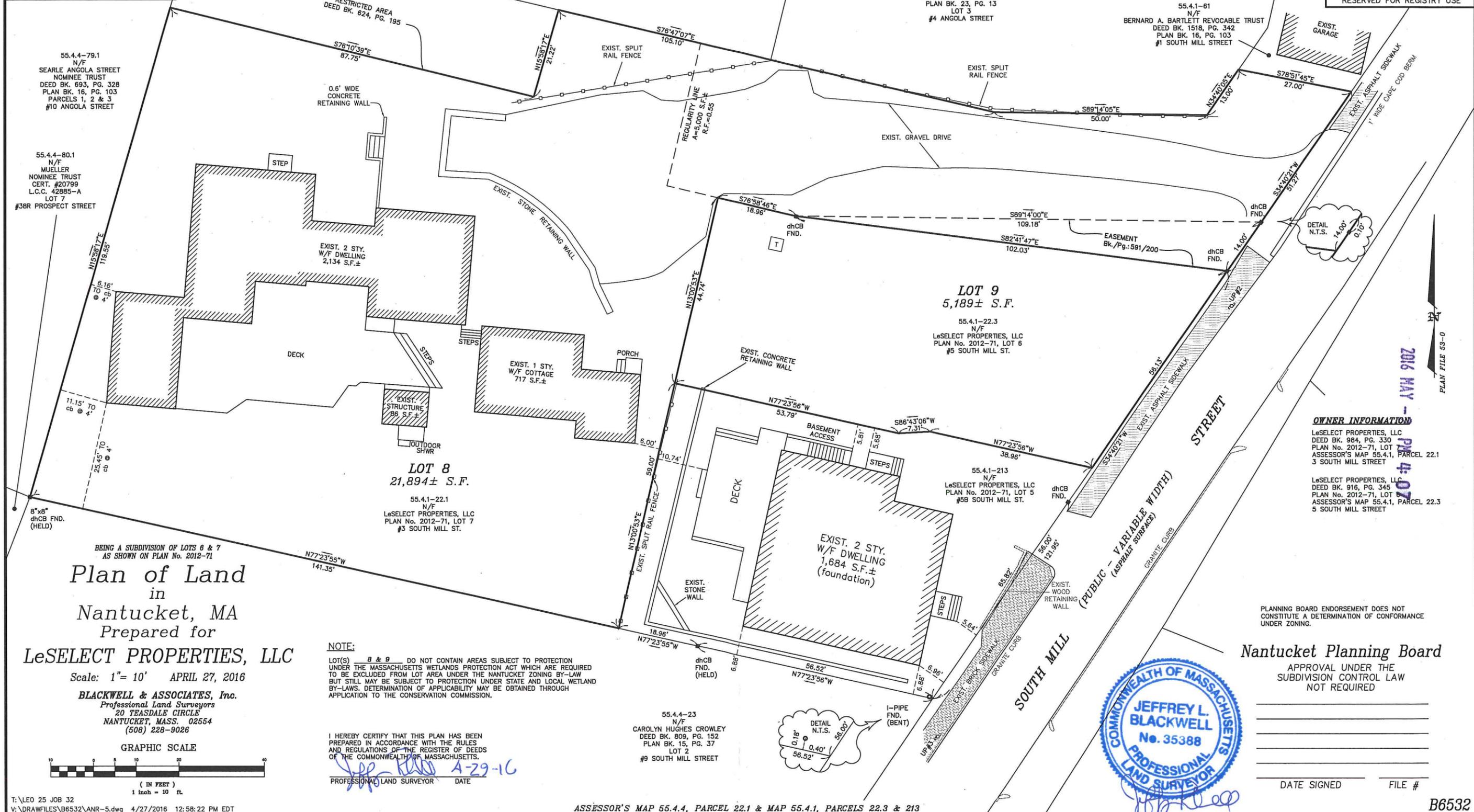
55.4.4-22
N/F
THE WB ANGOLA REALTY TRUST
DEED BK. 1350, PG. 01
PLAN BK. 23, PG. 13
LOT 2
#6 ANGOLA STREET

55.4.1-22.2
N/F
MICHAEL REITERMANN
DENICE KRONAU
DEED BK. 1494 PG. 179
PLAN BK. 23, PG. 13
LOT 3
#4 ANGOLA STREET

- LEGEND**
- dhCB ■ DENOTES CONCRETE BOUND WITH DRILLHOLE FOUND
 - I-PIPE ○ DENOTES IRON PIPE FOUND
 - ⊗ DENOTES EXIST. CATCH BASIN
 - ⊕ DENOTES EXIST. DRAIN MANHOLE
 - ⊙ DENOTES EXIST. UTILITY POLE
 - ⊠ DENOTES EXIST. TRANSFORMER

NANTUCKET REGISTRY OF DEEDS

Date: _____
Time: _____
Plan No.: _____
Attest: _____ Register
SHEET 1 OF 1
RESERVED FOR REGISTRY USE



55.4.4-79.1
N/F
SEARLE ANGOLA STREET
NOMINEE TRUST
DEED BK. 693, PG. 328
PLAN BK. 16, PG. 103
PARCELS 1, 2 & 3
#10 ANGOLA STREET

55.4.4-80.1
N/F
MUELLER
NOMINEE TRUST
CERT. #20799
L.C.C. 42885-A
LOT 7
#38R PROSPECT STREET

0.6' WIDE
CONCRETE
RETAINING WALL

EXIST. 2 STY.
W/F DWELLING
2,134 S.F.±

EXIST. 1 STY.
W/F COTTAGE
717 S.F.±

LOT 8
21,894± S.F.

55.4.1-22.1
N/F
LeSELECT PROPERTIES, LLC
PLAN No. 2012-71, LOT 7
#3 SOUTH MILL ST.

LOT 9
5,189± S.F.

55.4.1-22.3
N/F
LeSELECT PROPERTIES, LLC
PLAN No. 2012-71, LOT 6
#5 SOUTH MILL ST.

EXIST. 2 STY.
W/F DWELLING
1,684 S.F.±
(foundation)

55.4.1-213
N/F
LeSELECT PROPERTIES, LLC
PLAN No. 2012-71, LOT 5
#5B SOUTH MILL ST.

OWNER INFORMATION

LeSELECT PROPERTIES, LLC
DEED BK. 984, PG. 330
PLAN No. 2012-71, LOT
ASSESSOR'S MAP 55.4.1, PARCEL 22.1
3 SOUTH MILL STREET

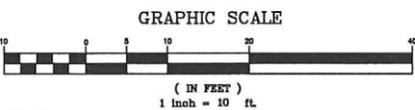
LeSELECT PROPERTIES, LLC
DEED BK. 916, PG. 345
PLAN No. 2012-71, LOT
ASSESSOR'S MAP 55.4.1, PARCEL 22.3
5 SOUTH MILL STREET

BEING A SUBDIVISION OF LOTS 6 & 7
AS SHOWN ON PLAN No. 2012-71

Plan of Land
in
Nantucket, MA
Prepared for
LeSELECT PROPERTIES, LLC

Scale: 1" = 10' APRIL 27, 2016

BLACKWELL & ASSOCIATES, Inc.
Professional Land Surveyors
20 TEASDALE CIRCLE
NANTUCKET, MASS. 02554
(508) 228-9026



NOTE:

LOT(S) 8 & 9 DO NOT CONTAIN AREAS SUBJECT TO PROTECTION UNDER THE MASSACHUSETTS WETLANDS PROTECTION ACT WHICH ARE REQUIRED TO BE EXCLUDED FROM LOT AREA UNDER THE NANTUCKET ZONING BY-LAW BUT STILL MAY BE SUBJECT TO PROTECTION UNDER STATE AND LOCAL WETLAND BY-LAWS. DETERMINATION OF APPLICABILITY MAY BE OBTAINED THROUGH APPLICATION TO THE CONSERVATION COMMISSION.

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

Jeffrey L. Blackwell
PROFESSIONAL LAND SURVEYOR DATE: 4-29-16

55.4.4-23
N/F
CAROLYN HUGHES CROWLEY
DEED BK. 809, PG. 152
PLAN BK. 15, PG. 37
LOT 2
#9 SOUTH MILL STREET



PLANNING BOARD ENDORSEMENT DOES NOT CONSTITUTE A DETERMINATION OF CONFORMANCE UNDER ZONING.

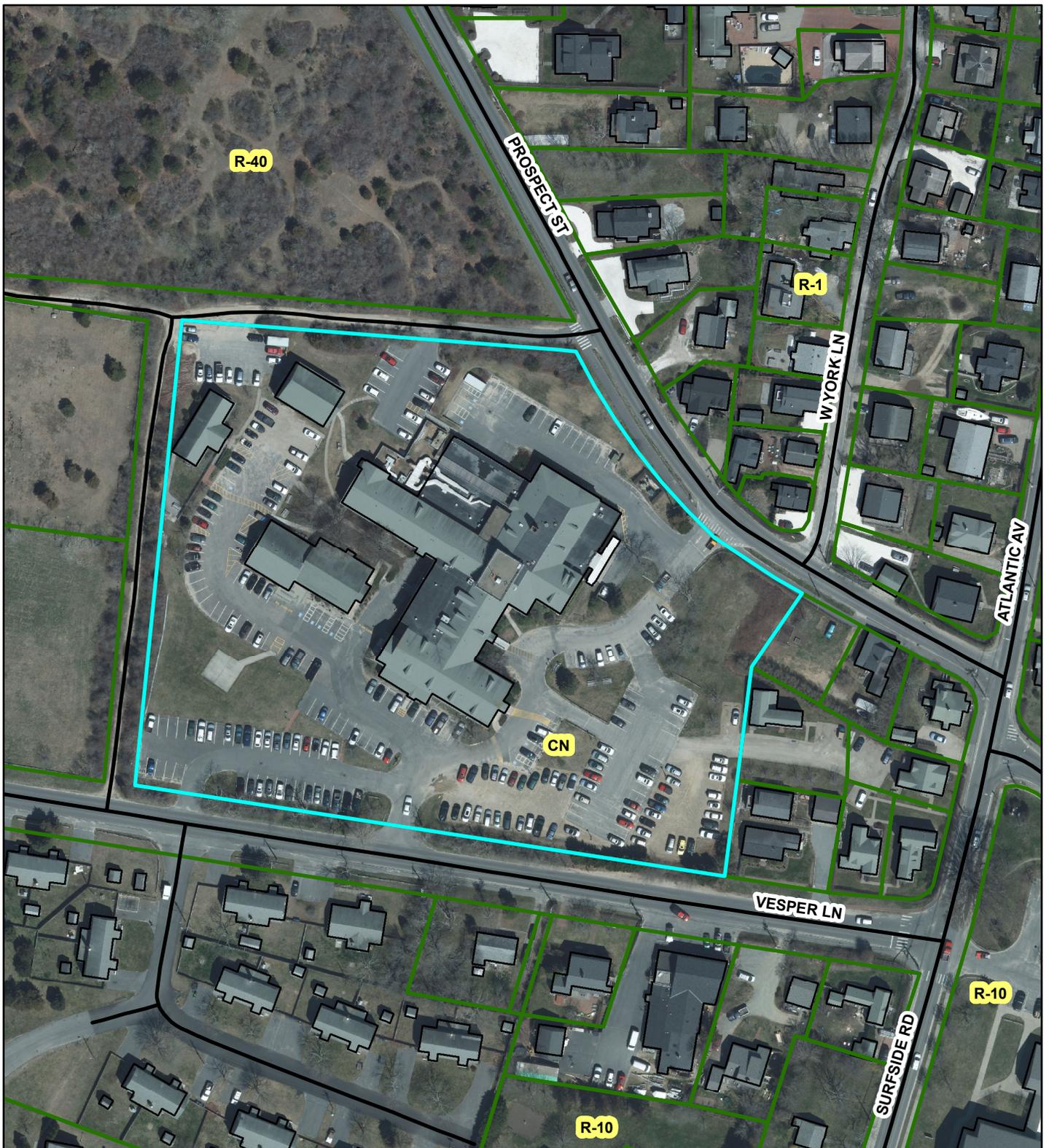
Nantucket Planning Board

APPROVAL UNDER THE
SUBDIVISION CONTROL LAW
NOT REQUIRED

DATE SIGNED _____ FILE # _____



#7963 Nantucket Cottage Hospital
57 Prospect Street
Map 55 Parcel 3



April 13, 2016

VIA HAND DELIVERY

Nantucket Planning Board
2 Fairgrounds Road
Nantucket, MA 02554

Attn: Andrew V. Vorce, Director of Planning
Leslie Woodson Snell, AICP, LEED AP, Deputy Director of Planning

Re: Nantucket Cottage Hospital (the "Hospital") – Approval Not Required Plan

Dear Mr. Vorce and Ms. Snell:

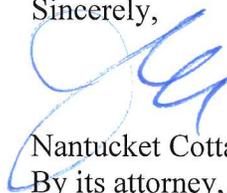
As you know, at its Town Meeting on April 6, 2015 the Town of Nantucket (the "Town") voted to authorize the Board of Selectmen to take the Unnamed Way between the Southern sideline of an Unnamed Way and the Northern Sideline of Vesper Lane (the "Western Way") and the Unnamed Way Between the Eastern Sideline of N. Mill Street and the Western Sideline of Prospect Street (the "Northern Way" together with the Western Way, collectively, the "Ways"), as shown on Exhibit A, attached hereto.

We understand that pursuant to the authorization by Town Meeting, the Nantucket Planning Board (the "Planning Board") intends to adopt a taking order regarding the Ways, which will be executed by the Board of Selectmen. We further understand that promptly after the taking of the Ways is completed, the Town will convey such Ways to the Hospital.

For your use in connection with the above described process, enclosed as Exhibit A is an Approval Not Required plan for the disposition of the Ways.

Please contact me with any questions concerning the above or if the Planning Board would like additional information. We look forward to working with the Planning Board.

Sincerely,



Nantucket Cottage Hospital
By its attorney,
John E. Twohig



Nantucket Planning Board

Form A

Application for Endorsement of a Plan Believed Not to Require Approval (ANR)

Date: April 29, 2016

*Name of Owner(s)/Applicant(s): Nantucket Cottage Hospital, Inc.

*Owner's/Applicant's address: 16 Broad Street State: MA Zip Code: 02554

*(include all names and addresses of the principals of the owner entity such as principal officer of corporation, trustees of the trust and partners of the partnership)

Location of Property (Street or Area): 57 South Prospect Street

Name of Registered Land Surveyor: Blackwell & Associates, Inc.

Surveyor's address: 20 Teasdale Circle, Nantucket, MA 02554

The owner's title to the land derived under deed from date and recorded in Nantucket Registry of Deed, Books Pages or Land Court Certificate of Title # registered in Nantucket Document Number , and shown on Assessor's Maps # 55 Parcels 3.

To the Planning Board of the Town of Nantucket:

The undersigned wishes to record the accompanying plan and requests a determination and endorsement by said Board that approval by it under the Subdivision Control Law is not required. The undersigned believes that such approval is not required for the following reasons: (check all that apply)

- The accompanying plan is not a subdivision because it does not show a division of land (perimeter plan).
- The division of the tract of land shown on the accompanying plan is not a subdivision because every lot on the plan has frontage of at least such distance as is presently required by the *Nantucket Zoning By-Law* under Section 5 which requires feet for erection of a building on such lot; and every lot shown on the plan has such frontage on:
 - A. a public way or a way which the City or Town Clerk certifies is maintained and used as a Public way, namely ; OR
 - B. a way shown on a plan theretofore approved and endorsed in accordance with the Subdivision Control Law, namely on (date) and Subject to the following conditions ; OR
 - C. a way in existence on (date); the date when the Subdivision Control Law became effective in the Town of Nantucket, having in the opinion of the Planning Board, sufficient width, suitable grades, and adequate construction to provide for the need to vehicular traffic in relation to the proposed use of the land abutting thereon or served thereby, and for the installation of municipal services to serve such land and the buildings erected or to be erected thereon, namely .

- The division of the tract of land shown on the accompanying plan is not a subdivision because it shows a proposed conveyance or other instrument, namely _____, which adds to, takes away from or changes the size and shape of lots in such a manner so that no lot affected is left without frontage as required by the *Nantucket Zoning By-Law* under Section 5, which requires _____ feet.
- The division of the tract of land shown on the accompanying plan is not a subdivision because two or more buildings, specifically _____ buildings were standing on the land prior to 1955, the date when the Subdivision Control Law went into effect in the Town of Nantucket, and one of such building remains standing on each of the lots; said buildings as shown and located on the accompanying plan. Evidence of the existence of such buildings prior to the effective date of the Subdivision Control Law is submitted as follows: _____

- Other reasons or comments: (see M.G.L., Chapter 41, Section 81-L)

Taking Disposition

I hereby certify that the applicant(s) listed above have been authorized by me to file a plan with the Planning Board of Nantucket on property that I own.

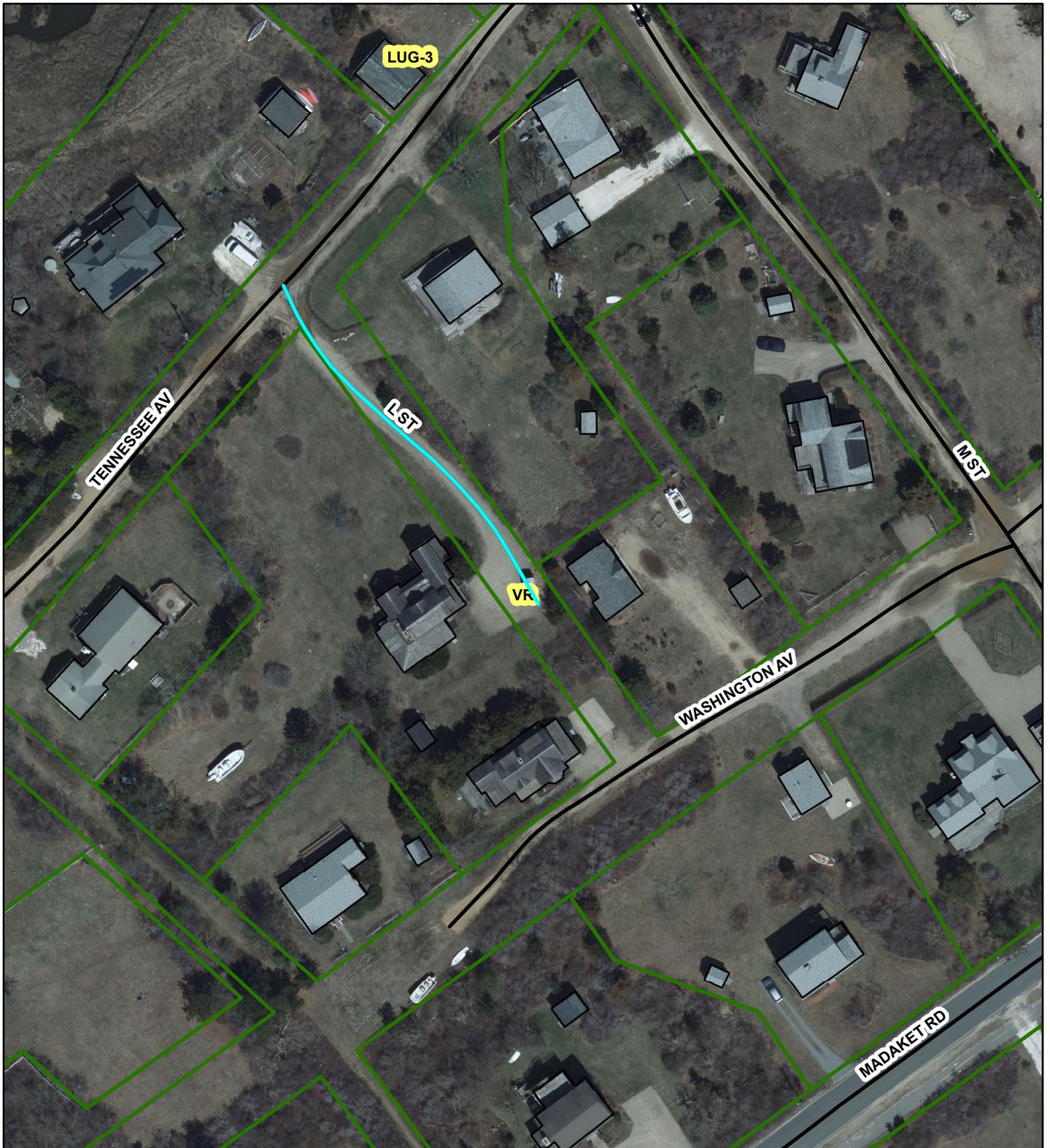
Owner's Signature

Planning Board File #7963 _____

Endorsement Date: _____



#7964 ANR
Town of Nantucket
"L" Street
Map 59.4





Nantucket Planning Board

Form A

Application for Endorsement of a Plan Believed Not to Require Approval (ANR)

Date: April 29, 2016

*Name of Owner(s)/Applicant(s): Town of Nantucket

*Owner's/Applicant's address: 16 Broad Street State: MA Zip Code: 02554

*(include all names and addresses of the principals of the owner entity such as principal officer of corporation, trustees of the trust and partners of the partnership)

Location of Property (Street or Area): "L" Street (Lots A-C)

Name of Registered Land Surveyor: Bracken Engineering, Inc.

Surveyor's address: 19 Old South Road, Nantucket, MA 02554

The owner's title to the land derived under deed from ___ date ___ and recorded in Nantucket Registry of Deed, Books ___ Pages ___ or Land Court Certificate of Title # ___ registered in Nantucket Document Number ___, and shown on Assessor's Maps # 59.4 Parcels ___.

To the Planning Board of the Town of Nantucket:

The undersigned wishes to record the accompanying plan and requests a determination and endorsement by said Board that approval by it under the Subdivision Control Law is not required. The undersigned believes that such approval is not required for the following reasons: (check all that apply)

- The accompanying plan is not a subdivision because it does not show a division of land (perimeter plan).
- The division of the tract of land shown on the accompanying plan is not a subdivision because every lot on the plan has frontage of at least such distance as is presently required by the *Nantucket Zoning By-Law* under Section 5 which requires _____ feet for erection of a building on such lot; and every lot shown on the plan has such frontage on:
 - A. a public way or a way which the City or Town Clerk certifies is maintained and used as a Public way, namely _____; **OR**
 - B. a way shown on a plan theretofore approved and endorsed in accordance with the Subdivision Control Law, namely _____ on _____ (date) and Subject to the following conditions _____; **OR**
 - C. a way in existence on _____ (date); the date when the Subdivision Control Law became effective in the Town of Nantucket, having in the opinion of the Planning Board, sufficient width, suitable grades, and adequate construction to provide for the need to vehicular traffic in relation to the proposed use of the land abutting thereon or served thereby, and for the installation of municipal services to serve such land and the buildings erected or to be erected thereon, namely _____.

- The division of the tract of land shown on the accompanying plan is not a subdivision because it shows a proposed conveyance or other instrument, namely _____, which adds to, takes away from or changes the size and shape of lots in such a manner so that no lot affected is left without frontage as required by the *Nantucket Zoning By-Law* under Section 5, which requires _____ feet.

- The division of the tract of land shown on the accompanying plan is not a subdivision because two or more buildings, specifically _____ buildings were standing on the land prior to 1955, the date when the Subdivision Control Law went into effect in the Town of Nantucket, and one of such building remains standing on each of the lots; said buildings as shown and located on the accompanying plan. Evidence of the existence of such buildings prior to the effective date of the Subdivision Control Law is submitted as follows: _____

- Other reasons or comments: (see M.G.L., Chapter 41, Section 81-L)

I hereby certify that the applicant(s) listed above have been authorized by me to file a plan with the Planning Board of Nantucket on property that I own.

Owner's Signature

Planning Board File #7964 _____

Endorsement Date: _____

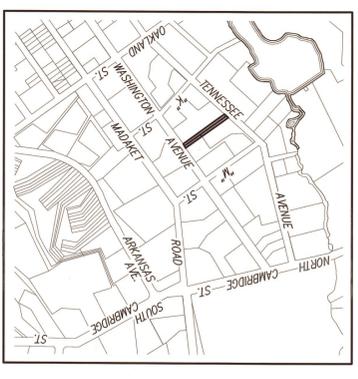
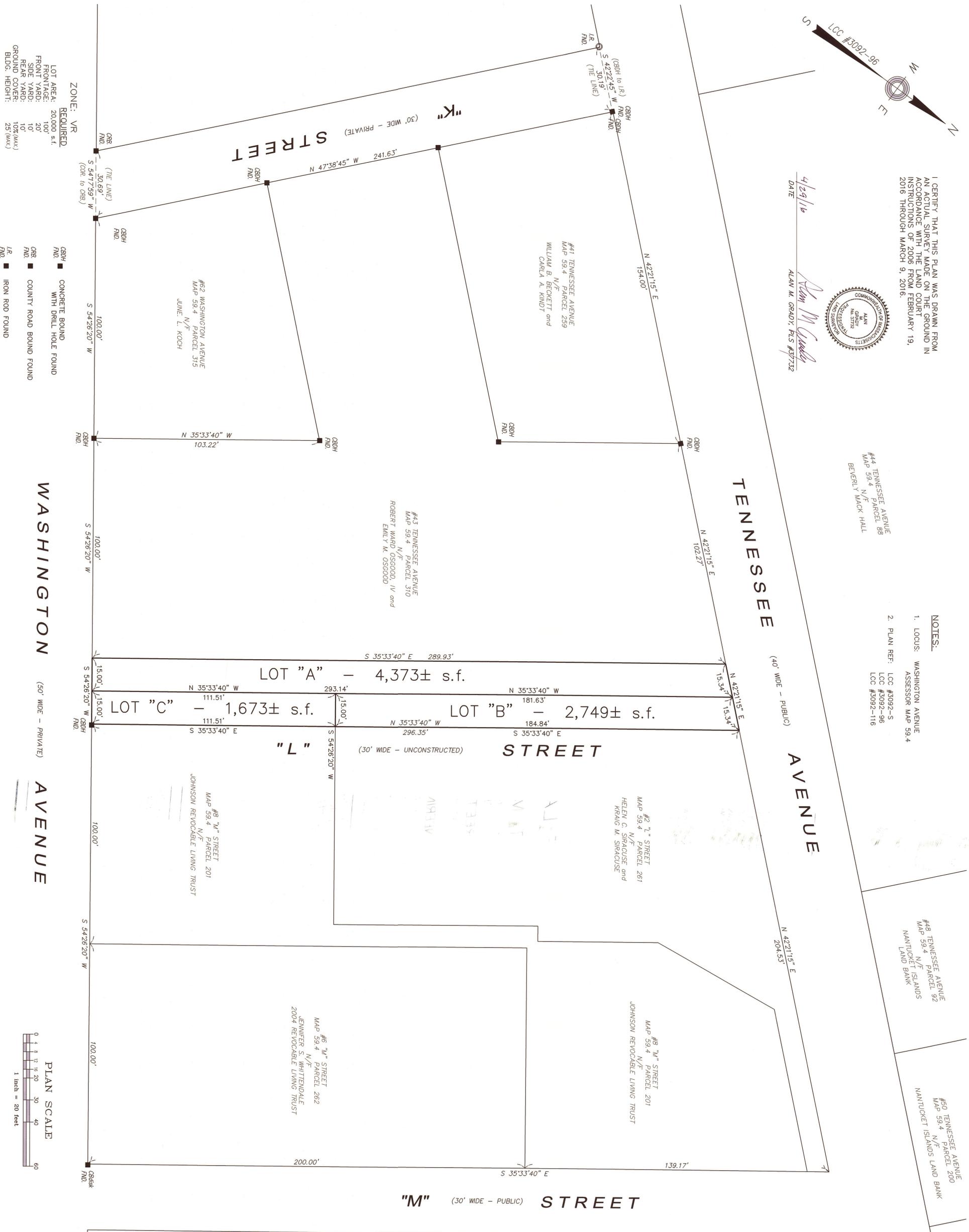
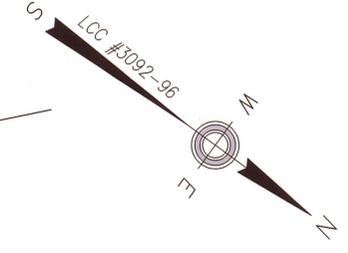
I CERTIFY THAT THIS PLAN WAS DRAWN FROM AN ACTUAL SURVEY MADE ON THE GROUND IN ACCORDANCE WITH THE LAND COURT INSTRUCTIONS OF 2006 FROM FEBRUARY 19, 2016 THROUGH MARCH 9, 2016.



DATE: 4/29/16
 ALAN M. GRADY, PLS #37732

#44 TENNESSEE AVENUE
 MAP 59.4 N/F
 BEVERLY MACK HALL

- NOTES:
- LOCUS: WASHINGTON AVENUE ASSESSOR MAP 59.4
 - PLAN REF: LCC #3092-S
 LCC #3092-96
 LCC #3092-116



THE PLANNING BOARD DETERMINES THAT:

- LOTS "A", "B", "C" CONTAIN AREAS SUBJECT TO PROTECTION UNDER THE MASSACHUSETTS WETLANDS PROTECTION ACT WHICH ARE REQUIRED TO BE EXCLUDED FROM LOT AREA UNDER THE NANTUCKET ZONING BYLAW, BUT STILL MAY BE SUBJECT TO PROTECTION UNDER STATE AND LOCAL WETLAND BYLAWS. DETERMINATION OF APPLICABILITY MAY BE OBTAINED THROUGH APPLICATION TO THE CONSERVATION COMMISSION.
- LOTS "A", "B", "C" CONTAIN INADEQUATE LOT AREAS, AS DEFINED IN THE NANTUCKET ZONING BYLAW, TO OBTAIN MINIMUM REQUIREMENTS APPLICABLE UNDER SUCH BYLAW.

#51 TENNESSEE AVENUE
 MAP 59.4 PARCEL 202
 N/F
 JENNISON FAMILY REALTY TRUST

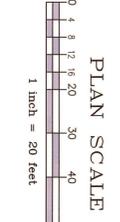
PLAN OF LAND
 IN
NANTUCKET, MASS.
 BEING A SUBDIVISION
 OF UNCONSTRUCTED
"L" STREET
 SHOWN ON LCC #3092-S
 PREPARED BY
BRACKEN ENGINEERING, INC.
 19 OLD SOUTH ROAD
 NANTUCKET, MA 02554
 tel: (508) 325-0044
 fax: (508) 833-2282
 SCALE: AS SHOWN APRIL 29, 2016

APPROVAL BY THE
 NANTUCKET PLANNING BOARD
 NOT REQUIRED

FILE NUMBER: _____
 DATE APPROVED: _____

TOWN OF NANTUCKET
 BOARD OF SELECTMEN

DATE APPROVED: _____



LOT AREA: 20,000 s.f.
 FRONT YARD: 100'
 SIDE YARD: 20'
 REAR YARD: 10'
 GROUND COVER: 10% (MAX)
 BLDG. HEIGHT: 25 (MAX)

REQUIRED
 ZONE: VR

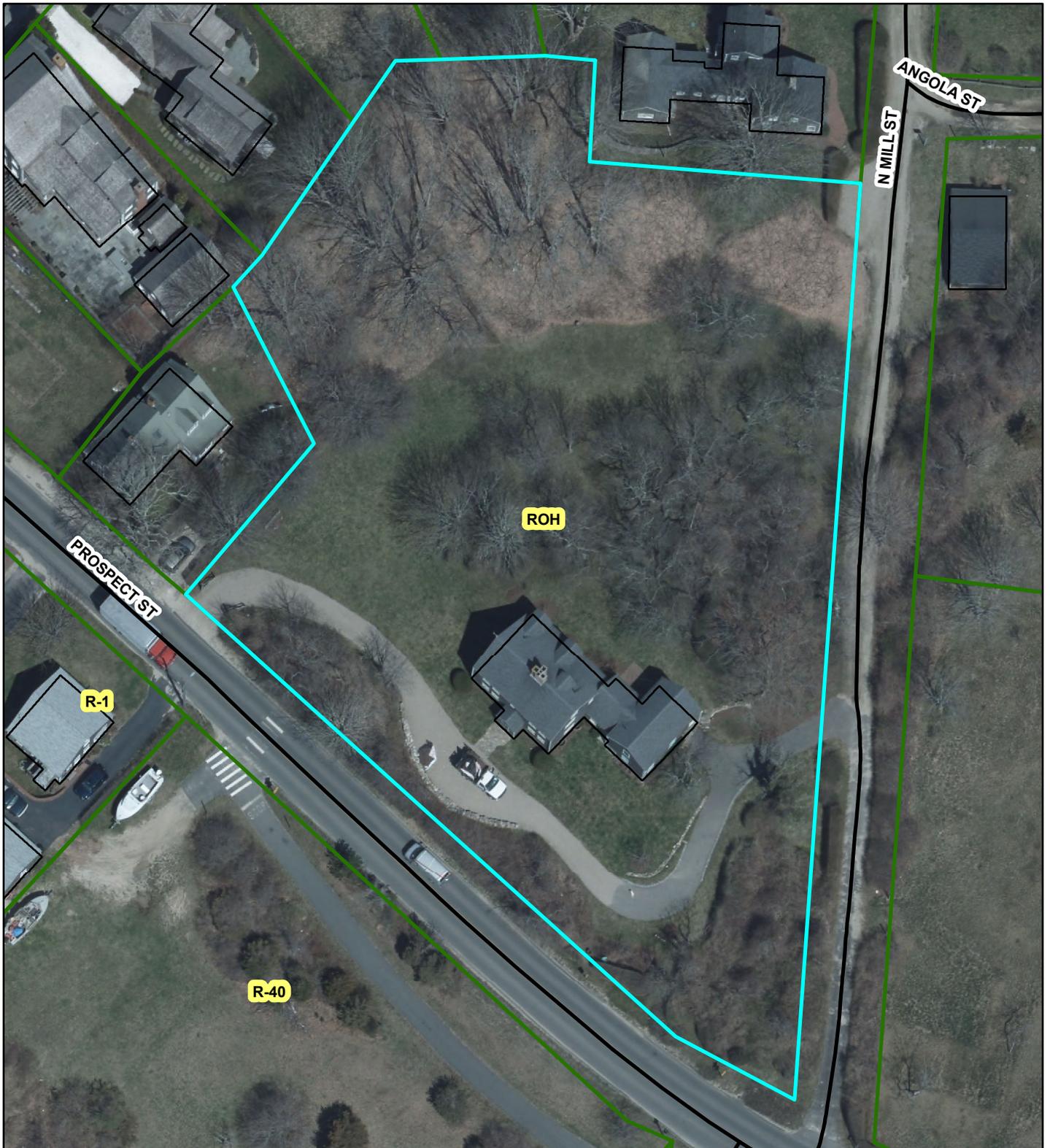
CONCRETE BOUND WITH DRILL HOLE FOUND
 COUNTY ROAD BOUND FOUND
 IRON ROD FOUND

WASHINGTON AVENUE (50' WIDE - PRIVATE)

AVENUE



#7965 ANR
Graham Kilvert - Mueller Nominee Trust
34 Prospect Street
Map 55.4.4 Parcel 77





MAY 2 2016 AM 11:59

Town Clerk
Town & County Building
16 Broad St
Nantucket, MA 02554

Nantucket Planning Board

CMR# 22588

Form A Application for Endorsement of a Plan Believed Not to Require Approval (ANR)

Date: APRIL 29, 2016 *Name of Owner(s)/Applicant(s): GRAHAM KILVERT, TRUSTEE
MUELLER NOMINEE TRUST

*Owner's/Applicant's address: 13 ALFRED DROWN RD. BARRINGTON, RI 02806
State: _____ Zip Code: _____

*(include all names and addresses of the principals of the owner entity such as principal officer of corporation, trustees of the trust and partners of the partnership)

Location of Property (Street or Area): 34 PROSPECT ST

Name of Registered Land Surveyor: JEFFREY L. BLACKWELL
Surveyor's address: 20 TEASDALE CIRCLE NANTUCKET, MA 02554

The owner's title to the land derived under deed from CARL M. MUELLER, date JULY 17, 2003
And recorded in Nantucket Registry of Deed, Book _____ Page _____ or Land Court Certificate of

Title # 20799, registered in Nantucket District Book _____, Page _____ and shown on
Assessor's Map# 55.4.4, Parcel # 77

To the Planning Board of the Town of Nantucket:

The undersigned wishes to record the accompanying plan and requests a determination and endorsement by said Board that approval by it under the Subdivision Control Law is not required. The undersigned believes that such approval is not required for the following reasons: (check all that apply)

- The accompanying plan is not a subdivision because it does not show a division of land (perimeter plan).
- The division of the tract of land shown on the accompanying plan is not a subdivision because every lot on the plan has frontage of at least such distance as is presently required by the *Nantucket Zoning By-Law* under Section 5 which requires _____ feet for erection of a building on such lot; and every lot shown on the plan has such frontage on:

A. a public way or a way which the City or Town Clerk certifies is maintained and used as a Public way, namely _____; OR

B. a way shown on a plan theretofore approved and endorsed in accordance with the Subdivision Control Law, namely _____ on _____ (date) and Subject to the following conditions _____; OR

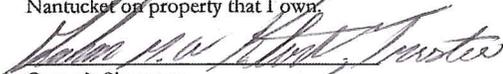
C. a way in existence on 1955 (date); the date when the Subdivision Control Law became effective in the Town of Nantucket, having in the opinion of the Planning Board, sufficient

2016 MAY -2 PM 4: 03

relation to the proposed use of the land abutting thereon or served thereby, and for the installation of municipal services to serve such land and the buildings erected or to be erected thereon, namely

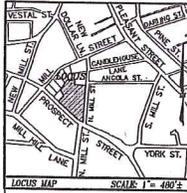
- The division of the tract of land shown on the accompanying plan is not a subdivision because it shows a proposed conveyance or other instrument, namely conveyance, which adds to, takes away from or changes the size and shape of lots in such a manner so that no lot affected is left without frontage as required by the *Nantucket Zoning By-Law* under Section 5, which requires 50 feet.
- The division of the tract of land shown on the accompanying plan is not a subdivision because two or more buildings, specifically _____ buildings were standing on the land prior to 1955, the date when the Subdivision Control Law went into effect in the Town of Nantucket, and one of such building remains standing on each of the lots; said buildings as shown and located on the accompanying plan. Evidence of the existence of such buildings prior to the effective date of the Subdivision Control Law is submitted as follows: _____
- Other reasons or comments: (see M.G.L., Chapter 41, Section 81-L)

I hereby certify that the applicant(s) listed above have been authorized by me to file a plan with the Planning Board of Nantucket on property that I own.


Owner's Signature

Planning Board File # 7965

Endorsement Date: _____



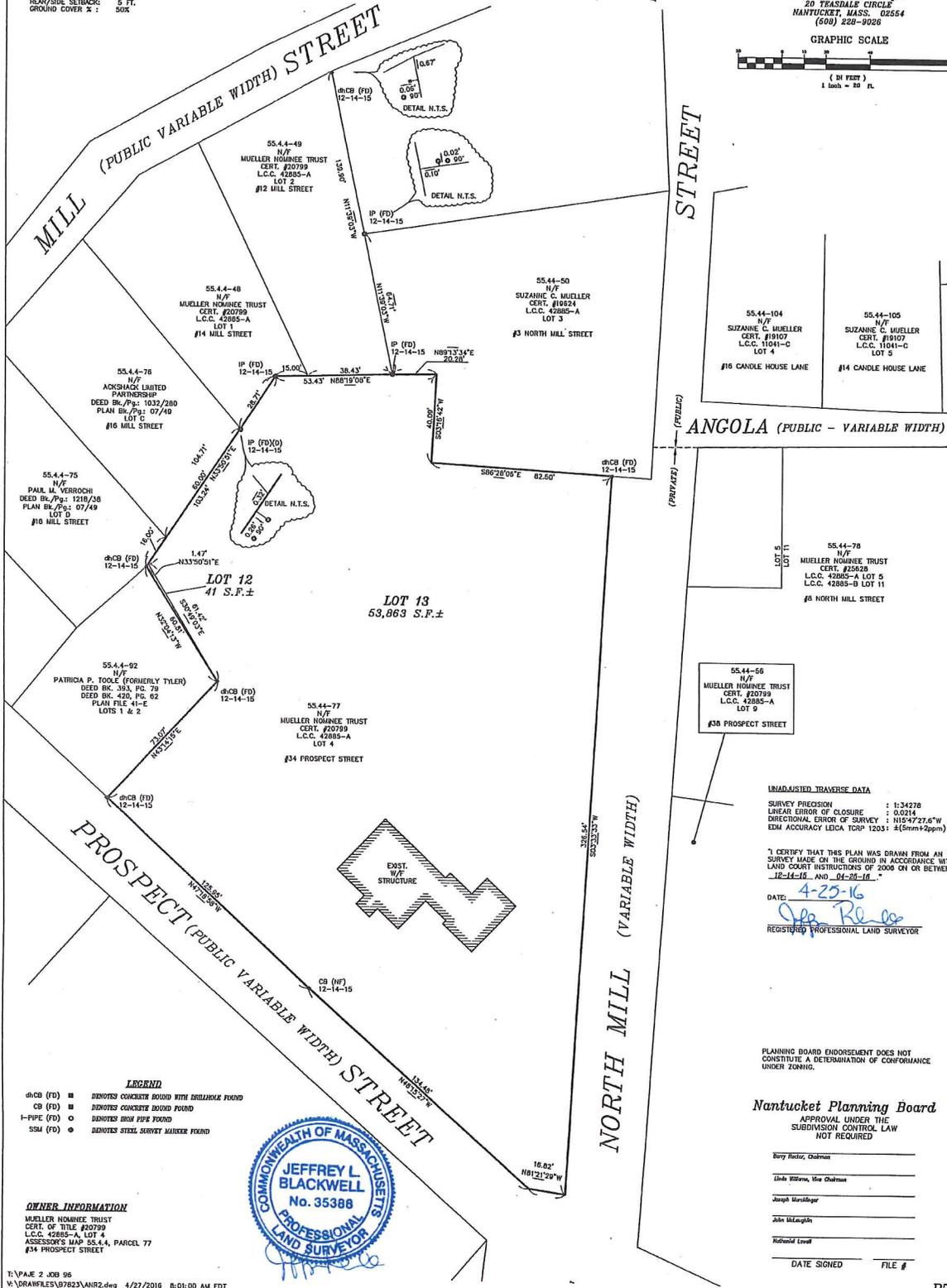
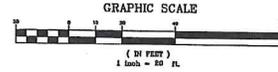
NOTE:
PARCEL 12 IS CONSIDERED UNBUILDABLE DUE TO INSUFFICIENT LOT AREA AND FRONTAGE. SAID PARCEL IS TO BE CONVEYED TO AND COINTEGRATED WITH LAND OF ASSESSOR'S MAP 55.4.4, PARCEL 92.

NOTE:
PARCEL(S) 12 & 13 DO NOT CONTAIN AREAS SUBJECT TO PROTECTION UNDER THE MASSACHUSETTS WETLANDS PROTECTION ACT WHICH ARE REQUIRED TO BE EXCLUDED FROM LOT AREA UNDER THE NANTUCKET ZONING BY-LAW BUT STILL MAY BE SUBJECT TO PROTECTION UNDER STATE AND LOCAL WETLAND BY-LAWS. DETERMINATION OF APPLICABILITY MAY BE OBTAINED THROUGH APPLICATION TO THE CONSERVATION COMMISSION.

CURRENT ZONING CLASSIFICATION:
Residential Old Historic (R-OH)
MINIMUM LOT SIZE: 5000 S.F.
MINIMUM FRONTAGE: 50 FT.
FRONT YARD SETBACK: none
REAR/SIDE SETBACK: 5 FT.
GROUND COVER %: 50%

BEING A SUBDIVISION OF LOT 4
SHOWN ON LAND COURT PLAN 42885-A
Plan of Land
in
Nantucket, MA
Prepared for
MUELLER NOMINEE TRUST
Scale: 1"= 20' FEBRUARY 18, 2016

BLACKWELL & ASSOCIATES, Inc.
Professional Land Surveyors
20 FRASER CIRCLE
NANTUCKET, MASS. 02554
(508) 228-9028





#7966 ANR
Christopher Gallant & Annette Tremblay
15A Gray Avenue
Map 67 Parcel 683





P.O. Box 3627, Nantucket, Massachusetts 02584-3627
Tel. (508) 228-0240 Fax (508) 228-9856
www.nantucketsurveyors.com
nslcinfo@nantucketsurveyors.com

COPY

May 2, 2016

Nantucket Planning Board
2 Fairgrounds Road
Nantucket, MA 02554

Attn: Leslie Woodson Snell, AICP, LEED AP

Re: Approval Not Required (Form A Application)
Applicant: Christopher Gallant & Annette Tremblay
#15A Gray Avenue
Map: 67 Parcel: 683

Dear Leslie:

On behalf of the applicant, Nantucket Surveyors, LLC as an agent for the applicant, respectfully requests to be on the agenda for the referenced application at the next regularly scheduled Planning Board meeting. Said application is included with this cover letter. Please contact our office with any questions.

Sincerely,
Nantucket Surveyors LLC

A handwritten signature in blue ink, appearing to read 'Paul J. Santos', is written over the typed name.

Paul J. Santos, PLS
Agent for the Applicant

CC: Steven L. Cohen, Esq.

Office located at 5 Windy Way • Nantucket, MA 02554



P.O. Box 3627, Nantucket, Massachusetts 02584-3627
Tel. (508) 228-0240 Fax (508) 228-9856
www.nantucketsurveyors.com
nslinfo@nantucketsurveyors.com

May 2, 2016

Town Clerk, Town of Nantucket
Town and County Building
16 Broad Street, 1st Floor
Nantucket, MA 02554

Re: **NOTICE OF "FORM A" SUBMISSION**
#15A Gray Avenue
PROJECT # NS9385

To the Nantucket Town Clerk:

Pursuant to Massachusetts General Laws, Chapter 41, Section 81P and Section 2.03 of the Nantucket Planning Board Rules and Regulation Governing the Subdivision of Land, on behalf of the applicant, we hereby submit the above referenced Form A Plan entitled "Plan of Land in Nantucket, Massachusetts" for the endorsement at the next regularly scheduled meeting of the planning board. The owner's name of the locus property is: Christopher Gallant & Annette Tremblay

A copy of this notification is being forwarded to the planning board.

Very Truly Yours,
Nantucket Surveyors LLC

A handwritten signature in blue ink, appearing to read 'Paul J. Santos', is written over the printed name.

Paul J. Santos, PLS
Executive Vice President, Associate

CC: Steven L. Cohen, Esq.

Office located at 5 Windy Way • Nantucket, MA 02554



Nantucket Planning Board

Form A
Application for Endorsement of a Plan Believed Not to Require Approval
(ANR)

Date: May 2, 2016 *Name of Owner(s)/Applicant(s): Christopher Gallant & Annette Tremblay

*Owner's/Applicant's address: P.O. Box 3169 Nantucket
State: MA Zip Code: 02584

*(include all names and addresses of the principals of the owner entity such as principal officer of corporation, trustees of the trust and partners of the partnership)

Location of Property (Street or Area): 15A Gray Avenue

Name of Registered Land Surveyor: Paul J. Santos, PLS, Nantucket Surveyors, LLC
Surveyor's address: 5 Windy Way, P.O. Box 3627, Nantucket, MA 02584

The owner's title to the land derived under deed from Nantucket Community Service, Inc., date 8/31/06
And recorded in Nantucket Registry of Deed, Book _____ Page _____ or Land Court Certificate of
Title # 22359, registered in Nantucket District Book _____, Page _____ and shown on
Assessor's Map# 67, Parcel # 683.

To the Planning Board of the Town of Nantucket:

The undersigned wishes to record the accompanying plan and requests a determination and endorsement by said Board that approval by it under the Subdivision Control Law is not required. The undersigned believes that such approval is not required for the following reasons: (check all that apply)

- The accompanying plan is not a subdivision because it does not show a division of land (perimeter plan).
- The division of the tract of land shown on the accompanying plan is not a subdivision because every lot on the plan has frontage of at least such distance as is presently required by the *Nantucket Zoning By-Law* under Section 5 which requires _____ feet for erection of a building on such lot; and every lot shown on the plan has such frontage on:

A. a public way or a way which the City or Town Clerk certifies is maintained and used as a Public way, namely _____; **OR**

B. a way shown on a plan theretofore approved and endorsed in accordance with the Subdivision Control Law, namely _____ on _____ (date) and Subject to the following conditions _____; **OR**

C. a way in existence on _____ (date); the date when the Subdivision Control Law became effective in the Town of Nantucket, having in the opinion of the Planning Board, sufficient

width, suitable grades, and adequate construction to provide for the need to vehicular traffic in relation to the proposed use of the land abutting thereon or served thereby, and for the installation of municipal services to serve such land and the buildings erected or to be erected thereon, namely

- The division of the tract of land shown on the accompanying plan is not a subdivision because it shows a proposed conveyance or other instrument, namely _____, which adds to, takes away from or changes the size and shape of lots in such a manner so that no lot affected is left without frontage as required by the *Nantucket Zoning By-Law* under Section 5, which requires _____ feet.
 - The division of the tract of land shown on the accompanying plan is not a subdivision because two or more buildings, specifically _____ buildings were standing on the land prior to 1955, the date when the Subdivision Control Law went into effect in the Town of Nantucket, and one of such building remains standing on each of the lots; said buildings as shown and located on the accompanying plan. Evidence of the existence of such buildings prior to the effective date of the Subdivision Control Law is submitted as follows: _____
-

- Other reasons or comments: (see M.G.L., Chapter 41, Section 81-L)

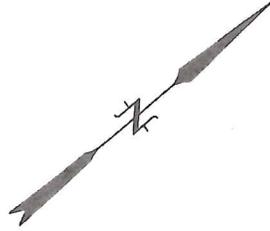
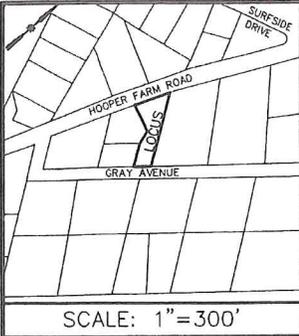
Division pursuant to Chapter 139-8C. Secondary Residential Lots

I hereby certify that the applicant(s) listed above have been authorized by me to file a plan with the Planning Board of Nantucket on property that I own.

Owner's Signature

Planning Board File # 7966

Endorsement Date: _____



SCALE: 1" = 300'

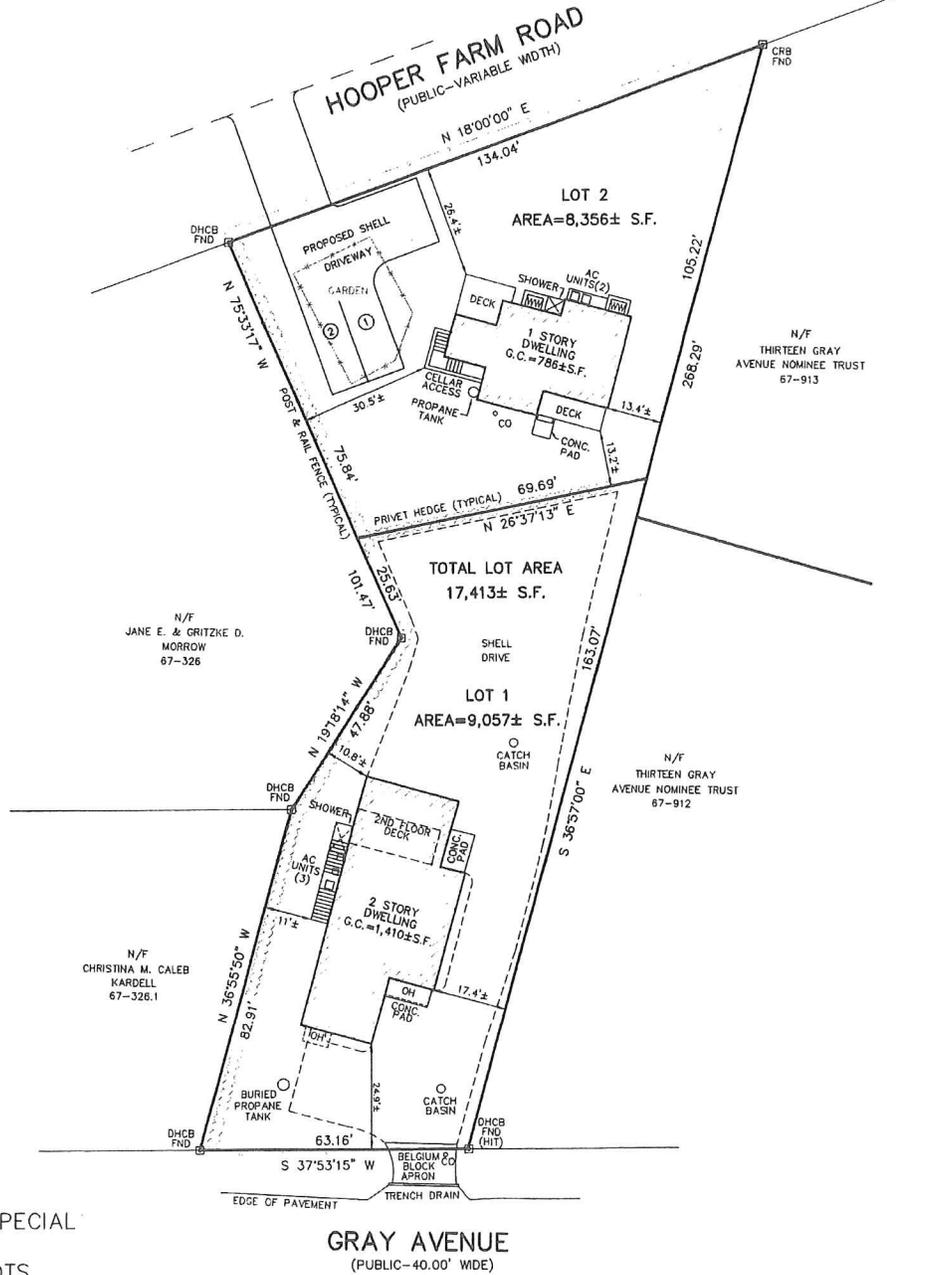
OWNERS REFERENCE:
 CHRISTOPHER GALLANT AND ANNETTE TREMBLAY
 DEED REFERENCE: L.C. CERT. #22359
 PLAN REFERENCE: L.C. PLAN #34507-R
 ASSESSORS REFERENCE: MAP: 67 PARCEL: 683

ZONING CLASSIFICATION
 R-10 (PWR)

MINIMUM LOT SIZE = 10,000 S.F.
 MINIMUM FRONTAGE = 75 FT.
 FRONT YARD SETBACK = 20 FT.
 REAR & SIDE LINE SETBACK = 10 FT.
 ALLOWABLE GROUND COVER RATIO = 25%
 EXISTING GROUND COVER RATIO = 15.6%± (LOT 1)
 EXISTING GROUND COVER RATIO = 9.4%± (LOT 2)

NOTES:

1. TOTAL AREA EQUALS 17,413± S.F.



SITE PLAN TO ACCOMPANY A SPECIAL PERMIT APPLICATION
 SECONDARY RESIDENTIAL LOTS

BEING A SECONDARY LOT PLAN FOR LOT 82 AS SHOWN ON L.C. PLAN #34507-R

#15A GRAY AVENUE
 IN

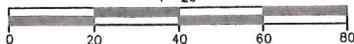
NANTUCKET, MASSACHUSETTS

SCALE: 1" = 20' DATE: 02/08/16

PREPARED FOR: CHRISTOPHER GALLANT

NANTUCKET SURVEYORS, LLC.
 5 WINDY WAY
 NANTUCKET, MA 02554
 (508) 228-0240

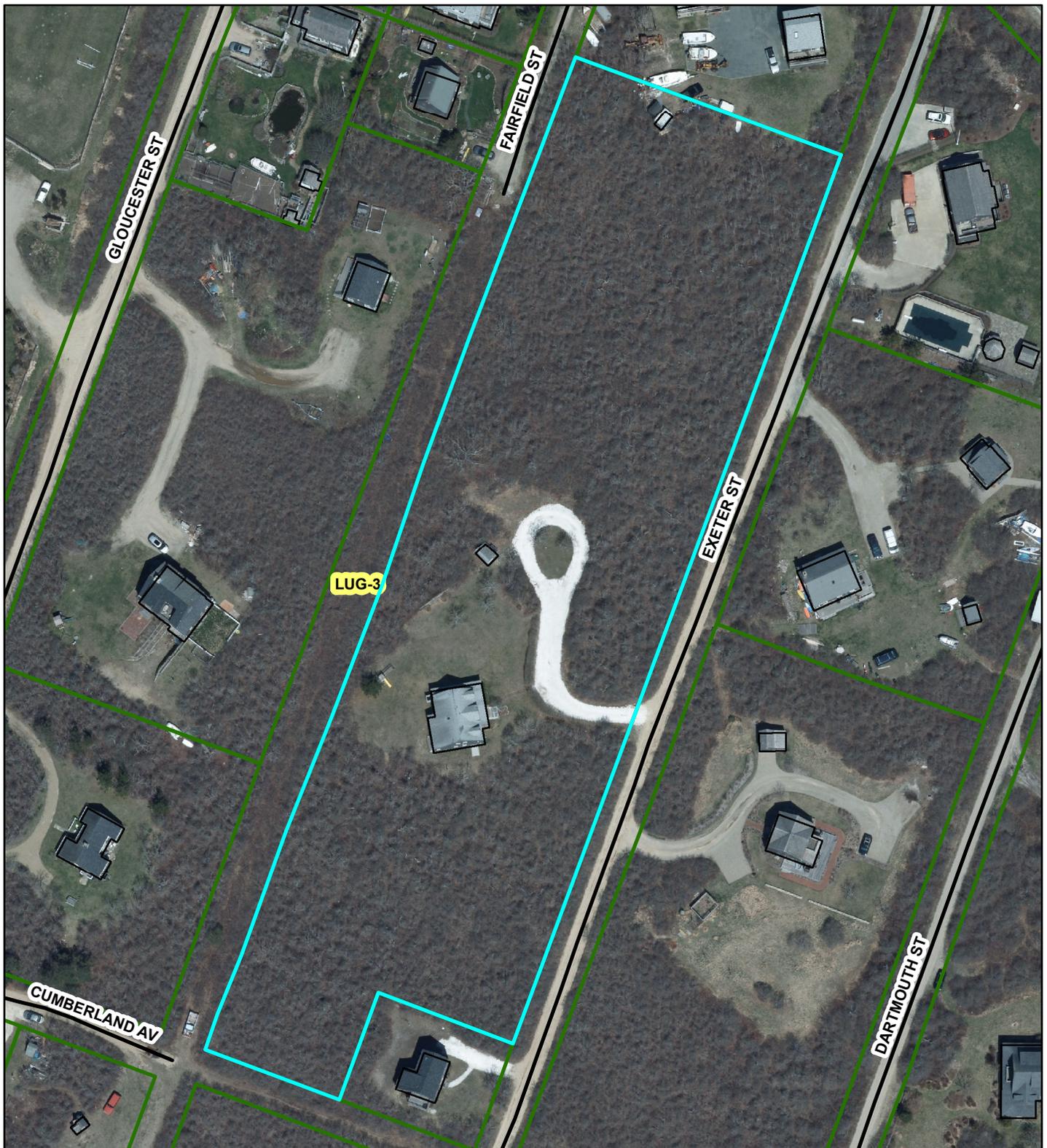
GRAPHIC SCALE
 1" = 20'



N-9385



#7967 ANR
Michael K & Dawn E. Holdgate
15 Exeter Street
Map 76.4.1 Parcel 410





P.O. Box 3627, Nantucket, Massachusetts 02584-3627
Tel. (508) 228-0240 Fax (508) 228-9856
www.nantucketsurveyors.com
nslcinfo@nantucketsurveyors.com

COPY

May 2, 2016

Nantucket Planning Board
2 Fairgrounds Road
Nantucket, MA 02554

Attn: Leslie Woodson Snell, AICP, LEED AP

Re: Approval Not Required (Form A Application)
Applicant: Michael K. & Dawn E. Holdgate
#15 Exeter Street
Map: 76.4.1 Parcel: 410

Dear Leslie:

On behalf of the applicant, Nantucket Surveyors, LLC as an agent for the applicant, respectfully requests to be on the agenda for the referenced application at the next regularly scheduled Planning Board meeting, Said application is included with this cover letter. Please contact our office with any questions.

Sincerely,
Nantucket Surveyors LLC

A handwritten signature in blue ink, appearing to read 'Paul J. Santos', is written over the typed name.

Paul J. Santos, PLS
Agent for the Applicant

CC: Steven L. Cohen, Esq.

Office located at 5 Windy Way • Nantucket, MA 02554



P.O. Box 3627, Nantucket, Massachusetts 02584-3627
Tel. (508) 228-0240 Fax (508) 228-9856
www.nantucketsurveyors.com
nslcinfo@nantucketsurveyors.com

May 2, 2016

Town Clerk, Town of Nantucket
Town and County Building
16 Broad Street, 1st Floor
Nantucket, MA 02554

Re: **NOTICE OF "FORM A" SUBMISSION**
#15 Exeter Street
PROJECT # NS10702

To the Nantucket Town Clerk:

Pursuant to Massachusetts General Laws, Chapter 41, Section 81P and Section 2.03 of the Nantucket Planning Board Rules and Regulation Governing the Subdivision of Land, on behalf of the applicant, we hereby submit the above referenced Form A Plan entitled "Plan of Land in Nantucket, Massachusetts" for the endorsement at the next regularly scheduled meeting of the planning board. The owner's name of the locus property is: Michael K. & Dawn E. Holdgate.

A copy of this notification is being forwarded to the planning board.

Very Truly Yours,
Nantucket Surveyors LLC

A handwritten signature in blue ink, appearing to read 'Paul J. Santos', is written over a faint, larger version of the signature.

Paul J. Santos, PLS
Executive Vice President, Associate

CC: Steven L. Cohen, Esq.

Office located at 5 Windy Way • Nantucket, MA 02554



Nantucket Planning Board

Form A Application for Endorsement of a Plan Believed Not to Require Approval (ANR)

Date: May 2, 2016 *Name of Owner(s)/Applicant(s): Michael K. & Dawn E. Holdgate

*Owner's/Applicant's address: P.O. Box 869, Nantucket
State: MA Zip Code: 02554

*(include all names and addresses of the principals of the owner entity such as principal officer of corporation, trustees of the trust and partners of the partnership)

Location of Property (Street or Area): 15 Exeter Street

Name of Registered Land Surveyor: Paul J. Santos, PLS, Nantucket Surveyors, LLC
Surveyor's address: 5 Windy Way, P.O. Box 3627, Nantucket MA 02584

The owner's title to the land derived under deed from Joan Jones, date 11/30/15
And recorded in Nantucket Registry of Deed, Book _____ Page _____ or Land Court Certificate of
Title # 25887, registered in Nantucket District Book _____, Page _____ and shown on
Assessor's Map # 76.4.1, Parcel # 410.
To the Planning Board of the Town of Nantucket:

The undersigned wishes to record the accompanying plan and requests a determination and endorsement by said Board that approval by it under the Subdivision Control Law is not required. The undersigned believes that such approval is not required for the following reasons: (check all that apply)

- The accompanying plan is not a subdivision because it does not show a division of land (perimeter plan).
- The division of the tract of land shown on the accompanying plan is not a subdivision because every lot on the plan has frontage of at least such distance as is presently required by the *Nantucket Zoning By-Law* under Section 5 which requires _____ feet for erection of a building on such lot; and every lot shown on the plan has such frontage on:

A. a public way or a way which the City or Town Clerk certifies is maintained and used as a Public way, namely _____; **OR**

B. a way shown on a plan theretofore approved and endorsed in accordance with the Subdivision Control Law, namely _____ on _____ (date) and Subject to the following conditions _____; **OR**

C. a way in existence on _____ (date); the date when the Subdivision Control Law became effective in the Town of Nantucket, having in the opinion of the Planning Board, sufficient

width, suitable grades, and adequate construction to provide for the need to vehicular traffic in relation to the proposed use of the land abutting thereon or served thereby, and for the installation of municipal services to serve such land and the buildings erected or to be erected thereon, namely _____.

- The division of the tract of land shown on the accompanying plan is not a subdivision because it shows a proposed conveyance or other instrument, namely _____, which adds to, takes away from or changes the size and shape of lots in such a manner so that no lot affected is left without frontage as required by the *Nantucket Zoning By-Law* under Section 5, which requires _____ feet.
- The division of the tract of land shown on the accompanying plan is not a subdivision because two or more buildings, specifically _____ buildings were standing on the land prior to 1955, the date when the Subdivision Control Law went into effect in the Town of Nantucket, and one of such building remains standing on each of the lots; said buildings as shown and located on the accompanying plan. Evidence of the existence of such buildings prior to the effective date of the Subdivision Control Law is submitted as follows: _____

- Other reasons or comments: (see M.G.L., Chapter 41, Section 81-L)

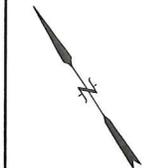
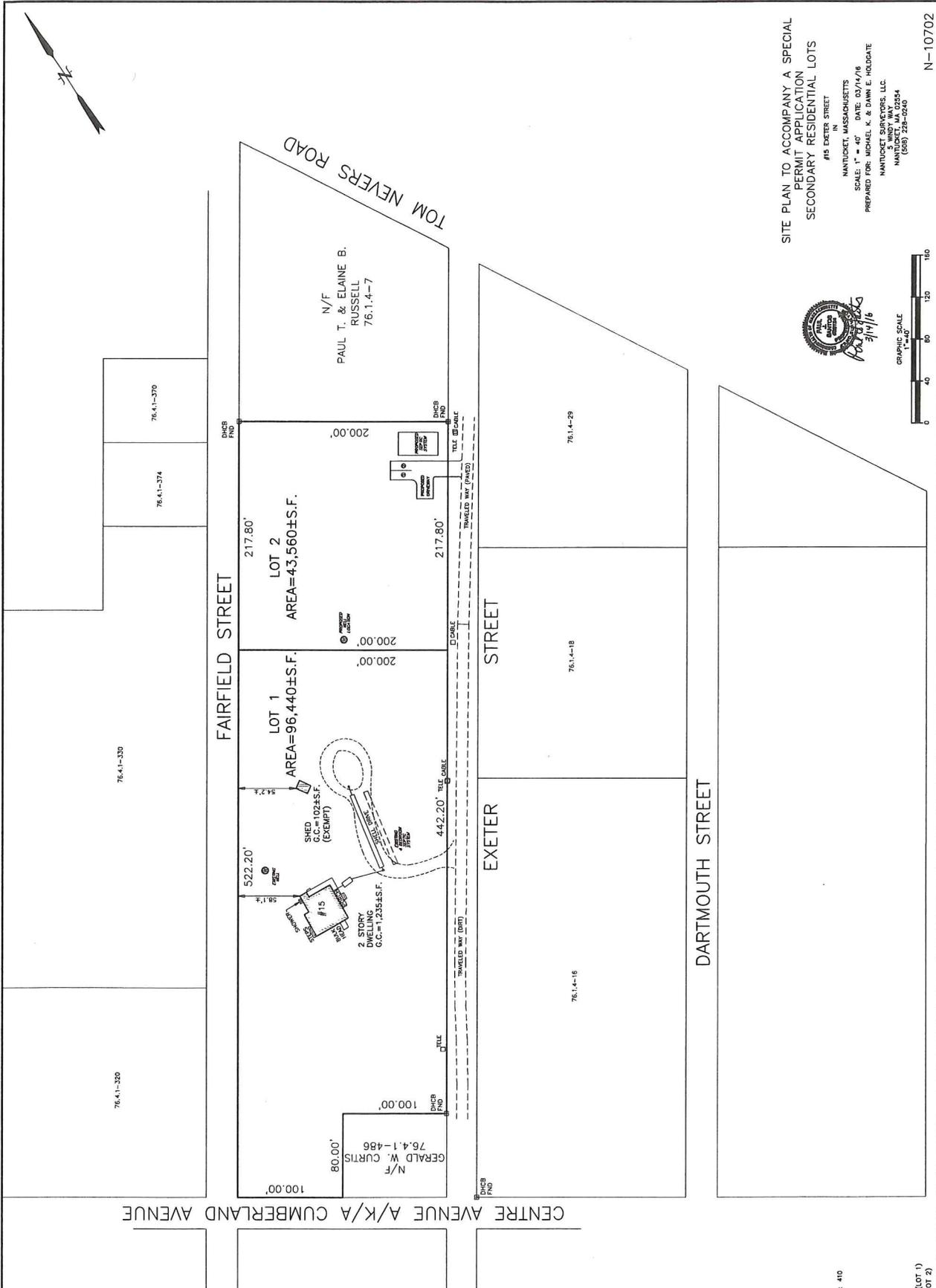
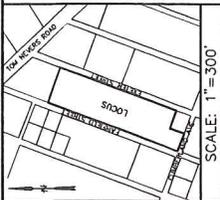
Division pursuant to Chapter 139-8C. Secondary Residential Lots

I hereby certify that the applicant(s) listed above have been authorized by me to file a plan with the Planning Board of Nantucket on property that I own.

Owner's Signature

Planning Board File # 7967

Endorsement Date: _____



SITE PLAN TO ACCOMPANY A SPECIAL PERMIT APPLICATION FOR SECONDARY RESIDENTIAL LOTS

IN NANTUCKET, MASSACHUSETTS
 PREPARED FOR: MICHAEL K. & DAWN E. HOLDGATE
 NANTUCKET SURVEYORS, LLC
 2 WINDY WAY
 NANTUCKET, MA 02554
 (508) 228-0240

SCALE: 1" = 40'
 DATE: 03/14/18

N-10702



NOTES:

- TOTAL AREA EQUALS 140,000± S.F.

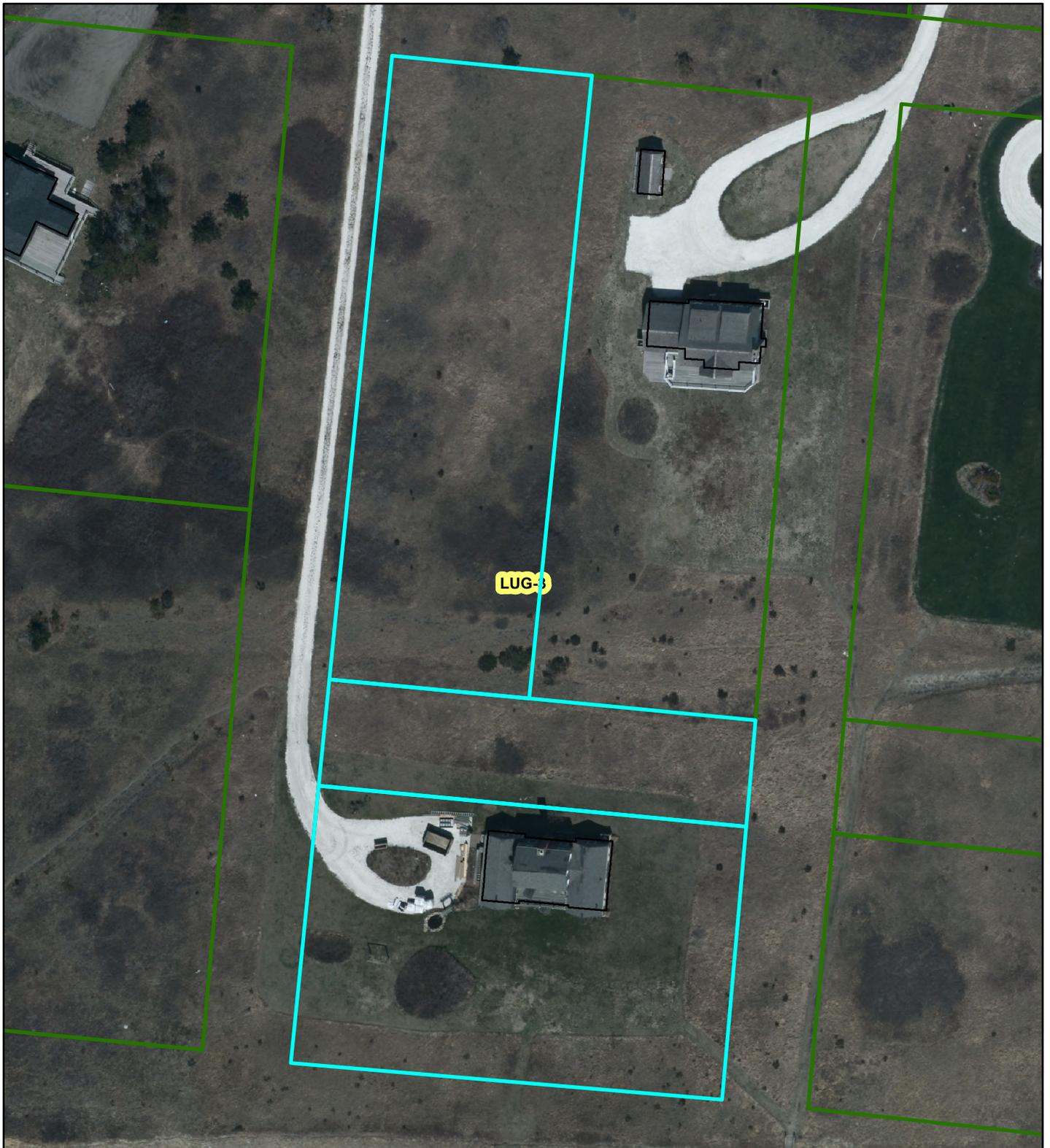
OWNER REFERENCE:
 MICHAEL K. & DAWN E. HOLDGATE
 DEED REFERENCE: L.C. CERT. #25887
 PLAN REFERENCE: L.C. PLAN #5004-G
 ASSESSORS REFERENCE MAP: 76.4.1 PARCEL 410

ZONING CLASSIFICATION:
 LUG-3

MINIMUM LOT SIZE = 120,000 S.F.
 MINIMUM FRONT YARD SETBACK = 35 FT.
 MINIMUM SIDE & REAR YARD SETBACK = 20 FT.
 MINIMUM FRONT YARD SETBACK = 35 FT.
 MINIMUM SIDE & REAR YARD SETBACK = 20 FT.
 EXISTING GROUND COVER RATIO = 1.32% (LOT 1)
 EXISTING GROUND COVER RATIO = 0.2% (LOT 2)



#7968 ANR
Geraldine R. Roose Trust
56R Madequecham Valley Road
Map 88 Parcels 19, 64 & 65





Town Clerk
Town & County Building
16 Broad St
Nantucket, MA 02554

Handwritten signature

Nantucket Planning Board

MAY 3 2016 AM 8:39

Form A Application for Endorsement of a Plan Believed Not to Require Approval (ANR)

Date: MAY 2, 2016 *Name of Owner(s)/Applicant(s): GERALDINE R. ROOS, TR.

*Owner's/Applicant's address: 1781 N. OCEAN DRIVE, #156, RIVIERA BEACH
State: FL Zip Code: 33404

*(include all names and addresses of the principals of the owner entity such as principal officer of corporation, trustees of the trust and partners of the partnership)

Location of Property (Street or Area): 56R MADEQUECHAM VALLEY RD.

Name of Registered Land Surveyor: EARLE + SULLIVAN, INC.
Surveyor's address: 6 YOUNG'S WAY, NANTUCKET, MA. 02554

The owner's title to the land derived under deed from TRACY SUNDELL, date 12/24/2007
TOWN OF NANTUCKET, date 9/23/2015
And recorded in Nantucket Registry of Deed, Book 1180 Page 141 or Land Court Certificate of
Title # 1507, registered in Nantucket District Book _____, Page _____ and shown on
Assessor's Map# 88, Parcel # 19,64, + 65.
To the Planning Board of the Town of Nantucket:

The undersigned wishes to record the accompanying plan and requests a determination and endorsement by said Board that approval by it under the Subdivision Control Law is not required. The undersigned believes that such approval is not required for the following reasons: (check all that apply)

- The accompanying plan is not a subdivision because it does not show a division of land (perimeter plan).
- The division of the tract of land shown on the accompanying plan is not a subdivision because every lot on the plan has frontage of at least such distance as is presently required by the *Nantucket Zoning By-Law* under Section 5 which requires _____ feet for erection of a building on such lot; and every lot shown on the plan has such frontage on:

A. a public way or a way which the City or Town Clerk certifies is maintained and used as a Public way, namely _____; OR

B. a way shown on a plan theretofore approved and endorsed in accordance with the Subdivision Control Law, namely _____ on _____ (date) and Subject to the following conditions _____; OR

C. a way in existence on _____ (date); the date when the Subdivision Control Law became effective in the Town of Nantucket, having in the opinion of the Planning Board, sufficient

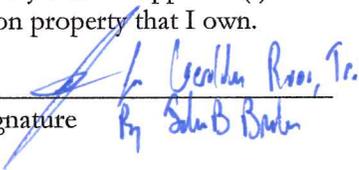
width, suitable grades, and adequate construction to provide for the need to vehicular traffic in relation to the proposed use of the land abutting thereon or served thereby, and for the installation of municipal services to serve such land and the buildings erected or to be erected thereon, namely

- The division of the tract of land shown on the accompanying plan is not a subdivision because it shows a proposed conveyance or other instrument, namely _____, which adds to, takes away from or changes the size and shape of lots in such a manner so that no lot affected is left without frontage as required by the *Nantucket Zoning By-Law* under Section 5, which requires _____ feet.

 - The division of the tract of land shown on the accompanying plan is not a subdivision because two or more buildings, specifically _____ buildings were standing on the land prior to 1955, the date when the Subdivision Control Law went into effect in the Town of Nantucket, and one of such building remains standing on each of the lots; said buildings as shown and located on the accompanying plan. Evidence of the existence of such buildings prior to the effective date of the Subdivision Control Law is submitted as follows: _____
-
- Other reasons or comments: (see M.G.L., Chapter 41, Section 81-L)
-
-

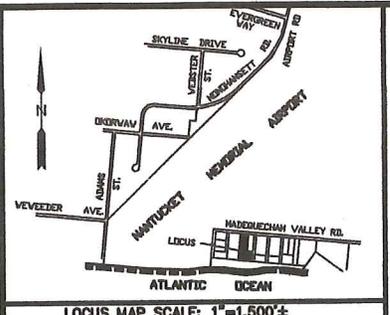
I hereby certify that the applicant(s) listed above have been authorized by me to file a plan with the Planning Board of Nantucket on property that I own.

Owner's Signature


for Gerald Ross, Jr.
By John B. Borden

Planning Board File # _____

Endorsement Date: _____



" I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS."

PROFESSIONAL LAND SURVEYOR _____ DATE _____

NANTUCKET REGISTRY OF DEEDS

Date _____

Time _____

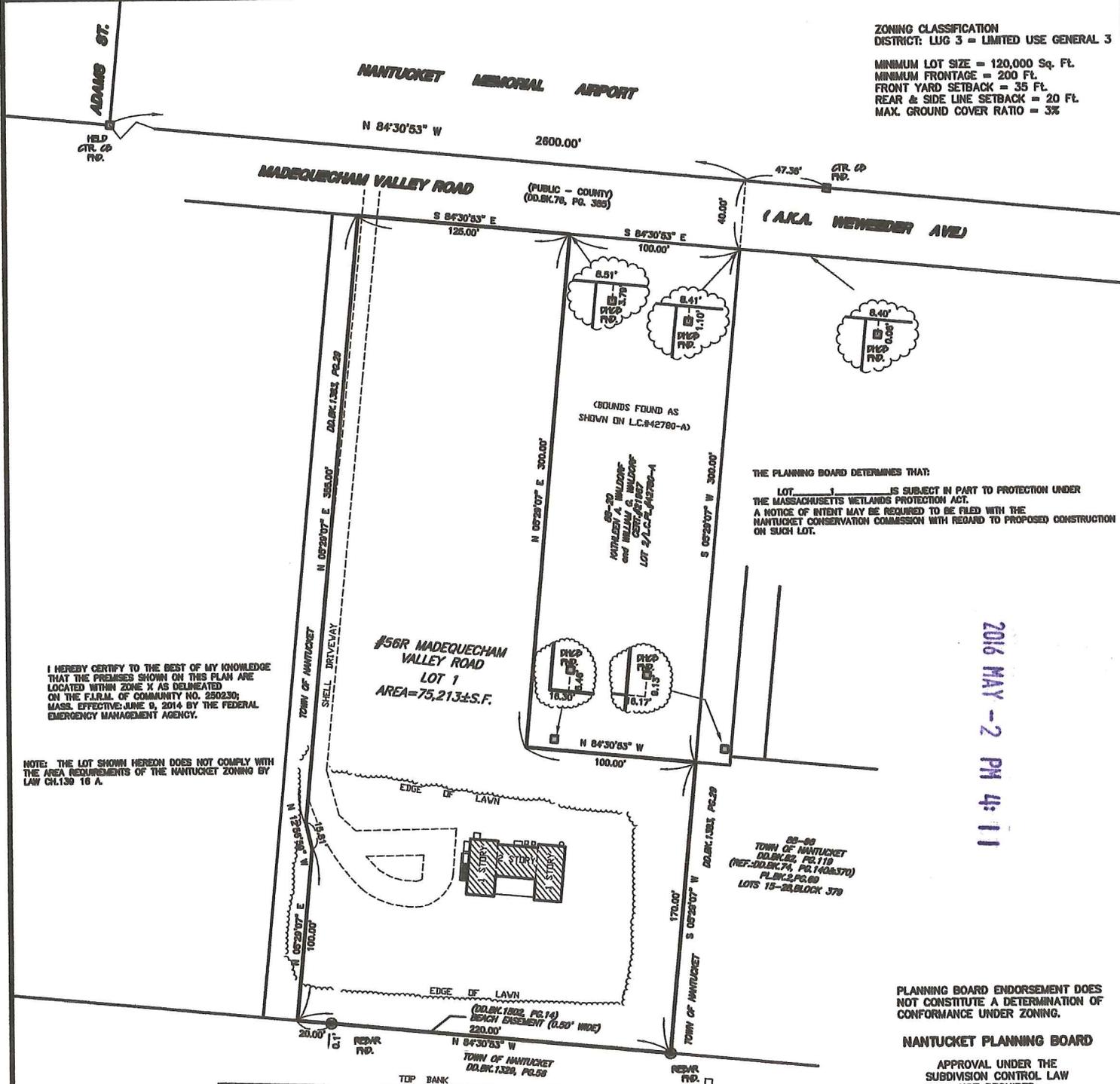
Plan No. _____

Attest: _____ Registrar

RESERVED FOR REGISTRY USE ONLY

ZONING CLASSIFICATION
 DISTRICT: LUG 3 = LIMITED USE GENERAL 3

MINIMUM LOT SIZE = 120,000 Sq. Ft.
 MINIMUM FRONTAGE = 200 Ft.
 FRONT YARD SETBACK = 35 Ft.
 REAR & SIDE LINE SETBACK = 20 Ft.
 MAX. GROUND COVER RATIO = 3%



I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE THAT THE PREMISES SHOWN ON THIS PLAN ARE LOCATED WITHIN ZONE X AS DELINEATED ON THE F.L.R.M. OF COMMUNITY NO. 250230; MASS. EFFECTIVE JUNE 9, 2014 BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

NOTE: THE LOT SHOWN HEREON DOES NOT COMPLY WITH THE AREA REQUIREMENTS OF THE NANTUCKET ZONING BY LAW CH.130 16 A.

THE PLANNING BOARD DETERMINES THAT:

LOT _____ IS SUBJECT IN PART TO PROTECTION UNDER THE MASSACHUSETTS WETLANDS PROTECTION ACT. A NOTICE OF INTENT MAY BE REQUIRED TO BE FILED WITH THE NANTUCKET CONSERVATION COMMISSION WITH REGARD TO PROPOSED CONSTRUCTION ON SUCH LOT.

PLANNING BOARD ENDORSEMENT DOES NOT CONSTITUTE A DETERMINATION OF CONFORMANCE UNDER ZONING.

NANTUCKET PLANNING BOARD

APPROVAL UNDER THE SUBDIVISION CONTROL LAW NOT REQUIRED

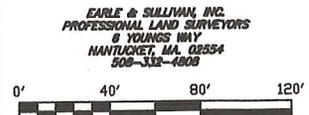
DATE SIGNED _____

FILE NO. _____

PERIMETER PLAN IN NANTUCKET, MASS.

PREPARED FOR: GERALDINE R. ROOS, TR.

SCALE: 1"= 40' DATE: MAY 2, 2016



REFERENCES:
 DEED REF.: D.D.BK.1120, PG.141; D.D.BK.1502, PG.1
 PLAN REF.: PLAN BK. 2, PG. 60; PLAN NO. 2014-04
 ASSESSORS MAP: 89 PARCELS 18, 64, & 85



#7969 ANR
Annie K. Kay
18A & 18B Atlantic Avenue
Map 55 Parcel 24



Town Clerk
Town & County Building
16 Broad St
Nantucket, MA 02554



MAY 2 2016 PM 12:21

CHK # 1769

Nantucket Planning Board

Form A

Application for Endorsement of a Plan Believed Not to Require Approval (ANR)

Date: April 29, 2016 *Name of Owner(s)/Applicant(s): Annie B. Kay (aka Annie Kay) / Thomas D. Sheraw

*Owner's/Applicant's address: P.O. Box 1377, Nantucket / 49 Linda CT, Delmar

State: MA / NY Zip Code: 02554 / 12054

*(include all names and addresses of the principals of the owner entity such as principal officer of corporation, trustees of the trust and partners of the partnership)

Location of Property (Street or Area): 18A & 18B Atlantic Avenue

Name of Registered Land Surveyor: Robert A. Emack

Surveyor's address: 2 Washaman Ave., Nantucket, MA 02554

The owner's title to the land derived under deed from Sharon Wanat & Francis E. Wanat
And recorded in Nantucket Registry of Deed, Book 931 Page 001 or Land Court Certificate of Title
_____, registered in Nantucket District Book _____, Page _____ and shown on Assessor's
Map# 55, Parcel #'s 24.1 & 24.2
To the Planning Board of the Town of Nantucket:

The undersigned wishes to record the accompanying plan and requests a determination and endorsement by said Board that approval by it under the Subdivision Control Law is not required. The undersigned believes that such approval is not required for the following reasons: (check all that apply)

The accompanying plan is not a subdivision because it does not show a division of land (perimeter plan).

The division of the tract of land shown on the accompanying plan is not a subdivision because every lot on the plan has frontage of at least such distance as is presently required by the *Nantucket Zoning By-Law*

under Section 5 which requires _____ feet for erection of a building on such lot; and every lot shown on the plan has such frontage on:

A. a public way or a way which the City or Town Clerk certifies is maintained and used as a Public way, namely _____; **OR**

B. a way shown on a plan theretofore approved and endorsed in accordance with the Subdivision Control Law, namely _____ on _____ (date) and Subject to the following conditions _____; **OR**

C. a way in existence on _____ (date); the date when the Subdivision Control Law became effective in the Town of Nantucket, having in the opinion of the Planning Board, sufficient

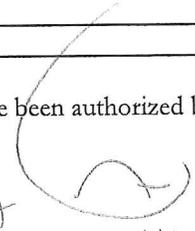
width, suitable grades, and adequate construction to provide for the need to vehicular traffic in relation to the proposed use of the land abutting thereon or served thereby, and for the installation of municipal services to serve such land and the buildings erected or to be erected thereon, namely

The division of the tract of land shown on the accompanying plan is not a subdivision because it shows a proposed conveyance or other instrument, namely _____, which adds to, takes away from or changes the size and shape of lots in such a manner so that no lot affected is left without frontage as required by the *Nantucket Zoning By-Law* under Section 5, which requires _____ feet.

The division of the tract of land shown on the accompanying plan is not a subdivision because two or more buildings, specifically three buildings were standing on the land prior to 1955, the date when the Subdivision Control Law went into effect in the Town of Nantucket, and one of such building remains standing on each of the lots; said buildings as shown and located on the accompanying plan. Evidence of the existence of such buildings prior to the effective date of the Subdivision Control Law is submitted as follows: see the attached aerial flyover over from 1938, slide 169B
Other reasons or comments: (see M.G.L., Chapter 41, Section 81-L)

I hereby certify that the applicant(s) listed above have been authorized by me to file a plan with the Planning Board of Nantucket on property that I own.

ANNIE O KAJ
Owner's Signature

by  ATTY DULY AUTHORIZED
RICHARD J. GLIDD

Planning Board File # 7969

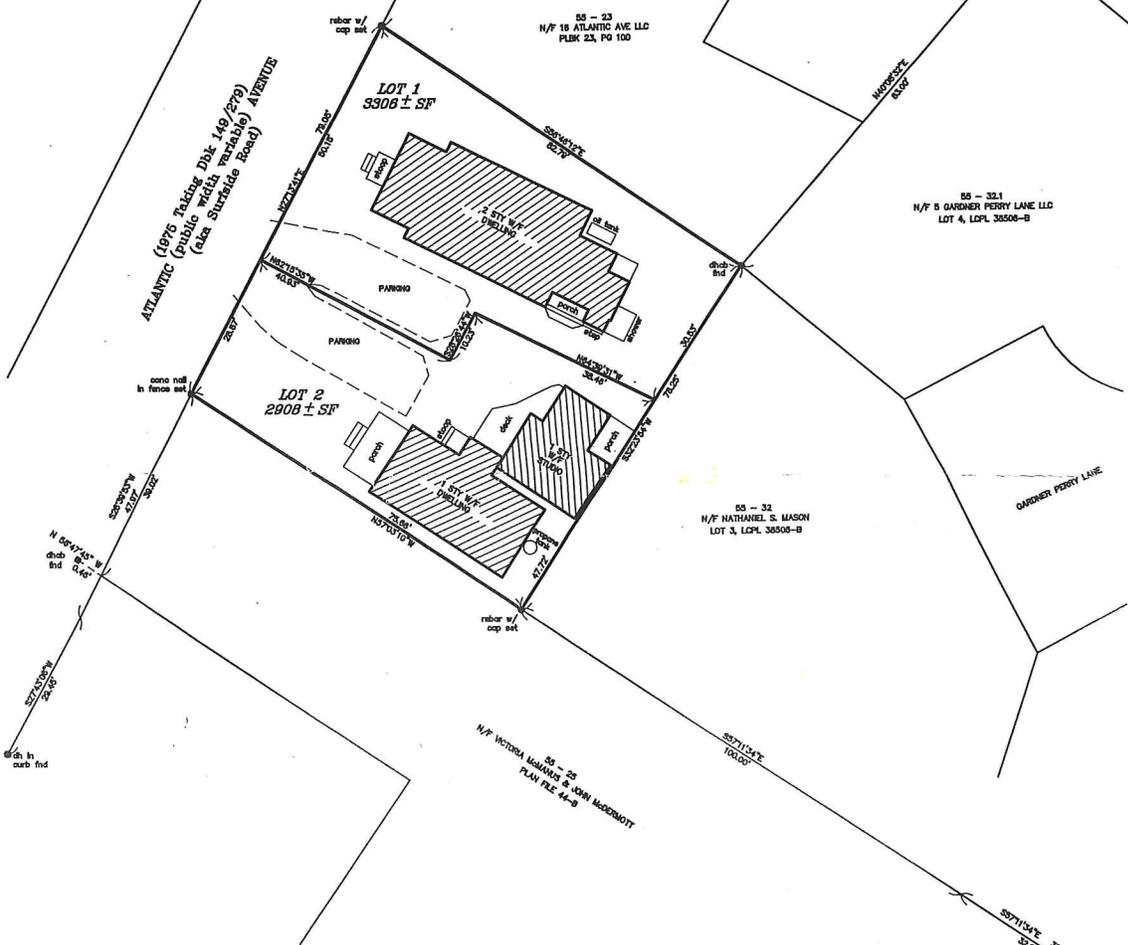
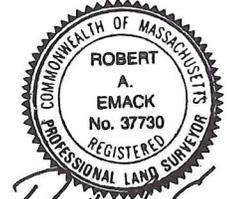
Endorsement Date: _____



I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.
R. A. EMACK APRIL 27, 2016
 PROFESSIONAL LAND SURVEYOR DATE

NANTUCKET REGISTER OF DEEDS
 Date _____
 Time _____
 Plan BK. _____ PG. _____
 Plan File _____
 Attach: _____ Register _____
 RESERVED FOR REGISTRY USE ONLY

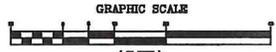
CURRENT ZONING: R-1
 MINIMUM LOT SIZE: 5000 SF
 MINIMUM FRONTAGE: 50 FT
 FRONTYARD SETBACK: 10 FT
 SIDE AND REAR SETBACK: 5 FT
 ALLOWABLE G.C.R.: 30 %
 RECORD OWNERS: ANNIE B. KAY & THOMAS D. SHERAW
 LOCATION: 18 ATLANTIC AVENUE
 DEED REFERENCES: DBK 890, PG 1 and DBK 1435, PG 82
 PLAN REFERENCE: NONE FOR LOCUS
 ASSESSOR'S REFERENCE MAP: 55 PARCELS: 24.1 & 24.2



THE PLANNING BOARD DETERMINES THAT:
 LOTS 1 AND 2 DO NOT CONTAIN AREA SUBJECT TO PROTECTION UNDER THE MASSACHUSETTS WETLANDS PROTECTION ACT WHICH ARE REQUIRED TO BE EXCLUDED FROM LOT AREA UNDER THE NANTUCKET ZONING BY-LAW, BUT STILL MAY BE SUBJECT TO PROTECTION UNDER STATE AND LOCAL WETLAND LAWS AND BY-LAWS. DETERMINATION OF APPLICABILITY FOR WETLANDS MAY BE OBTAINED THROUGH APPLICATION TO THE NANTUCKET CONSERVATION COMMISSION.

PLAN OF LAND
 IN
NANTUCKET, MASSACHUSETTS
SHOWS A DIVISION OF A PRE-1866 LOT
 PREPARED FOR: ANNIE KAY and THOMAS D. SHERAW

SCALE: 1"=10' DATE: APRIL 27, 2016



EMACK SURVEYING, LLC
 2 WASHINGTON AVENUE
 NANTUCKET, MA 02554
 (508) 325-0640

Note: The division of a tract of land on which two or more buildings were standing when the Subdivision Control Law went into effect in the city or town in which the land lies into separate lots on each of which one of such buildings remains standing, shall not constitute a subdivision. Evidence indicates that the three buildings shown hereon have been standing on the land since prior to 1955.

NOTE: PLANNING BOARD ENDORSEMENT DOES NOT CONSTITUTE A DETERMINATION OF CONFORMANCE UNDER ZONING.

NANTUCKET PLANNING BOARD
 APPROVAL UNDER THE SUBDIVISION CONTROL LAW NOT REQUIRED

 DATE FILE #

RECEIVED
MAY 02 2016



1938 FLYOVER
SLIDE 169 B



Appraisal Vision: NANUCKET, MA Database name: Vision - [Vision Map] | File Cards Reports Utilities Help

Parcel: 55 / 24 / 1 | Location: 18 ATLANTIC AV | Use: 995 | Assessed Value: 0 | Legal Land Area: 6,742 SF | W-P-B: - | Lw/GBA: 1.317 | \$/SF Lw/GBA: 0.00

Parcel Information | Legal Information | Account Information | Owner and Deed | Assessment Summary | Exemptions & Other Asses | Supplemental Data | Abatements & Assess Ct | Parcel Addresses | Associated Parcels | Notice History | Property Notes | User Audit | Sub-Division History | Classification & Land Informa | Building Information | Construction Detail | Depreciation | Associated Condos | Duplicates | Extra Features | Building Permits | Visit History | Building Notes | Sketch | Photos & Comparables | Income Valuation | Associated Documents | Summary Review Screen | Reports | Table Maintenance | Regression Modeling | Comps & Apportionment | Cost Modeling | Trend Modeling | Utilities

File View Layer Select Identify Markup Clear External Tools Reports Help

11:38 AM 4/22/2016 | Edit Mode OFF | Growth Mode | PID:3177



#7970 ANR
Sunset Realty Trust
Eel point Road - Lot A
Map 38 Parcel 32





Nantucket Planning Board

Form A

Application for Endorsement of a Plan Believed Not to Require Approval (ANR)

Date: May 3, 2016

*Name of Owner(s)/Applicant(s): Sunset Realty Trust

*Owner's/Applicant's address: 16 Broad Street State: MA Zip Code: 02554

*(include all names and addresses of the principals of the owner entity such as principal officer of corporation, trustees of the trust and partners of the partnership)

Location of Property (Street or Area): Eel Point Road (Lot A)

Name of Registered Land Surveyor: Blackwell & Associates, Inc.

Surveyor's address: 20 Teasdale Circle, Nantucket, MA 02554

The owner's title to the land derived under deed from ___ date ___ and recorded in Nantucket Registry of Deed, Books ___ Pages ___ or Land Court Certificate of Title # ___ registered in Nantucket Document Number ___, and shown on Assessor's Maps # 38 Parcels 32 & 21.

To the Planning Board of the Town of Nantucket:

The undersigned wishes to record the accompanying plan and requests a determination and endorsement by said Board that approval by it under the Subdivision Control Law is not required. The undersigned believes that such approval is not required for the following reasons: (check all that apply)

- The accompanying plan is not a subdivision because it does not show a division of land (perimeter plan).
- The division of the tract of land shown on the accompanying plan is not a subdivision because every lot on the plan has frontage of at least such distance as is presently required by the *Nantucket Zoning By-Law* under Section 5 which requires _____ feet for erection of a building on such lot; and every lot shown on the plan has such frontage on:
 - A. a public way or a way which the City or Town Clerk certifies is maintained and used as a Public way, namely _____; **OR**
 - B. a way shown on a plan theretofore approved and endorsed in accordance with the Subdivision Control Law, namely _____ on _____ (date) and Subject to the following conditions _____; **OR**
 - C. a way in existence on _____ (date); the date when the Subdivision Control Law became effective in the Town of Nantucket, having in the opinion of the Planning Board, sufficient width, suitable grades, and adequate construction to provide for the need to vehicular traffic in relation to the proposed use of the land abutting thereon or served thereby, and for the installation of municipal services to serve such land and the buildings erected or to be erected thereon, namely _____.

- The division of the tract of land shown on the accompanying plan is not a subdivision because it shows a proposed conveyance or other instrument, namely _____, which adds to, takes away from or changes the size and shape of lots in such a manner so that no lot affected is left without frontage as required by the *Nantucket Zoning By-Law* under Section 5, which requires _____ feet.

- The division of the tract of land shown on the accompanying plan is not a subdivision because two or more buildings, specifically _____ buildings were standing on the land prior to 1955, the date when the Subdivision Control Law went into effect in the Town of Nantucket, and one of such building remains standing on each of the lots; said buildings as shown and located on the accompanying plan. Evidence of the existence of such buildings prior to the effective date of the Subdivision Control Law is submitted as follows: _____

- Other reasons or comments: (see M.G.L., Chapter 41, Section 81-L)

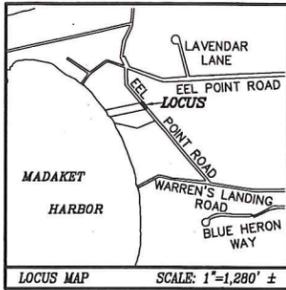
 Taking & Disposition Plan

I hereby certify that the applicant(s) listed above have been authorized by me to file a plan with the Planning Board of Nantucket on property that I own.

Owner's Signature

Planning Board File # _____

Endorsement Date: _____



CURRENT ZONING CLASSIFICATION:
Limited Use General 2 (L.U.G.-2)
MINIMUM LOT SIZE: 80,000 S.F.
MINIMUM FRONTAGE: 150 FT.
FRONT YARD SETBACK: 35 FT.
REAR/SIDE SETBACK: 15 FT.
GROUND COVER %: 4%

OWNER INFORMATION
STEVEN L. COHEN, TRUSTEE
SUNSET REALTY TRUST
CERT. OF TITLE #25295
L.C.C. 12330-A, LOT D
L.C.C. 13887-W, LOT 32
ASSESSOR'S MAP 38, PARCEL 32 & 2.1
#201 EEL POINT ROAD

PLANNING BOARD ENDORSEMENT DOES NOT
CONSTITUTE A DETERMINATION OF CONFORMANCE
UNDER ZONING.

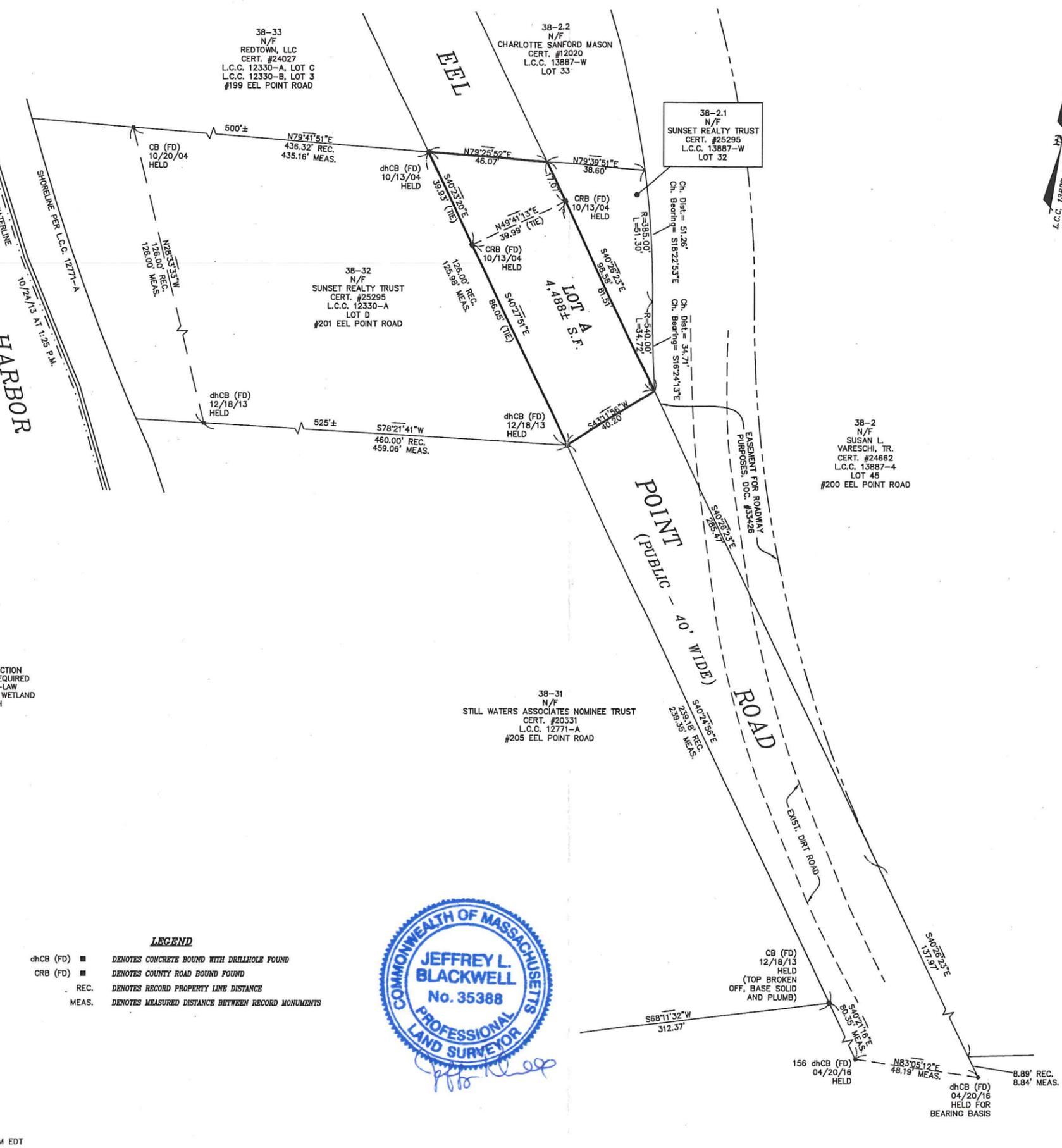
NOTE:
LOT A IS CONSIDERED UNBUILDABLE DUE TO INSUFFICIENT LOT
AREA AND FRONTAGE. LOT A IS TO BE CONVEYED TO AND
COMBINED WITH LAND OF SUNSET REALTY TRUST, ASSESSOR'S MAP 38,
PARCEL 32 and 2.1.

NOTE:
PARCEL(S) A DO NOT CONTAIN AREAS SUBJECT TO PROTECTION
UNDER THE MASSACHUSETTS WETLANDS PROTECTION ACT WHICH ARE REQUIRED
TO BE EXCLUDED FROM LOT AREA UNDER THE NANTUCKET ZONING BY-LAW
BUT STILL MAY BE SUBJECT TO PROTECTION UNDER STATE AND LOCAL WETLAND
BY-LAWS. DETERMINATION OF APPLICABILITY MAY BE OBTAINED THROUGH
APPLICATION TO THE CONSERVATION COMMISSION.

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN
PREPARED IN ACCORDANCE WITH THE RULES
AND REGULATIONS OF THE REGISTER OF DEEDS
OF THE COMMONWEALTH OF MASSACHUSETTS.

PROFESSIONAL LAND SURVEYOR _____ DATE _____

LEGEND
dhCB (FD) ■ DENOTES CONCRETE BOUND WITH DRILLHOLE FOUND
CRB (FD) ■ DENOTES COUNTY ROAD BOUND FOUND
REC. ■ DENOTES RECORD PROPERTY LINE DISTANCE
MEAS. ■ DENOTES MEASURED DISTANCE BETWEEN RECORD MONUMENTS



NANTUCKET REGISTRY OF DEEDS
Date: _____
Time: _____
Plan No.: _____
Attest: Register _____
SHEET 1 OF 1
RESERVED FOR REGISTRY USE

REFERENCE 2015 ATM ARTICLES 102 & 103
**TAKING AND
DISPOSITION**
Plan of Land
in
Nantucket, MA
Prepared for
SUNSET REALTY TRUST
Scale: 1" = 20' APRIL 27, 2016

BLACKWELL & ASSOCIATES, Inc.
Professional Land Surveyors
20 TEASDALE CIRCLE
NANTUCKET, MASS. 02554
(508) 228-9028
GRAPHIC SCALE
1 inch = 20 ft.

Nantucket Board of Selectmen
Being a majority—
Jim Kelly, Chairman
Dawn E. Hill Holdgate, Vice Chairman
Rick Atherton
Bob DeCosta
Matt Fee
DATE SIGNED: _____

Nantucket Planning Board
APPROVAL UNDER THE
SUBDIVISION CONTROL LAW
NOT REQUIRED
Barry Rector, Chairman
Linda Williams, Vice Chairman
Joseph Marchfinger
John McLaughlin
Nathaniel Lowell
DATE SIGNED _____ FILE # _____



#7971 ANR

Richmond Great Point Development, LLC

10A, 10B, 12A, 12B, 14A Greglen Ave

Map 68 Parcels 180, 180.1, 181, 181.1, & 182





The Richmond Company, Inc.
23 Concord Street
Wilmington, Massachusetts 01887
(979) 988-3900

May 2, 2016

TOWN OF NANTUCKET
PLANNING BOARD
2 Fairgrounds Road
Nantucket, Massachusetts 02554

Attention: Leslie Woodson Snell, AICP, LEED AP, Deputy Director of Planning

Subject: Submittal of Approval Not Required (ANR) Plan
10A, 10B, 12A, 12B, and 14A Greglen Avenue (Total of Five Lots)
Richmond Great Point Development LLC Owner)

Dear Ms. Snell:

The purpose of this correspondence, issued in our capacity as the applicant and development manager, on behalf of the owner of the subject properties (Richmond Great Point Development LLC) is to submit the enclosed completed application (Form A) and associated materials (plans, deeds, etc.) seeking endorsement by the Town of Nantucket Planning Board of an Approval Not Required (ANR) Plan which will result in the minor reconfiguration of the interior lot lines of a series of five (5) contiguous lots, cumulatively totaling +/- 1.33 acres of land, located at 10A, 10B, 12A, 12B, and 14A Greglen Avenue.

The submittal is being made in accordance with and conforms to the provisions of Section 2.03b of "The Rules and Regulations Governing the Subdivision of Land, Nantucket, Massachusetts" as well as "The Subdivision Control Law of Massachusetts" (M.G.L. Chapter 41, Sections 81K-81GG, inclusive).

The plan area comprises a series of five (5) continuous properties located on the east side of Greglen Avenue within a larger area that had previously been subdivided by way of an Approval Not Required (ANR) Plan that was endorsed by the Planning Board at its September 8, 2014 meeting and had included the configuration of a series of a total of ten (10) contiguous lots, cumulatively totaling +/- 2.68 acres of land, including 6A, 6B, 8A, 8B, 10A, 10B, 12A, 12B, 14A, and 14B Greglen Avenue.

In the nineteen months that has elapsed since the previous Approval Not Required (ANR) Plan was endorsed, we have conveyed five (5) of the ten (10) lots to local buyers and businesses. We now have buyers for several of the remaining lots and need to reconfigure the size (width) of the remaining five (5) lots to best meets the requirements of the prospective buyers of these lots, and to then leave us with the most optimal configuration of the remaining lots, for future sale or development.

No additional lots will be created by way of this proposed action and neither the perimeter nor the cumulative size of the five (5) lots that are being reconfigured will change. We are merely proposing to (slightly) adjust the interior lots lines of each of these five (5) lots, which will (slightly) change the width and square footage of the respective lots.

The entirety of all of the properties involved in this application are designated within the Commercial Trade, Entrepreneurship, and Craft (CTEC) zoning district.



The Richmond Company, Inc.
23 Concord Street
Wilmington, Massachusetts 01887
(979) 988-3900

May 2, 2016

TOWN OF NANTUCKET
TOWN CLERK
16 Broad Street
Nantucket, Massachusetts 02554

Attention: Catherine Flanagan Stover, MMC, CMMC

Subject: Submittal of Approval Not Required (ANR) Plan
10A, 10B, 12A, 12B, and 14A Greglen Avenue (Total of Five Lots)
Richmond Great Point Development LLC Owner)

Dear Mrs. Stover:

The purpose of this correspondence, issued in our capacity as the applicant and development manager, on behalf of the owner of the subject properties (Richmond Great Point Development LLC) is to serve as the Notice of the date of submittal of the completed application (Form A) and associated materials (plans, deeds, etc.) seeking endorsement by the Town of Nantucket Planning Board of an Approval Not Required (ANR) Plan for the five (5) contiguous lots, cumulatively totaling +/- 1.33 acres of land, located at 10A, 10B, 12A, 12B, and 14A Greglen Avenue (the date of the submittal is May 2, 2016).

The Notice (and copy of the completed (Form A) application and accompanying plan) is being submitted to your office in accordance with and conforms to the provisions of Section 2.03b of "The Rules and Regulations Governing the Subdivision of Land, Nantucket, Massachusetts" as well as "The Subdivision Control Law of Massachusetts" (M.G.L. Chapter 41, Sections 81K-81GG, inclusive).

Upon your acknowledgment of receipt of this Notice (by way of time / date stamping the application), we intend to submit the original completed (Form A) application and accompanying plan to the Town of Nantucket Planning Board to obtain its review and subsequent endorsement.

Should you have any questions with respect to the Notice or the submittal, please feel free to contact me at 978-988-3900, Extension # 12.

Very truly yours,

A handwritten signature in black ink, appearing to read "D. Armanetti", with a stylized flourish at the end.

David J. Armanetti
Director of Real Estate Development
The Richmond Company, Inc.
(Applicant / Development Manager)

Cc: Andrew Burek, Esq.



Town Clerk
Town & County Building
16 Broad St
Nantucket, MA 02554

MAY 3 2016 AM 8:34

Nantucket Planning Board

Form A Application for Endorsement of a Plan Believed Not to Require Approval (ANR)

Date: MAY 2/2016 *Name of Owner(s)/Applicant(s): RICHMOND GREAT POINT DEVELOPMENT, LLC

*Owner's/Applicant's address: 23 CONCORD STREET, WILMINGTON
State: MA Zip Code: 01887

*(include all names and addresses of the principals of the owner entity such as principal officer of corporation, trustees of the trust and partners of the partnership)

Location of Property (Street or Area): 10A, 10B, 12A, 12B, 14A GREGGLEN AVENUE (5 LOTS)

Name of Registered Land Surveyor: HAYES ENGINEERING, INC.
Surveyor's address: 603 SALEM STREET, WAKEFIELD MA 01880

The owner's title to the land derived under deed from (SEE ATTACHMENT A FOR DETAIL)
And recorded in Nantucket Registry of Deed, Book _____ Page _____ or Land Court Certificate of Title # _____, registered in Nantucket District Book _____, Page _____ and shown on Assessor's Map# _____, Parcel # _____.
To the Planning Board of the Town of Nantucket: (MULTIPLE LOTS)

The undersigned wishes to record the accompanying plan and requests a determination and endorsement by said Board that approval by it under the Subdivision Control Law is not required. The undersigned believes that such approval is not required for the following reasons: (check all that apply)

- The accompanying plan is not a subdivision because it does not show a division of land (perimeter plan).
- The division of the tract of land shown on the accompanying plan is not a subdivision because every lot on the plan has frontage of at least such distance as is presently required by the *Nantucket Zoning By-Law* under Section 5 which requires _____ feet for erection of a building on such lot; and every lot shown on the plan has such frontage on:

A. a public way or a way which the City or Town Clerk certifies is maintained and used as a Public way, namely _____; OR

B. a way shown on a plan theretofore approved and endorsed in accordance with the Subdivision Control Law, namely _____ on _____ (date) and Subject to the following conditions _____; OR

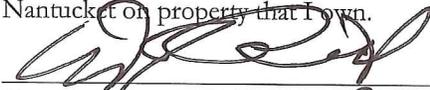
C. a way in existence on _____ (date); the date when the Subdivision Control Law became effective in the Town of Nantucket, having in the opinion of the Planning Board, sufficient width, suitable grades, and adequate construction to provide for the need to vehicular traffic in relation to the proposed use of the land abutting thereon or served thereby, and for the installation of municipal services to serve such land and the buildings erected or to be erected thereon, namely _____.

- The division of the tract of land shown on the accompanying plan is not a subdivision because it shows a proposed conveyance or other instrument, namely _____, which adds to, takes away from or changes the size and shape of lots in such a manner so that no lot affected is left without frontage as required by the *Nantucket Zoning By-Law* under Section 5, which requires _____ feet.
- The division of the tract of land shown on the accompanying plan is not a subdivision because two or more buildings, specifically _____ buildings were standing on the land prior to 1955, the date when the Subdivision Control Law went into effect in the Town of Nantucket, and one of such building remains standing on each of the lots; said buildings as shown and located on the accompanying plan. Evidence of the existence of such buildings prior to the effective date of the Subdivision Control Law is submitted as follows: _____

- Other reasons or comments: (see M.G.L., Chapter 41, Section 81-L)

NOT APPLICABLE.

I hereby certify that the applicant(s) listed above have been authorized by me to file a plan with the Planning Board of Nantucket on property that I own.



Owner's Signature DAVID J. ARONOWITZ, MANAGER R.F. DEV.
RICHMOND GREAT POINT DEVELOPMENT LLC.

Planning Board File # _____

Endorsement Date: _____

“Attachment A” to “Application for Endorsement of a Plan Believed Not to Require Approval (ANR)”

10A, 10B, 12A, 12B, and 14A Greglen Avenue, Town of Nantucket MA

ADDITIONAL SPACE NEEDED TO PROVIDE DETAILED INFORMATION FOR MULTIPLE PARCELS

10A Greglen Avenue (0.26 Acres)

Tax Assessors Map Information: Map # 68, Parcel # 180

Registry / Plan Information: Lot # 838 on Land Court Plan # 16514-93)
(Land Court Certificate # 24872)

10B Greglen Avenue (0.26 Acres)

Tax Assessors Map Information: Map # 68, Parcel # 180.1

Registry / Plan Information: Lot # 837 on Land Court Plan # 16514-93)
(Land Court Certificate # 24872)

12A Greglen Avenue (0.26 Acres)

Tax Assessors Map Information: Map # 68, Parcel # 181

Registry / Plan Information: Lot # 836 on Land Court Plan # 16514-93)
(Land Court Certificate # 24872)

12B Greglen Avenue (0.26 Acres)

Tax Assessors Map Information: Map # 68, Parcel # 181.1

Registry / Plan Information: Lot # 835 on Land Court Plan # 16514-93)
(Land Court Certificate # 24872)

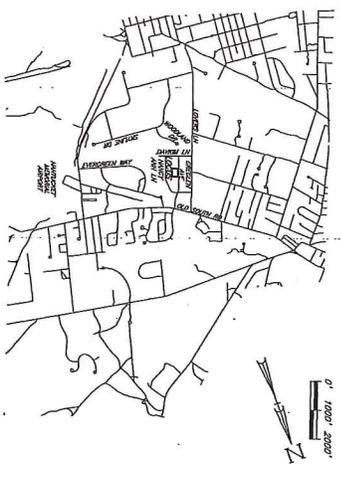
14A Greglen Avenue (0.29 Acres)

Tax Assessors Map Information:

Map # 68, Parcel # 182

Registry / Plan Information;

Lot # 834 on Land Court Plan # 16514-93)
(Land Court Certificate # 24872)



Location Map
Scale: 1" = 2000'
0' 1000' 2000'

NOTES:

1. LOTS SHOWN HEREIN CORRECT WITH THE LOT AREA REQUIREMENTS AS PROVIDED IN THE NANTUCKET ZONING BY-LAW, CHAPTER 129 § 24 AND 25.
2. THIS SUBDIVISION IS BEING SUBMITTED TO THE NANTUCKET ZONING BOARD FOR REVIEW UNDER THE ASSOCIATED PROVISIONS OF WHICH THE BOARD HAS THE AUTHORITY TO APPROVE OR DENY THE SUBDIVISION. THE BOARD'S DETERMINATION MAY BE OBTAINED THROUGH APPLICATION TO THE NANTUCKET ZONING BOARD.

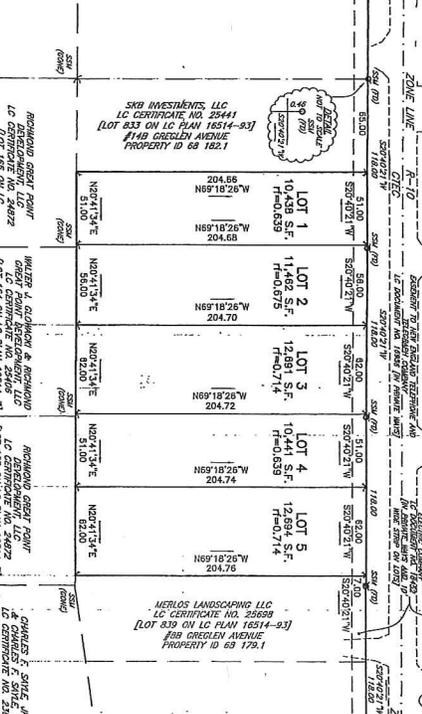
I HEREBY CERTIFY THAT AS OF THE DATE OF THIS CERTIFICATE, THE ABOVE-DISCRIBED LOTS ARE IN ACCORDANCE WITH THE LAND COURT INSTRUCTIONS OF 2008 AS OF THE DATE OF THIS SUBMIT.

DATE: MAY 2, 2016

PROFESSIONAL LAND SURVEYOR

OWNER'S STATEMENT:

THESE LOTS ARE BEING OFFERED FOR SALE AS SEPARATE UNITS. THE BUYER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE NANTUCKET ZONING BOARD AND THE MASSACHUSETTS DEPARTMENT OF CONSUMER AFFAIRS.



OWNER'S STATEMENT:

THESE LOTS ARE BEING OFFERED FOR SALE AS SEPARATE UNITS. THE BUYER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE NANTUCKET ZONING BOARD AND THE MASSACHUSETTS DEPARTMENT OF CONSUMER AFFAIRS.

QUANTITY OWNERSHIP:

LOT 1 THROUGH 5, ON THIS PLAN, RICHMOND GREAT POINT DEVELOPMENT, LLC

LOT 634 ON LC PLAN 15514-93
#120 GREGLEN AVENUE
PROPERTY ID 68 181

LOT 635 ON LC PLAN 15514-93
#121 GREGLEN AVENUE
PROPERTY ID 68 181

LOT 636 ON LC PLAN 15514-93
#122 GREGLEN AVENUE
PROPERTY ID 68 181

LOT 637 ON LC PLAN 15514-93
#123 GREGLEN AVENUE
PROPERTY ID 68 181

LOT 638 ON LC PLAN 15514-93
#124 GREGLEN AVENUE
PROPERTY ID 68 181

Subdivision Plan of Land in NANTUCKET, MASS.

Being a Subdivision of Lots 634, 635, 636, 637 & 638 on Land Court Plan No. 15514-93

Hope Engineers, Inc.
Civil Engineers & Land Surveyors
601 Salem Street
Wareham, MA 01980
www.hopeeng.com

Scale: 1" = 40'

MAY 2, 2016



LEGEND:

- CONC - CONCRETE BOUND WITH METAL HALF
- (RD) - ROAD
- LC - LAND COURT
- F - REGULATORY FACTOR
- SM - REAR WITH CAP

ZONING: CTEC

MINIMUM LOT AREA = 10,000 SF
MINIMUM LOT FRONTAGE = 50 FEET
MINIMUM LOT DEPTH = 10 FEET
MINIMUM LOT WIDTH = 5 FEET
MINIMUM LOT AREA = 10,000 SF

APPROVAL UNDER THE REGULATION OF THE BOARD OF REGISTRATION OF PROFESSIONAL ENGINEERS AND SURVEYORS



Nantucket Planning Board

SECONDARY DWELLING REPORT

Prepared by: Holly E. Backus, Land Use Specialist

Meeting Date: May 9, 2016

3 Beacon Lane
Assessors Map #21 Parcel #26.9

Applicant

Workshop/APD / Andrew Kotchen

Owner

Beacon Land Nominee Trust



The applicant is proposing to construct a 2,865 square foot primary dwelling and a 797 square foot secondary dwelling. The proposed structures will be replacing the existing structures. The proposed secondary dwelling will be located on the northeast side of the site, which has approximately 87,986 square feet of lot area and is zoned R-20. The applicant is further proposing two (2) garages, both at 384 square feet, respectfully. The proposed total ground cover is 4,430 square feet.

The dwellings will be accessed by a gravel driveway off Beacon Lane, which is a private paved road. The driveway will need an apron at the end of the driveway. The site will contain a total of five (5) exterior parking spaces for both the proposed primary and existing garage apartment dwellings.

The site plan, as submitted does not meet the requirements of Zoning Bylaw Sections 139-18 and 139-20.1 and will need to be revised.

Planning staff recommends approval of this application with the following conditions:

- (1) That an apron shall be constructed at the driveways intersection with Meadow Lane. The apron shall be a minimum depth of ten (10) feet and width of fifteen (15) feet, flared to a maximum width of nineteen (19) feet;
- (2) That a revised site plan be provided prior to an approval letter showing the required apron;
- (3) That any future landscaping at the driveway entrances be limited to low growing plant material not to exceed three (3) feet in height;
- (4) That the driveways be cleared free of vegetation and obstruction to a width of twelve (12) feet and a height of thirteen (13) feet; and
- (5) That the applicant shall submit an As-Built prior to the final inspection by staff which shall take place prior to the issuance of a Certificate of Occupancy.



Nantucket Planning Board

APPLICATION FOR A SECONDARY (2ND) DWELLING PERMIT

Date Submitted: 04/12/2016 Fee Amount: \$100

Applicant: Workshop/APD / Andrew Kotchen

Mailing address: 39 West 38th Street, 7th Fl New York, NY 10018

Daytime phone number: 212.273.9712 Fax: -

E-mail Address: info@workshopapd.com

Owner (if other than applicant): 3 Beacon Land Nominee Trust

Mailing address: 3 Beacon Land Nominee Trust

Signature of Property Owner(s) _____

Location of proposed secondary(2ND) dwelling:

Street Address: 3 Beacon Lane Nantucket MA 02554

Assessors Tax Map #: 21 Parcel #: 26.9

Size of Parcel: 87,986 SF Zoning District: R-20

Secondary Dwelling # of Bedrooms: 2 Bedrooms

Primary Dwelling # of Bedrooms: 2 Bedrooms

Number of Parking Spaces required (See Chapter 139-18 of the Bylaw): 4 Spaces

Number of Parking Spaces provided: 5 Spaces

Please provide a brief description of the proposed second dwelling:

PLEASE DO NOT WRITE "SEE ATTACHED."

New Construction secondary dwelling with 1 story and walk-out basement.

3BL RESIDENCE

3 BEACON LANE, NANTUCKET, MA 02554

OWNER

3 BEACON LAND NOMINEE TRUST
2 South Water Street
Nantucket, MA 02554

ARCHITECT

WORKSHOP/APD
WORKSHOP/APD ARCHITECTURE DPC
39 West 38th Street, 7th Fl, New York, NY 10018
T: (212) 273-9712 info@workshopapd.com

STRUCTURAL ENGINEER

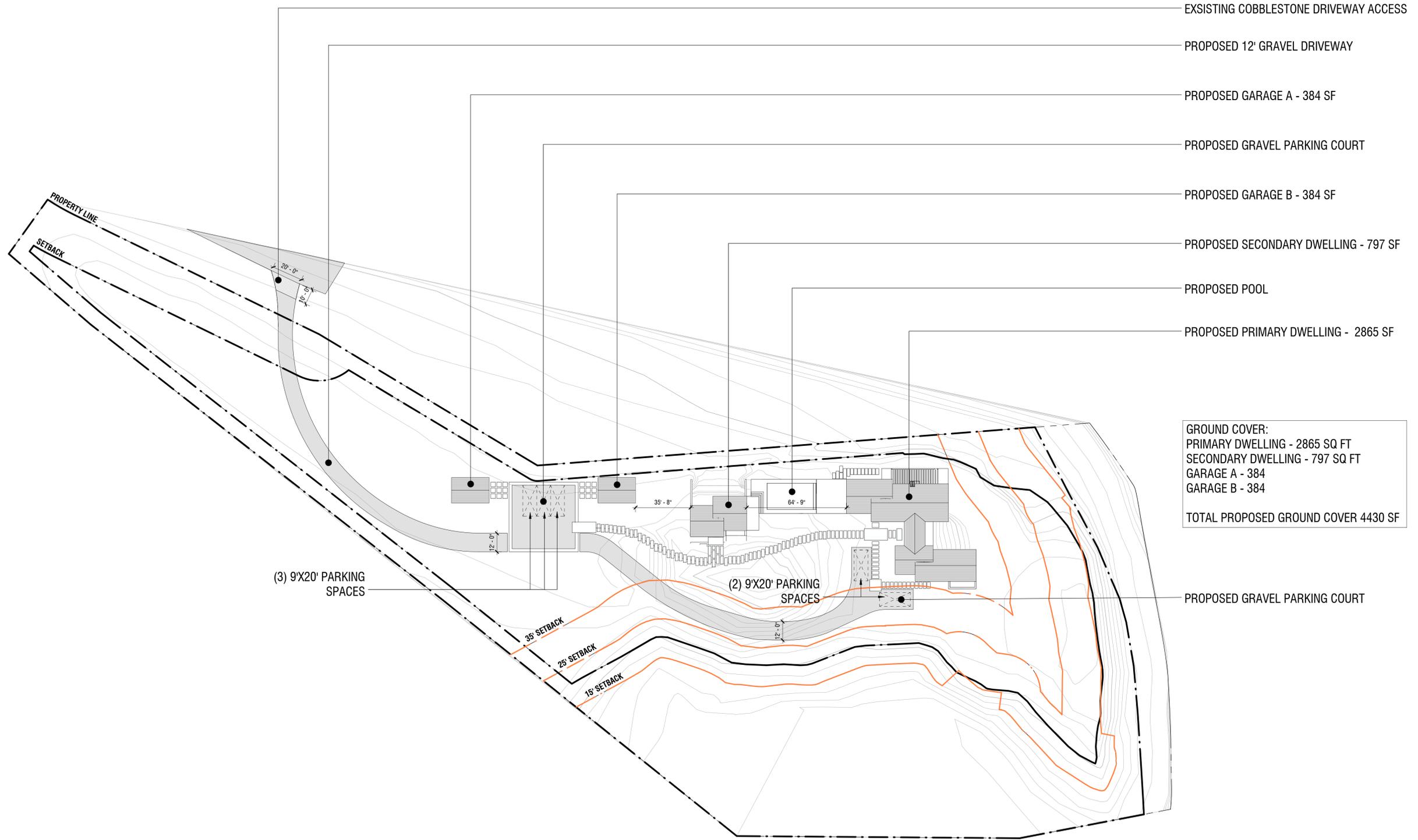
CRAFT - ENGINEERING STUDIO
39 West 38th Street, 7th Fl
New York, NY 10018
T: (646) 912-8867

SURVEYOR

BLACKWELL & ASSOCIATES, INC.
20 Traddale Circle
Nantucket, MA 02554
T: (508) 228-9026

CONTRACTOR

ROBERT J. REID BUILDERS
7 Windy Way
Nantucket, MA 02554
T: (508) 737-6191



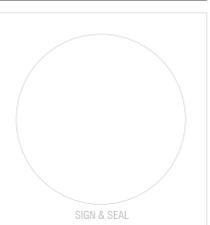
GROUND COVER:
PRIMARY DWELLING - 2865 SQ FT
SECONDARY DWELLING - 797 SQ FT
GARAGE A - 384
GARAGE B - 384
TOTAL PROPOSED GROUND COVER 4430 SF

ALL DESIGNS & SPECS ARE SUBJECT TO VERIFICATION OF EXG. FIELD CONDITIONS

REVISIONS

NO.	DATE	DESCRIPTION
01	04/11/2016	HDC REVISION (PRIMARY)

NOT FOR CONSTRUCTION



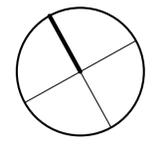
ISSUES

NO.	DATE	DESCRIPTION
01	03/18/2016	HDC SUBMISSION (PRIMARY)
02	03/18/2016	HDC SUB. (2ND DWELLING)
03	03/18/2016	HDC SUB. (GARAGE A)
04	03/18/2016	HDC SUB. (GARAGE B)
05	04/12/2016	2ND DWELLING APPLICATION

DRAWING INFO

CONSTRUCTION DOCUMENTS
DRAWN BY: ZSH/MLW/WJP
CHECKED BY: ADK/AFH
DATE: JANUARY 4, 2016
SCALE: AS NOTED
PROJ. NO. 3BL - 315019

1 SITE PLAN
1/32" = 1'-0"



Holly Backus

From: Holly Backus
Sent: Monday, May 02, 2016 3:39 PM
To: 'Andrew Hart'; Andrew Kotchen
Cc: Catherine Ancero
Subject: RE: 3 Beacon Lane

Hi Andy,

Thank you!

We need an apron....cobblestone, Belgium block, concrete, brick, or asphalt...minimum depth 10' behind the edge of pavement.

Other than that, looks good! 😊

Thanks!

Holly E. Backus
Land Use Specialist
Town of Nantucket

From: Andrew Hart [mailto:afh@workshopapd.com]
Sent: Monday, May 02, 2016 3:32 PM
To: Holly Backus; Andrew Kotchen
Cc: Catherine Ancero
Subject: RE: 3 Beacon Lane

Hi Holly,
No trouble at all.
Let us know if this attachment works for you.

Respectfully,
Andy

Andrew Hart RA NCARB | Project Architect
Workshop/APD
39 W 38th Street, 7th Floor
New York, NY 10018

212.273.9712 | 212.991.8958
www.workshopapd.com

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From: Holly Backus [mailto:hbackus@nantucket-ma.gov]
Sent: Monday, May 2, 2016 2:01 PM
To: Andrew Hart <afh@workshopapd.com>; Andrew Kotchen <adk@workshopapd.com>
Cc: Catherine Ancero <CAncero@nantucket-ma.gov>
Subject: RE: 3 Beacon Lane

Awesome! Don't mean to pest... just wanted to check in. Thanks!

Holly E. Backus
Land Use Specialist
Town of Nantucket

From: Andrew Hart [<mailto:afh@workshopapd.com>]
Sent: Monday, May 02, 2016 2:00 PM
To: Holly Backus; Andrew Kotchen
Cc: Catherine Ancero
Subject: RE: 3 Beacon Lane

Good afternoon Holly,
That's exactly what we're looking to do.

Respectfully,
Andy

Andrew Hart RA NCARB | Project Architect
Workshop/APD
39 W 38th Street, 7th Floor
New York, NY 10018

212.273.9712 | 212.991.8958
www.workshopapd.com

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From: Holly Backus [<mailto:hbackus@nantucket-ma.gov>]
Sent: Monday, May 2, 2016 1:59 PM
To: Andrew Kotchen <adk@workshopapd.com>
Cc: Catherine Ancero <CAncero@nantucket-ma.gov>; Andrew Hart <afh@workshopapd.com>
Subject: RE: 3 Beacon Lane

If we could get the revisions by the end of the day, that would be most appreciated.

Thanks!

Holly E. Backus
Land Use Specialist
Town of Nantucket

From: Andrew Kotchen [<mailto:adk@workshopapd.com>]
Sent: Monday, May 02, 2016 1:15 PM
To: Holly Backus
Cc: Catherine Ancero; Andrew Hart
Subject: Re: 3 Beacon Lane

Holy - we will get you the requested information.

Best adk

Andrew D Kotchen | Principal

Workshop/APD

39 W 38th Street, 7th Floor

New York, NY 10018

212.273.9712

www.workshopapd.com

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On May 2, 2016, at 10:39 AM, Holly Backus <hbackus@nantucket-ma.gov> wrote:

Good Morning Andrew,

I am reviewing the above application. Is it possible for you to send a site plan with the square footages shown a little clearer? I scanned it and zoomed in, and even after that it is very difficult to make out the numbers and I know if I'm having difficulty, the board will most definitely have trouble.

Could you also show where the five (5) total parking spaces are proposed and the required apron, please. We also need to know the overall proposed ground cover.

Thanks!

Holly E. Backus
Land Use Specialist

Town of Nantucket
Planning & Land Use Services
2 Fairgrounds Road
Nantucket, MA 02554

Tel: 508-325-7587 X 7026

Fax: 508-228-7298

hbackus@nantucket-ma.gov

<http://www.nantucket-ma.gov>

<image001.png>



Nantucket Planning Board

SECONDARY DWELLING REPORT

Prepared by: Holly E. Backus, Land Use Specialist

Meeting Date: May 9, 2016

13 Folger Ave
Assessors Map #80 Parcel #157

Applicant
Brent Williams

Owner
Same



The applicant is proposing to construct a 1285 primary dwelling. The proposed primary dwelling will be replacing the existing 800 square foot primary dwelling located on the northwest side of the site, which has approximately 43,559 square feet of lot area and is zoned LUG-1. There is an existing 1,018 square foot garage apartment already on the property.

The dwellings will be accessed by a gravel driveway off Folger Ave, which is a private dirt road. The site will contain a total of three (3) exterior parking spaces and two (2) interior parking spaces for a total of five (5) parking spaces for both the proposed primary and existing garage apartment dwellings.

The site plan, as submitted meets the requirements of Zoning Bylaw Sections 139-18 and 139-20.1.

Planning staff recommends approval of this application with the following conditions:

- (1) That the traveled surface of Folger Ave shall be improved (i.e.: grading and trimming of vegetation) a minimum width of sixteen (16) feet from Folger Ave to the intersection of Cherry Street. This shall be completed prior to the issuance of a Building Permit and prior to the issuance of a Certificate of Occupancy;
- (2) That any future landscaping at the driveway entrances be limited to low growing plant material not to exceed three (3) feet in height;
- (3) That the driveways be cleared free of vegetation and obstruction to a width of twelve (12) feet and a height of thirteen (13) feet; and
- (4) That the applicant shall submit an As-Built prior to the final inspection by staff which shall take place prior to the issuance of a Certificate of Occupancy.



Nantucket Planning Board

Application for a Secondary Dwelling Permit

Applicant: _____

Mailing address: _____

Daytime phone number: _____ Fax: _____

E-mail Address: _____

Owner (if other than applicant): _____

Mailing address: _____

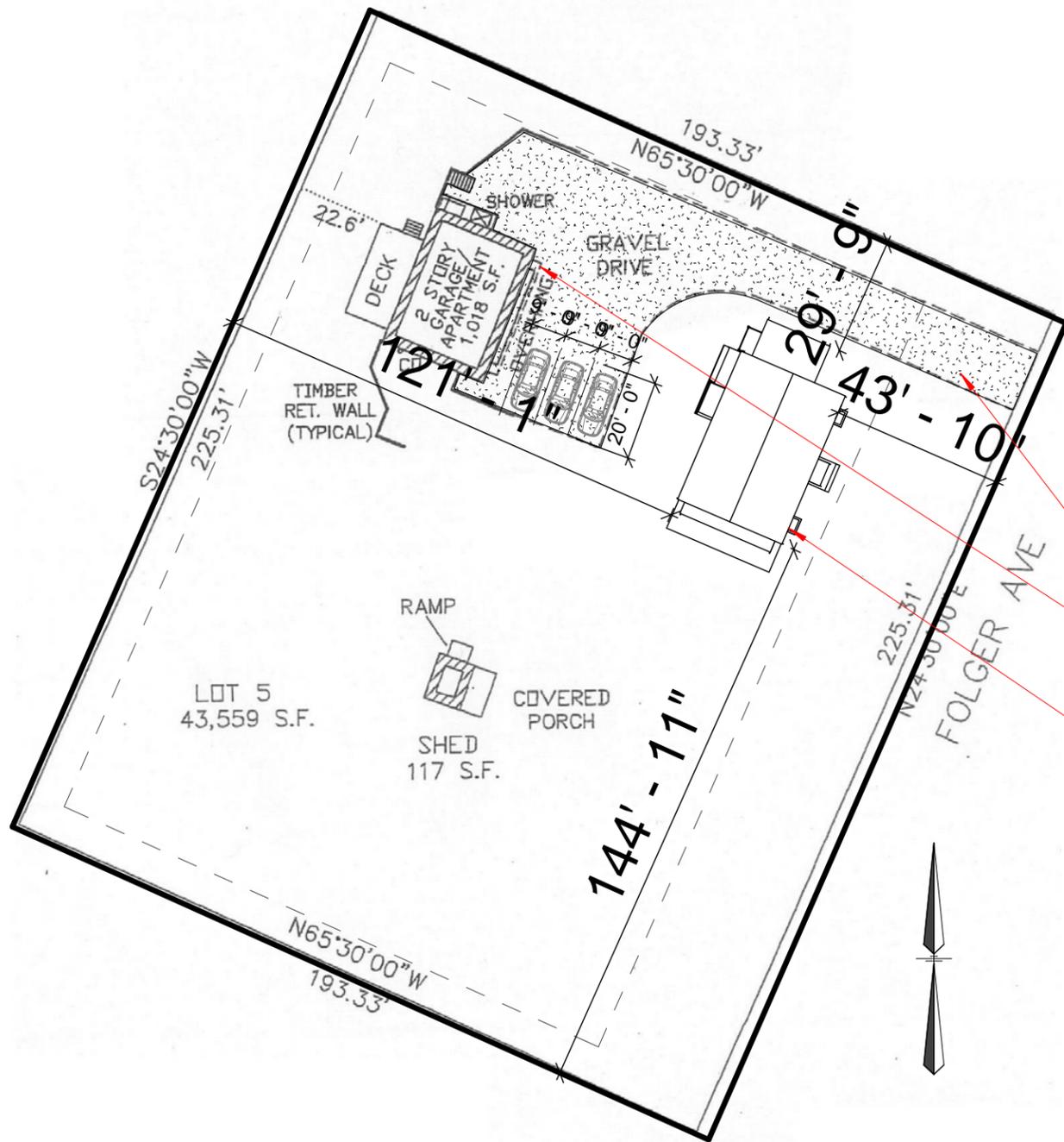
Location of proposed secondary dwelling:

Street Address _____

Assessors Tax Map # _____ Parcel # _____

Size of Parcel _____ Zoning District _____

Secondary Dwelling # of Bedrooms ____ Primary Dwelling # of Bedrooms ____

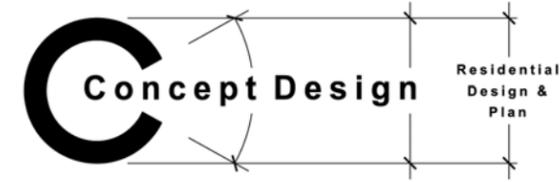


- Existing Gravel Drive
- Existing 1,018 SF [Ground Cover] Garage Apt[1 Bedroom]
- Proposed 3 Bedroom 1,285 SF [Ground Cover] Primary Dwelling[To Replace Existing Primary Dwelling Which is Currently Permitted for a "Move-Off" to Another Site]

1 Site Plan
1" = 40'-0"

Nantucket Building Dept
Submission
04.04.16

These Designs are the Property of CONCEPT DESIGN, LLC and May Not be Used Beyond the Scope of This Project. Without Express Written Consent, Applicable Copyright Laws Will be Enforced ©2016



Williams Residence
13 Folger Ave
Nantucket, MA 02554
79 of 443

Map & Parcel 80-157
Current Zoning LUG-1
Minimum Frontage 100 FT
Front Setback 35 FT
Side/Rear Setback 10 FT

Min. Lot Size 40,000 SF
Allowable G.C. 3,049 SF
Lot Size 43,557 SF
Existing G.C. 1,018 SF
Proposed G.C. 1,285 SF
Total Proposed G.C. 2,303 SF

04.04.16
A-1
SITE PLAN

13 FOLGER AV

Location 13 FOLGER AV **Assessment** \$787,600
Mblu 80 / 157 / **PID** 7628
Acct# 00007628 **Building Count** 2
Owner WILLIAMS BRENT E & STACEY T

Current Value

Assessment			
Valuation Year	Improvements	Land	Total
2015	\$398,100	\$389,500	\$787,600

Owner of Record

Owner WILLIAMS BRENT E & STACEY T **Sale Price** \$480,000
Co-Owner **Certificate**
Address 2 GREGLLEN AVE PMB 370 **Book & Page** 00713/0231
 NANTUCKET, MA 02554 **Sale Date** 09/18/2001
Instrument 00

Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
WILLIAMS BRENT E & STACEY T	\$480,000		00713/0231	00	09/18/2001
HAISS JOAN M & FRANKLIN NANCY	\$132,000		00247/ 224		04/14/1986

Building Information

Building 1 : Section 1

Year Built: 1975
Living Area: 1600
Replacement Cost: \$322,439
Building Percent 84
Good:
Replacement Cost
Less Depreciation: \$270,800

Building Attributes	
Field	Description
Style	Colonial
Model	Residential
Grade:	Average
Stories:	2 Stories
Occupancy	1
Exterior Wall 1	Wood Shingle

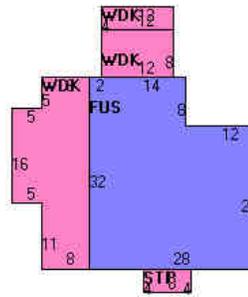
Building Photo



(<http://images.vgsi.com/photos/NantucketMAPhotos//\00\00\61/18.jpg>)

Exterior Wall 2	
Roof Structure:	Gambrel
Roof Cover	Asph/F Gls/Cmp
Interior Wall 1	Drywall/Sheet
Interior Wall 2	
Interior Flr 1	Carpet
Interior Flr 2	
Heat Fuel	Electric
Heat Type:	Electr Basebrd
AC Type:	None
Total Bedrooms:	4 Bedrooms
Total Bthrms:	2
Total Half Baths:	0
Total Xtra Fixtrs:	
Total Rooms:	
Bath Style:	Average
Kitchen Style:	Modern

Building Layout



Building Sub-Areas		Legend	
Code	Description	Gross Area	Living Area
BAS	First Floor	800	800
FUS	Upper Story, Finished	800	800
STP	Stoop	32	0
UST	Utility, Storage, Unfinished	96	0
WDK	Deck, Wood	480	0
		2208	1600

Building 2 : Section 1

Year Built: 2006
Living Area: 866
Replacement Cost: \$131,510
Building Percent Good: 96
Replacement Cost Less Depreciation: \$126,200

Building Attributes : Bldg 2 of 2	
Field	Description
Style	Gar/Apt Res
Model	Residential
Grade:	Above Average
Stories:	1.75
Occupancy	1
Exterior Wall 1	Wood Shingle
Exterior Wall 2	
Roof Structure:	Gable/Hip
Roof Cover	Asph/F Gls/Cmp
Interior Wall 1	Drywall/Sheet
Interior Wall 2	
Interior Flr 1	Pine/Soft Wood
Interior Flr 2	
Heat Fuel	Gas

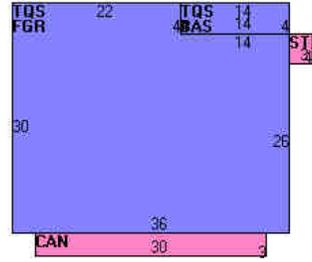
Building Photo



(<http://images.vgsi.com/photos/NantucketMAPotos//\00\01\62\61.jpg>)

Building Layout

Heat Type:	Hot Water
AC Type:	None
Total Bedrooms:	1
Total Bthrms:	1
Total Half Baths:	
Total Xtra Fixtrs:	
Total Rooms:	
Bath Style:	Average
Kitchen Style:	Modern



Building Sub-Areas			Legend	
Code	Description	Gross Area	Living Area	
TQS	Three Quarter Story	1080	810	
BAS	First Floor	56	56	
CAN	Canopy	90	0	
FGR	Garage, Finished	1024	0	
STP	Stoop	12	0	
		2262	866	

Extra Features

Extra Features		Legend
No Data for Extra Features		

Land

Land Use

Use Code	1090
Description	MULTI HSES M01
Zone	LUG1
Neighborhood	400
Alt Land Appr Category	No

Land Line Valuation

Size (Acres)	1
Frontage	0
Depth	0
Assessed Value	\$389,500

Outbuildings

Outbuildings						Legend
Code	Description	Sub Code	Sub Description	Size	Value	Bldg #
SHD1	SHED FRAME			30 S.F.	\$200	1
SHD1	SHED FRAME			120 S.F.	\$900	1

Valuation History

Assessment			
Valuation Year	Improvements	Land	Total



Nantucket Planning Board

SECONDARY DWELLING REPORT

Prepared by: Holly E. Backus, Land Use Specialist

Meeting Date: May 9, 2016

14 Eat Fire Spring Road
Assessors Map #20 Parcel #61

Applicant
BPC Architecture

Owner
John Esposito



The applicant is proposing to construct 616 square foot second dwelling. The applicant is proposing to construct an addition onto the existing primary dwelling for a total of 1953 square feet. The proposed secondary dwelling will be located on the northwest side of the site, which has approximately 138,509 square feet of lot area and is zoned LUG-3.

The dwelling will be accessed by a shared dirt driveway off Eat Fire Spring Road, which is a dirt roadway. The site will contain a total of five (5) exterior parking spaces. The site plan, as submitted meets the requirements of Zoning Bylaw Sections 139-18 and 139-20.1.

The site plan, as submitted, meets the requirements of Zoning Bylaw section 139-18 and 139-20.1.

Planning staff recommends approval of this application with the following conditions:

- (1) That the traveled surface of Eat Fire Spring Road shall be improved (i.e. grading and trimming of vegetation) a minimum width of sixteen (16) feet from Quidnet Road to Chase Lane. This road work shall be completed prior to the issuance of a Building Permit and prior to the issuance of the Certificate of Occupancy;
- (2) That the driveways shall be a minimum of ten (10) feet in width cleared free of vegetation and obstruction to a width of twelve (12) feet and a height of thirteen (13) feet pursuant to Zoning Bylaw section 139-20.1B(2)(g);
- (3) That any future landscaping at the driveway entrances be limited to low growing plant material not to exceed three (3) feet in height; and
- (4) That the applicant shall submit an As-Built prior to the final inspection by staff which shall take place prior to the issuance of a Certificate of Occupancy.

2016 APR 29 7:39



2016 APR 29 AM 7:39

C4K# 2077

Nantucket Planning Board

APPLICATION FOR A SECONDARY (2ND) DWELLING PERMIT

Date Submitted: 4/29/16 Fee Amount: _____

Applicant: BPC Architecture

Mailing address: 2 Broad St Nantucket

Daytime phone number: 228-2722 Fax: _____

E-mail Address: thea@bpc-architecture.com

Owner (if other than applicant): John Esposito

Mailing address: 313 Lynnwood Blvd Nashville TN 37205

Signature of Property Owner(s) _____

Location of proposed secondary (2ND) dwelling:

Street Address: 14 East Five Spring Rd

Assessors Tax Map #: 20 Parcel #: 61

Size of Parcel: 138,509 SF Zoning District: L063

Secondary Dwelling # of Bedrooms: 2

Primary Dwelling # of Bedrooms: 4

Number of Parking Spaces required (See Chapter 139-18 of the Bylaw): 5

Number of Parking Spaces provided: 5

Please provide a brief description of the proposed second dwelling:

PLEASE DO NOT WRITE "SEE ATTACHED."

All new construction, 2 bedroom 2nd dwelling
1/2 story w/ full basement

Main house is being added to.



Nantucket Planning Board

SECONDARY DWELLING REPORT

Prepared by: Holly E. Backus, Land Use Specialist

Meeting Date: May 9, 2016

250 Polpis Road
Assessors Map #26 Parcel #27

Applicant
Polpis Harbor LLC

Owner
Same



The applicant is proposing to construct a 2,590 secondary dwelling. The proposed secondary dwelling will be located on the northeast side of the site, which has approximately 383,763 square feet of lot area and is zoned LUG-3. There is an existing 3,470 square foot garage primary dwelling, 1,154 square foot studio, 413 square foot shed, cabana and pool already on the property.

The dwelling will be accessed by a separate pervious driveway off Polpis Road, which is a public paved road. The site will contain ten (10) exterior parking spaces for the primary structure and four (4) exterior parking spaces and three (3) interior parking spaces within a proposed garage for the secondary dwelling.

Furthermore, the applicant is requesting a waiver from the requirements of Section 139-20.1(B)(1) pursuant to Section 139-20.1(C) of the Nantucket Zoning Bylaw in order to allow two (2) curb cuts. This waiver is granted through special permit relief pursuant to a finding that (1) the structures and uses are in harmony with the general purposes and intent of Chapter 139 of the Bylaw; (2) the granting of a special permit would not have a significant and adverse effect on the scenic or historic integrity of the neighborhood, and (3) the relief is not contrary to sound traffic and safety considerations.

The site plan, as submitted does not meet the requirements of Zoning Bylaw Sections 139-18 and 139-20.1 and must be amended accordingly.

Planning staff recommends approval of this application with the following conditions:

- (1) A revised site plan indicating the required apron and apron material from the edge of pavement, total square footage of the proposed garage, and the total ground cover proposed be provided to staff prior to the issuance of approval letter;
- (2) That any future landscaping at the driveway entrances be limited to low growing plant material not to exceed three (3) feet in height;
- (3) That the driveways be cleared free of vegetation and obstruction to a width of twelve (12) feet and a height of thirteen (13) feet; and
- (4) That the applicant shall submit an As-Built prior to the final inspection by staff which shall take place prior to the issuance of a Certificate of Occupancy.

VAUGHAN, DALE, HUNTER AND BEAUDETTE

PROFESSIONAL CORPORATION

ATTORNEYS AT LAW

WHALER'S LANE

P.O. BOX 659

NANTUCKET, MASSACHUSETTS 02554

TEL: (508) 228-4455

FAX: (508) 228-3070

EDWARD FOLEY VAUGHAN

KEVIN F. DALE

RICHARD P. BEAUDETTE

LORI D'ELIA

BRYAN J. SWAIN

WILLIAM F. HUNTER
OF COUNSEL



2016 APR 30 AM 10:10

April 29, 2016

BY HAND DELIVERY

Leslie Woodson Snell
Deputy Director of Planning
Nantucket Planning Board
2 Fairgrounds Road
Nantucket, Massachusetts 02554

Re: *Secondary Dwelling and Secondary Curb Cut Application
Polpis Harbor LLC
250 Polpis Road
Nantucket, MA 02554*

Dear Leslie:

Our firm represents Polpis Harbor LLC, the owner of the property located at 250 Polpis Road, Nantucket, MA 02554 ("the Premises"). My client hereby applies for a Secondary Dwelling Permit to construct a 4 bedroom guest house on the Premises. Additionally, my client is seeking approval from the Planning Board to have a secondary curb cut on the Premises so that the secondary dwelling can be accessed independently.

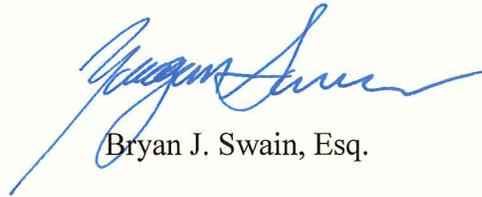
Enclosed please find the aforementioned application with supporting documentation. Please note that I have enclosed the requisite filing fee in the form of a \$100.00 check made payable to "Town of Nantucket."

Please place this matter on the Planning Board's May 9, 2016 agenda. Please note that on behalf of my client I reserve the right to supplement this application with additional materials at a later time. Please let me know if you need any additional information.

Leslie Woodson Snell
Deputy Director of Planning
April 29, 2016
Page 2 of 2

Thank you for your help and if you have any question, please do not hesitate to call me at 508-228-4455.

Sincerely,

A handwritten signature in blue ink, appearing to read "Bryan Swain". The signature is fluid and cursive, with a long horizontal stroke extending to the right.

Bryan J. Swain, Esq.

CC: Polpis Harbor LLC



Nantucket Planning Board

APPLICATION FOR A SECONDARY (2ND) DWELLING PERMIT

Date Submitted: April 29, 2016 Fee Amount: \$100.00

Applicant: Polpis Harbor LLC

C/O Vaughan, Dale, Hunter and Beaudette, P.C.
Mailing address: PO BOX 659, 2 Whalers Lane, Nantucket, MA 02554

Daytime phone number: 508-228-4455 Fax: 508-228-3070

E-mail Address: bryan@vdhlaw.com

Owner (if other than applicant): Same as above

Mailing address: Same as above

Signature of Property Owner(s)  Bryan J. Swain, Esquire, Attorney for Applicant

Location of proposed secondary (2ND) dwelling:

Street Address: 250 Polpis Road, Nantucket, MA 02554

Assessors Tax Map #: 26 Parcel #: 27

Size of Parcel: 8.81 AC Zoning District: LUG 3

Secondary Dwelling # of Bedrooms: 4

Primary Dwelling # of Bedrooms: 4

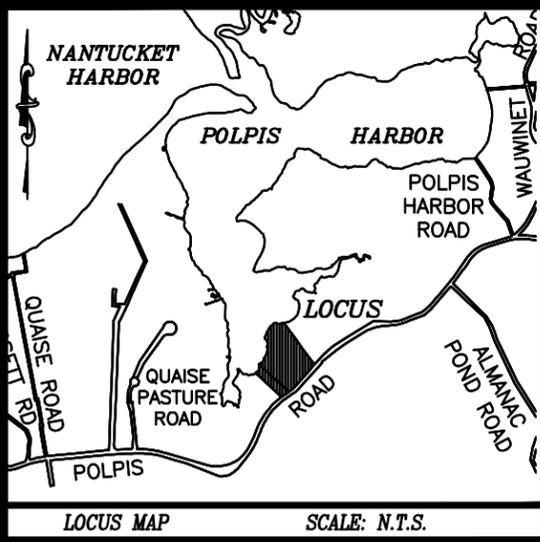
Number of Parking Spaces required (See Chapter 139-18 of the Bylaw): 4

Number of Parking Spaces provided: 14

Please provide a brief description of the proposed second dwelling:

PLEASE DO NOT WRITE "SEE ATTACHED."

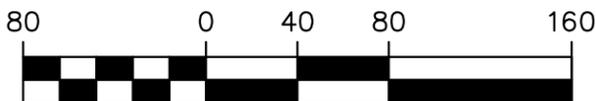
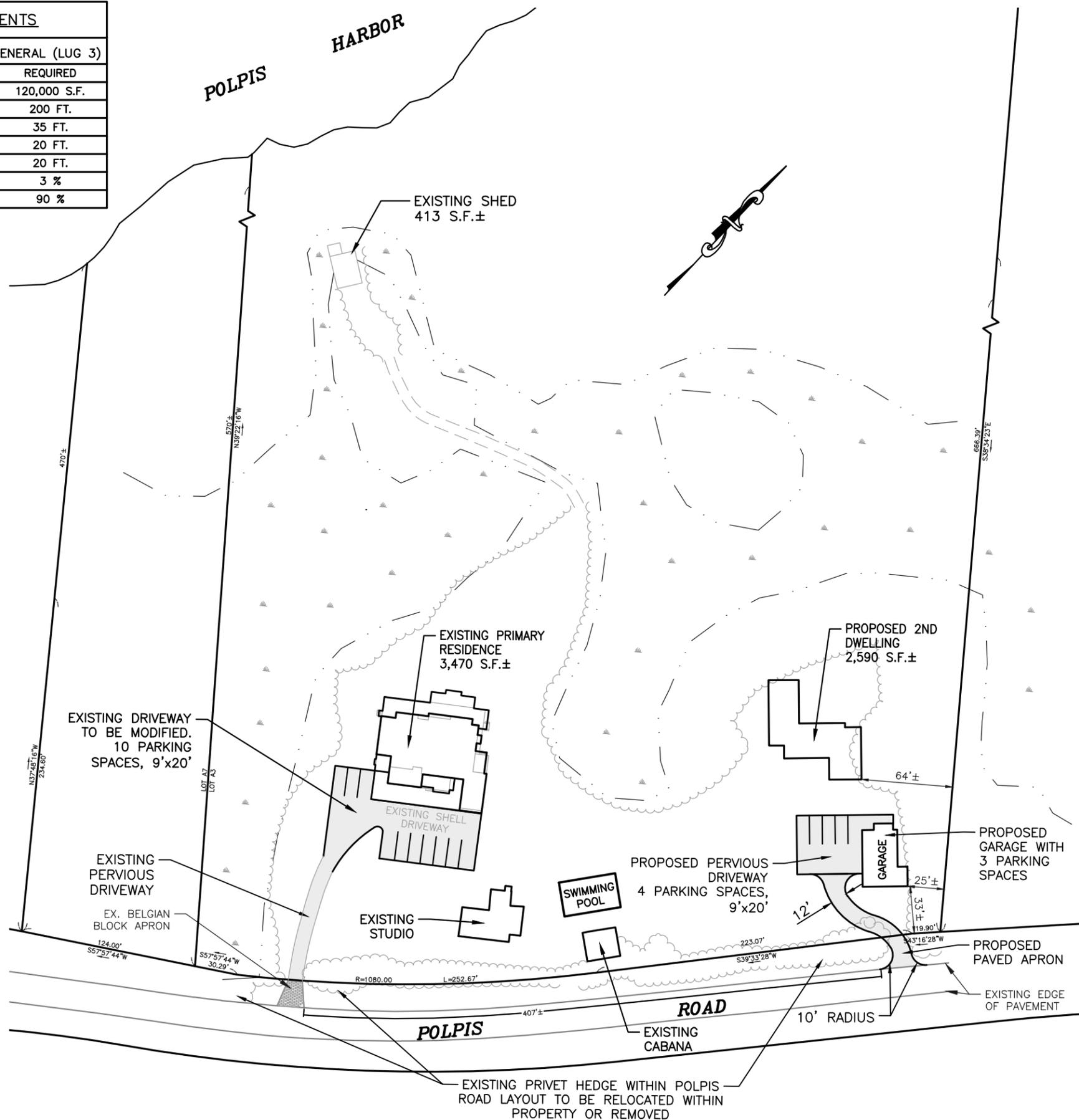
The Applicant intends to construct a 4 bedroom guest house.



ZONING REQUIREMENTS	
ZONING DISTRICT: LIMITED USE GENERAL (LUG 3)	
LOT AREA	REQUIRED 120,000 S.F.
LOT FRONTAGE	200 FT.
FRONT YARD SETBACK	35 FT.
REAR YARD SETBACK	20 FT.
SIDE YARD SETBACK	20 FT.
MAX. GROUND COVER RATIO	3 %
UPLAND AREA	90 %

GENERAL NOTES:

- EXISTING CONDITIONS INFORMATION WAS COMPILED FROM AN ON THE GROUND SURVEY PERFORMED BY BLACKWELL & ASSOCIATES, INC. AND SUPPLEMENTED WITH RECORD PLAN INFORMATION.
- ELEVATIONS ARE REFERENCED TO NAVD 88.
- THE SITE IS LOCATED WITHIN A KNOWN FLOOD HAZARD ZONE AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP COMMUNITY-PANEL NUMBER 25019C0092G, DATED JUNE 9, 2014.
- THIS SITE IS LOCATED WITHIN THE NATURAL HERITAGE ENDANGERED SPECIES PROGRAM (NHESP) PRIORITY HABITATS OF RARE SPECIES AND NHESP ESTIMATED HABITATS OF RARE WILDLIFE AS SHOWN IN THE MASSACHUSETTS NATURAL HERITAGE ATLAS, 13TH EDITION, EFFECTIVE OCTOBER 1, 2008, ISSUED BY THE NHESP, MASSACHUSETTS DIVISION OF FISHERIES AND WILDLIFE.



SCALE: 1 INCH = 80 FEET

DATE: MAY 3, 2016	REV. DATE:
PROJ.#: 14122	DRAWN BY: SKD / RT
SCALE: 1" = 80'	CHECK BY: DCM
ISSUED FOR: APPROVAL	

BUILDING SITE PLAN
248 & 250 POLPIS ROAD
 ASSESSOR'S MAP 26, PARCELS 26 & 27
 NANTUCKET, MASSACHUSETTS
 PREPARED FOR POLPIS HARBOR LLC

SITE DESIGN ENGINEERING, LLC.
 11 CUSHMAN STREET
 MIDDLEBORO, MA 02346
 T: 508-967-0673 F: 508-967-0674
 WWW.SDE-LDEC.COM



Nantucket Planning Board

SECONDARY DWELLING REPORT

Prepared by: Holly E. Backus, Land Use Specialist

Meeting Date: May 9, 2016

3 School Street
Assessors Map #42.3.2 Parcel #125 – portion of

Applicant
Blackwell & Associates, Inc.

Owner
Mary G. Heard (Estate of Edward S. Heard)



The applicant is proposing to construct a 778 square foot second dwelling at 3 School Street. The proposed three (3) bedroom dwelling will be located at the northwest corner of the site, which contains approximately 4,342 square foot of lot area (per ANR #7954 and Plan #2016-33 as attached) and is zoned ROH. The primary structure is a 421 square foot two (2) story structure.

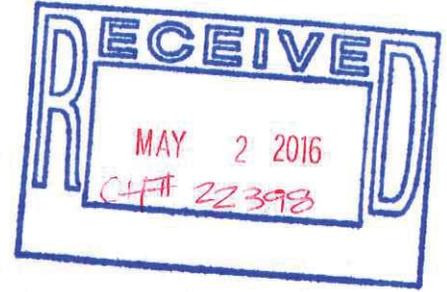
Access to the site is from Lucretia Mott Lane, which is a paved public road. The site will contain a separate shell drive off of Lucretia Mott Lane and apron with a total of one (1) parking space for the proposed secondary dwelling. The primary dwelling is currently accessed by an existing concrete parking lot off of Lucretia Mott Lane with a total of one (1) exterior parking space.

Furthermore, the applicant is requesting a waiver from the requirements of Section 139-20.1(B)(1) pursuant to Section 139-20.1(CP) of the Nantucket Zoning Bylaw in order to allow two (2) curb cuts. This waiver is granted through special permit relief pursuant to a finding that (1) the structures and uses are in harmony with the general purposes and intent of Chapter 139 of the Bylaw; (2) the granting of a special permit would not have a significant and adverse effect on the scenic or historic integrity of the neighborhood, and (3) the relief is not contrary to sound traffic and safety considerations.

The site plan, as submitted meets the requirements of Zoning Bylaw Sections 139-18 and 139-20.1.

Planning staff recommends approval of this application with the following conditions:

- (1) That any future landscaping at the driveway entrances be limited to low growing plant material not to exceed three (3) feet in height;
- (2) That the driveways be cleared free of vegetation and obstruction to a width of twelve (12) feet and a height of thirteen (13) feet; and
- (3) That the applicant shall submit an As-Built prior to the final inspection by staff which shall take place prior to the issuance of a Certificate of Occupancy.



Nantucket Planning Board

APPLICATION FOR A SECONDARY (2ND) DWELLING PERMIT

Date Submitted: 04/28/2016 Fee Amount: \$100

Applicant: Blackwell & Associates, Inc.

Mailing address: 20 Teasdale Circle

Daytime phone number: (508) 228-9026 Fax: _____

E-mail Address: jeff@blackwellsurvey.com

Owner (if other than applicant): Mary G. Heard

Mailing address: 59 Punch Bowl Drive Falmouth, MA 02540

Signature of Property Owner(s) Jeff Blackwell, Agent
Location of proposed secondary(2ND) dwelling:

Street Address: 3 School Street (Portion- Lot A Plan No. 2016-33)

Assessors Tax Map #: 42.3.2 Parcel #: 125 (portion)

Size of Parcel: 4,342 S.F. Zoning District: R-OH

Secondary Dwelling # of Bedrooms: 3

Primary Dwelling # of Bedrooms: 1

Number of Parking Spaces required (See Chapter 139-18 of the Bylaw): 2

Number of Parking Spaces provided: 2

Please provide a brief description of the proposed second dwelling:

PLEASE DO NOT WRITE "SEE ATTACHED."

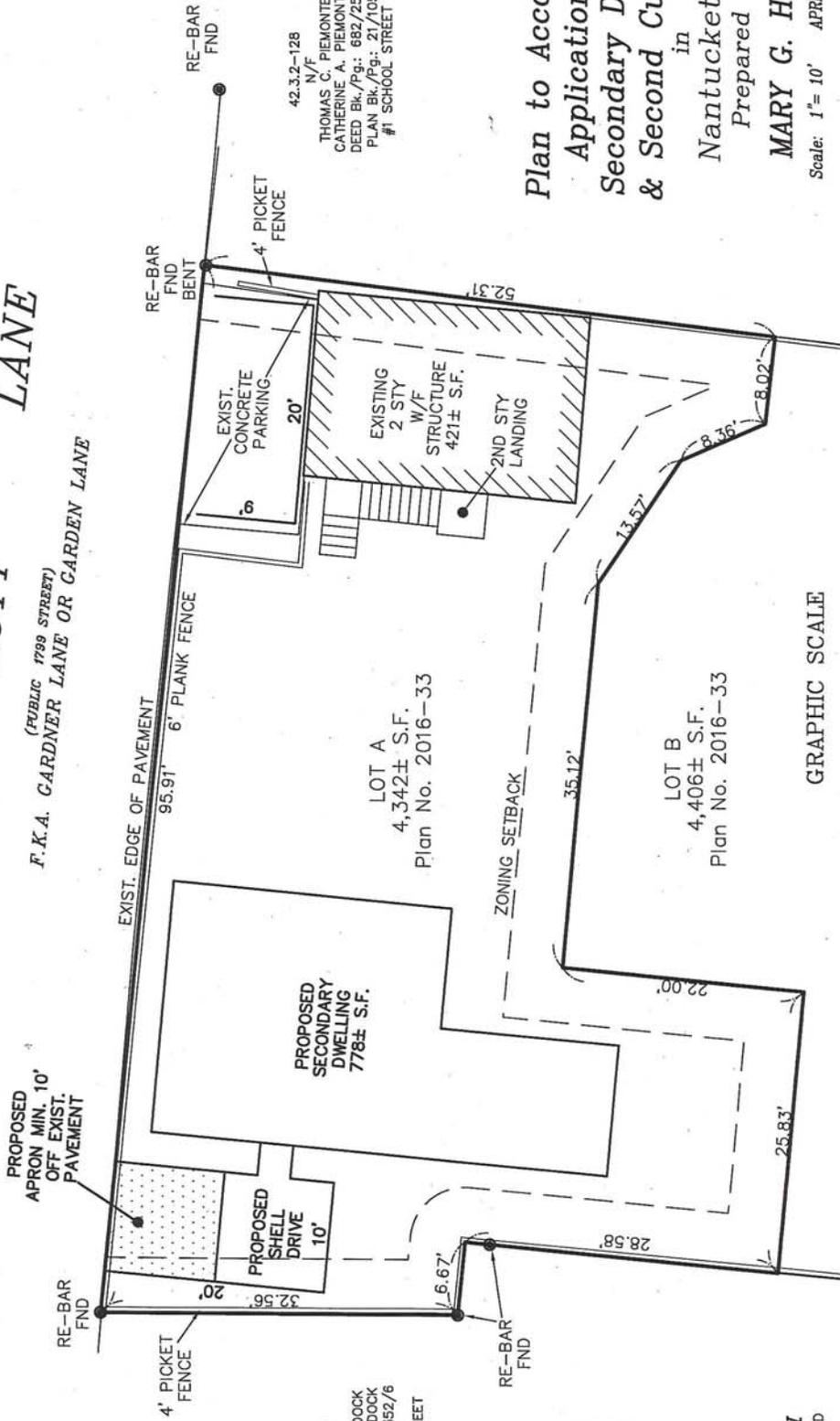
Locus was recently subdivided by Plan No. 2016-33 recorded at the Nantucket County Registry of Deeds. The applicant seeks to permit a secondary structure more than twenty percent larger and more than ten feet away from the existing structure on Lot A of Plan No. 2016-33. A concurrent Special Permit application for a second curb cut will be filed with the Planning Board in order to provide adequate off street parking. The non-conforming lot area and resulting ground cover ratio will comply with the existing allowable ground coverage for the R-OH zoning district [139-33 E (1) (a)].

CURRENT ZONING CLASSIFICATION:
Residential Old Historic (R-OH)

Proposed:
MINIMUM LOT SIZE: 5000 S.F.
MINIMUM FRONTAGE: 50 FT.
FRONT YARD SETBACK: NONE
REAR/SIDE SETBACK: 5 FT.
GROUND COVER % : 50 %

Existing:
4,342± S.F.
SEE PLAN
SEE PLAN
SEE PLAN
9.7±%

LUCRETIA MOTT LANE
(PUBLIC 1799 STREET)
F.K.A. GARDNER LANE OR GARDEN LANE



42.3.2-128
N/F
THOMAS C. PIEMONTE
CATHERINE A. PIEMONTE
DEED Bk./Pg.: 682/254
PLAN Bk./Pg.: 21/105
#1 SCHOOL STREET

42.3.2-124
N/F
MICHAEL S. BALDOCK
JENNIFER A. BALDOCK
DEED Bk./Pg.: 1352/6
NO PLAN
#7 SCHOOL STREET



OWNER INFORMATION
ESTATE OF EDWARD S. HEARD
DEED Bk. 1285, PG. 186
PLAN No. 2016-33, LOT A
ASSESSOR MAP 42.3.2 PARCEL 125 (PORTION)
#3 SCHOOL STREET

**Plan to Accompany
Application for
Secondary Dwelling
& Second Curb Cut**

in
Nantucket, MA
Prepared for
MARY G. HEARD

Scale: 1" = 10'
APRIL 28, 2016
BLACKWELL & ASSOCIATES, Inc.
Professional Land Surveyors
20 TEASDALE CIRCLE
NANTUCKET, MASS. 02554
(508) 228-9026

GRAPHIC SCALE



T: \JACK 26 JOB 60
V: \DRAWFILES\B8109\2nd Dwelling.dwg 4/28/2016 9:43:38 AM EDT

B8109



Nantucket Planning Board

TERTIARY DWELLING REPORT

Prepared by: Holly E. Backus, Land Use Specialist

Meeting Date: May 9, 2016

50 Appleton Road

Assessors Map #66 Parcel #51

Applicant

Karen D. Baird

Owner

SAME



The Applicant is proposing to construct a one (1) bedroom tertiary dwelling with a gross floor area of 286 square feet. The site, 50 Appleton Road, contains an existing 1,744 square foot primary dwelling unit to be owner occupied and an existing 630 square foot, one (1) story secondary dwelling. The proposed tertiary dwelling will be located within an existing shed to be converted into the tertiary, located at the northwest side of the site, which has approximately 36,896 square feet in lot area and is zoned R-20. All structures will be owned by the same owner.

Access to the site is from Appleton Road which is partially a private paved and partially a private dirt roadway. The Applicant proposes a Belgian Block apron and a dirt driveway that will contain a total of six (6) exterior parking spaces. The site plan, as submitted, meets the requirements of Zoning Bylaw Sections 139-18 and 139-20.1.

Planning staff recommends approval of this application with the following conditions:

- (1) That apron at the driveway entrance shall be constructed to a minimum depth of ten (10) feet, to be installed from the edge of pavement and in accordance with the provisions of Nantucket Zoning Bylaw Section 139-20.1(B)(2)(d);
- (2) That the driveway entrance be cleared free of vegetation and obstruction to a width of twelve (12) feet and a height of thirteen (13) feet;
- (3) That any landscaping at the driveway entrance be limited to low growing plant material not to exceed three (3) feet in height; and,
- (4) That the applicant shall submit an As-Built prior to the final inspection by staff which shall take place prior to the issuance of a Certificate of Occupancy.

VAUGHAN, DALE, HUNTER AND BEAUDETTE

PROFESSIONAL CORPORATION

ATTORNEYS AT LAW

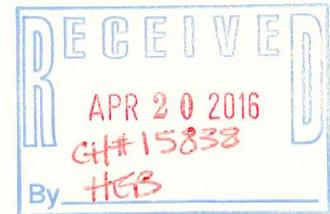
WHALER'S LANE

P.O. BOX 659

NANTUCKET, MASSACHUSETTS 02554

TEL: (508) 228-4455

FAX: (508) 228-3070



EDWARD FOLEY VAUGHAN

KEVIN F. DALE

RICHARD P. BEAUDETTE

—
LORI D'ELIA

BRYAN J. SWAIN

WILLIAM F. HUNTER

OF COUNSEL

April 20, 2016

BY HAND DELIVERY

Leslie Woodson Snell
Deputy Director of Planning
Nantucket Planning Board
2 Fairgrounds Road
Nantucket, Massachusetts 02554

*Re: Tertiary Dwelling Permit Application
Karen D. Baird
50 Appleton Road
Nantucket, MA 02554*

Dear Leslie:

Our firm represents Karen D. Baird, the owner of the property located at 50 Appleton Road, Nantucket, MA 02554 ("the Premises"). My client hereby applies for a Tertiary Dwelling Permit to convert an existing shed on the Premises into a Tertiary Dwelling.

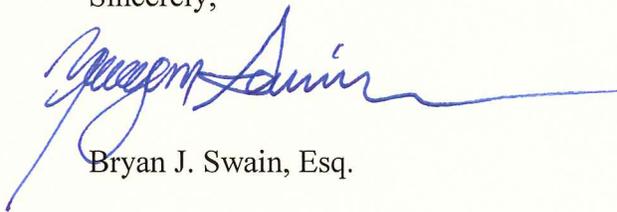
Enclosed please find the aforementioned application with supporting documentation. Please note that I have enclosed the requisite filing fee in the form of a \$100.00 check made payable to "Town of Nantucket."

Please place this matter on the Planning Board's May 9, 2016 agenda. Please note that on behalf of my client I reserve the right to supplement this application with additional materials at a later time. Please let me know if you need any additional information.

Leslie Woodson Snell
Deputy Director of Planning
April 20, 2016
Page 2 of 2

Thank you for your help and if you have any question, please do not hesitate to call me at 508-228-4455.

Sincerely,

A handwritten signature in blue ink, appearing to read "Bryan J. Swain", with a long horizontal flourish extending to the right.

Bryan J. Swain, Esq.

CC: Karen D. Ward



Nantucket Planning Board

APPLICATION FOR A TERTIARY (3rd) DWELLING PERMIT

Date Submitted: April 20, 2016 Fee Amount: \$100.00 Number: 8

Applicant: Karen D. Baird

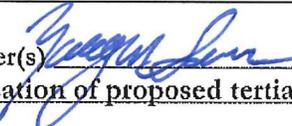
Mailing address: C/O Vaughan, Dale, Hunter and Beaudette, P.C.
2 Whaler's Lane, Nantucket, MA 02554

Daytime phone number: 508-228-4455 Fax: 508-228-3070

E-mail Address: bryan@vdhlaw.com

Owner (if other than applicant): same as above

Mailing address: same as above

Signature of Property Owner(s)  Bryan J. Swain, Esq., Attorney-in-fact for Applicant

Location of proposed tertiary (3RD) dwelling:

Street Address: 50 Appleton Road, Nantucket, MA 02554

Assessors Tax Map #: 66 Parcel #: 51

Size of Parcel: .84 Acres Zoning District: Residential - 20

Tertiary Dwelling # of Bedrooms: 1

Secondary Dwelling # of Bedrooms: 2

Primary Dwelling # of Bedrooms: 3

Number of Parking Spaces required (See Chapter 139-18 of the Bylaw): 4

Number of Parking Spaces provided: 6

OCCUPANCY: (Circle which unit will be owner occupied)

Primary

Secondary

Tertiary

OWNERSHIP TITLE REFERENCES:

RECORDED LAND (Registry of Deeds Title References)

DEED noted in Book 594, Page 167

Lot(s) # B shown on Plan Plan Book: 21 Page: 11

REGISTERED LAND (Land Court Title References)

Certificate of Title Number n/a

Lot (s) # n/a shown on Land Court Plan# n/a

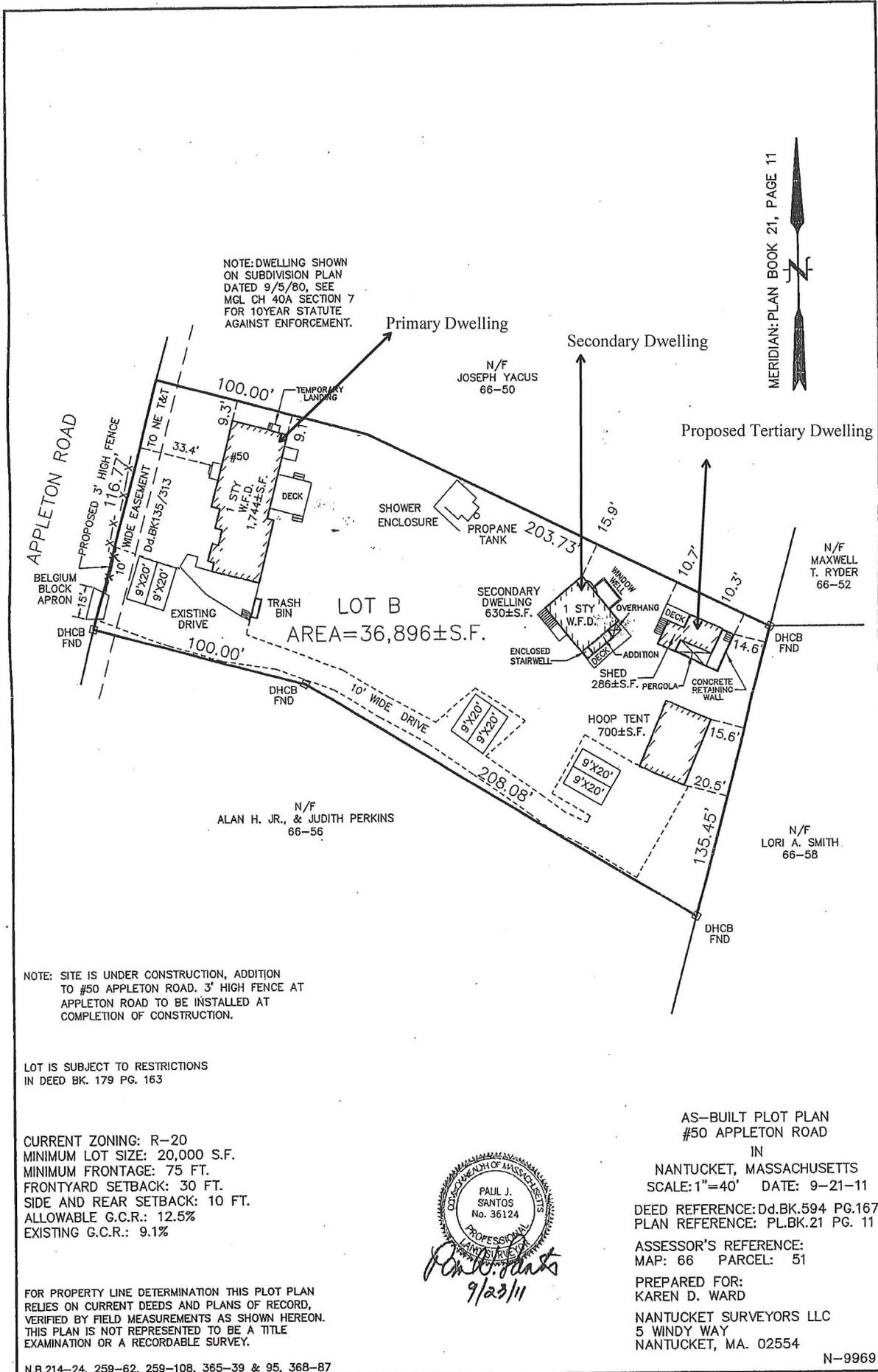
Please provide a brief description of the proposed third dwelling:

*****PLEASE DO NOT WRITE "SEE ATTACHED."*****

The Applicant desires to convert an existing shed on the Premises into a Tertiary Dwelling. The shed's existing ground cover is approximately 286 square feet and the total gross floor area of the shed is approximately 572 s.f. The Tertiary Dwelling will be owned by the same owner of the Primary Dwelling and Secondary Dwelling located on the Premises.

*****Submission Requirements: See attached checklist:**

Nantucket Planning and Land Use Services ▪ 2 Fairgrounds Road ▪ Nantucket ▪ MA ▪ 02554 ▪ (508) 325-7587



NOTE: DWELLING SHOWN ON SUBDIVISION PLAN DATED 9/5/80, SEE MGL CH 40A SECTION 7 FOR 10 YEAR STATUTE AGAINST ENFORCEMENT.

MERIDIAN: PLAN BOOK 21, PAGE 11

NOTE: SITE IS UNDER CONSTRUCTION, ADDITION TO #50 APPLETON ROAD. 3' HIGH FENCE AT APPLETON ROAD TO BE INSTALLED AT COMPLETION OF CONSTRUCTION.

LOT IS SUBJECT TO RESTRICTIONS IN DEED BK. 179 PG. 163

CURRENT ZONING: R-20
 MINIMUM LOT SIZE: 20,000 S.F.
 MINIMUM FRONTAGE: 75 FT.
 FRONTYARD SETBACK: 30 FT.
 SIDE AND REAR SETBACK: 10 FT.
 ALLOWABLE G.C.R.: 12.5%
 EXISTING G.C.R.: 9.1%

FOR PROPERTY LINE DETERMINATION THIS PLOT PLAN RELIES ON CURRENT DEEDS AND PLANS OF RECORD, VERIFIED BY FIELD MEASUREMENTS AS SHOWN HEREON. THIS PLAN IS NOT REPRESENTED TO BE A TITLE EXAMINATION OR A RECORDABLE SURVEY.

PAUL J. SANTOS
 No. 36124
 PROFESSIONAL SURVEYOR
Paul J. Santos
 9/23/11

AS-BUILT PLOT PLAN
 #50 APPLETON ROAD
 IN
 NANTUCKET, MASSACHUSETTS
 SCALE: 1"=40' DATE: 9-21-11
 DEED REFERENCE: Dd.BK.594 PG.167
 PLAN REFERENCE: PL.BK.21 PG. 11
 ASSESSOR'S REFERENCE:
 MAP: 66 PARCEL: 51
 PREPARED FOR:
 KAREN D. WARD
 NANTUCKET SURVEYORS LLC
 5 WINDY WAY
 NANTUCKET, MA. 02554

N.B.214-24, 259-62, 259-108, 365-39 & 95, 368-87

N-9969



Nantucket Planning Board

TERTIARY DWELLING REPORT

Prepared by: Holly E. Backus, Land Use Specialist

Meeting Date: May 9, 2016

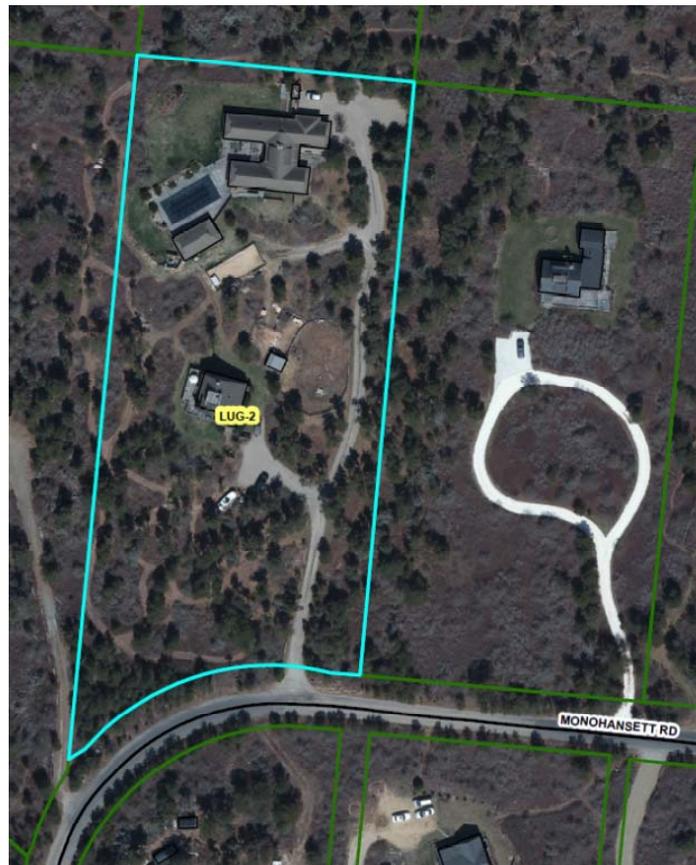
16 Monohansett Road
Assessors Map #79 Parcel #143

Applicant

16 Monohansett Road Trust

Owner

SAME



The Applicant is proposing to construct a one 1-bedroom tertiary dwelling with a gross floor area of 506 square feet. The site, 16 Monohansett Road, contains an existing 3,303 square foot primary dwelling unit to be owner occupied. The proposed tertiary dwelling will be located within the existing one (1) story building , located at the northwest side of the site, which has approximately 117,724 square feet in lot area and is zoned LUG-2.

Access to the site is from Monohansett Road; a private paved roadway. The Applicant proposes a Belgian Block apron and a shell driveway that will contain a total of four (5) exterior parking spaces. The site plan, as submitted does not meet the requirements of Zoning Bylaw Sections 139-18 and 139-20.1. A revised site plan is required.

Upon receiving an amended site plan, planning staff recommends approval of this application with the following conditions:

- (1) That one of the three (3) dwellings on the site will be owner occupied;
- (2) That apron at the driveway entrance shall be constructed to a minimum depth of ten (10) feet, to be installed from the edge of pavement and in accordance with the provisions of Nantucket Zoning Bylaw Section 139-20.1(B)(2)(d);
- (3) That there be a minimum of five (5) parking spaces delineated on the site plan;
- (4) That the driveway entrance be cleared free of vegetation and obstruction to a width of twelve (12) feet and a height of thirteen (13) feet;
- (5) That any landscaping at the driveway entrance be limited to low growing plant material not to exceed three (3) feet in height; and,
- (6) That the applicant shall submit an As-Built prior to the final inspection by staff which shall take place prior to the issuance of a Certificate of Occupancy.



2016 APR 12 PM 2:14

Nantucket Planning Board

APPLICATION FOR A TERTIARY (3rd) DWELLING PERMIT

Date Submitted: 4/4/2016 Fee Amount: \$100.00 Number: _____

Applicant: 16 Monohansett Road Trust

Mailing address: 16 Monohansett Rd

Daytime phone number: (508) 280-3747 Fax: _____

E-mail Address: guard@wackebrothersconstruction.com

Owner (if other than applicant): SAME

Mailing address: SAME

Signature of Property Owner(s) Elizabeth (on ship)

Location of proposed tertiary (3RD) dwelling:

Street Address: 16 Monohansett Road

Assessors Tax Map #: 79 Parcel #: 143

Size of Parcel: 117,724 sq ft Zoning District: WG-2

Tertiary Dwelling # of Bedrooms: 1

Secondary Dwelling # of Bedrooms: 3

Primary Dwelling # of Bedrooms: 3

Number of Parking Spaces required (See Chapter 139-18 of the Bylaw): _____

Number of Parking Spaces provided: 15 +

OCCUPANCY: (Circle which unit will be owner occupied)

Primary

Secondary

Tertiary

OWNERSHIP TITLE REFERENCES:

RECORDED LAND (Registry of Deeds Title References)

DEED noted in Book 1503, Page 322

Lot(s) # 29 shown on Plan 11A

REGISTERED LAND (Land Court Title References)

Certificate of Title Number _____

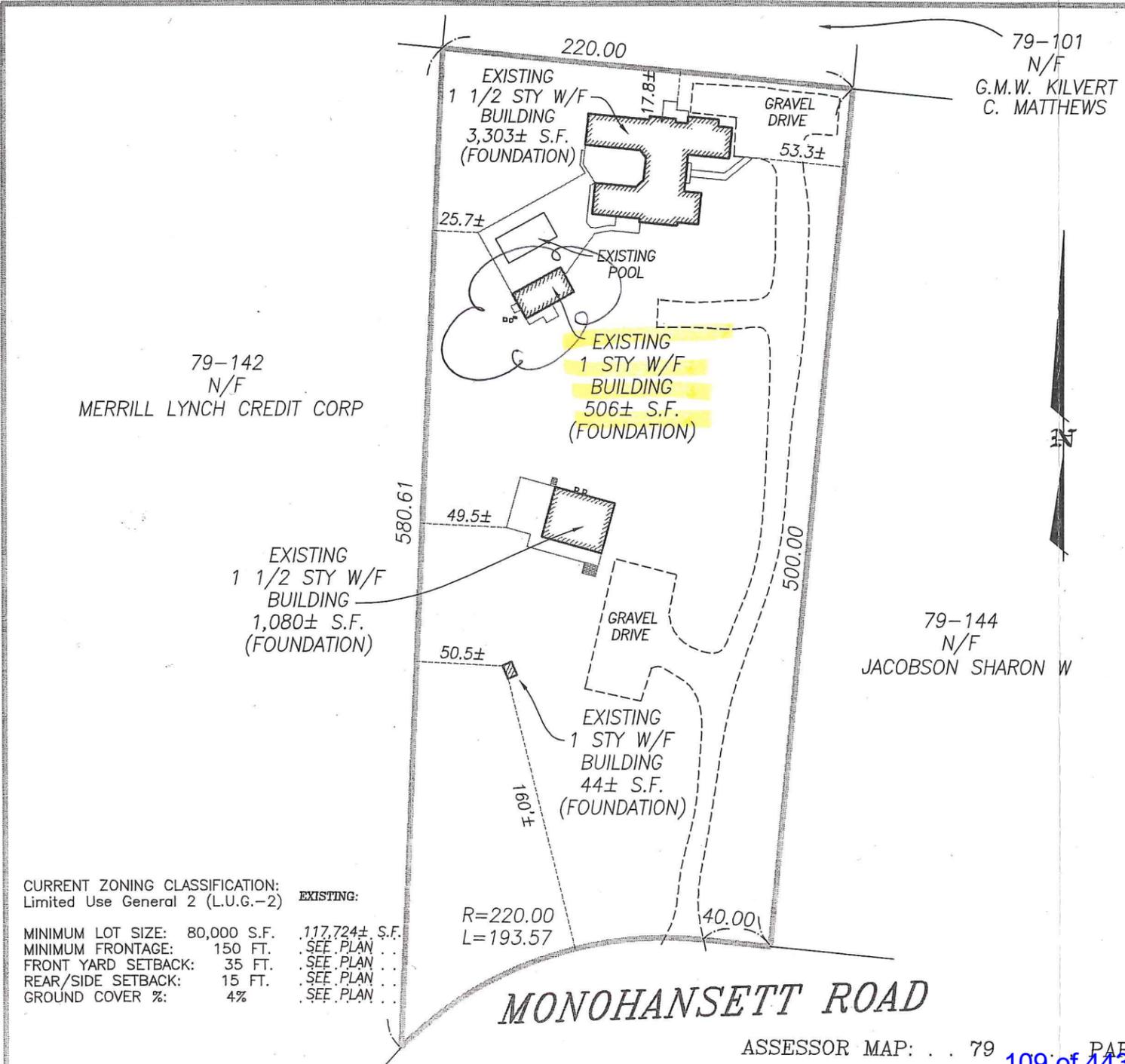
Lot (s) # _____ shown on Land Court Plan# _____

Please provide a brief description of the proposed third dwelling:

*****PLEASE DO NOT WRITE "SEE ATTACHED."*****

open studio building with 1/2 bath
#506 sq. ft.

*****Submission Requirements: See attached checklist:**



CURRENT ZONING CLASSIFICATION:
 Limited Use General 2 (L.U.G.-2)

EXISTING:
 MINIMUM LOT SIZE: 80,000 S.F. .117,724± S.F.
 MINIMUM FRONTAGE: 150 FT. .SEE PLAN
 FRONT YARD SETBACK: 35 FT. .SEE PLAN
 REAR/SIDE SETBACK: 15 FT. .SEE PLAN
 GROUND COVER %: 4% .SEE PLAN

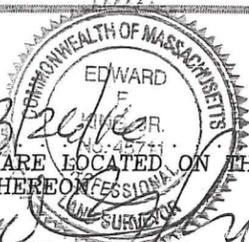
R=220.00
 L=193.57

MONOHANSETT ROAD

79-101
 N/F
 G.M.W. KILVERT
 C. MATTHEWS

79-142
 N/F
 MERRILL LYNCH CREDIT CORP

79-144
 N/F
 JACOBSON SHARON W



I CERTIFY, AS OF: 3/26/16 THAT
 THE BUILDING(S) IS/ARE LOCATED ON THE
 GROUND AS SHOWN HEREON
 PROFESSIONAL LAND SURVEYOR

THIS PLOT PLAN WAS PREPARED FOR THE TOWN
 OF NANTUCKET BUILDING DEPARTMENT ONLY AND
 SHOULD NOT BE CONSIDERED A PROPERTY LINE
 SURVEY. THIS PLAN SHOULD NOT BE USED TO
 ESTABLISH PROPERTY LINES, FENCES, HEDGES OR
 ANY ANCILLARY STRUCTURES ON THE PREMISES.
 THE PROPERTY LINES SHOWN RELY ON CURRENT
 DEEDS AND PLANS OF RECORD.
 THIS PLOT PLAN IS NOT A CERTIFICATION AS TO
 TITLE OR OWNERSHIP OF THE PROPERTY SHOWN.
 OWNERS OF ADJOINING PROPERTIES ARE SHOWN
 ACCORDING TO CURRENT ASSESSOR RECORDS.

**BUILDING LOCATION PLAN
 OF LAND IN
 NANTUCKET, MASS.**

SCALE: 1" = 80' DATE: MARCH 26, 2016

Owner: . . . SIXTEEN MONOHANSETT ROAD TRUST . . .
 Deed: . . . 1503-322 . . . Plan: LOT 29; PLAN FILE 11A
 Locus: 16 MONOHANSETT ROAD

ISLAND SURVEYORS, LLC
 Professional Land Surveyors
 90 OLD SOUTH ROAD
 NANTUCKET, MASS. 02554
 (508) 228-2720

Holly Backus

From: Holly Backus
Sent: Tuesday, May 03, 2016 10:18 AM
To: 'Teddy'
Subject: 16 Monohansett Road - Tertiary Dwelling Application

Importance: High

Hi Teddy,

Hope you are staying out of the rain.

I have questions for your client's site plan of the proposed Tertiary Dwelling Application for the May 9th meeting:

(1) Since Monohansett is a paved roadway, we will need an apron (cobblestone, Belgium block, concrete, brick, or asphalt... 10' minimum depth behind the edge of pavement.)

(2) Five parking spaces are required. They need to be delineated with dimensions on the plan.

(3) Which structure will be owner occupied?

Thanks in advance for your help!!

Holly E. Backus
Land Use Specialist

Town of Nantucket
Planning & Land Use Services
2 Fairgrounds Road
Nantucket, MA 02554

Tel: 508-325-7587 X 7026

Fax: 508-228-7298

hbackus@nantucket-ma.gov

<http://www.nantucket-ma.gov>





#3222 FORM J
Oliver Estates
Lot1A
Map 55 Parcel 367





Nantucket Planning Board

Form J Certificate of Completion and Release of Municipal Interest in Subdivision Performance Security

Date: May 5, 2016 Planning Board File # 3222

Subdivision Name: Oliver Estates

Owner: Camelia R. Oliver

Owner's Address: Post Office Box 144, Nantucket, MA 02554

Phone number: _____ Fax number: _____ E-mail: _____

Applicant, (if other than owner): _____

Applicant's Address: _____

Phone number: _____ Fax number: _____ E-mail: _____

Date of Subdivision Plan: February 23, 1988

Land Location: Pleasant Street and Camelia Lane

Plan Recorded: Nantucket Registry of Deeds Plan Book 24 Page 80

Plan Registered: Nantucket Land Registry, Land Court Plan Number _____

Type of Performance Security:

Covenant dated: July 5, 1988
Covenant recorded: Nantucket Registry of Deeds, Book 306 Page 201.

or

Covenant registered: Nantucket Land Registry District as Document # _____ and noted on
Certificate of Title # _____ in Registration Book _____ Page _____.

Deposit of money, agreement dated: _____

Bank (if bank passbook): _____

Address of Bank: _____

Other Security, agreement dated: _____

Letter of credit, agreement dated: _____

Nantucket Planning and Land Use Services ▪ 2 Fairgrounds Road ▪ Nantucket ▪ MA ▪ 02554 ▪ (508) 325-7587

Bank: _____

Address of Bank: _____

The undersigned, being a majority of the Planning Board of Nantucket, have determined that the construction of ways and installation of municipal services in the subdivision referred to above have been completed partially completed by the applicant in accordance with the Board's rules and regulations to adequately serve the following enumerated lots:

Lot 1 in Plan Book 24 Page 80
_____.

Pursuant to Section 81.U of Chapter 41, M.G.L. and in consideration of said construction and installation, the Town of Nantucket, a Massachusetts corporation, acting through its Planning Board, hereby releases its interest in the Performance Security referred to above, as to the lots enumerated in the preceding paragraph only.

Duly executed as a sealed instrument this _____ day of _____, 2016.
(Date) (Month) (Year)

Barry G. Rector

Nat Lowell

Linda Williams

John Trudel, III

Joseph Marcklinger

Signed by a Majority of the Town of Nantucket Planning Board

COMMONWEALTH OF MASSACHUSETTS

Nantucket, SS _____, 2016

On the _____ day of _____, 2016, before me, the undersigned notary public,

Personally appeared _____, one of the above-named members of the Planning Board of Nantucket, Massachusetts, personally known to me to be the person whose name is signed on the preceding document, and acknowledge that he/she signed the foregoing instrument voluntarily for the purposes therein expressed.

Notary Public

My commission expires:

Catherine Ancero

From: Andrew Vorce
Sent: Friday, April 29, 2016 11:30 AM
To: Catherine Ancero
Cc: 'Patricia Halsted'
Subject: RE: 76 Pleasant Street - Camelia Lane

Please include an item on the 5/9 PB meeting for a Form J sign off for Lot 1A Camelia Lane subdivision. All remaining items have been closed out.

Andrew

From: Patricia Halsted [<mailto:patricia@halstedlaw.com>]
Sent: Friday, April 29, 2016 11:24 AM
To: Andrew Vorce
Subject: 76 Pleasant Street - Camelia Lane

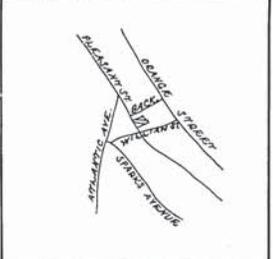
Hi Andrew,

I understand you spoke to Rhoda and it sounds like we're all set with this. The seller confirmed return of his monies 2 years ago. We just need to submit the Form J for May's meeting. I did go by the property after we met and there is an apron at the end of the drive, etc.

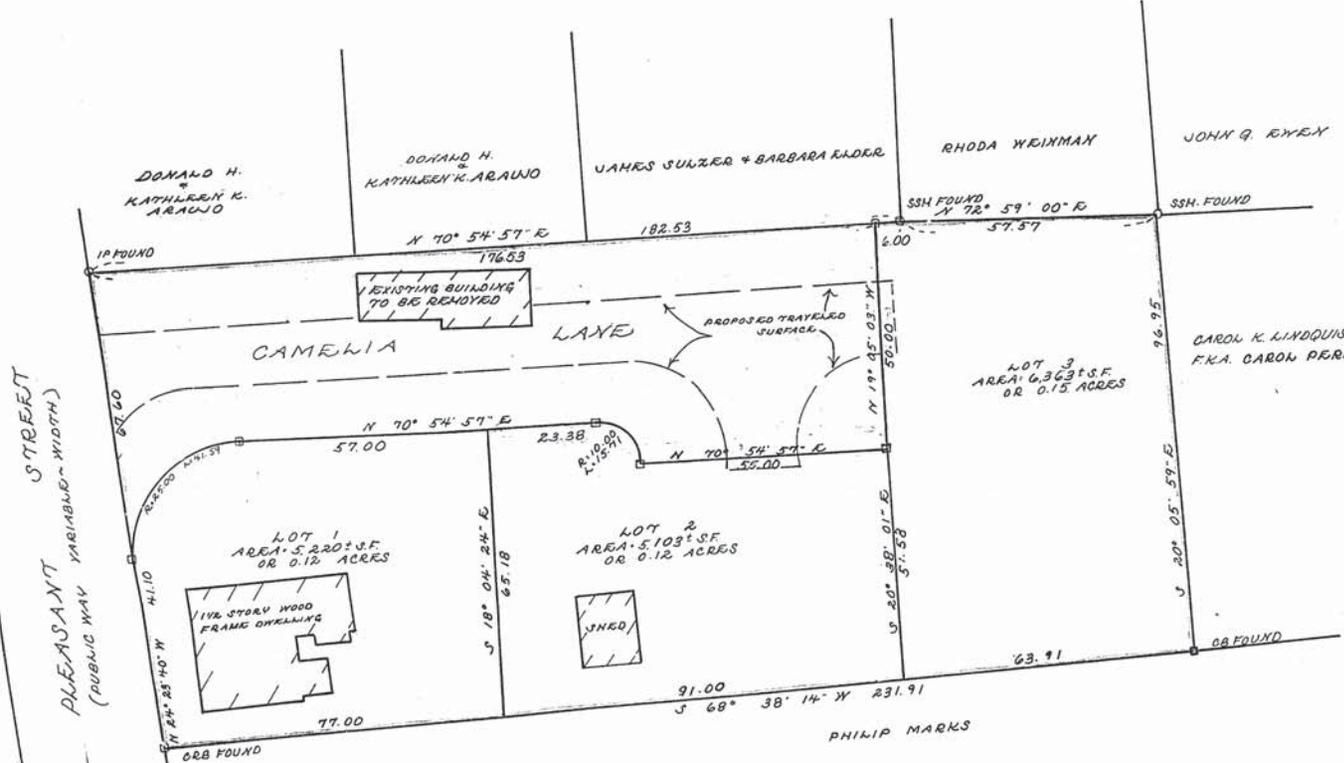
Please confirm.

Thank you for your time.
Patricia

August 29 1988 10:25AM
 RECEIVED AND ENTERED WITH
 NANTUCKET COUNTY DEEDS BOOK OF
 PLANS NO. 24 PAGE 80
 James M. Halagane REGISTER
 ATTEST REGISTER



LOCUS MAP
 SCALE 1"=2000'
 ZONING DATA
 ZONE R-1
 AREA 5000 SF
 FRONTAGE 50'
 FRONT YARD 10'
 SIDE + REAR YARD 5'
 GROUND COVER 30%



PLEASANT STREET
 (PUBLIC WAY VARIABLE WIDTH)

APPROVED:
 NANTUCKET PLANNING BOARD
 [Signatures]
 DATE APPROVED: June 1988
 DATE SIGNED: August 1988
 FILE NO. 3222

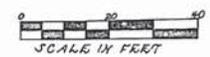
LEGEND:
 □ DH IN CB. TO BE SET UNLESS OTHERWISE NOTED.

I, JOANNIE HOLDGATE, CLERK OF THE TOWN OF NANTUCKET, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.
 TOWN CLERK, Joannie M. Holdgate
 DATE: August 29, 1988

NOTE: THIS PLAN IS SUBJECT TO A COVENANT WITH THE NANTUCKET PLANNING BOARD RECORDED NANTUCKET REGISTRY OF DEEDS. BOOK PAGE



DEFINITE PLAN OF LAND IN NANTUCKET, MA.
 SCALE 1" = 20'
 FEBRUARY 23, 1988
 JOHN J. SHUGRUE, INC.
 57 OLD SOUTH ROAD
 NANTUCKET, MA. 02554
 SUBDIVIDER: ESTATE OF DONALD T. ONYER, EXEC.
 SESAPAXA ROAD
 NANTUCKET, MA. 02554





#7263 Reed Pond
Definitive Subdivision Plan
Map 30 Parcels 8, 610, 611, 612, 613, 614, 615
Extension of Time request



SARAH F. ALGER, P.C.

ATTORNEYS AT LAW

TWO SOUTH WATER STREET • NANTUCKET, MASSACHUSETTS • 02554
TELEPHONE: 508-228-1118 FACSIMILE: 508-228-8004

SARAH F. ALGER
sfa@sfapc.com

CHRISTINE A. JENNESS
caj@sfapc.com

FIVE PARKER ROAD • POST OFFICE BOX 449
OSTERVILLE • MASSACHUSETTS • 02655
TELEPHONE: 508-428-8594 FACSIMILE: 508-420-3162

JOHN R. ALGER
1931-2007

April 19, 2016

Leslie Snell, Deputy
Director of Planning
Nantucket Planning & Economic
Development Commission
Two Fairgrounds Road
Nantucket, Massachusetts 02554

Re: Reed Pond Properties
File No. 7263

Dear Leslie:

We are requesting an extension of the time within which to complete the subdivision improvements under Paragraph 15 of the Subdivision Approval from April 22, 2016 to April 23, 2018.

Please put it on your agenda for the next meeting.

Thank you for your attention to this matter.

Sincerely,



SFA/jtd

Enclosure

cc: Mr. William P. Graves, III
78 Prescott Street
Pepperell, Massachusetts 01463

Ms. Lydia B. Graves II
68 Cotting Street
Medford, Massachusetts 02155



NANTUCKET
TOWN SEAL

10 JAN 27 P 3:13

RECEIVED

Nantucket Planning Board

APPROVAL OF A DEFINITIVE SUBDIVISION PLAN (AR)

Reed Pond Properties
Planning Board File #7263

Applicant/Owner:
William P. Graves, III Individually and as Trustees of the Alice G. DeJonge Trust
Lydia B. Graves, II

129 and 137 Cliff Road

Registered in the Nantucket Registry District of the Land Court, Certificate of Title #19163 and 23308

Parcels 8, 259 and 261 shown on Nantucket Tax Assessors Map 30

January 21, 2010

The applicant is proposing an Approval Required (AR) subdivision on a 44.7 acre parcel with frontage on Cliff Road. There are a total of nine (9) lots in the subdivision, six (6) of which are buildable. All of the buildable lots within the proposed subdivision meet or exceed the minimum lot size, frontage, and upland requirements.

The roadway for the proposed development is a dead-end roadway terminating with a cul-de-sac. The traveled surface of the roadway will be paved with a stone-seal to a width of sixteen (16) feet, with one (1) foot cape cod berms on each side. Stormwater runoff from the proposed interior roadway will be collected by deep sump catch basins, which will discharge to subsurface infiltration systems designed to contain and infiltrate up to the 100 year storm event. All lots within the proposed subdivision will be serviced by municipal water and wastewater will be treated through individual on-site septic systems.

The site is partially located within the 100 year flood plain and presently contains several wetland areas. The site is located in an area containing endangered species subject to the Massachusetts Endangered Species Act (MESA). The applicant has filed an application with the Natural Heritage Endangered Species Program (NHESP) to address any endangered species issues that may affect this proposal.

The Nantucket Planning Board at its January 21, 2010 meeting voted 5-0 to close the public hearing and voted 5-0 to **APPROVE** the Definitive Subdivision Plan (AR) for property located at 129 and 137 Cliff Road. The application for approval of this definitive subdivision plan was received by the Planning Board on November 16, 2009 and approval of the subdivision was based on the following documents:

- Plans entitled "Definitive Subdivision Plans for Reed Pond Properties, Nantucket, Massachusetts", sheets 1 through 9, prepared by Cullinan Engineering, Co., Inc. dated November 13, 2009, revised through January 7, 2010;
- Supporting Documentation for Application for Approval of Definitive Subdivision Plan prepared by Cullinan Engineering, Co., Inc. dated November 13, 2009;
- Engineering review reports from Pesce Engineering & Associates, Inc., engineering consultants for the Planning Board, dated December 31, 2009 and January 11, 2010;
- A Preliminary Plan approval letter dated August 13, 2007;
- Representation and testimony received in connection with the public hearing held December 14, 2009, January 11, 2010, and January 21, 2010. Minutes of these meetings are on file with the Planning Board; and
- Other assorted documents (including correspondence from abutting property owners) that are on file with the Planning Board.

Approval of the subdivision is granted conditionally upon the aforementioned documents, compliance with the Planning Board's *Rules and Regulations Governing the Subdivision of Land* (as amended through December 20, 1999), and on the following additional requirements and agreements:

1. That the applicant be granted the following waivers from the *Rules and Regulations Governing the Subdivision of Land*:

2.06c	Staking of Subdivision	Waiver PARTIALLY Granted – the applicant is required to stake the centerline of the proposed roadway and all points where lots intersect the proposed roadway. Due to the vegetative brush cover on the site, individual lots are not required to be staked.
4.03a(1)	Streets	Waiver Granted – the applicant is proposing the Rural Road Alternative. The interior roadway will be a width of eighteen (18) feet (including berms) with a stone-seal surface and two (2) foot grass shoulders;
4.05	Street Construction	Waiver Granted – the applicant is proposing the Rural Road Alternative. The interior roadway will be paved to a minimum travel lane width of sixteen (16) feet;
4.06	Storm Drains	Waiver Granted – polypropylene corrugated wall stormwater collection chambers will be used in place of pre-cast concrete leaching basins.
4.16	Landscaping	Waiver Granted – due to the natural character and environmental conditions of the site, additional landscaping is not required.
4.18	Sidewalks	Waiver Granted – the applicant has agreed to grant an easement for bike path purposes across the Cliff Road frontage of the site;
2. That the interior roadway and associated infrastructure improvements shall not commence until the definitive plans have been endorsed by the Planning Board. The definitive plans shall be presented to the Planning Board within six (6) months of the date of this decision (January 21, 2010);
3. That recorded copies of all legal documents (Homeowners Association documents, Statement of Conditions, Grant of Right of Enforcement, Declaration of Restrictions and Easements for Access, Driveways, Utilities, and Drainage, and Covenant) shall be presented to the Planning Board prior to the release of any lot from the Covenant or within six (6) months from the date of this decision (January 21, 2010);
4. That a Homeowners Association be established by the applicant, along with a Road Maintenance Endowment Fund for the maintenance of all required improvements to the interior roadway including the drainage structures, grading, utilities, etc.. The Association shall be initially endowed at \$1000 per buildable lot (\$6000.00 total). This fund shall be administered by the Homeowners Association with the Planning Board named as a third party enforcing agent;
5. That the roadway layout for the interior roadway be transferred to the Homeowners Association. Evidence of the conveyance shall be presented to the Planning Board prior to the release of any lot;

6. That all lots within the subdivision be restricted to no further division. Minor lot line adjustments shall be permitted through the submission of an Approval Not Required (ANR) plan, however, no additional building lots shall be created;
7. That access to Lot 1A shall be prohibited from Cliff Road;
8. That the driveway access for Lot 3A shall be relocated so that access is from the interior roadway only. The existing driveway shall be permitted to remain in the present location only until Lot 1A or Lot 2A is no longer in common ownership with the other buildable lots within the subdivision;
9. That all of the land in this subdivision shall be subject to a Declaration of Reduction of Frontage recorded at the Nantucket Registry District of the Land Court, due to the frontage reduction for Lot 3A. This document shall be filed within six (6) months from the date of this decision (January 21, 2010);
10. That a common driveway to Lots 4A and 4B shall be secured by an easement over Lot 5A, and to the extent necessary Lot 5B. This driveway easement may be part of the legal documents referred to in Paragraph 3 of this decision and shall be recorded at the Nantucket Registry District of the Land Court within six (6) months from the date of this decision (January 21, 2010);
11. That the applicant has agreed to grant an easement for bike path purposes across the Cliff Road frontage of the site in substantial conformity with the plan entitled "Plan Showing Easements off Cliff Road" dated January 6, 2010, prepared by Greenman-Pedersen, Inc. This easement area shall be used for the bike path only and any associated landscaping or drainage structures. It shall not contain any pedestrian amenities, including, but not limited to: tables, benches, water fountains, bike racks;
12. That one (1) lot shall be released upon endorsement of the definitive plans. Other lots shall be released as infrastructure improvements are completed.

At anytime, the applicant shall have the right to obtain release(s) of the lots from the covenant in return for a deposit of money or negotiable securities with the Planning Board sufficient, in the opinion of the Board, to secure performance of the construction of ways and the installation of municipal services required for lots in the subdivision shown on the plan as set forth in the covenant, and the Planning Board may require that the applicant specify the time within which such construction shall be completed, all in accordance with Section 20.6f(2) of Rules & Regulations Governing the Subdivision of Land, Nantucket Island, Massachusetts, as amended;

13. That concrete bounds shall be installed in accordance with Section 4.02 of the *Rules and Regulations Governing the Subdivision of Land*. All bounds shall be installed prior to the release of the final lot from the covenant;
14. That a gravel tracking pad shall be installed at the entrance to the site during the construction period to remove construction debris from the tires of construction vehicles prior to entering Cliff Road;
15. That all required infrastructure improvements be completed within two (2) years from the date of definitive plan endorsement;
16. That the Planning Board may grant extensions of deadlines stated herein without holding a public hearing.

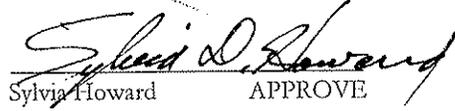
SIGNATURE PAGE TO FOLLOW

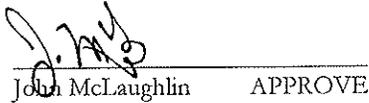
On January 21, 2010 the Planning Board voted 5-0 to close the public hearing and to APPROVE this subdivision. The Board also voted 5-0 to ENDORSE this decision.


Barry G. Rector APPROVE


Linda F. Williams APPROVE

Nathaniel Lowell APPROVE


Sylvia Howard APPROVE

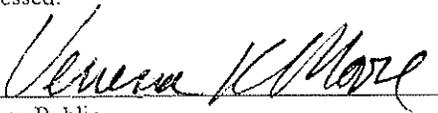

John McLaughlin APPROVE

COMMONWEALTH OF MASSACHUSETTS

Nantucket, SS

January 27, 2010

On the 27 day of January, 2009, before me, the undersigned notary public,
personally appeared Sylvia Howard, one of the above-named members of the Planning Board of Nantucket, Massachusetts, personally known to me to be the person whose name is signed on the preceding document, and acknowledged that he/she signed the foregoing instrument voluntarily for the purposes therein expressed.



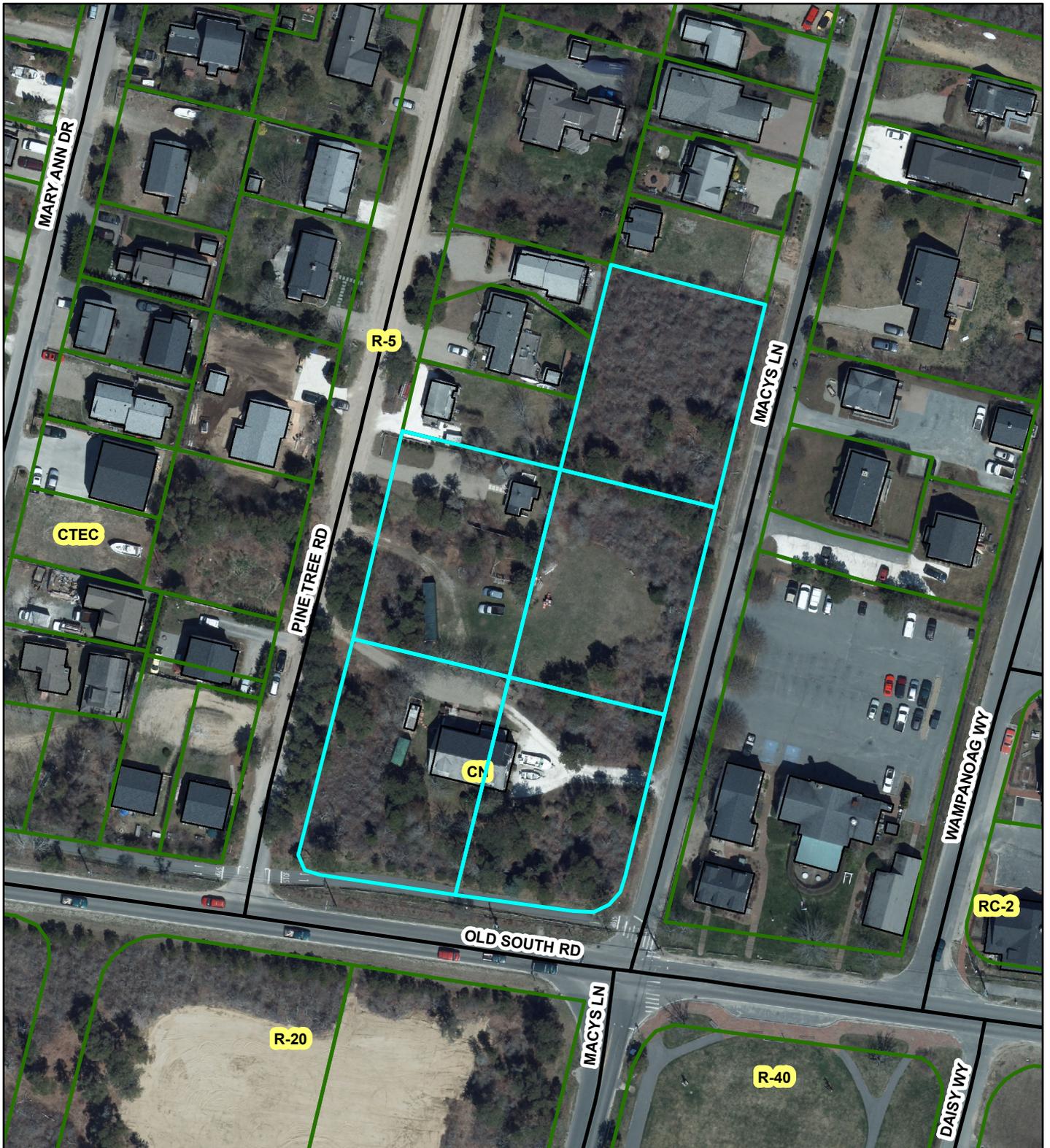
Notary Public

March 22, 2013

My Commission Expires



#7264 Bunting Lane
Definitive Subdivision Plan
Map 68 Parcels 107, 108, 109, 110 & 228
Plans & legal documents to be endorsed



READE, GULLICKSEN, HANLEY & GIFFORD, LLP

SIX YOUNG'S WAY
NANTUCKET, MASSACHUSETTS 02554

ARTHUR I. READE, JR., P.C.
KENNETH A. GULLICKSEN
MARIANNE HANLEY
WHITNEY A. GIFFORD

(508) 228-3128
FAX: (508) 228-5630

MAILING ADDRESS:
POST OFFICE BOX 2669
NANTUCKET, MASS. 02584

April 29, 2016

BY HAND DELIVERY

Barry Rector, Chairman
Nantucket Planning Board
Planning and Land Use Services
2 Fairgrounds Road
Nantucket, Massachusetts 02554

Re: Bunting Lane Subdivision
Planning Board File No. 7264

Dear Chairman Rector:

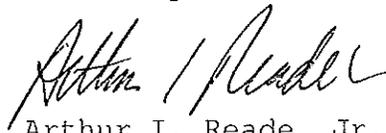
I enclose herewith for endorsement the final definitive plans, together with the following documents, several of which require Planning Board signatures:

Statement of Conditions of Subdivision Approval
Covenant
Instrument of Trust of Bunting Lane Association Trust
Declaration of Restrictions and Easements
Grant of Right of Enforcement of Restrictions
Facilities Maintenance and Endowment Agreement

Would you kindly place this matter on the agenda for the Planning Board meeting of May 9, 2016.

Thank you.

Sincerely,



Arthur I. Reade, Jr.

air@readelaw.com

Enclosures

AIR/irv

STATEMENT OF CONDITIONS OF SUBDIVISION APPROVAL*

We, JOAN E. BUNTING and MARY E. GLOWACKI (together, the "Owners") submitted an application on November 2, 2009, to the NANTUCKET PLANNING BOARD (the "Planning Board") for approval of a definitive plan (the "Plan") of a subdivision of land, prepared by Site Design Engineering, LLC, and Island Surveyors, LLC, dated November 2, 2009, revised on March 1, 2010, following the submission of a preliminary plan for the division of the same land which was filed on April 2, 2009, and approved on May 11, 2009, now owned by the Owner, of land located off Old South Road and Macy's Lane, Nantucket, Massachusetts, and showing three building lots numbered as Lots 1, 2 and 3 (Lot 3 consisting of Lots 3A and 3B, which are to be used only as a single lot), and a new roadway called Bunting Lane Lane [Lot 4] (the "Subdivision"). (Lots 1, 2, 3A and 4 are to be shown as Lots ____, ____, ____ and ____ on Land Court Plan 16514-__, and Lot 3B is to be shown as Lot ____ on Land Court Plan 16514- __) The Planning Board has approved the Plan by vote taken on January 21, 2010, and has endorsed the Plan on May 9, 2016,

subject to the terms and conditions of subdivision approval herein set forth.

In consideration of the Planning Board's approval of the Plan, the Owners hereby subject all of the land in the Subdivision to all conditions, terms and provisions set forth in the following:

(a) The Plan, as approved and endorsed pursuant to the Subdivision Control Law by the Planning Board.

(b) The Subdivision Control Law and the Planning Board's Rules and Regulations Governing the Subdivision of Land which were in effect on April 2, 2009, the date of filing of the preliminary plan.

(c) The Planning Board's letter of approval dated January 27, 2010, a copy of which as filed with the office of the Nantucket Town Clerk is attached hereto.

All of said conditions, terms and provisions shall constitute restrictions running with the land, and shall be enforceable in perpetuity by the Inhabitants of the Town of Nantucket, acting by and through the Planning Board, to which the right of enforcement thereof is specifically granted.

For title to all of the land in the Subdivision, see Certificates of Title No. 6610 and 12206 at Nantucket Registry District.

Executed as a sealed instrument as of May 9, 2016.

Joan E. Bunting

Mary E. Glowacki

COMMONWEALTH OF MASSACHUSETTS

Nantucket, ss.

April ____, 2015

Then personally appeared the above-named Joan E. Bunting and Mary E. Glowacki, and acknowledged the foregoing instrument to be their free act and deed, before me,

Notary Public

My commission expires:

ACCEPTANCE BY PLANNING BOARD

We, as a majority of the members of the Nantucket Planning Board, hereby accept and approve the foregoing Statement of Conditions of Subdivision Approval.

Dated: May 9, 2016

Barry Rector

John Trudel, III

Nathaniel Lowell

Linda Williams

Joseph Marcklinger

COMMONWEALTH OF MASSACHUSETTS

Nantucket, ss.

May __, 2016

Then personally appeared the above-named _____, being one of the members of the Nantucket Planning Board, and acknowledged the foregoing instrument to be _____ free act and deed, before me,

Notary Public

My commission expires:



NANTUCKET
TOWN CLERK

10 JAN 27 3:13

RECEIVED

Nantucket Planning Board

APPROVAL OF A DEFINITIVE SUBDIVISION PLAN (AR)

Bunting Lane Subdivision

Planning Board File #7264

Owner/Applicant: Joan E. Bunting and Mary E. Glowacki

116 Old South Road
Nantucket Tax Assessors Map 68, Parcel 110
Nantucket Registry of Deeds Certificate of Title 6610, Lot 108

68 Pine Tree Road
Nantucket Tax Assessors Map 68, Parcel 228
Nantucket Registry of Deeds Certificate of Title 6610, Lot 109

2 Macy's Lane
Nantucket Tax Assessors Map 68, Parcel 109
Nantucket Registry of Deeds Certificate of Title 6610, Lot 107

8 Macy's Lane
Nantucket Tax Assessors Map 68, Parcel 108
Nantucket Registry of Deeds Certificate of Title 6610, Lot 106

14 Macy's Lane
Nantucket Tax Assessors Map 68, Parcel 107
Nantucket Registry of Deeds Certificate of Title 6610, Lot 105

January 21, 2010

The Nantucket Planning Board at its January 21, 2010 meeting voted 5-0 to APPROVE the three (3) buildable lot Definitive Subdivision Plan (AR) for property located at 116 Old South Road, 68 Pine Tree Road, 2 Macy's Lane, 8 Macy's Lane, and 14 Macy's Lane. An application for this definitive subdivision plan was received by the Planning Board on November 2, 2009. Due to the filing and subsequent approval of a preliminary plan, the present application is subject to a "zoning freeze". Approval of Article 37 at the 2009 Annual Town Meeting rezoned these parcels from Residential Commercial 2 (RC-2) to a combination of

Residential 5 (R-5) and Commercial Neighborhood (CN). Approval of this definitive plan will "freeze" the RC-2 zoning district for eight years from the date of definitive plan endorsement.

The subdivision consists of three (3) buildable lots, all of which shall be accessed from the interior roadway. The proposed roadway is approximately 165 feet in length, terminating with a cul-de-sac. Brick sidewalks are proposed on both sides of the roadway. Stormwater will be collected by deep sump catch basins connected to a Stormceptor infiltration unit, which will then discharge to a subsurface infiltration system. All stormwater will be collected and infiltrated on the site. All lots within the proposed subdivision will be connected to municipal water and sewer.

Approval of the subdivision was based on the following documents:

- An Application for Approval of a Definitive Subdivision Plan (AR) dated November 2, 2009;
- A letter from Site Design Engineering dated November 2, 2009;
- A preliminary plan approval letter dated May 11, 2009;
- A staff report dated December 8, 2010 and January 7, 2010;
- A "Site Analysis Report" prepared by Site Design Engineering, inc. dated November 2, 2009;
- Plans entitled "Definitive Subdivision Plans for Bunting Lane Subdivision", sheets 1 through 9, prepared by Site Design Engineering, Inc. dated November 2, 2009;
- Review Reports from Pesce Engineering & Associates, Inc., consultants for the Planning Board, dated December 9, 2009;
- Representation and testimony received in connection with the public hearings held December 14, 2009, January 11, 2010, and January 21, 2010. Minutes of these meetings are on file with the Planning Board; and
- Other assorted documents that are on file with the Planning Board.

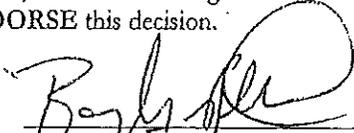
The Planning Board closed the public hearing on January 21, 2010.

Approval of the subdivision is granted conditionally upon the aforementioned documents, compliance with the Planning Board's *Rules and Regulations Governing the Subdivision of Land* (as amended through December 20, 1999), and on the following additional requirements and agreements:

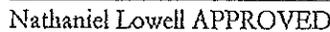
1. That the final definitive plans shall be presented to the Planning Board within six (6) months from the date of this decision (January 21, 2010). These plans shall include any outstanding revisions as required by Pesce Engineering & Associates, Inc. as well as any revisions discussed at the public hearings. The Planning Board may grant extensions of this deadline without holding a public hearing;
2. That copies of all legal documents (Homeowners Association documents, Statement of Conditions, Grant of Right of Enforcement, Grant of Easements for Utilities, Drainage, and Covenant) shall be presented to the Planning Board within six (6) months from the date of this decision (January 21, 2010). The Planning Board may grant extensions of this deadline without holding a public hearing. No lots shall be released from the Covenant until the legal documents have been recorded at the Registry of Deeds;
3. That a Homeowners Association shall be established by the applicant, along with a Road Maintenance Endowment Fund for the maintenance of all required improvements to the private way including grading, drainage facilities, and utilities. The Association shall be initially endowed at \$1000 per buildable lot (\$3,000.00 total). This fund shall be administered by the Homeowners Association with the Planning Board named as a third party enforcing agent;
4. That the roadway lot shall be transferred to the Homeowners Association. Evidence of the conveyance shall be presented to the Planning Board prior to the release of any lot and within six (6) months from the date of this decision (January 21, 2010);

5. That in the event any of the lots are developed commercially, a dense buffer of mature evergreen plant material shall be required around the perimeter (except where driveways or walkways are located) of the subdivision. A restriction to this effect shall be included in the legal documents, with enforcement power granted to the Planning Board.
6. That all infrastructure shall be installed as shown on the referenced definitive subdivision plans, as revised;
7. That all lots shall be connected to the municipal sewer and water system. All other utilities shall be installed in accordance with the requirements of the respective utility;
8. That any additional subdivision of the lots shown on the plans referenced in this decision shall require a modification to the subdivision. Minor lot line adjustments which do not result in the creation of any additional buildable lots shall be permitted through the Approval Not Required (ANR) process;
9. That the required infrastructure improvements were based on the buildout potential of the three (3) buildable lots shown on the plans referenced in this decision. Any modifications to this subdivision that result in the creation of additional buildable lots may result in the requirement of additional infrastructure;
10. That all lots within the subdivision shall be accessed through the interior roadway only. Vehicular access to Old South Road from any of the lots shall be prohibited.
11. That Planning Staff shall be notified prior to any clearing or roadway construction. A pre-construction meeting with Planning Staff and other town staff, the applicant, and applicable construction/engineering personnel may be required;
12. That all required infrastructure improvements shall be completed within two (2) years from the date of definitive plan endorsement.

On January 21, 2010 the Planning Board voted 5-0 to APPROVE this Approval Required (AR) Subdivision and to ENDORSE this decision.


 Barry G. Rector APPROVED


 Sylvia Howard APPROVED


 Nathaniel Lowell APPROVED


 John McLaughlin APPROVED


 Linda F. Williams APPROVED

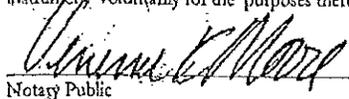
COMMONWEALTH OF MASSACHUSETTS

Nantucket, SS

January 27, 2010

On the 27 day of January, 2010, before me, the undersigned notary public,

personally appeared Sylvia Howard, one of the above-named members of the Planning Board of Nantucket, Massachusetts, personally known to me to be the person whose name is signed on the preceding document, and acknowledged that he/she signed the foregoing instrument voluntarily for the purposes therein expressed.


 Notary Public

March 22, 2013
 My Commission Expires

COVENANT

May 9, 2016

We, JOAN E. BUNTING and MARY E. GLOWACKI (the "Owners") submitted an application on November 2, 2009, to the NANTUCKET PLANNING BOARD (the "Planning Board") for approval of a definitive plan (the "Plan") of a subdivision of land, prepared by Site Design Engineering, LLC, and Island Surveyors, LLC, dated November 2, 2009, revised on March 1, 2010, of land located off Old South Road and Macy's Lane, Nantucket, Massachusetts, and showing three building lots numbered as Lots 1, 2 and 3 (Lot 3 consisting of Lots 3A and 3B, which are to be used only as a single lot), and a new roadway called Bunting Lane [Lot 4] (the "Subdivision"). (Lots 1, 2, 3A and 4 are to be shown as Lots _____, _____, _____ and _____ on Land Court Plan 16514-____, and Lot 3B is to be shown as Lot _____ on Land Court Plan 16514-____) (the "Subdivision"). The Owners have requested the Planning Board to approve the Plan without requiring a performance bond.

In consideration of the Planning Board approving the Plan without requiring a performance bond, the Owners hereby covenant and agree with the Inhabitants of the Town of Nantucket as follows:

1. That the Owners represent and warrant that they are the owners in fee simple absolute of all the land included in the Subdivision (the "Land") and that there are no mortgages of record or otherwise on any of the Land.
2. That the Owner will not sell or convey any lot in the Subdivision (except for the conveyance of Lot 4 to the Trustee of Bunting Lane Association Trust) or erect or place any permanent building on any lot until the construction of ways and installation of municipal services necessary to adequately serve such lot has been completed

in accordance with the covenants, conditions, agreements, terms and provisions as specified in the following:

a. The Definitive Plan as approved by the Planning Board on January 21, 2010 and endorsed on May 9, 2016, and given Planning Board File No. 7264.

b. The Subdivision Control Law and the Planning Board's Rules and Regulations Governing the Subdivision of Land which were in effect on April 2, 2009, the date of filing of the preliminary plan from which the Definitive Plan is derived.

c. The Statement of Conditions of Subdivision Approval executed by the Planning Board and the Owners with respect to the Subdivision, registered herewith at Nantucket Registry District.

However, a mortgagee who acquires title to the mortgaged premises by foreclosure or otherwise and any succeeding owner of the mortgaged premises or a part thereof may sell or convey any lot, subject only to that portion of this Covenant which provides that no lot shall be sold or conveyed or shall be built upon until ways and services have been provided to serve such lot.

3. That this Covenant shall be binding upon the successors and assigns of the Owners, shall constitute a covenant running with the Land, and shall operate as restrictions upon the Land.
4. That particular lots within the Subdivision shall be released from the foregoing conditions upon the recording of a certificate of performance executed by a majority of the Planning Board and designating the specific lots being released.
5. That nothing herein shall be deemed to prohibit a conveyance by a single deed, subject to this Covenant, of either the entire Land or of all lots not previously released by the Planning Board.
6. That the undersigned shall register this Covenant with the Nantucket Registry District of the Land Court; reference to this Covenant shall be entered upon the Plan as approved.

7. That a deed of any part of the Subdivision in violation of this Covenant shall be voidable by the grantee prior to the release of the Covenant, but not later than three (3) years from the date of such deed, as provided in M.G.L., c. 41, §81U.
8. That this Covenant, executed after endorsement of approval of the Plan by the Planning Board, shall take effect immediately.
9. That upon final completion of the construction of ways and installation of municipal services as specified herein, the Planning Board shall release this Covenant by an appropriate instrument, duly acknowledged. Failure to complete construction and installation within the time specified herein, or such extension as shall be determined by vote of the Planning Board with written concurrence of the Owners, shall result in automatic rescission of the approval of the Plan. Upon performance of the provisions of this Covenant with respect to any lot, the Planning Board may release such lot from the Covenant by an appropriate instrument duly recorded.
10. That nothing herein shall prohibit the Owners from varying the method of securing the construction of ways and installation of municipal services from time to time or from securing by one, or in part by one and in part by another, of the methods described in §81U, as long as such security is sufficient in the opinion of the Planning Board to secure performance of such construction and installation.
11. That the provisions of this Covenant shall survive the execution, delivery and recording of any release under Paragraphs 4 or 9 hereof, such releases being evidence only of compliance with this Covenant as to the provisions of Paragraphs 2, 4 and 9.

For title to all of the land in the Subdivision, see Certificates of Title Nos. 6610 and 12206 at Nantucket Registry District.

Executed as a sealed instrument as of May 9, 2016.

Joan E. Bunting

Mary E. Glowacki

COMMONWEALTH OF MASSACHUSETTS

Nantucket, ss.

May ____, 2016

Then personally appeared the above-named Joan E. Bunting and Mary E. Glowacki, and acknowledged the foregoing instrument to be their free act and deed, before me,

Notary Public

My commission expires:

ACCEPTANCE BY PLANNING BOARD

We, as a majority of the members of the Nantucket Planning Board, hereby accept and approve the foregoing Covenant.

Dated: May 9, 2016

Barry Rector

John Trudel, III

Nathaniel Lowell

Linda Williams

Joseph Marcklinger

COMMONWEALTH OF MASSACHUSETTS

Nantucket, ss.

May 9, 2016

Then personally appeared the above-named _____, being one of the members of the Nantucket Planning Board, and acknowledged the foregoing instrument to be _____ free act and deed, before me,

Notary Public

My commission expires:

**INSTRUMENT OF TRUST
OF
BUNTING LANE ASSOCIATION TRUST**

This Instrument of Trust is made as of May 9, 2016, at Nantucket, Massachusetts, by JOAN E. BUNTING (hereinafter collectively called the "Trustee", which term and any provisions referring thereto shall be deemed to include her successors in trust hereunder and to mean the trustee or trustees for the time being hereunder, whenever the context so permits).

ARTICLE ONE - Name of Trust

The trust hereby created shall be known as **BUNTING LANE ASSOCIATION TRUST**, and under that name, so far as legal, convenient, and practicable, shall all business carried on by the Trustees be conducted and shall all instruments in writing by the Trustees be executed.

ARTICLE TWO - Definitions

For purposes of this Instrument of Trust, the following words and phrases shall have the following meanings:

2.01. "Assessments". The assessments and charges provided for by the terms of the Declaration of Easements.

2.02. "Building Lot". Each of Lots 1, 2 and 3 (Lot 3 consisting of Lots 3A and 3B, which are to be used only as a single lot) upon the Plan. (Lots 1, 2, and 3A are to be shown as Lots ____, ____ and ____ on Land Court Plan 16514-__, and Lot 3B is to be shown as Lot ____ on Land Court Plan 16514- __).

2.03. "Covenant". A Covenant between the Developer and the Planning Board dated May 9, 2016, in File No. 7264, registered with Nantucket Registry District as Document No. _____.

2.04. "Declaration of Restrictions and Easements". That certain document entitled Declaration of Restrictions and Easements dated as of May 9, 2016, registered with Nantucket Registry District as Document No. _____.

2.05. "Developer". Joan E, Bunting, the present Owner of a portion of the Land, or such other person or entity as shall hold the rights of the Developer hereunder by express written and registered instrument of assignment executed by the original or a successor Developer.

2.06. "Land". Each of the Building Lots, and Lot 4, as shown upon the Plan.

2.07. "Lot". Each of the lots designated by a number on the Plan.

2.08. "Member". The Owner of a Building Lot.

2.09. "Owner". The person or persons or other entity, considered collectively, who are, from time to time, the owners of any Lot, according to the records at such time at the Nantucket Registry District of the Land Court.

2.10. "Plan". A plan by Site Design Engineering LLC, and Island Surveyors, LLC, dated November 2, 2009, revised on March 1, 2010, as endorsed by the Planning Board as approved under the Subdivision Control Law in File No. 7264, filed with the Land Registration Office as Land Court Plans 16514-__ and 16514-__.

2.11. "Roadway". Lot 4, as shown upon the Plan (to be shown as Lot ____ on Land Court Plan 16514-__, which shall be owned by the Association.

2.12. "Utility Lines". The pipes, wires, cables, or other means of transmission of electric, telephone, cable television, water, and if now or in the future applicable, sewer, gas, and such utility services as are now or may in the future be customarily installed to serve residential building lots in Nantucket, Massachusetts, which serve any of the Lots.

ARTICLE THREE - The Trust and Its Purpose

3.01. **Purposes.** This trust has been formed for the purpose of acting as an Association of the Owners of Lots and, in connection therewith, to construct, install, maintain, and improve the Roadway, the drainage structures and Utility Lines, and landscaping, located within the Roadway; to hold title to the Roadway; to collect and enforce the Assessments; and generally to promote common enjoyment by Members of their respective Lots and the best interest of all Members with respect to the Land, as the same may from time to time be determined by the Members, acting in accordance with the provisions hereof.

3.02. **Relationship of Parties.** It is hereby expressly declared that a trust and not a partnership has been created hereby, and that the Members are *cestuis que trustent* and not partners or associates nor in any other relation whatever between themselves with respect to the trust property, and hold no relation to the Trustees other than that of *cestuis que trustent*, with only such rights as are conferred upon them as such *cestuis que trustent* hereunder.

ARTICLE FOUR - The Trustees

4.01. **Election of Trustees.** There shall at all times be a board of trustees (hereinafter called the "Board of

Trustees" or the "Board") hereunder. So long as the Developer shall own all three of the Building Lots, the Board of Trustees shall consist of Joan E. Bunting; and in the case of any vacancy as Trustee such vacancy shall be filled by appointment by the Developer. After the sale of a Building Lot, the Board of Trustees shall consist of three natural persons, with each Building Lot designating one Trustee, to serve at the pleasure of the Owner of such Lot. Each Trustee shall be appointed by instrument in writing setting forth (a) the appointment of such Trustee, and (b) the acceptance of such appointment, signed and acknowledged by the person so appointed. Such appointment shall become effective upon the filing for record at Nantucket Registry District of such instrument, and such person shall then be and become such Trustee and shall be vested with the powers of the Trustees, jointly with the remaining or surviving Trustee or Trustees, without the necessity of any act of transfer or conveyance.

4.02. Unanimous Vote. In any matters relating to the administration of the Trust hereunder and the exercise of the powers hereby conferred, the Trustees shall act by unanimous consent.

4.03. Resignation or Removal. Any Trustee may resign at any time by instrument in writing, signed and acknowledged in the manner required in Massachusetts for the acknowledgment of

deeds, and such resignation shall take effect upon the filing for record at Nantucket Registry District of such instrument.

4.04. Personal Liability. No Trustee hereinbefore named or elected as hereinbefore provided shall under any circumstances or in any event be held liable or accountable out of his personal assets or be deprived of compensation by reason of any action taken, suffered, or omitted in good faith, or be so liable or accountable for more money or other property than he actually receives, or for allowing one or more of the other Trustees to have possession of the Trust funds or property, or be so liable, accountable, or deprived by reason or honest errors of judgment or mistakes of act or law or by reason of the existence of any personal or adverse interest or by reason of anything except his own personal and willful malfeasance or defaults.

4.05. Dealing with Trustees. No Trustee shall be disqualified by his office from contracting or dealing with the Trustees or with one or more Owners (whether directly or indirectly because of his interest individually or the Trustees' interest or any Owners' interest in any corporation, firm, trust, or other organization connected with such contracting or dealing or because of any other reason), as vendor, purchaser, or otherwise, nor shall any such dealing, contract, or arrangement entered into in respect of this Trust in which any

Trustee shall be in any way interested be avoided, nor shall any Trustee so dealing or contracting or being so interested be liable to account for any profit realized by any such dealing, contract, or arrangement by reason of such Trustee's holding office or of the fiduciary relation hereby established, provided the Trustee shall act in good faith and shall disclose the nature of his interest before the dealing, contract, or arrangement is entered into.

4.06. Indemnity. The Trustees, and each of them, shall be entitled to indemnity both out of the Trust property and by the Members against any liability incurred by them, or any of them, in the execution hereof, including, without limiting the generality of the foregoing, liabilities in contract and in tort and liabilities for damages, penalties, and fines. Each Member shall be personally liable for all sums lawfully assessed for his share of the common expenses of the Trust and for his proportionate share of any claims involving the Trust property in excess thereof. Nothing in this paragraph contained shall be deemed, however, to limit in any respect the powers granted to the Trustees in this Instrument.

**ARTICLE FIVE - Beneficiaries and the
Beneficial Interest in the Trust**

5.01. Beneficiaries. The *cestuis que trustent* or beneficiaries shall be the Members, as Owners, from time to time, of each of the Building Lots. The beneficial interest in the Trust hereunder shall be held by the Members in equal shares, one share appertaining to the ownership of each Building Lot.

5.02. Multiple Owners. The beneficial interest of each Building Lot set forth above shall be held and exercised as a unit and shall not be divided among several Owners of any such Building Lot. To that end, whenever any Building Lot is owned of record by more than one (1) person, the several Owners of such Building Lot shall (a) determine and designate which one of such Owners shall be authorized and entitled to cast votes, execute instruments and otherwise exercise the rights appertaining to such Lot hereunder, and (b) notify the Trustees of such designation by a notice in writing signed by all of the record Owners of such Building Lot. Any such designation shall take effect upon receipt by the Trustees and may be changed at any time and from time to time by notice as aforesaid. In the absence of any such notice of designation, the Board of Trustees may, by majority vote, designate any one such Owner for such purposes.

ARTICLE SIX - By-Laws

The provisions of this Article Six shall constitute the By-Laws of this Trust and the organization of Members established hereby, to wit:

6.01. Powers of the Trustees. The Trustees shall have the absolute control, management, and disposition of the Trust property as if they were the absolute owners thereof, free from the control of the Members and, without, by the following enumeration, limiting the generality of the foregoing or of any item in the enumeration, with full power and uncontrolled discretion, subject only to the limitations and conditions hereof, at any time and from time to time and without the necessity of applying to any court or to the Members for leave so to do.

6.02. Inspection of Records. Books, accounts, and records of the Trustees shall be open to inspection to any one or more of the Members at all reasonable times. The Trustees shall as soon as reasonably possible after the close of each fiscal year, or oftener if convenient for them, submit to the Members a report of the operations of the Trustees for such year, which shall include a profit and loss statement, and analysis of surplus changes during the year, and a balance sheet as of the close of each year, all in such summary form and only

in such detail as the Trustees shall deem proper. Any person who has been furnished with such report and shall have failed to object thereto by notice in writing to the Trustees given by registered mail within a period of six (6) months of the date of the receipt by him shall be deemed to have assented thereto.

6.03. Common Expenses, Profits, and Funds. The Members shall be liable for common expenses and entitled to common profits of the Trust in proportion to their respective percentages of beneficial interest as set forth in Article Five hereof. The Trustees may at any time or times distribute common profits among the Members in such proportions. The Trustees may, to such extent as they deem advisable, set aside common funds as reserve or contingent funds and may use the funds so set aside for reduction of indebtedness or other lawful capital purpose or, subject to provisions hereof, for repair, rebuilding, or restoration of the Roadway and the Utility Lines, or for improvements thereto, and the funds so set aside shall not be deemed to be common profits available for distribution. All such common expenses shall be assessed and collected in accordance with the Declaration of Easements.

6.04. Insurance. The Trustees may obtain and maintain, to the extent available, master policies of insurance with respect to the common areas and facilities for the benefit and protection of Trustees and all of the Members for (a) comprehen-

sive public liability, (b) workmen's compensation and employer's liability with respect to any manager, agent, or employee of the Trust, but excluding any independent agent or manager, and (c) such other risks as the Trustees in their discretion deem it appropriate to insure. All such insurance may be in such amounts and forms as the Trustees shall, in their discretion, deem appropriate and shall, insofar as practicable, contain provisions as above set forth with respect to non-cancellation, waiver of subrogation, waiver of defense based on conduct of any insured, and non-contribution. The cost of all such insurance obtained and maintained by the Trustees, pursuant to the provisions of this Section, shall be a common expense.

6.05. Improvements to Roadway. If and whenever the Trustees shall propose to make any improvement to the Roadway, the Trustees shall submit to all Members a form of agreement (which may be in several counterparts) specifying the improvement or improvements to be made and the estimated cost thereof and authorizing the Trustees to proceed to make the same. Upon (a) the receipt by the Trustees of such agreement signed by Members holding one hundred percent (100%) of the beneficial interest or (b) the expiration of ninety (90) days after such agreement was first submitted to the Members, whichever of said (a) and (b) shall first occur, the Trustees shall proceed to make the improvement or improvements specified in such

agreement, with all costs to be borne as herein provided. If and whenever any Member shall propose to make an improvement to or affecting the Roadway at such Member's expense, and the Trustees determine, in their reasonable discretion, that such improvement would be consistent and compatible with the provisions and intent of this Trust and the Declaration of Easements, the Trustees may, but shall not be obliged to, authorize such improvement to be made at the sole expense of the Member proposing the same, without the consent or approval of other Members, subject to such contractual undertakings of the Member proposing such improvement as the Trustees, in their reasonable discretion, deem to be necessary or desirable in the circumstances.

6.06. Rules, Regulations, Restrictions and Requirements. The Board of Trustees may at any time and from time to time adopt and amend and rescind administrative rules and regulations governing the details of the operation and use of the Roadway.

6.07. Meetings of Trustees. The Board of Trustees shall meet annually at a time and place designated by the Chairman of the Trustees, or at such other reasonable time and place as may be designated by a majority of the Trustees by written notice given to all Trustees at least fourteen (14) days prior to the date so designated, and at such meeting shall elect

the Chairman, Treasurer, and Secretary hereinafter provided for. Other meetings may be called by the Chairman and in any other manner as the Trustees may establish, provided, however, that written notice of each meeting stating the place, day, and hour thereof shall be given at least fourteen (14) days before such meeting to each member of the Board of Trustees. The presence of all of the Trustees then in office shall constitute a quorum at all meetings, and such meeting shall be conducted in accordance with such rules as the Board of Trustees may adopt.

6.08. Notices to Members. Every notice to any Member required under the provisions hereof, or which may be deemed by the Trustees necessary or desirable in connection with the execution of the Trust created hereby, or which may be ordered in any judicial proceeding, shall be deemed sufficient and binding if a written or printed copy of such notice shall be given by one or more of the Trustees to such Member by mailing it, postage prepaid and addressed to such Member at his address as it appears upon the records of the Trustees, at least seven (7) days prior to the date fixed for the happening of the matter, thing, or event of which such notice is given.

6.09. Meetings of Members. There shall be an annual meeting of Members at such reasonable place and time as may be designated by the Board of Trustees by written notice given to the Members at least fourteen (14) days prior to the date so

designated. Special meetings of the Members may be called at any time by the Board of Trustees and shall be called by them upon written request of Members entitled to more than thirty-three percent (33%) of the beneficial interest hereunder. Written notice of any such meeting, designating the place, day and hour thereof, shall be given by the Board of Trustees to the Members at least fourteen (14) days prior to the date so designated. At the Annual Meeting of the Members, the Board of Trustees shall submit reports of the management and finances of the Trust. Whenever at any meeting the Board of Trustees proposes to submit to the Members any matter with respect to which approval of or action by the Members is necessary or appropriate, the notice of such meeting shall so state and reasonably specify such matter.

6.10. Checks, Notes, Drafts, and Other Instruments.

Checks, notes, drafts, and other instruments for the payment of money drawn or endorsed in the name of the Trustees or of the Trust may be signed by any two (2) Trustees or by any person or person to whom such power may, at any time or from time to time, be delegated by not less than a majority of the Trustees.

6.11. Fiscal Year. The fiscal year of the Trust shall be the year ending with the last day of December or such other date as may, from time to time, be determined by the Trustees.

ARTICLE SEVEN - Rights and Obligations of Third
Parties Dealing with the Trustees

7.01. Acts of Trustees. No purchaser, mortgagee, lender, or other person dealing with the Trustees as they then appear of record at Nantucket Registry District shall be bound to ascertain or inquire further as to the persons who are then Trustees hereunder or be affected with any notice, implied or actual, otherwise than by a certificate thereof, and such record or certificate shall be conclusive evidence of the personnel of the Trustees and of any changes therein. The receipts of the Trustees, or any one or more of them, for moneys or things paid or delivered to them, or him, shall be effectual discharges therefrom to the persons paying or delivering the same, and no person from whom the Trustees, or any one or more of them, shall receive any money, property, or other credit shall be required to see to the application thereof. No purchaser, mortgagee, lender, or other person dealing with the Trustees or with any real or personal property which then is or formerly was Trust property shall be bound to ascertain or inquire as to the existence or occurrence of any event or purpose in or for which a sale, mortgage, pledge, or charge is herein authorized or directed, or otherwise as to the purpose of regularity of any of the acts of the Trustees, or any one or more of them, purporting

to be done in pursuance of any of the provisions of powers herein contained, or as to the regularity of the resignation or appointment of any Trustee, and any instrument of appointment of a new Trustee or of an old Trustee purporting to be executed by the shareholders or other persons herein required to execute the same shall be conclusive evidence in favor of any such purchaser or other person dealing with the Trustees of the matters therein recited relating to such discharge, resignation, or appointment, or the occasion thereof.

7.02. Transfer of Securities. No corporation, company, trust, association, body politic, or other body having outstanding shares, bonds, or other securities shall be affected by notice that any of its shares or bonds or other securities are subject to this Trust or be bound to see to the execution thereof or to ascertain or inquire whether any transfer of any such shares, bonds, or other securities by the Trustees is authorized, notwithstanding such authority may be disputed by some other person.

7.03. Recourse Against Trustees. No recourse shall be, at any time, had upon or under any note, bond, contract, order, instrument, certificate, undertaking, obligation, covenant, or agreement, whether oral or written, made, insured, or executed by the Trustees or by any agent or employee of the Trustees, or by reason of anything done or omitted to be done by or on behalf

of them, or any of them, against the Trustees individually, or against any such agent or employee or against any beneficiary or the holder of any security issued by the Trustees, either directly or indirectly, by legal and equitable proceeding, or by virtue of any suit or otherwise, and all persons extending credit to, contracting with, or having any claim against the Trustees shall look only to the Trust property for payment under such contract or claim or for the payment of any debt, damage, judgment or decree, or of any money that may otherwise become due or payable to them from the Trustees, so that neither the Trustees nor the beneficiaries or holders of such other securities, present or future, shall be personally liable therefor.

7.04. Execution by Trustees. Every note, bond, contract, order, instrument, certificate, undertaking, obligation, covenant, or agreement, whether oral or written, made, issued, or executed by the Trustees or by any agent or employee of the Trustees shall be deemed to have been entered into subject to the terms, conditions, provisions, and restrictions hereof, whether or not express reference shall have been made to this Instrument.

7.05. Recording. This Declaration of Trust and any amendments hereto and any certificate herein required to be recorded and any other certificate or paper signed by said

Trustees, or any of them, which it may be deemed desirable to record, shall be registered with Nantucket Registry District, and such recording shall be deemed conclusive evidence of the contents and effectiveness thereof according to the tenor thereof; and all persons dealing in any manner whatsoever with the Trustees, the Trust property, or any shareholder thereunder shall be held to have notice of any alteration or amendment of this Declaration of Trust, or change of Trustee or Trustees, when the same shall be so registered with Nantucket Registry District. Any certificate signed by the Trustees in office at the time, setting forth as facts any matters affecting the Trust, including statements as to who are shareholders, as to what action has been taken by the shareholders, and as to matters determining the authority of the Trustees to do any act, when duly acknowledged and registered with Nantucket Registry District shall be conclusive evidence as to the existence of such alleged facts in favor of all third persons, including the Trustees, acting in reliance thereon. Any certificate executed by any Trustee hereunder, setting forth the existence of any facts, the existence of which is necessary to authorize the execution of any instrument or the taking of any action by such Trustee or majority, as the case may be, shall, as to all persons acting in good faith in reliance thereon, be conclusive

evidence of the truth of the statements made in such certificate and of the existence of the facts therein set forth.

ARTICLE EIGHT - Amendments and Termination

8.01. **Amendments.** The Developer (so long as the original or any successor Developer shall own any of the Lots), and thereafter the Trustees, acting by a vote of at least three-fourths of the Trustees then in office, may, at any time and from time to time, amend, alter, add to, or change this Declaration of Trust in any manner or to any extent; the Trustees first, however, being duly indemnified to their reasonable satisfaction against outstanding obligations and liabilities; provided always, however, that no such amendment, alteration, addition, or change (a) according to the purport of which the percentage of the beneficial interest hereunder of any Members would be altered or in any manner or to any extent whatsoever modified or affected, so as to be different from the percentage of the individual interest of such Member in the beneficial interest in this Trust as herein provided (without the unanimous consent of all Members), or (b) which would render this Trust contrary to or inconsistent with any requirements or provisions of law, shall be valid or effective. Any amendment, alteration, addition, or change pursuant to the foregoing provisions of this paragraph shall become effective upon

registration with Nantucket Registry District of an instrument or amendment, alteration, addition, or change, as the case may be, signed, sealed, and acknowledged in the manner required in Massachusetts for the acknowledgment of deeds, by the Developer or by at least three-fourths of the Trustees then in office, as the case may be, setting forth in full the amendment, alteration, addition, or change. Such instrument, so executed, registered, and noted, shall be conclusive evidence of the existence of all facts and of compliance with all prerequisite to the validity of such amendment, alteration, addition, or change, whether in such instrument or not, upon all questions as to title or affecting the rights of third persons and for all other purposes.

8.02. Termination. The Trust hereby created shall terminate only upon the written agreement of all Members and the Planning Board.

8.03. Withdrawal. No Member shall have the right to withdraw any Lot from the operation of this Trust.

8.04. Liquidation. Upon the termination of this trust, the Trustees may sell and convert into money the whole of the trust property, or any part or parts thereof, and, after paying or retiring all known liabilities and obligations of the Trustees and providing for indemnity against any other outstanding liabilities and obligations, shall divide the

proceeds thereof among, and distribute in kind, at valuations made by them which shall be conclusive, all other property then held by them in trust hereunder to, the Owners according to their respective percentages of beneficial interest hereunder; and in making any sale under this provision, the Trustees shall have the power to sell or vary any contract of sale and to resell without being answerable for loss and, for such purpose, to do all things, including the execution and delivery of instruments, as may by their performance thereof be shown to be in their judgment necessary or desirable in connection therewith. The powers of sale and all other powers herein given to the Trustees shall continue as to all property at any time remaining in their hands or ownership, even though all times herein fixed for distribution of trust property may have passed.

ARTICLE NINE - Construction and Interpretation

In the consideration hereof, whether or not so expressed, words used in the singular or in the plural respectively include both the plural and singular, words denoting males include females, and words denoting persons include individuals, firms, associations, companies (joint stock or otherwise), trusts, and corporations, unless a contrary intention is to be inferred from or required by the subject matter or context. The cover, title, headings of different parts hereof, the table of contents, and

the marginal notes, if any, are inserted only for convenience of reference and are not to be taken to be any part hereof or to control or affect the meaning, construction, interpretation, or effect hereof. All the trusts, powers, and provisions herein contained shall take effect and be construed according to the law of the Commonwealth of Massachusetts.

Executed and sealed as of the day and year first above written.

Joan E. Bunting, Trustee

COMMONWEALTH OF MASSACHUSETTS

Nantucket, ss.

May ____, 2016

Then personally appeared the above-named Joan E. Bunting, and acknowledged the foregoing instrument to be her free act and deed, before me,

Notary Public

My commission expires:

DECLARATION OF RESTRICTIONS AND EASEMENTS

This Declaration of Easements is made by JOAN E. BUNTING and MARY E. GLOWACKI, as the present Owners of the Land herein described.

ARTICLE ONE
Definitions

1.01. **"Association"**. The Trustees from time to time of Bunting Lane Association Trust under Declaration of Trust dated May 9, 2016, registered as Document No. _____ at Nantucket Registry District.

1.02. **"Building Lot"**. ". Each of Lots 1, 2 and 3 (Lot 3 consisting of Lots 3A and 3B, which are to be used only as a single lot) upon the Plan. (Lots 1, 2, and 3A are to be shown as Lots _____, _____ and _____ on Land Court Plan 16514-____, and Lot 3B is to be shown as Lot _____ on Land Court Plan 16514- ____).

1.03. **"Covenant"**. A Covenant between the Developer and the Planning Board dated May 9, 2016, in File No. 7264,

registered as Document No. _____ at Nantucket Registry District.

1.04. "Developer". Joan E. Bunting, or such other person or entity as shall hold the rights of the Developer hereunder by express written and registered instrument of assignment executed by the present owners of the Land or their successor as the Developer.

1.05. "Land". The land in Nantucket, Nantucket County, Massachusetts, consisting of each of the Building Lots, and Lot 4 (the Roadway).

1.06. "Lot". Each of the lots designated by a number on the Plan.

1.07. "Owner". The person or persons or other entity, considered collectively, who are, from time to time, the owners of any Lot, according to the records at such time at the Nantucket Registry District.

1.08. "Plan". A plan by Site Design Engineering LLC, and Island Surveyors, LLC, dated November 2, 2009, revised on March 1, 2010, as endorsed by the Planning Board as approved under the Subdivision Control Law in File No. 7264, filed with the Land Registration Office as Land Court Plans 16514-__ and 16514-__.

1.09. "Planning Board". The Nantucket Planning Board.

1.10. "Roadway". Lot 4, as shown upon the Plan (to be shown as Lot ____ on Land Court Plan 16514-__, which shall be owned by the Association.

1.11. "Town". The Town of Nantucket, Massachusetts.

1.12. "Utility Lines". Pipes, wires, cables, or other means of transmission of electric, telephone, cable television, sewer, water, and if now or in the future applicable, gas and such other utility services as are now or may in the future be customarily installed to serve residential building lots in Nantucket, Massachusetts.

ARTICLE TWO
Recital of Purposes

2.01. General Purpose. The general purpose of this instrument is to provide for the creation of easements and restrictions in conformity with the conditions of approval by the Planning Board as set forth in the Decision and to enable the utilization of the Land in an appropriate manner.

ARTICLE THREE
Easements

3.01. Roadway Easement. The Owner of each Building Lot, and the Association, shall have a permanent easement to use the Roadway for all purposes for which streets are customarily

used in Nantucket, including passage and repassage by foot, in vehicles, or otherwise; installation, maintenance, repair, use and replacement of underground Utility Lines and services; and improvements for such purposes.

3.02. Grant of Utility Easements. The Developer and the Association shall each have the right and power to grant to any public or municipal utility company easements for any Utility Lines and appurtenances thereto within the Roadway and within the "Access and Utility Easement" shown upon the Plan.

ARTICLE FOUR
Restrictions

4.01. General. The Land shall be subject to the following Restrictions, as set forth in this Article Four.

4.02. Screening of Commercial Uses. In the event that any Lot is developed for commercial use, a dense buffer of mature evergreen plant material shall be required around the perimeter (except where driveways or walkways are located) of the subdivision.

4.03. Restriction Upon Access to Lots. Each of the Building Lots shall have its access solely from the Roadway; direct vehicular access between any Building Lot and Old South Road is prohibited.

4.04. Restrictions in Gross. The Association shall have the right, to be held in gross and not as appurtenant to any real property interest, to enforce all of the Restrictions.

4.05. Appurtenant Restrictions. The Owner from time to time of each Building Lot shall have the right to enforce each of the restrictions hereunder.

4.06. Restrictions Enforceable by Town. The Developer shall have the right to grant to the Town, acting by and through the Planning Board, the right to enforce any or all of the Restrictions. Such grant shall be in the form of a writing signed and acknowledged on behalf of the Developer and accepted in writing by the signatures of a majority of the members of the Planning Board, and registered with Nantucket Registry District. Upon the registration of such a grant with Nantucket Registry District, no provision hereof relating to any Restriction, the right of enforcement of which has been granted to the Town, may be amended without the written and registered consent of a majority of the Planning Board.

4.07. Duration of Restrictions. The rights of enforcement of the Restrictions held in gross and as appurtenant to the Building Lots, except the rights of enforcement assigned to the Town which shall be permanent, shall expire upon May 9, 2046, unless a notice of extension of restriction in accordance with Massachusetts General Laws, c. 184, §27, is registered with

Nantucket Registry District on or before May 9, 2046, in which event the term for enforcement of such right shall be extended for a period of twenty years; and in the event of such extension, such right of enforcement may be extended for further successive periods of twenty years by the filing of further notices of extension, all as permitted by applicable law.

4.08. Form of Notice of Extension of Restrictions. Any notice of extension of the Restrictions to be filed for record hereunder shall (a) be signed by a person or persons then entitled of record to the benefit of the Restrictions and shall contain a description of their benefited land, if any, (b) shall describe the Land, (c) shall name one or more of the persons appearing of record to own each portion of the Land at the time, and (d) shall refer to this instrument and its place of recording in the public records.

4.09. Enforcement by Judicial Proceedings. Any party entitled to enforce any of the Restrictions shall have the right to enforce the same by securing injunctive relief from a court of competent jurisdiction and shall have the right to recover money damages by reason of any violation of any of the Restrictions.

4.10. Restrictions to Run with Land. Upon the registration of this instrument with Nantucket Registry District of the Land Court, the Restrictions and all other provisions of

this instrument shall run with and bind the Land and every portion thereof.

4.11. Release or Waiver of Restrictions. The Developer, so long as the Developer (including any successor Developer) shall own any Lot, and thereafter the Association, shall have the right to release, waive or modify any restriction hereunder, except those restrictions the right of enforcement of which has been granted to the Town of Nantucket, acting by and through its Planning Board as set forth in Paragraph 4.06 hereof.

ARTICLE FIVE
Liens and Assessments

5.01. Assessments and Charges. Each Owner of every Building Lot, by accepting a deed therefor, whether or not the same shall be expressed in such deed, shall be deemed to covenant to pay to the Association annual assessments or charges, and special assessments for capital improvements, such assessments to be fixed, established and collected from time to time as hereinafter provided. The annual and special assessments, together with such interest thereon and costs of collection thereof (including attorneys' fees) as hereinafter provided, shall be a charge on each Building Lot and shall be a continuing lien upon the Lot against which each such assessment

is made. Each assessment, together with such interest and costs, shall also be a personal obligation of each Owner of the Building Lot against which such assessment is made at the time when the same falls due.

5.02. Purposes of Assessments. All assessments shall be collected and held by the Association and shall be used exclusively for the purpose of promoting the recreation, health, safety and welfare of the Owners, occupants and visitors to any of the Land, and in particular for the improvement, repair and maintenance of the Roadway and the Utility Lines, including but not limited to the payment of liability insurance premiums, maintenance of roads, paths, Utility Lines, equipment, drainage structures, landscaping, the costs of labor, equipment, materials, management and supervision thereof, and enforcement of the Restrictions.

5.03. Amount and Time of Payment of Assessments. The amount of each assessment and the time at which the same shall be payable shall be determined by the Association in accordance with its governing documents. Each Building Lot shall be assessed equally for each assessment, except for matters particularly for work done to serve a specific Building Lot or Building Lots.

5.04. Certification of No Lien. The Association shall, upon demand at any time, furnish to any Owner of a Building Lot

a certificate, in form suitable for recording, signed by a Trustee of the Association, setting forth the amount and due date of all assessments upon such Building Lot, and whether the same have been paid. The signature thereof by such Trustee shall be conclusive evidence of his authority to make such certificate on behalf of the Association, and such certificate shall be conclusive evidence of the matters therein stated, except to the extent that the Owner of such Building Lot disputes the amount of any assessment therein stated to be unpaid.

5.05. Effect of Nonpayment of Assessments. If any assessment is not paid when due, the same shall be deemed delinquent and shall, together with interest and costs as herein provided, be a continuing lien upon the Building Lot upon which the same was assessed, and shall run with such Lot and bind it in the hands of its Owner at the time of such assessment and the successors in title to such Owner. The Association shall have the right to proceed to enforce such lien by the sale of the Building Lot in question, such sale to be conducted in the same manner provided by Massachusetts law for a sale to enforce a mechanic's lien under a written contract. If any assessment is not paid within thirty days after it shall become due, it shall bear interest from the date when due at the rate of fifteen per cent (15%) per annum. In the event of any proceeding to enforce

a lien hereunder, the Association shall be entitled to collect as a part thereof its reasonable costs of collection, including attorneys' fees.

ARTICLE SIX
General

6.01. **Amendment.** This instrument may from time to time be amended by written instrument executed and acknowledged by the Developer, so long as the Developer (including any successor Developer) shall own any of the Building Lots, and thereafter by unanimous action of the Owners of the Building Lots; and any such amendment shall be effective when the same is registered with Nantucket Registry District.

6.02. **Notices.** All notices hereunder shall be effective only when mailed by certified mail, return receipt requested, addressed (if to an Owner) to such Owner at the street address of any Building Lot owned by such Owner, or such other address as such Owner may, from time to time, designate by notice to the Association.

6.03. **Severability.** Invalidation of any provision hereof by judicial determination shall not affect the remaining provisions, which shall remain in full force and effect.

6.04. **Construction of Instrument.** This instrument shall be construed under the laws of Massachusetts. References

or language herein contained, relating to any gender, shall refer also to other genders as appropriate.

Executed as a sealed instrument as of May 9, 2016.

Joan E. Bunting

Mary E. Glowacki

COMMONWEALTH OF MASSACHUSETTS

Nantucket, ss.

May ____, 2016

Then personally appeared the above-named Joan E. Bunting and Mary E. Glowacki, and acknowledged the foregoing instrument to be their free act and deed, before me,

Notary Public

My commission expires:

GRANT OF RIGHT OF ENFORCEMENT OF RESTRICTIONS

We, JOAN E. BUNTING and MARY E. GLOWACKI (the "Owners"), in consideration of the approval by the Nantucket Planning Board of a definitive plan of a subdivision of land, prepared by Site Design Associates LLC and Island Surveyors, LLC, dated November 2, 2009, revised on March 1, 2010, as endorsed by the Planning Board as approved under the Subdivision Control Law in File No. 7264, filed with the Land Registration Office as Land Court Plans 16514-__ and 16514-__, showing three building lots and a roadway lot, hereby grant to the Town of Nantucket, acting by and through its Planning Board, the right to enforce those certain Restrictions set forth in Sections 4.02 and 4.03 of the Declaration of Restrictions and Easements dated May 9, 2016, registered as Document No. _____ at Nantucket Registry District.

Executed as a sealed instrument as of May 9, 2016.

Joan E. Bunting

Mary E. Glowacki

COMMONWEALTH OF MASSACHUSETTS

Nantucket, ss.

May ____, 2016

Then personally appeared the above-named Joan E. Bunting and Mary E. Glowacki, and acknowledged the foregoing instrument to be their free act and deed, before me,

Notary Public

My commission expires:

ACCEPTANCE BY PLANNING BOARD

We, as a majority of the members of the Nantucket Planning Board, hereby accept and approve the foregoing Grant of Right of Enforcement of Restrictions.

Dated: May 9, 2016

Barry Rector

John Trudel, III

Nathaniel Lowell

Linda Williams

Joseph Marcklinger

COMMONWEALTH OF MASSACHUSETTS

Nantucket, ss.

May ___, 2016

Then personally appeared the above-named _____, being one of the members of the Nantucket Planning Board, and acknowledged the foregoing instrument to be _____ free act and deed, before me,

Notary Public

My commission expires:

FACILITIES MAINTENANCE AND ENDOWMENT AGREEMENT

This Agreement is made as of May 9, 2016, by and between JOAN E. BUNTING and MARY E. GLOWACKI (the "Developers"); JOAN E. BUNTING, as Trustee of BUNTING LANE ASSOCIATION TRUST under Declaration of Trust dated May 9, 2016 (the "Association"); and the INHABITANTS OF THE TOWN OF NANTUCKET, acting by and through the NANTUCKET PLANNING BOARD (the "Planning Board").

Recitals

A. The Developers are the owner of certain land in Nantucket, Massachusetts, shown upon a definitive subdivision plan by Site Design Engineering, LLC, and Island Surveyors, LLC, dated November 2, 2009, revised on Marcy 1, 2010, as endorsed by the Planning Board as approved under the Subdivision Control Law in File No. 7264 (the "Plan").

B. The Developers have volunteered to pay the sum of One Thousand Dollars (\$1,000.00) for each of the three building lots

Executed and sealed as of the day and year first above written.

DEVELOPERS:

PLANNING BOARD:

Joan E. Bunting

Barry Rector

Mary E. Glowacki

Linda Williams

ASSOCIATION:

Juhn Trudel, III

TRUSTEE OF BUNTING LANE
ASSOCIATION TRUST:

Nathaniel Lowell

Joan E. Bunting

Joseph Marcklinger

COMMONWEALTH OF MASSACHUSETTS

Nantucket, ss.

May ____, 2016

Then personally appeared the above-named Joan E. Bunting and Mary E. Glowacki, and acknowledged the foregoing instrument to be their free act and deed, before me,

Notary Public

My commission expires:

COMMONWEALTH OF MASSACHUSETTS

Nantucket, ss.

May 9, 2016

Then personally appeared the above-named _____, being one of the members of the Nantucket Planning Board, and acknowledged the foregoing instrument to be ___ free act and deed, before me,

Notary Public

My commission expires:

DEFINITIVE SUBDIVISION PLANS

- for -

BUNTING LANE SUBDIVISION

MACYS LANE
NANTUCKET, MASSACHUSETTS

ISLAND SURVEYORS, LLC
PROFESSIONAL LAND SURVEYORS
90 OLD SOUTH ROAD
NANTUCKET, MASS. 02554
(508) 228-2720

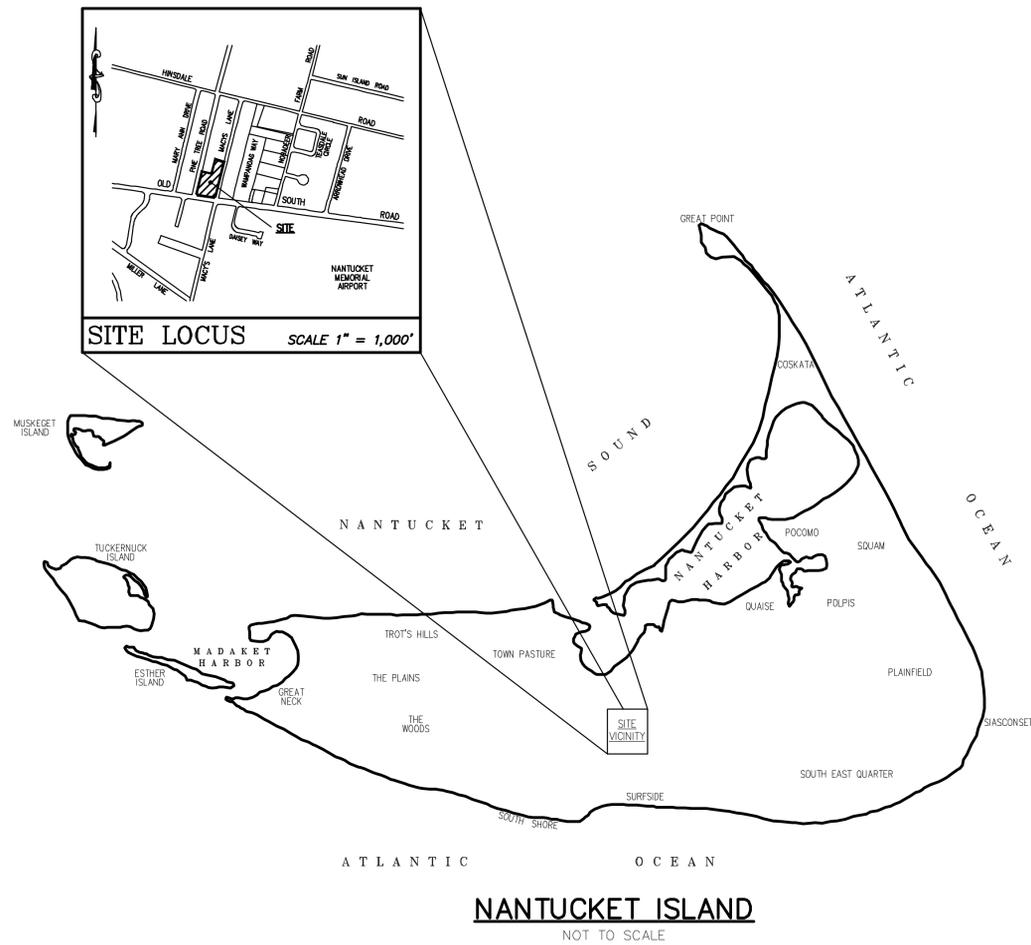


**SITE DESIGN
ENGINEERING, LLC.**

11 CUSHMAN STREET
MIDDLEBORO, MA 02346
T: 508-967-0673 F: 508-967-0674
WWW.SITEDSIGNENG.COM

PLAN INDEX

TITLE	SHEET NO.
COVER SHEET	1
EXISTING CONDITIONS PLAN	2
LOTTING PLAN	3
SITE LAYOUT & LANDSCAPE PLAN	4
UTILITY PLAN & PROFILE	5
GRADING PLAN & PROFILE	6
SIGHT DISTANCE PLAN	7
CONSTRUCTION DETAILS	8-9



APPROVED UNDER THE SUBDIVISION CONTROL LAW
APPROVED (DATE): JANUARY 21, 2010
ENDORSED (DATE): _____
P.B. FILE NO.: 7264

"I HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE NANTUCKET PLANNING BOARD WAS RECEIVED AND RECORDED _____ AT THIS OFFICE, AND NO APPEAL WAS RECEIVED DURING THE TWENTY (20) DAYS NEXT AFTER SUCH RECEIPT OF RECORDING OF SAID NOTICE."

TOWN CLERK, NANTUCKET, MA

DATE

NO	DATE	DESCRIPTION	DCM	APPROVED
1	3/1/10	REVISED PER DEFINITIVE PLAN APPROVAL CONDITIONS		

PLAN REVISIONS
DATE: NOVEMBER 2, 2009

DRAWN BY: RT DESIGN BY: RT CHECK BY: DCM

PROJECT NO. 9064

ISSUED FOR:
PERMITTING

DEFINITIVE SUBDIVISION PLAN
BUNTING LANE
NANTUCKET, MA

PREPARED FOR JOAN E. BUNTING & MARY E. GLOWACKI
MACYS LANE, OLD SOUTH ROAD & PINE TREE ROAD
NANTUCKET, MA

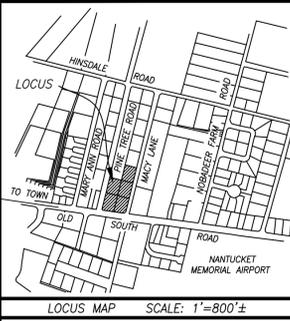
DRAWING TITLE:

COVER SHEET

SCALE: **NTS**

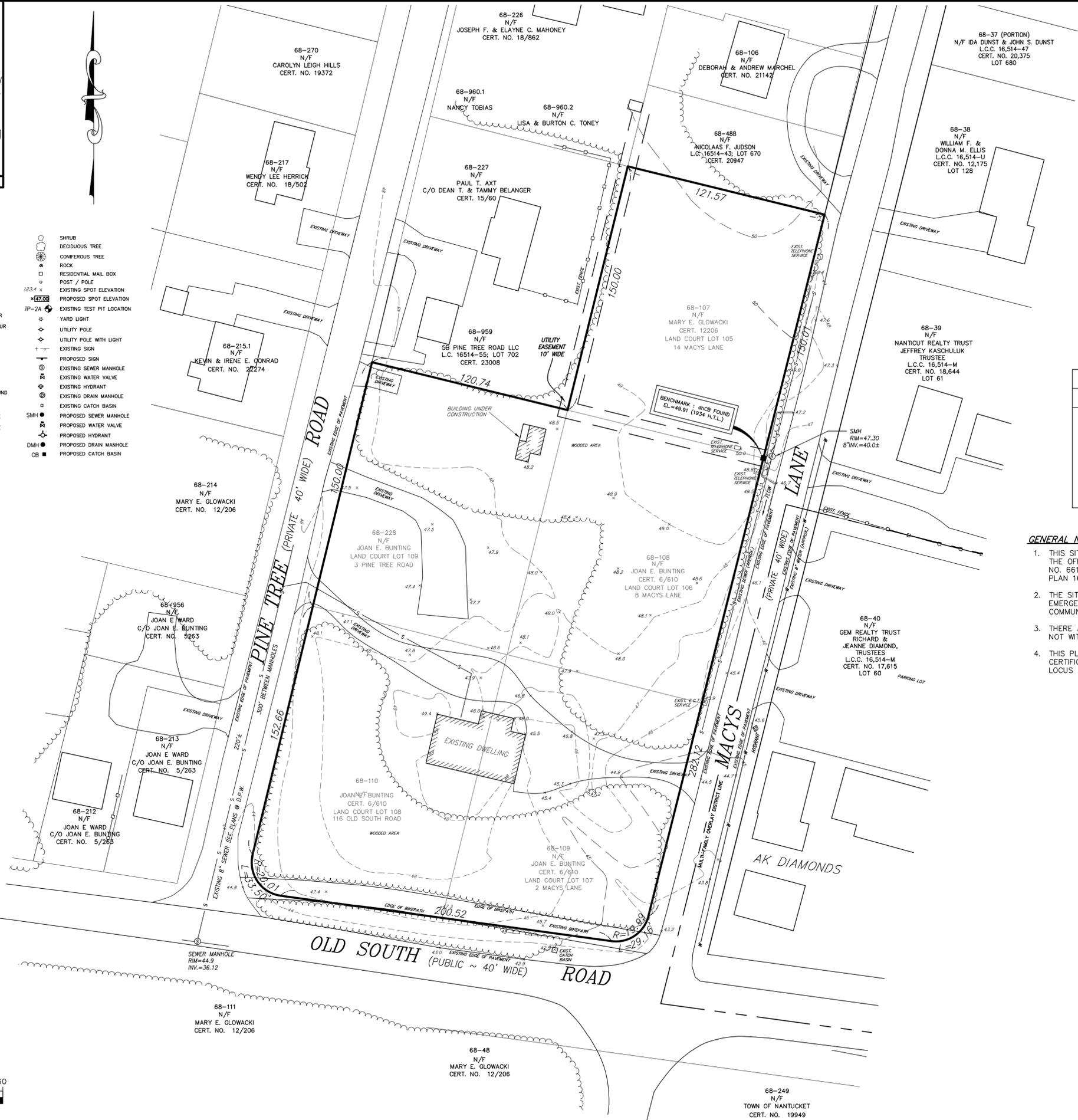
SHEET NO.

1 OF 9



LEGEND

	TREE LINE		SHRUB
	SCRUB LINE		DECIDUOUS TREE
	SCRUB LINE		CONIFEROUS TREE
	DIRT DRIVE		ROCK
	WOODEN FENCE		RESIDENTIAL MAIL BOX
	METAL FENCE		POST / POLE
	RETAINING WALL		EXISTING SPOT ELEVATION
	INTERMEDIATE CONTOUR		PROPOSED SPOT ELEVATION
	EXISTING INDEX CONTOUR		EXISTING TEST PIT LOCATION
	PROPOSED CONTOUR		YARD LIGHT
	EXISTING ELECTRIC		UTILITY POLE
	PROPOSED ELECTRIC		UTILITY POLE WITH LIGHT
	EXISTING WATER LINE		EXISTING SEWER MANHOLE
	PROPOSED WATER LINE		EXISTING SEWER VALVE
	EXISTING SEWER LINE		EXISTING DRAIN LINE
	PROPOSED SEWER LINE		PROPOSED UNDERGROUND ELECTRIC/CABLE/ TELEPHONE CONDUIT
	EXISTING SEWER MANHOLE		PROPOSED SEWER MANHOLE
	EXISTING SEWER VALVE		PROPOSED SEWER VALVE
	EXISTING DRAIN LINE		PROPOSED DRAIN MANHOLE
	PROPOSED DRAIN LINE		PROPOSED CATCH BASIN



ISLAND SURVEYORS, LLC
 PROFESSIONAL LAND SURVEYORS
 90 OLD SOUTH ROAD
 NANTUCKET, MASS. 02554
 (508) 228-2720

ZONING TABLE

LOT AREA	REQUIRED
LOT FRONTAGE	5,000 S.F.
FRONT YARD SETBACK	40 FT.
REAR YARD SETBACK	10 FT.
SIDE YARD SETBACK	5 FT.
*SIDE YARD SETBACK	5 FT. & 10 FT.
MAXIMUM GROUND COVER RATIO	50%
REGULARITY FACTOR ("R")	≥ 0.55

THE SITE IS ZONED RESIDENTIAL COMMERCIAL 2 (RC-2) AS SHOWN ON THE TOWN AND COUNTY OF NANTUCKET, MASSACHUSETTS; OFFICIAL ZONING MAP AS OF THE DATE OF SUBMITTAL OF A PRELIMINARY SUBDIVISION APPLICATION FOR THESE PROPERTIES.

*FOR LOTS ABUTTING TWO OR MORE STREETS OR WAYS, WHETHER CONSTRUCTED OR NOT, THE REQUIRED FRONT YARD SETBACK SHALL BE MAINTAINED FROM ONE STREET OR WAY, AND THE REQUIRED SIDE YARD SHALL BE MAINTAINED FROM EACH LOT OTHER LOT LINE, EXCEPT IN R-1 & RC-2 DISTRICTS, WHERE A MINIMUM TEN (10) FOOT SIDE YARD SETBACK SHALL BE MAINTAINED FROM ANY OTHER STREET OR WAY, WHETHER CONSTRUCTED OR NOT.

TOWN OVERLAY DISTRICTS

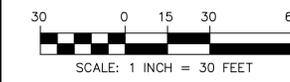
× THE SITE IS LOCATED WITHIN THESE TOWN OVERLAY DISTRICTS

<input type="checkbox"/> DORMITORY O.D.	<input type="checkbox"/> MID-ISLAND PLANNED O.D.
<input checked="" type="checkbox"/> EMPLOYEE HOUSING O.D.	<input type="checkbox"/> MULTI-FAMILY O.D.
<input type="checkbox"/> FLOOD HAZARD O.D.	<input type="checkbox"/> SIACONSET SEWER DISTRICT
<input type="checkbox"/> HARBOR WATERSHED PROTECTION O.D.	<input checked="" type="checkbox"/> TOWN OVERLAY DISTRICT
<input type="checkbox"/> HDC OLD HISTORIC DISTRICT	<input checked="" type="checkbox"/> TOWN SEWER DISTRICT
<input type="checkbox"/> MADAKET HARBOR WATERSHED PROTECTION O.D.	<input type="checkbox"/> WATERCRAFT
<input checked="" type="checkbox"/> MA DEP. ZONE II	<input checked="" type="checkbox"/> WELLHEAD PROTECTION DISTRICT

- GENERAL NOTES:**
- THIS SITE CONSISTS OF MAP 68, PARCELS 107,108,109,110 & 228, AS SHOWN ON THE OFFICIAL TAX MAPS OF THE TOWN OF NANTUCKET. FOR TITLE SEE CERTIFICATE NO. 6610 & 12206 THE SITE IS SHOWN AS LOT-105 THROUGH LOT-109 ON L.C. PLAN 16514-U.
 - THE SITE IS WITHIN A FEMA FLOOD ZONE C AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP COMMUNITY-PANEL NUMBER 250230 0009D, DATED JULY 2, 1992.
 - THERE ARE NO KNOWN WETLAND RESOURCE AREAS WITHIN THE SITE. THE SITE IS NOT WITHIN ANY KNOWN WETLAND RESOURCE AREA BUFFER ZONES.
 - THIS PLAN AND ANY ACCOMPANYING CERTIFICATIONS DO NOT CONSTITUTE A CERTIFICATION OF TITLE TO THE PROPERTY DISPLAYED HEREON. THE OWNER OF LOCUS AND ABUTTING PROPERTIES ARE SHOWN ACCORDING TO CURRENT RECORDS.

APPROVED UNDER THE SUBDIVISION CONTROL LAW
 APPROVED (DATE): JANUARY 21, 2010
 ENDORSED (DATE): _____
 P.B. FILE NO.: 7264

"I HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE NANTUCKET PLANNING BOARD WAS RECEIVED AND RECORDED _____ AT THIS OFFICE, AND NO APPEAL WAS RECEIVED DURING THE TWENTY (20) DAYS NEXT AFTER SUCH RECEIPT OF RECORDING OF SAID NOTICE."



SITE DESIGN ENGINEERING, LLC.
 11 CUSHMAN STREET
 MIDDLEBORO, MA 02346
 T: 508-967-0673 F: 508-967-0674
 WWW.SITEDESIGNENG.COM

NO.	DATE	DESCRIPTION
1	3/1/10	REVISED PER DEFINITIVE PLAN APPROVAL CONDITIONS

PLAN REVISIONS

DATE: NOVEMBER 2, 2009

DRAWN BY: / RT DESIGN BY: / RT CHECK BY: / DCM

PROJECT NO: 9064

ISSUED FOR:

PERMITTING

DEFINITIVE SUBDIVISION PLAN
BUNTING LANE
 NANTUCKET, MA

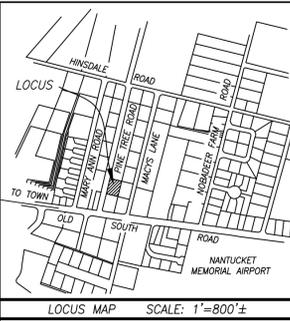
PREPARED FOR JOAN E. BUNTING & MARY E. GLOWACKI
 MACYS LANE, OLD SOUTH ROAD & PINE TREE ROAD
 NANTUCKET, MA

DRAWING TITLE:
EXISTING CONDITIONS PLAN

SCALE: **1" = 30'**

SHEET NO. **2 OF 9**

TOWN CLERK, NANTUCKET, MA _____ DATE _____



LEGEND

- dhCB ■ DENOTES DRILL HOLE IN CONCRETE BOUND FOUND
- PROPOSED CONCRETE BOUND

ZONING TABLE

	REQUIRED
LOT AREA	5,000 S.F.
LOT FRONTAGE	40 FT.
FRONT YARD SETBACK	10 FT.
REAR YARD SETBACK	5 FT.
*SIDE YARD SETBACK	5 FT. & 10 FT.
MAXIMUM GROUND COVER RATIO	50%
REGULARITY FACTOR ("R")	≥ 0.55

THE SITE IS ZONED RESIDENTIAL COMMERCIAL 2 (RC-2) AS SHOWN ON THE TOWN AND COUNTY OF NANTUCKET, MASSACHUSETTS; OFFICIAL ZONING MAP AS OF THE DATE OF SUBMITTAL OF A PRELIMINARY SUBDIVISION APPLICATION FOR THESE PROPERTIES.

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TOWN OVERLAY DISTRICTS	
X THE SITE IS LOCATED WITHIN THESE TOWN OVERLAY DISTRICTS	
<input type="checkbox"/> DORMITORY O.D.	<input type="checkbox"/> MID-ISLAND PLANNED O.D.
<input type="checkbox"/> EMPLOYEE HOUSING O.D.	<input type="checkbox"/> MULTI-FAMILY O.D.
<input type="checkbox"/> FLOOD HAZARD O.D.	<input type="checkbox"/> SIASCONSET SEWER DISTRICT
<input type="checkbox"/> HARBOR WATERSHED PROTECTION O.D.	<input checked="" type="checkbox"/> TOWN OVERLAY DISTRICT
<input type="checkbox"/> HDC OLD HISTORIC DISTRICT	<input checked="" type="checkbox"/> TOWN SEWER DISTRICT
<input type="checkbox"/> MADAKET HARBOR WATERSHED PROTECTION O.D.	<input type="checkbox"/> WATERCRAFT
<input checked="" type="checkbox"/> MA DEP ZONE II	<input checked="" type="checkbox"/> WELLHEAD PROTECTION DISTRICT

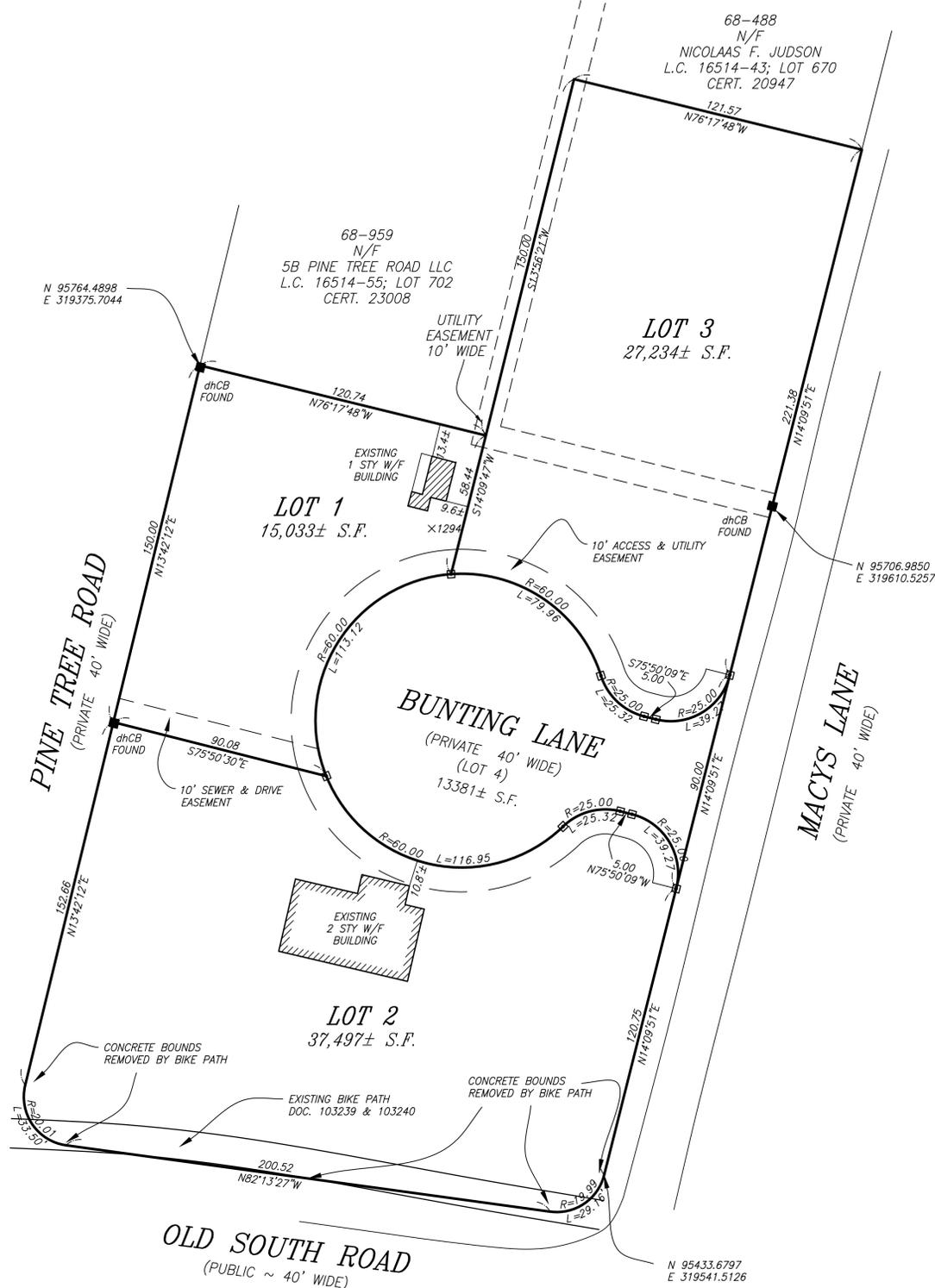
GENERAL NOTES:

- THIS SITE CONSISTS OF MAP 68, PARCELS 107,108,109,110 & 228, AS SHOWN ON THE OFFICIAL TAX MAPS OF THE TOWN OF NANTUCKET. FOR TITLE SEE CERTIFICATE NO. 6610 & 12206 THE SITE IS SHOWN AS LOT-105 THROUGH LOT-109 ON L.C. PLAN 16514-U.
- THE SITE IS WITHIN A FEMA FLOOD ZONE C AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP COMMUNITY-PANEL NUMBER 250230 0009D, DATED JULY 2, 1992.
- THERE ARE NO KNOWN WETLAND RESOURCE AREAS WITHIN THE SITE. THE SITE IS NOT WITHIN ANY KNOWN WETLAND RESOURCE AREA BUFFER ZONES.
- THIS PLAN AND ANY ACCOMPANYING CERTIFICATIONS DO NOT CONSTITUTE A CERTIFICATION OF TITLE TO THE PROPERTY DISPLAYED HEREON. THE OWNER OF LOCUS AND ABUTTING PROPERTIES ARE SHOWN ACCORDING TO CURRENT RECORDS.

THE PLANNING BOARD DETERMINES THAT:

(b) LOT(S) 1-4 DO NOT CONTAIN AREAS SUBJECT TO PROTECTION UNDER THE MASSACHUSETTS WETLANDS PROTECTION ACT WHICH ARE REQUIRED TO BE EXCLUDED FROM LOT AREA UNDER THE NANTUCKET ZONING BY-LAW BUT STILL MAY BE SUBJECT TO PROTECTION UNDER STATE AND LOCAL WETLAND BY-LAWS. DETERMINATION OF APPLICABILITY MAY BE OBTAINED THROUGH APPLICATION TO THE CONSERVATION COMMISSION.

SURVEY PRECISION : 1:184,369
 LINEAR ERROR OF CLOSURE : 0.0067
 DIRECTIONAL ERROR OF CLOSURE : N39°52'23.5"E
 INSTRUMENT/ACCURACY : WILD TC800 ±(3mm+2ppm)



BEING A SUBDIVISION OF LOTS 105-109 SHOWN ON LAND COURT PLAN 16514-U

LOTTING PLAN
 IN
NANTUCKET, MASS.

PREPARED FOR
JOAN E. BUNTING
 LOTS 106-109
 CERTIFICATE OF TITLE # 6,610

MARY E. GLOWACKI
 LOT 105
 CERTIFICATE OF TITLE # 12,206

SCALE: 1"=30' DATE: NOVEMBER 2, 2009
 REVISED MARCH 1, 2010

ISLAND SURVEYORS, LLC
 Professional Land Surveyors
 90 OLD SOUTH ROAD
 NANTUCKET, MASS. 02554
 (508) 228-2720

Nantucket Planning Board
 APPROVAL UNDER THE
 SUBDIVISION CONTROL LAW
 REQUIRED

DATE APPROVED: JANUARY 21, 2010

DATE ENDORSED: _____

PLANNING BD. FILE No. 7264

"I CERTIFY THAT THIS PLAN WAS DRAWN FROM AN ACTUAL SURVEY MADE ON THE GROUND IN ACCORDANCE WITH THE LAND COURT INSTRUCTIONS OF 2006 ON OR BETWEEN 2-3-2007 AND 10-31-2009"

DATE: _____

I, CATHERINE FLANAGAN STOVER HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE."

TOWN CLERK

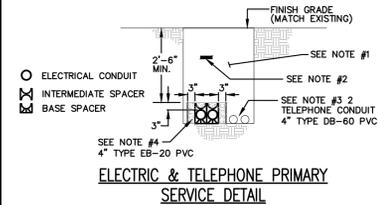
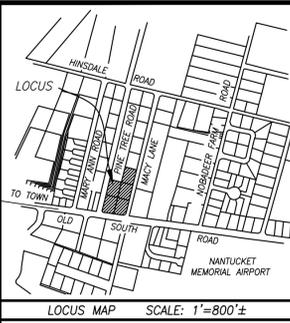
DATE

PROFESSIONAL LAND SURVEYOR

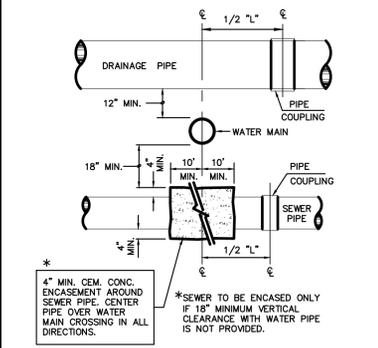
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ASSESSORS MAP 68 PARCEL 107-110 & 228

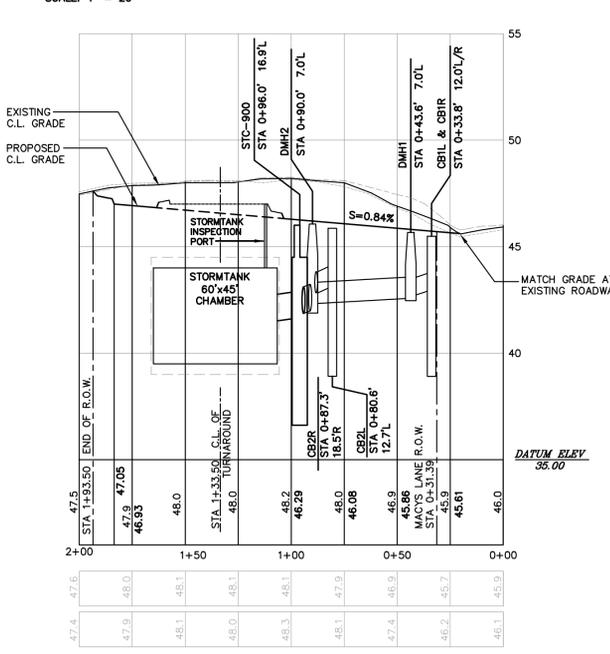
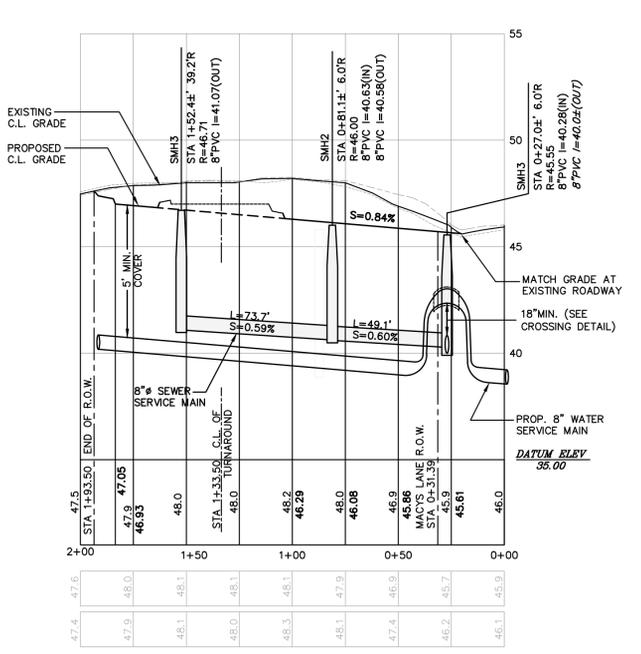
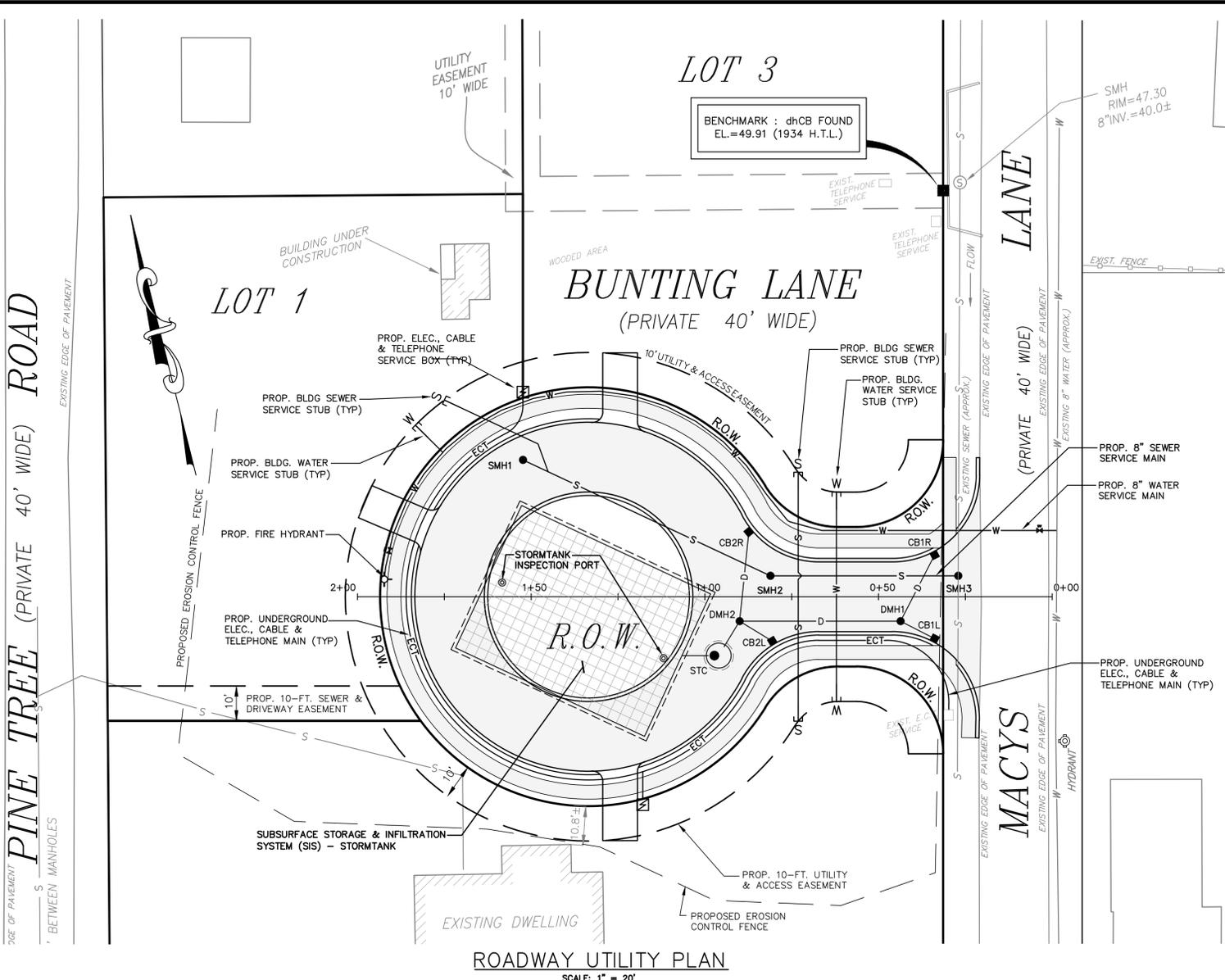
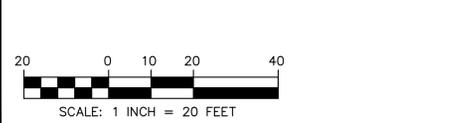
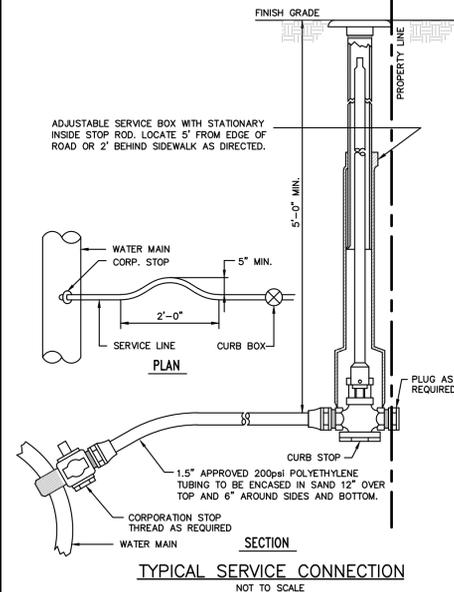
SHEET 3 of 9



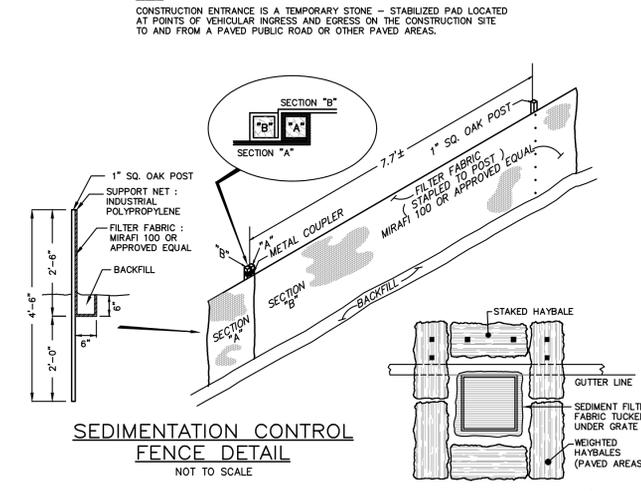
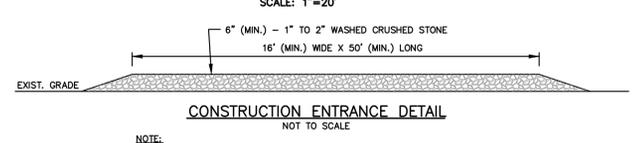
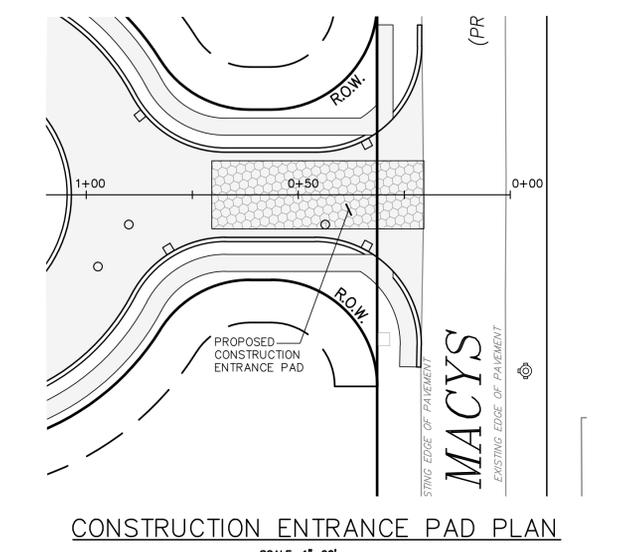
- NOTES:**
- BACKFILL TO BE FREE OF STONES GREATER THAN ONE INCH AND SHALL NOT CONTAIN ASHES, CINDERS, SHELL, OR FROZEN MATERIAL.
 - WARNING TAPE TO BE PLACED 12" BELOW FINISH GRADE AND DIRECTLY ABOVE CONDUIT.
 - MINIMUM SEPARATION BETWEEN ELECTRICAL CONDUIT AND FOREIGN CONDUIT OR PIPES IS AS FOLLOWS:
COMMUNICATION - 3" OF CONCRETE ENCASUREMENT
WATER, GAS, SEWER - 12" WHERE THE PATH OF THESE UTILITIES INTERSECT AT APPROXIMATELY RIGHT ANGLES WITH ELECTRICAL CONDUIT.
24" SEPARATION SHALL BE MAINTAINED BETWEEN PARALLEL PLACEMENT OF THESE UTILITIES AND ELECTRICAL CONDUIT.
 - CONCRETE THICKNESS AROUND THE OUTSIDE DUCTS SHALL BE 3 TO 6 INCHES; CONCRETE SHALL BE IN ACCORDANCE WITH STANDARD 021.



SEWER, WATER & DRAIN CROSSING DETAIL
NOT TO SCALE



FROM STRUCT.	RIM	INVERT OUT	SUMP	PIPE SLOPE	PIPE LENGTH (feet)	PIPE SIZE	TO STRUCT.	INVERT IN
CB1L	45.48	42.90	38.90	0.0283	6.0	10" HDPE	DMH1	42.73
CB1R	45.48	42.90	38.90	0.0103	16.4	10" HDPE	DMH1	42.73
DMH1	45.67	42.56	-	0.0055	41.4	12" HDPE	DMH2	42.33
CB2L	45.86	43.05	39.05	0.0366	6.0	12" HDPE	DMH2	42.83
CB2R	45.81	43.05	39.05	0.0105	20.8	12" HDPE	DMH2	42.83
DMH2	46.08	41.98	-	0.0196	6.1	15" HDPE	DMH2	41.86
STC-900	46.03	41.61	-	0.0137	8.0	15" HDPE	SIS	41.50
SIS-STORMTANK		TOP OF UNITS EL= 44.00		BOT. OF UNITS EL= 39.50				
		TOP OF STONES EL= 44.50		BOT. OF STONES EL= 39.00				



APPROVED UNDER THE SUBDIVISION CONTROL LAW
 APPROVED (DATE): JANUARY 21, 2010
 ENDORSED (DATE): _____
 P.B. FILE NO.: 7264

"I HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE NANTUCKET PLANNING BOARD WAS RECEIVED AND RECORDED _____ AT THIS OFFICE, AND NO APPEAL WAS RECEIVED DURING THE TWENTY (20) DAYS NEXT AFTER SUCH RECEIPT OF RECORDING OF SAID NOTICE."

TOWN CLERK, NANTUCKET, MA _____ DATE _____

SITE DESIGN ENGINEERING, LLC.
 11 CUSHMAN STREET
 MIDDLEBORO, MA 02346
 T: 508-967-0673 F: 508-967-0674
 WWW.SITEDESIGNENG.COM

NO.	DATE	DESCRIPTION	DCM	APPROVED
1	3/1/10	REVISED PER DEFINITIVE PLAN APPROVAL CONDITIONS		

DATE: NOVEMBER 2, 2009
 DRAWN BY: RT DESIGN BY: RT CHECK BY: DCM
 PROJECT NO: 9064

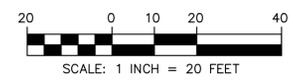
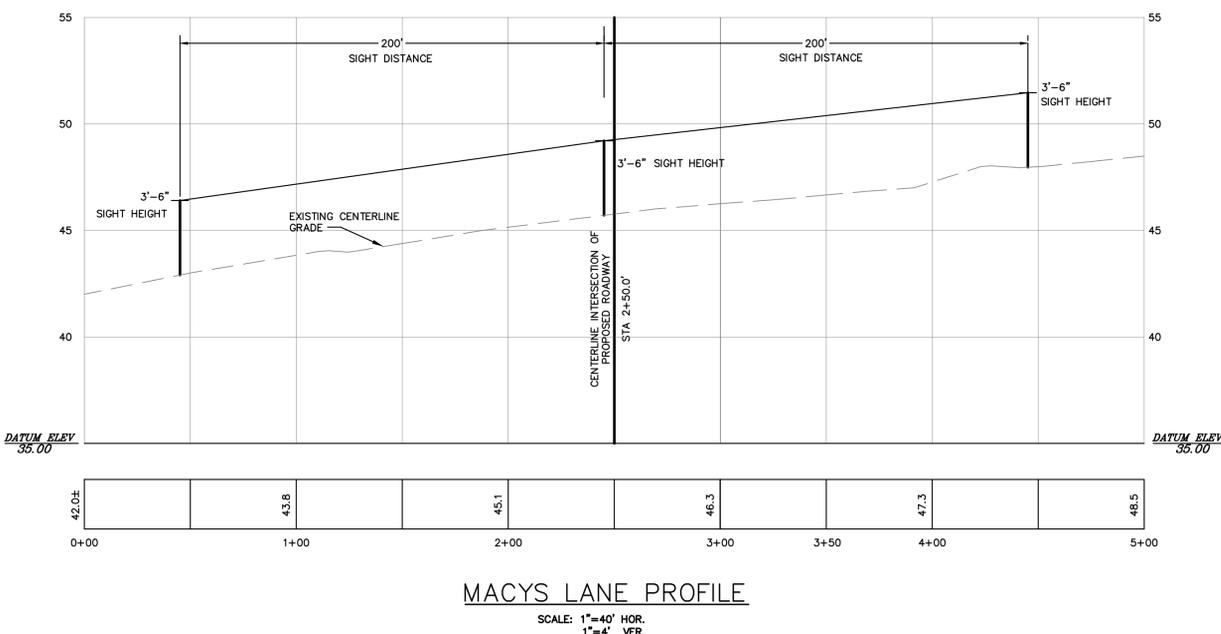
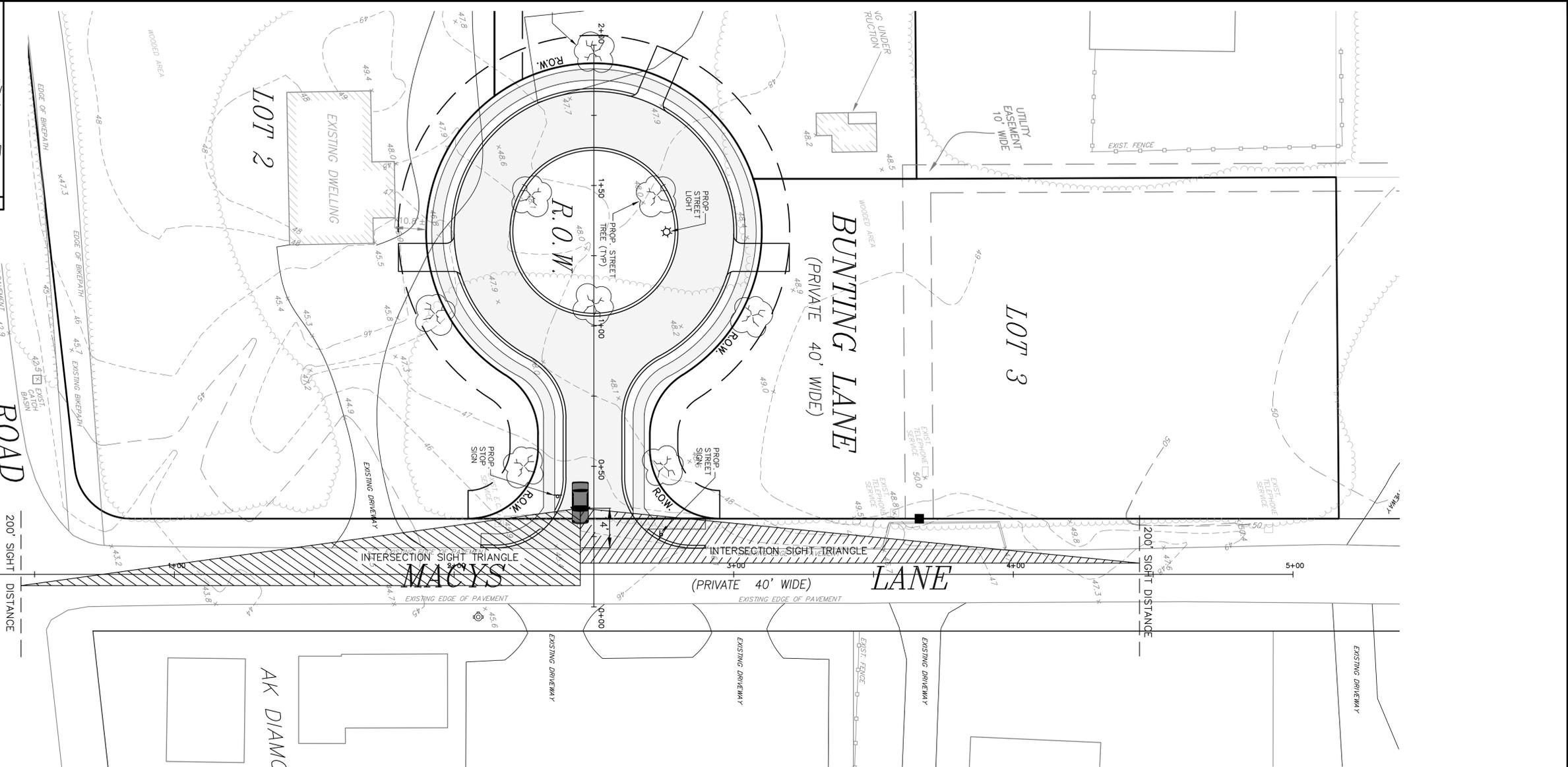
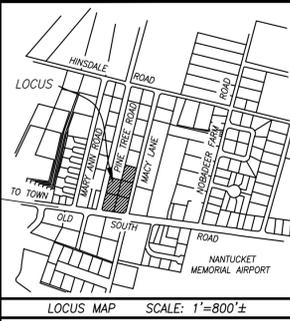
ISSUED FOR:
PERMITTING

DEFINITIVE SUBDIVISION PLAN
BUNTING LANE
NANTUCKET, MA

PREPARED FOR: JOAN E. BUNTING & MARY E. GLOWACKI
 MACYS LANE, OLD SOUTH ROAD & PINE TREE ROAD
 NANTUCKET, MA

DRAWING TITLE:
UTILITY PLAN & PROFILE

SCALE: **1" = 20'**
 SHEET NO. **5 OF 9**



APPROVED UNDER THE SUBDIVISION CONTROL LAW
 APPROVED (DATE): JANUARY 21, 2010
 ENDORSED (DATE): _____
 P.B. FILE NO.: 7264

"I HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE NANTUCKET PLANNING BOARD WAS RECEIVED AND RECORDED _____ AT THIS OFFICE, AND NO APPEAL WAS RECEIVED DURING THE TWENTY (20) DAYS NEXT AFTER SUCH RECEIPT OF RECORDING OF SAID NOTICE."

TOWN CLERK, NANTUCKET, MA _____ DATE _____

SITE DESIGN ENGINEERING, LLC.
 11 CUSHMAN STREET
 MIDDLEBORO, MA 02346
 T: 508-967-0673 F: 508-967-0674
 WWW.SITEDESIGNENG.COM

NO.	DATE	DESCRIPTION	APPROVED
1	3/1/10	REVISED PER DEFINITIVE PLAN APPROVAL CONDITIONS	DCM

PLAN REVISIONS
 DATE: NOVEMBER 2, 2009

DRAWN BY: RT DESIGN BY: RT CHECK BY: DCM

PROJECT NO. 9064

ISSUED FOR:
PERMITTING

**DEFINITIVE SUBDIVISION PLAN
 BUNTING LANE
 NANTUCKET, MA**

PREPARED FOR JOAN E. BUNTING & MARY E. GLOWACKI
 MACYS LANE, OLD SOUTH ROAD & PINE TREE ROAD
 NANTUCKET, MA

DRAWING TITLE:
SIGHT DISTANCE PLAN

SCALE: **1" = 20'**
 SHEET NO.

7 OF 9

CONSTRUCTION NOTES

- THE CONTRACTOR SHALL MAKE APPLICATIONS FOR AND PAY ALL FEES FOR PERMITS REQUIRED TO CONSTRUCT THIS PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SITE PREPARATION NECESSARY FOR THE COMPLETE INSTALLATION OF THE PROJECT FACILITIES DURING CONSTRUCTION.
- THE LOCATION OF UNDERGROUND UTILITIES AND STRUCTURES ARE APPROXIMATE ONLY. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION AND INVERT ELEVATIONS OF THE UTILITIES AND STRUCTURES, AS REQUIRED PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES WITH RECORD DATA SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. THE CONTRACTOR IS CAUTIONED TO CONTACT DIG SAFE (1-888-344-7233) 72 HOURS BEFORE DIGGING.
- ALL MATERIALS AND CONSTRUCTION PRACTICES SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITIONS OF THE STANDARD SPECIFICATIONS, PLANNING BOARD RULES AND REGULATIONS (MDFW) CONSTRUCTION STANDARDS, AND THE MDPW STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, UNLESS OTHERWISE SPECIFIED BY LOCAL ORDINANCES. ALL MATERIALS AND WORK NOT MEETING THESE SPECIFICATIONS SHALL BE IMMEDIATELY REMOVED FROM THE SITE AT THE FULL EXPENSE OF THE CONTRACTOR.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE HIS WORK WITH THE APPROPRIATE HIGHWAY & UTILITY DEPARTMENTS.
- CONTRACTOR SHALL MAINTAIN ALL EXISTING AND NEWLY INSTALLED UTILITIES IN GOOD WORKING ORDER AND SHALL PROTECT THEM FROM DAMAGE AT ALL TIMES UNTIL THE WORK IS COMPLETED AND ACCEPTED BY THE OWNER.
- THE WATER SUPPLY SYSTEM SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE NANTUCKET WATER DEPARTMENT. CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH APPLICABLE PERMITS (TO BE OBTAINED BY THE CONTRACTOR). UNLESS DIRECTED OTHERWISE, ALL WATER PIPES SHALL BE INSTALLED 5'-0" BELOW GRADE. APPROPRIATE THRUST BLOCKS SHALL BE INSTALLED.
- THE SANITARY SEWER SYSTEM SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE NANTUCKET SEWER DEPARTMENT. CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH APPLICABLE PERMITS (TO BE OBTAINED BY THE CONTRACTOR).
- ELECTRIC, GAS, TELEPHONE, AND CABLE TELEVISION UTILITY CONNECTIONS AND SERVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE RESPECTIVE UTILITY.
- THE CONTRACTOR SHALL UTILIZE ALL MEASURES AND MATERIALS NECESSARY TO ENSURE THE SAFETY OF ALL PERSONS AND PROPERTIES AT THE SITE DURING CONSTRUCTION. ALL EXCAVATIONS SHALL CONFORM TO CURRENT OSHA STANDARDS.
- DEWATERING OPERATIONS SHALL BE PROVIDED, IF REQUIRED; ALL DISCHARGE SHALL PASS THROUGH SEDIMENTATION CONTROL DEVICES TO PREVENT IMPACTS UPON WATER BODIES, BORDERING VEGETATED WETLANDS, DRAINAGE SYSTEMS AND ADJUTING PROPERTIES.
- UNLESS OTHERWISE NOTED, ALL DISTURBED AREAS SHALL BE DRESSED WITH A MINIMUM OF FOUR INCHES (4") OF LOAM AND SEED WITH AN APPROVED GRASS MIX. SLOPES EXCEEDING 2:1 SHALL BE LOAMED AND STABILIZED WITH PEGGED SOD OR APPROVED EROSION CONTROL BLANKETS UNLESS OTHERWISE NOTED.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR(S) TO RECORD IN NOTE FORM (PREFERABLY IN A SURVEY FIELD NOTEBOOK) THE LOCATION OF ALL UTILITIES INSTALLED WHEN SURVEYORS ARE NOT AT JOB SITE. THESE NOTES WILL BE UTILIZED FOR THE PREPARATION OF REQUIRED AS-BUILT PLANS.
- THE CONTRACTOR SHALL NOTIFY THE PLANNING BOARD FOR REQUIRED INSPECTIONS AS PER SECTION 6 (V) OF THE PLANNING BOARD RULES AND REGULATIONS, LATEST EDITION.
- THE CONTRACTOR(S) SHALL NOTIFY THE DESIGN ENGINEER AND OR SURVEYOR FOR PROPER LOCATION OF PROPOSED UTILITIES AND IMPROVEMENTS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR MUST PRESERVE ALL GRADE STAKES SET BY SURVEYORS. GRADE STAKES WILL BE USED BY SURVEYORS AND TOWN OF NANTUCKET ENGINEERS FOR FINAL GRADE INSPECTIONS.
- THE CONTRACTOR SHALL CONTACT NANTUCKET ELECTRIC COMPANY FOR CONSTRUCTION SPECIFICATIONS, STANDARDS AND RESPONSIBILITIES.
- ALL PROPOSED UTILITY CONNECTIONS (WATER, SEWER, ELECTRIC, ETC.) TO SERVICE ALL LOTS SHALL BE EXTENDED A MINIMUM OF 5' BEYOND ALL OTHER INFRASTRUCTURE TO AVOID UNNECESSARY DAMAGE TO EXISTING IMPROVEMENTS UPON CONSTRUCTION OF INDIVIDUAL LOTS.
- ALL REINFORCE CONCRETE PIPE TO BE CLASS 3, ALL DUCTILE IRON PIPE TO BE CLASS 52 PUSH ON JOINT TYPE. ALL PLASTIC DRAINAGE PIPES TO BE SMOOTH INTERIOR WALL MODEL N-12 AS MANUFACTURED BY ADVANCED DRAINAGE SYSTEMS, INC. (ADS) OR APPROVED EQUAL. REFER TO PLAN AND PROFILE DRAWINGS.
- ALL WORK TO BE COMPLETED ACCORDING TO APPROVED PLANS. ANY DEVIATIONS FROM SAID PLANS SHALL BE APPROVED IN WRITING BY THE ENGINEER OF RECORD.

WATER MAIN CONSTRUCTION NOTES

- THE WATER MAIN SYSTEM SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE TOWN'S WATER DEPARTMENT. CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH APPLICABLE PERMITS (TO BE OBTAINED BY THE CONTRACTOR). UNLESS OTHERWISE DIRECTED, ALL WATER PIPES SHALL BE INSTALLED 5'-0" BELOW GRADE. APPROPRIATE THRUST BLOCKS SHALL BE INSTALLED.
- THE CONTRACTOR SHALL MAINTAIN CLEARANCE BETWEEN THE NEW WATER MAIN AND OTHER EXISTING UTILITIES OF AT LEAST (12) TWELVE INCHES OR AS DETERMINED BY THE TOWN'S WATER DEPARTMENT IN THE FIELD.
- ALL CONSTRUCTION METHODS AND MATERIALS, AS WELL AS ALL MATERIAL SHOP DRAWINGS AND MANUFACTURERS DATA SHALL RECEIVE THE WRITTEN APPROVAL OF THE TOWN'S WATER DEPARTMENT AND THE PROJECT ENGINEER PRIOR TO FABRICATION AND INSTALLATION.
- ALL COMPLETED SECTIONS OF THE PROPOSED SYSTEM SHALL BE PRESSURE TESTED AND DISINFECTED IN ACCORDANCE WITH THE TOWN'S WATER DEPARTMENT SPECIFICATIONS. ANY PORTION OF THE WORK NOT MEETING THE REQUIRED TESTING STANDARDS SHALL BE CORRECTED BY THE CONTRACTOR AT HIS OWN EXPENSE.
- THE TOWN'S WATER SUPERINTENDENT AND THE PROJECT ENGINEER SHALL APPROVE ALL FIELD CHANGES IN THE WORK PRIOR TO IMPLEMENTATION. NO FIELD CHANGES SHALL BE MADE IN ANY SPECIFIED SITE WORK OR ANY MATERIALS FOR WHICH SHOP DRAWINGS HAVE BEEN SUBMITTED AND APPROVED WITHOUT PRIOR CONSULTATION OF THE WATER SUPERINTENDENT AND THE PROJECT ENGINEER. ANY CHANGES SO MADE WITHOUT THE CONSENT OF THE WATER SUPERINTENDENT AND THE PROJECT ENGINEER SHALL BE DEEMED UNACCEPTABLE BY EITHER PARTY, BE PROMPTLY REMOVED FROM THE WORK AT NO EXPENSE TO THE OWNER OF THE PROJECT.
- THE CONTRACTOR SHALL INTERRUPT WATER SERVICE AND DISRUPT THE NORMAL FUNCTIONING OF THE DISTRIBUTION SYSTEM AS LITTLE AS POSSIBLE. THE CONTRACTOR SHALL NOTIFY THE WATER DEPARTMENT 72 HOURS IN ADVANCE OF ANY REQUIREMENT FOR UNWATERING OF ISOLATING A SECTION OF THE MAIN.
- IN THE EVENT THAT NORMAL WATER SERVICE WILL BE INTERRUPTED FOR AN EXTENDED PERIOD, THE CONTRACTOR SHALL PROVIDE TEMPORARY SERVICE.
- THE CONTRACTOR SHALL NOT OPERATE WATER DISTRIBUTION SYSTEM VALVES WITHOUT THE SUPERVISION OF THE WATER DEPARTMENT. IF SUCH SUPERVISION IS PROVIDED BY THE OWNER, AT TIMES OTHER THAN DURING REGULAR WORKING HOURS OF THE WATER DEPARTMENT, THE CONTRACTOR SHALL REIMBURSE THE WATER DEPARTMENT FOR ALL SALARY EXPENSES INCURRED BY THE WATER DEPARTMENT IN PROVIDING SUCH SUPERVISION.

SOIL EROSION AND SEDIMENTATION CONTROL NOTES

- PRIOR TO INITIATING CONSTRUCTION, ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS, AS DIRECTED BY THE ENGINEER AND/OR AS NECESSITATED BY FIELD CONDITIONS. THE CONTRACTOR SHALL MAINTAIN THESE MEASURES UNTIL ALL WORK IS COMPLETED AND ALL AREAS HAVE BEEN STABILIZED.

INSTALLATION SEQUENCE

- INSTALL SILT FENCE AND HAYBALES AS SHOWN ON PLAN.
- CLEAR AND GRUB SITE.
- CONSTRUCT SITE INFRASTRUCTURE AS SHOWN ON PLANS.
- THE FOLLOWING ACTIVITIES SHALL TAKE PLACE IMMEDIATELY FOLLOWING CONSTRUCTION OF EMBANKMENTS AND FILL SLOPES: PLACEMENT OF LOAM AND GRASS SEED, INSTALLATION OF GEOWEB SLOPE STABILIZATION.
- THE CONTRACTOR SHALL INSPECT ALL FILL SLOPES AND EMBANKMENTS ON A WEEKLY BASIS AND FOLLOWING ALL RAINFALL EVENTS UNTIL A MINIMUM 75% GRASS COVER IS ESTABLISHED SUFFICIENT TO PREVENT EROSION FROM OCCURRING.

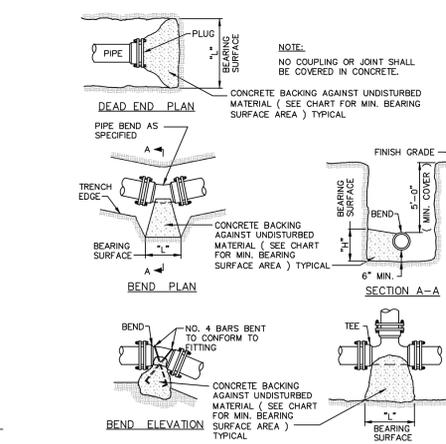
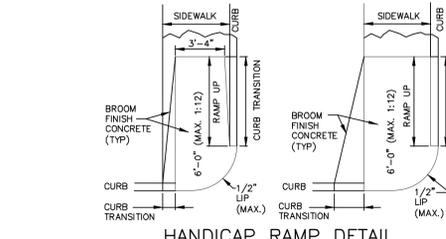
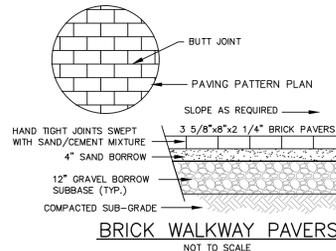
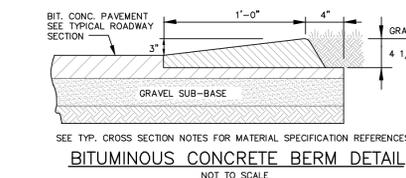
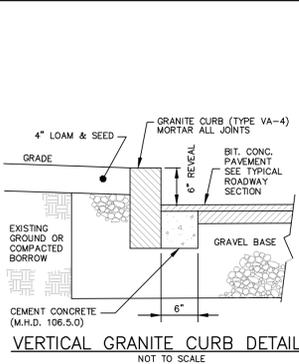
- ACCUMULATED SEDIMENT SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR OR AS DIRECTED BY THE ENGINEER.
- AFTER THE INSTALLATION OF DRAINAGE STRUCTURES, HAYBALES OR OTHER APPROVED MATERIALS SHALL BE PLACED TO PROTECT THE INTEGRITY OF THE STRUCTURES.

- DISTURBED AREAS SHALL BE STABILIZED WITH THE APPLICATION OF A MINIMUM OF FOUR INCHES (4") OF LOAM AND SHALL BE SEEDED WITH AN APPROVED GRASS MIX OR SHALL BE RIPRAPPED AS SOON AS POSSIBLE AFTER THE FINISHED GRADE HAS BEEN MET. IF FINAL GRADING DOES NOT OCCUR DURING THE GROWING SEASON, THESE AREAS SHALL BE MULCHED WITH HAY AND SECURED BY JUTE NETTING WITH STAPLES. SLOPES EXCEEDING 2:1 SHALL BE LOAMED AND STABILIZED WITH PEGGED SOD OR APPROVED EROSION CONTROL BLANKETS UNLESS OTHERWISE NOTED.

- THE MOUTHS OF ALL CATCH BASINS SHALL BE FITTED WITH FILTER FABRIC DURING THE ENTIRE CONSTRUCTION PROCESS TO RETARD SILTATION.

- WHERE APPLICABLE, PROPER DUST CONTROL MEASURES SHALL APPLY TO REDUCE THE SURFACE AND AIR TRANSPORT OF DUST GENERATED DURING CONSTRUCTION. THE FOLLOWING METHODS SHALL BE USED:
 - WET SUPPRESSION WITHOUT WETTING AGENT SHALL BE APPLIED DURING LOAD IN / LOAD OUT AND EARTH MOVING CONSTRUCTION ACTIVITIES, SPECIALLY ON STOCKPILES.
 - INACTIVE STOCKPILES SHALL BE STABILIZED THROUGH APPLICATION OF SOIL STABILIZERS OR SEEDING.
 - WIND SCREENS OR BARRIERS AND PLASTIC TARP COVERS SHALL BE SECURED TO PREVENT WIND DISLODGE AND DAMAGE. ANY DAMAGES SHALL BE REPAIRED OR REPLACED IMMEDIATELY.

- CONTRACTOR SHALL CONSTRUCT A TEMPORARY CRUSHED STONE CONSTRUCTION ENTRANCE APPROXIMATELY 20' HIGH BY 50' LONG BY 6" DEEP FOR USE DURING CONSTRUCTION ACTIVITIES AS NECESSARY TO REMOVE SEDIMENT FROM VEHICLES. THE CONSTRUCTION ENTRANCE IS TO BE LOCATED AT THE ENTRANCE TO THE SITE FROM THE MAIN LANE.



MINIMUM AREA OF BEARING FACE CONCRETE THRUST BLOCKS IN SQUARE FEET

PIPE SIZE (IN.)	SAND/SOFT CLAY (1,000 LBS./SQ. FT.)	SAND/GRAVEL (3,000 LBS./SQ. FT.)	HARDPAN/SOFT ROCK (5,000 LBS./SQ. FT.)
6	6.5	3.0	1.5
8	14.0	6.0	3.0
10	17.0	8.0	3.5
12	23.0	11.0	5.0

1/4 BEND - 90°	DR HYDRANT	DR LESS
6	6.5	3.0
8	14.0	6.0
10	17.0	8.0
12	23.0	11.0

1/8 BEND - 45°	DR HYDRANT	DR LESS
6	6.0	2.5
8	13.0	5.0
10	16.0	7.0
12	22.0	10.0

1/16 BEND - 22 1/2° DR LESS	DR HYDRANT	DR LESS
6	2.5	2.0
8	4.0	1.5
10	7.0	2.0
12	9.0	3.0

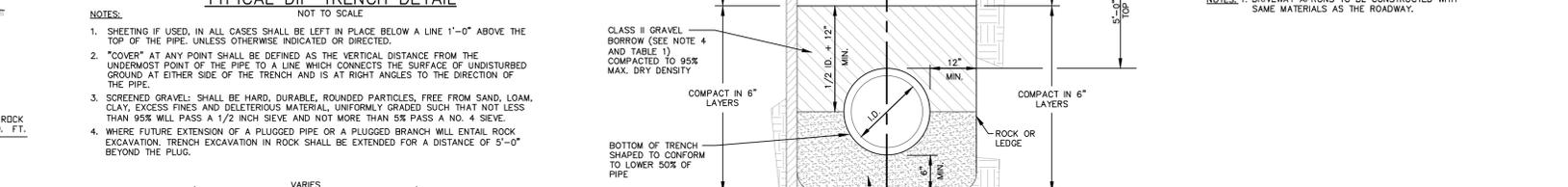
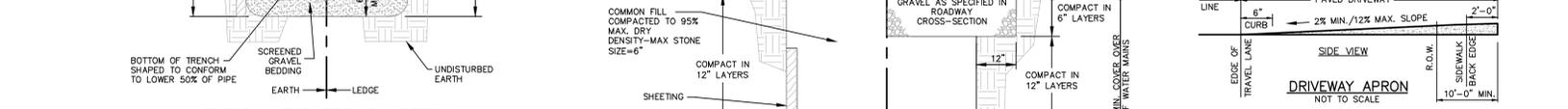
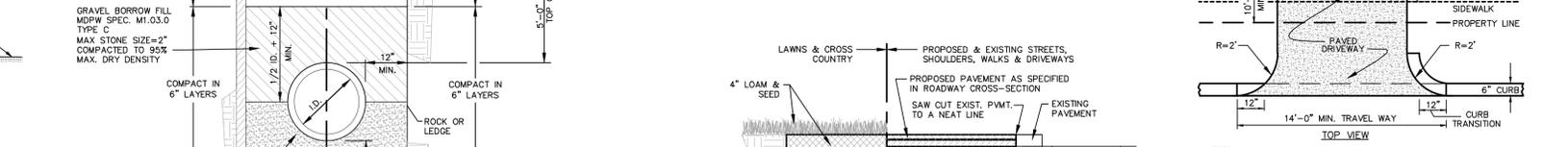
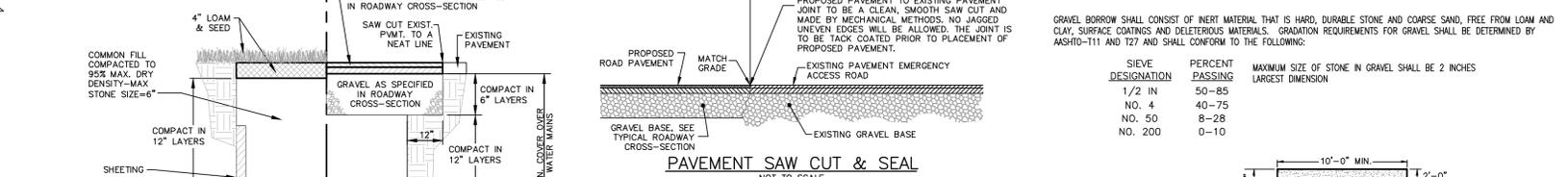
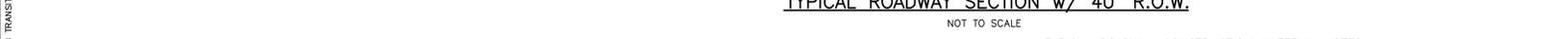
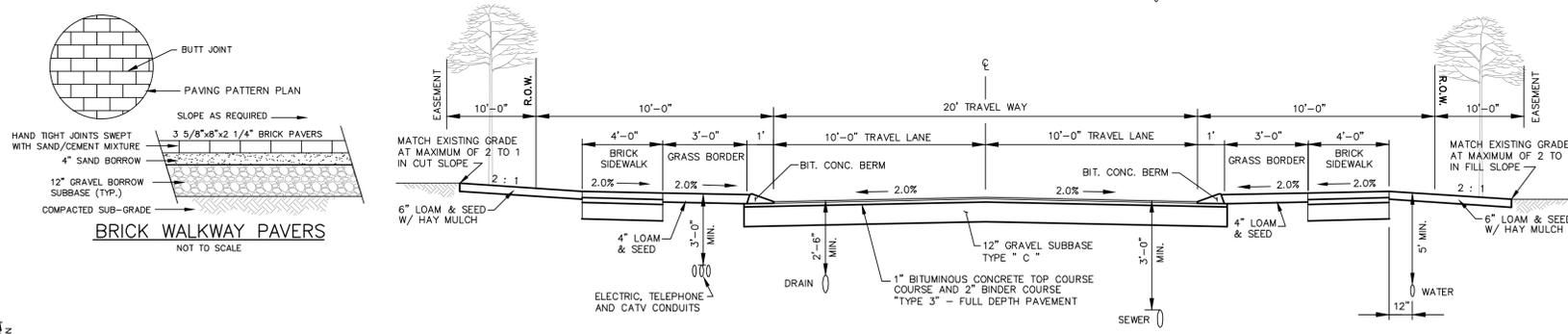
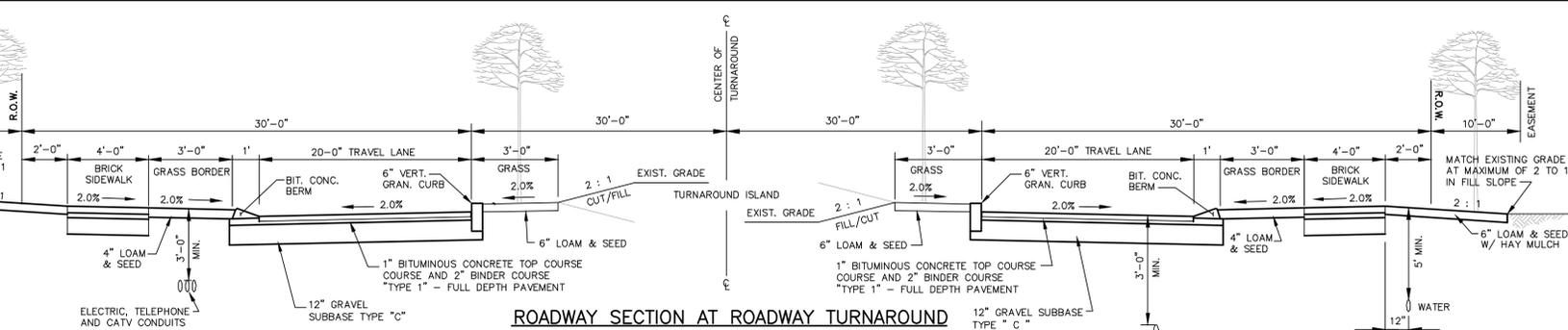
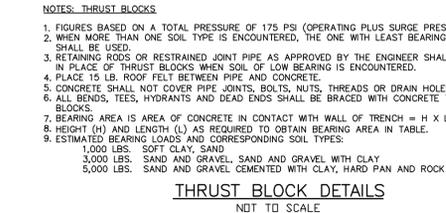
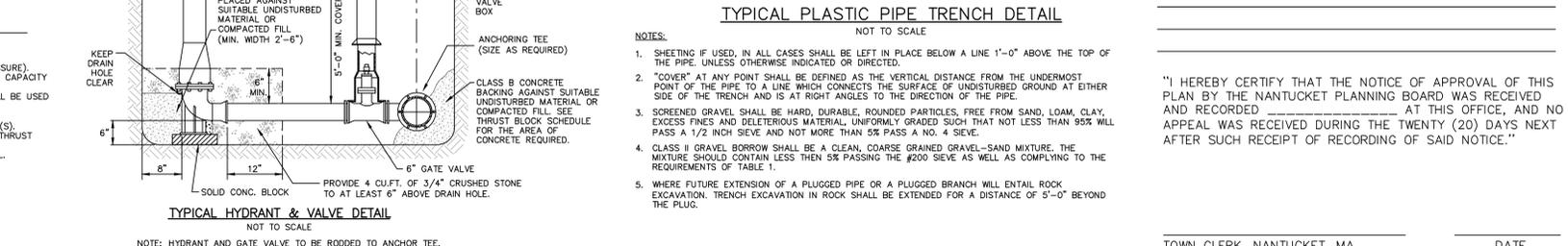


TABLE 1

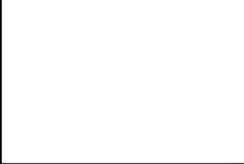
NOMINAL PIPE SIZE (IN.)	MAXIMUM STONE SIZE (IN.)
2 TO 4	1/2
6 TO 8	3/4
10 TO 16	1
18 AND LARGER	1-1/2



SITE DESIGN ENGINEERING, LLC.
 11 CUSHMAN STREET
 MIDDLEBORO, MA 02346
 T: 508-967-0673 F: 508-967-0674
 WWW.SITEDESIGNENG.COM

NO.	DATE	DESCRIPTION
1	3/1/10	REUSED PER DEFINITIVE PLAN APPROVAL CONDITIONS

DATE: NOVEMBER 2, 2009
 DRAWN BY: RT DESIGN BY: RT CHECK BY: DCM
 PROJECT NO. 9064
 ISSUED FOR: PERMITTING

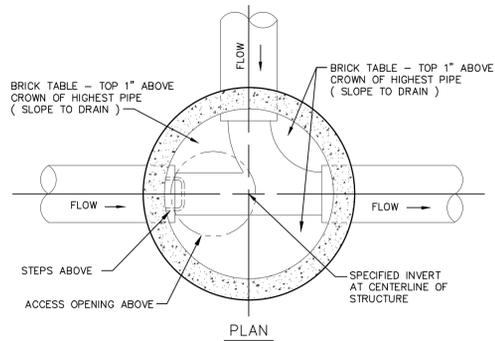
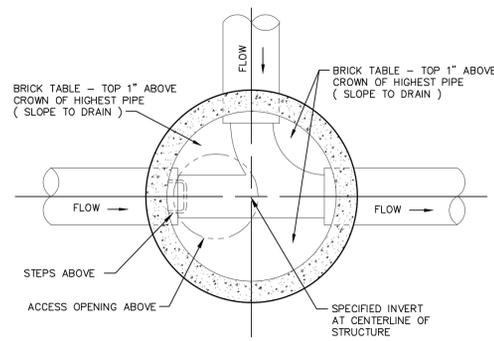


DEFINITIVE SUBDIVISION PLAN
BUNTING LANE
 NANTUCKET, MA

APPROVED UNDER THE SUBDIVISION CONTROL LAW
 APPROVED (DATE): JANUARY 21, 2010
 ENDORSED (DATE):
 P.B. FILE NO.: 7264

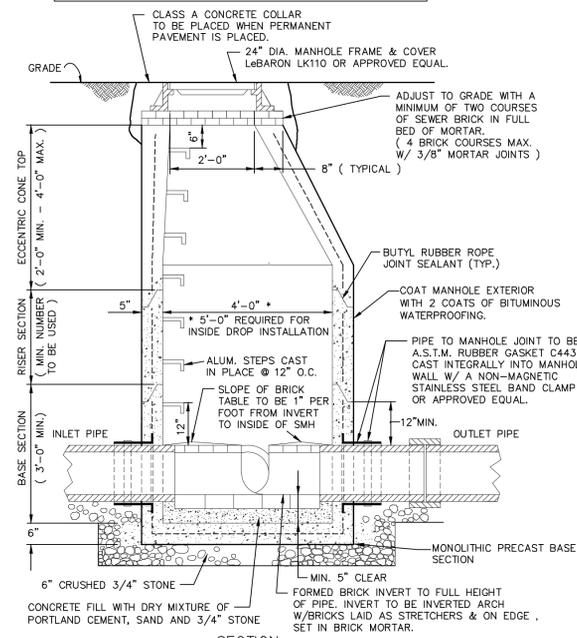
CONSTRUCTION DETAILS
 SCALE: NTS
 SHEET NO. 8 OF 9

PREPARED FOR JOAN E. BUNTING & MARY E. GLOWACKI
 MACYS LANE, OLD SOUTH ROAD & PINE TREE ROAD
 NANTUCKET, MA



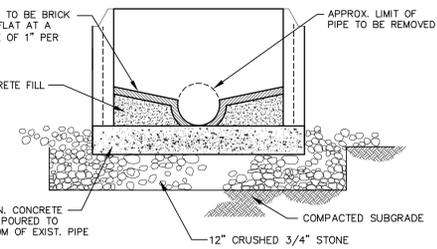
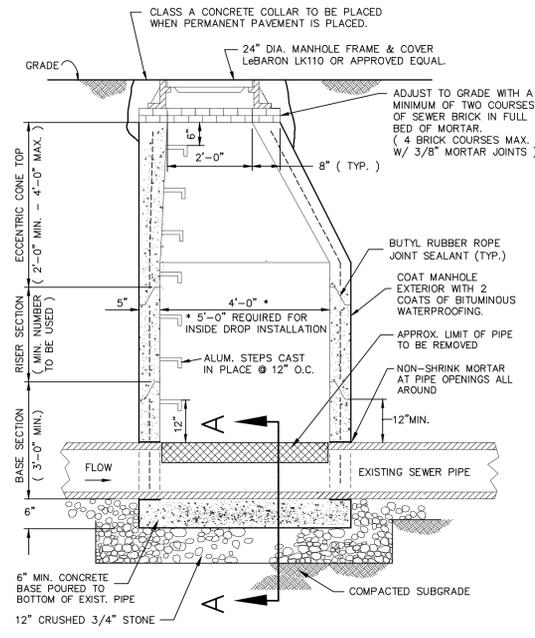
NOTE: 1. ALL JOINTS TO HAVE "KENT SEAL" OR EQUAL.
2. PRECAST REINFORCED CONCRETE MANHOLE BARRELS TO BE PER ASTM A185 W/ 4000 PSI TYPE II CEMENT. DESIGN LOADING PER AASHTO HS20-44.

NOTE: 1. ALL JOINTS TO HAVE "KENT SEAL" OR EQUAL.
2. PRECAST REINFORCED CONCRETE MANHOLE BARRELS TO BE PER ASTM A185 W/ 4000 PSI TYPE II CEMENT. DESIGN LOADING PER AASHTO HS20-44.



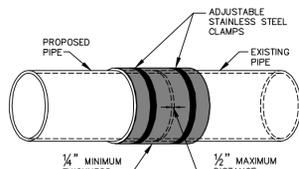
PRECAST CONCRETE SMH DETAIL
NOT TO SCALE

- NOTES:
1. PRECAST REINFORCED CONCRETE DESIGN SHALL BE CERTIFIED FOR H-20 LOADING.
 2. USE FLAT TOP H20 LOADING SLAB WHEN HEIGHT OF CONE SECTION IS LESS THAN 2'-0".
 3. FILL OUTSIDE FACE OF ALL MANHOLE JOINTS WITH NON-SHRINK MORTAR.
 4. ALL JOINTS TO HAVE "KENT SEAL" OR EQUAL.



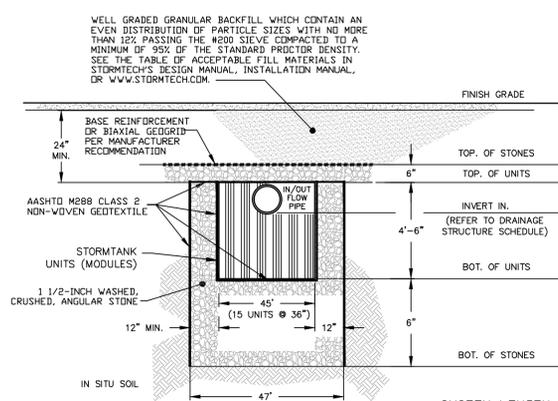
DETAIL OF PRECAST CONCRETE SMH
CONSTRUCTED ON EXIST. SEWER LINE
NOT TO SCALE

- NOTES:
1. PRECAST REINFORCED CONCRETE DESIGN SHALL BE CERTIFIED FOR H-20 LOADING.
 2. USE FLAT TOP H20 LOADING SLAB WHEN HEIGHT OF CONE SECTION IS LESS THAN 2'-0".
 3. FILL OUTSIDE FACE OF ALL MANHOLE JOINTS WITH NON-SHRINK MORTAR.
 4. ALL JOINTS TO HAVE "KENT SEAL" OR EQUAL.
 5. PROVIDE SUPPORT FOR EXISTING SEWER PIPE WHEN POURING CONCRETE BASE



TYPICAL COUPLING DETAIL
NOT TO SCALE

NOTE: THE PROPOSED PIPE MAY HAVE AN OUTSIDE DIAMETER (O.D.) THAT IS DIFFERENT THAN THE O.D. OF THE EXISTING PIPE. THE CONTRACTOR SHALL VERIFY THE O.D. PRIOR TO ORDERING THE COUPLING.



SYSTEM LENGTH:
STORMTANKS = 60-FT
(20 UNITS @ 36")
WITH STONES = 62-FT.

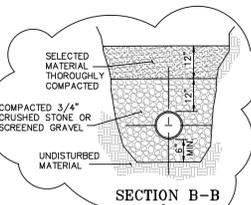
STORMTANK STORAGE & INFILTRATION SYSTEM

- NOTES:
1. PROVIDE STORMTANK CHAMBERS AS MANUFACTURED BY BRENTWOOD INDUSTRIES, INC.
 2. STORMTANK INSTALLATION AND ALL ACCOMPANYING MATERIALS FOR COMPLETE SYSTEM CONSTRUCTION SHALL CONFORM TO MANUFACTURER'S SPECIFICATION AND REQUIREMENTS.
 3. GEDGRID SHALL HAVE 2-FT. LAP AT SEAMS, 6-IN. ABOVE STORMTANK AND SHALL EXTEND A MINIMUM OF 5-FT BEYOND ALL SIDES OF EXCAVATION.
 4. CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD AT COMPLETION OF EXCAVATION IN ORDER TO VERIFY EXISTING SOIL CONDITIONS. IF SOIL CONDITIONS ARE CONTRARY WITH THOSE PREVIOUSLY RECORDED AND THE ASSUMPTIONS USED IN THE DESIGN (2.41 IN./HR.) OF THE SUBSURFACE STORAGE & INFILTRATION SYSTEM THEN ENGINEER OF RECORD MAY CONDUCT A PERCOLATION TEST IN THE PRESENCE OF THE TOWN BOARD OF HEALTH OR PRESIDING DEPARTMENT AT THE BOTTOM OF THE EXCAVATION.

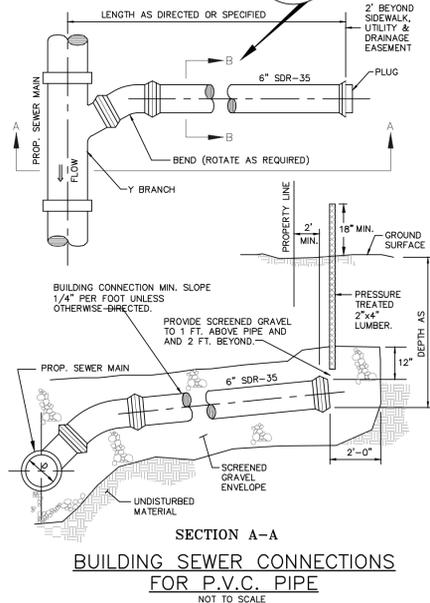
STORMWATER STORAGE & INFILTRATION / RETENTION SYSTEM

THE CONTRACTOR IS CAUTIONED THAT THE STORMWATER STORAGE & INFILTRATION / RETENTION SYSTEM IS DESIGNED TO INFILTRATE/RECHARGE STORMWATER PRIMARILY THROUGH THE BOTTOM AND SIDES OF THE BASIN. CONSTRUCTION TECHNIQUES THAT WOULD POTENTIALLY DIMINISH THE INFILTRATION CAPACITY OF THE UNDERLYING SOILS ARE TO BE AVOIDED. COMPACTION AND SILTATION OF THE BASIN DURING CONSTRUCTION IS PROHIBITED.

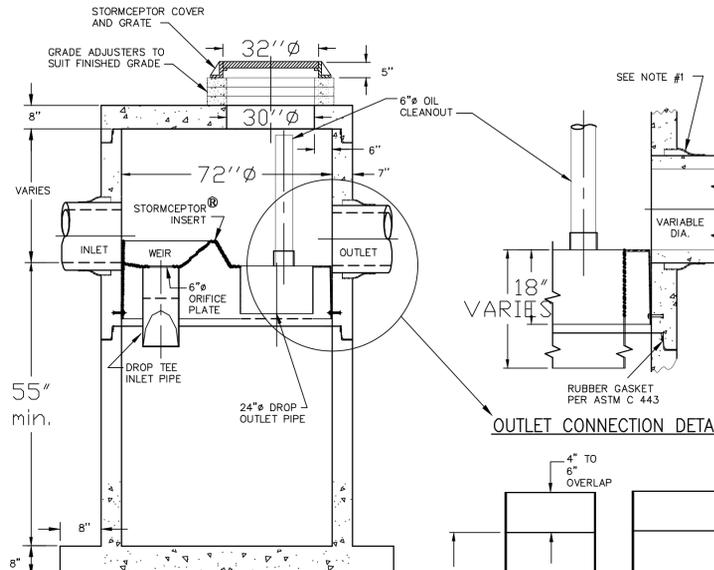
1. DO NOT UTILIZE ANY PORTION OF THE BASIN FLOOR AS A HAUL ROAD FOR MATERIAL AND HEAVY EQUIPMENT.
2. DO NOT COMPACT SOILS IN THE BASIN FLOOR.
3. DO NOT PLACE GRAVEL OR OTHER MATERIALS TO STABILIZE THE BASIN FLOOR FOR CONSTRUCTION VEHICULAR TRAVEL ACCESS.
4. STRICT COMPLIANCE WITH THE EROSION CONTROL PLAN AND THE STORMWATER OPERATIONS AND MAINTENANCE PLAN IS NECESSARY.
5. BASIN CONSTRUCTION SHALL OCCUR AT THE EARLY STAGES OF THE PROJECT CONSTRUCTION SO THAT THEY ARE FULLY VEGETATED AND STABILIZED PRIOR TO RECEIVING STORMWATER.
6. RIP RAP IN BOTTOM OF BASIN TO BE PLACED, NOT DUMPED. DO NOT COMPACT.
7. DO NOT USE THE RETENTION BASIN AS A TEMPORARY SEDIMENT BASIN OR DE-WATERING BASIN.



SECTION B-B



BUILDING SEWER CONNECTIONS
FOR P.V.C. PIPE
NOT TO SCALE



SECTION THRU CHAMBER

NOTE:

1. THE USE OF FLEXIBLE CONNECTIONS IS RECOMMENDED AT THE INLET AND OUTLET WHERE APPLICABLE.
2. THE COVER SHOULD BE POSITIONED OVER THE OUTLET DROP PIPE AND THE OIL CLEANOUT PIPE.
3. THE STORMCEPTOR SYSTEM IS PROTECTED BY ONE OR MORE OF THE FOLLOWING U.S. PATENTS: #4985148, #5498331, #5725760, #5753115, #5849181.
4. THE STORMCEPTOR IS TO BE MANUFACTURED TO OPERATE UNDER A SURCHARGED CONDITION.

CSR Hydro Conduit
STC 900 Precast Concrete Stormceptor®
(900 US Gallon Capacity)
STORMCEPTOR (STC)
NOT TO SCALE

STORMWATER FACILITY OPERATION AND MAINTENANCE

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSPECTION AND MAINTENANCE OF ALL STORMWATER FACILITIES UNTIL SUCH TIME AS THE ROADWAYS AND ASSOCIATED UTILITIES ARE ACCEPTED BY THE OWNER.
2. ALL STORMWATER FACILITIES SHOULD BE INSPECTED AFTER EVERY MAJOR RAINFALL EVENT FOR THE FIRST 3 MONTHS AFTER CONSTRUCTION TO ENSURE PROPER STABILIZATION AND CONSTRUCTION.
3. THE CONTRACTOR SHALL INSPECT AND CLEAN ALL FACILITIES OF SEDIMENT AND DEBRIS PRIOR TO THE OWNER'S ACCEPTANCE.

BUNTING LANE			
PROPOSED POST CONSTRUCTION DRAINAGE SYSTEM OPERATIONS AND MAINTENANCE PLAN			
BMP	INSPECTION	MAINTENANCE	REQUIRED ACTION
DEEP SLUMP HOODED CATCH BASINS	INSPECT IN THE SPRING AND FALL FOR SEDIMENT ACCUMULATION.	REMOVED SEDIMENT WHEN DEPTH EXCEEDS 12 INCHES. REMOVE FLOATABLES WHEN DEPTH EXCEEDS 4 INCHES.	
STORMCEPTOR	INSPECT IN THE SPRING AND FALL FOR SEDIMENT ACCUMULATION.	FOLLOW MANUFACTURER RECOMMENDATION FOR MAINTENANCE (SEE MANUFACTURER'S MANUAL).	
SUBSURFACE STORAGE & INFILTRATION SYSTEM (STORMTANK)	INSPECT IN THE SPRING AND FALL, AND AFTER 2 INCH RAINFALL EVENTS.	REMOVED ACCUMULATED SEDIMENT AND DEBRIS FROM THE STRUCTURE ACCORDING TO MANUFACTURER RECOMMENDATIONS.	

NOTES: 1. TRASH AND SEDIMENT MUST BE DISPOSED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.
2. TO THE EXTENT POSSIBLE, INSPECTIONS SHOULD BE COORDINATED WITH MAINTENANCE EVENTS.
3. ANY DEFICIENCIES NOTED DURING MAINTENANCE SHALL BE REPORTED TO THE OWNER AND CORRECTED IMMEDIATELY.

APPROVED UNDER THE SUBDIVISION CONTROL LAW
APPROVED (DATE): JANUARY 21, 2010
ENDORSED (DATE):
P.B. FILE NO.: 7264

"I HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE NANTUCKET PLANNING BOARD WAS RECEIVED AND RECORDED _____ AT THIS OFFICE, AND NO APPEAL WAS RECEIVED DURING THE TWENTY (20) DAYS NEXT AFTER SUCH RECEIPT OF RECORDING OF SAID NOTICE."

TOWN CLERK, NANTUCKET, MA

DATE

SITE DESIGN ENGINEERING, LLC.
11 CUSHMAN STREET
MIDDLEBORO, MA 02346
T: 508-967-0673 F: 508-967-0674
WWW.SITEDESIGNENG.COM

NO.	DATE	DESCRIPTION
1	3/1/10	REVISED PER DEFINITIVE PLAN APPROVAL CONDITIONS

DATE: NOVEMBER 2, 2009

DRAWN BY: RT DESIGN BY: RT CHECK BY: DCM

PROJECT NO. 9064

ISSUED FOR: PERMITTING

DEFINITIVE SUBDIVISION PLAN
BUNTING LANE
NANTUCKET, MA

PREPARED FOR JOAN E. BUNTING & MARY E. GLOWACKI
MACY'S LANE, OLD SOUTH ROAD & PINE TREE ROAD
NANTUCKET, MA

DRAWING TITLE:
CONSTRUCTION DETAILS

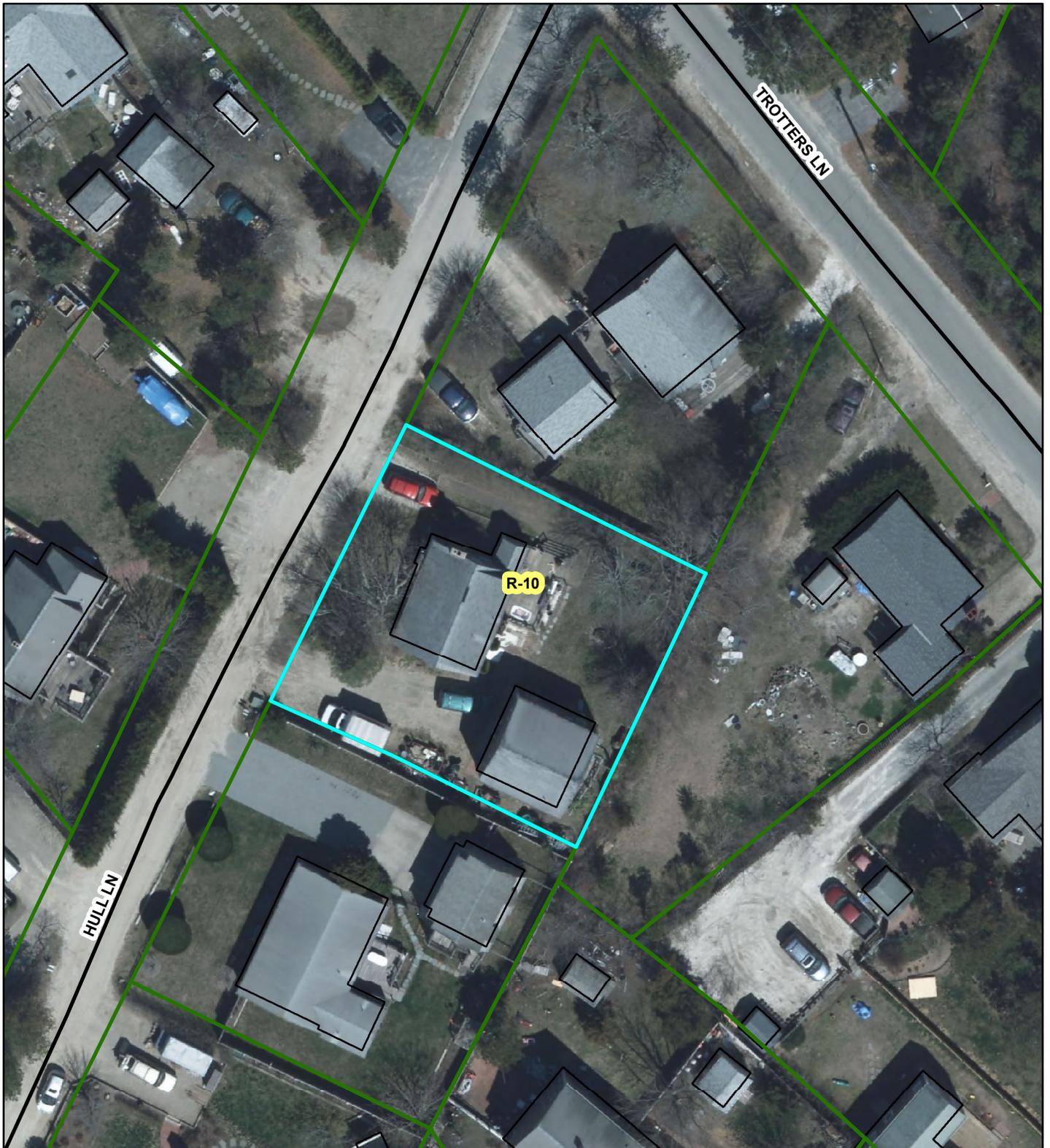
SCALE: NTS

SHEET NO.

9 OF 9



4 Hull Lane
Juanita Gill
Secondary & Tertiary Dwelling Approval
Removal of apron requirement





Nantucket Planning Board

May 12, 2015

Mr. Steve Butler, Building Commissioner
2 Fairgrounds Road
Nantucket, MA 02554

Re: 4 Hull Ln. — Juanita Gil (Map 67 Parcel 278)

Dear Mr. Butler:

Please be advised that the Planning Board, at its meeting on May 11, 2015 Planning Board Special Meeting, considered the above application for adequate access, as per §139-20.1 of the *Nantucket Code*, and granted a secondary dwelling approval, conditional upon the following:

Planning staff recommends approval of this application with the following conditions:

- (1) That the applicant shall either modify the dimension of the proposed cobblestone apron to meet the requirements of 139-20.1(d) or shall be granted a Waiver from the provisions therein.
- (2) That the driveway access point be cleared free of vegetation and obstruction to a width of twelve (12) feet and a height of thirteen (13) feet;
- (3) That any landscaping at the driveway entrance be limited to low growing plant material not to exceed three (3) feet in height; and,
- (4) That the applicant shall submit an As-Built prior to the final inspection by staff which shall take place prior to the issuance of a Certificate of Occupancy.

The approval is also **conditional** upon adherence to the site plan submitted by the applicant and endorsed by the Chairman, showing the relative locations of proposed or existing dwellings and driveways or parking areas.

As per Section 139-2 of the *Nantucket Zoning Code*, the approval referenced herein is valid for a period of two years only, calculated from the date of site plan endorsement by the Planning Board. If you have any questions regarding this approval, please contact the Planning Office at 508-325-7587.

Sincerely,



Barry Rector,
Chairman

cc: Juanita Gil
Marcus Silverstein - Zoning Enforcement Officer

***NOTE TO APPLICANTS:** Please note that a copy of the plan you submitted to the Board, which has been endorsed by the Chairman, is enclosed and must be presented to the Building Department when applying for a building permit. There will be a \$25 administrative fee to re-issue an endorsed site plan.*

ZONING CLASSIFICATION: R-10

MINIMUM LOT SIZE = 10,000 SQ.FT
MINIMUM FRONTAGE = 75 FT.
FRONT YARD SETBACK = 20
REAR YARD SETBACK = 10 FT.
SIDE YARD SETBACK = 10 FT.
GROUND COVER RATIO = 25 %
EXISTING GROUND COVER RATIO = 17.06 %

SCALE 1" = 20'



TROTTERS LANE

I CERTIFY THAT THE BUILDINGS
ARE LOCATED AS SHOWN HEREON.



" PLOT PLAN"
NANTUCKET, MA.
4 HULL LANE
(NANTUCKET COUNTY)
SCALE 1 IN. = 20 FT.
APRIL 22, 2015

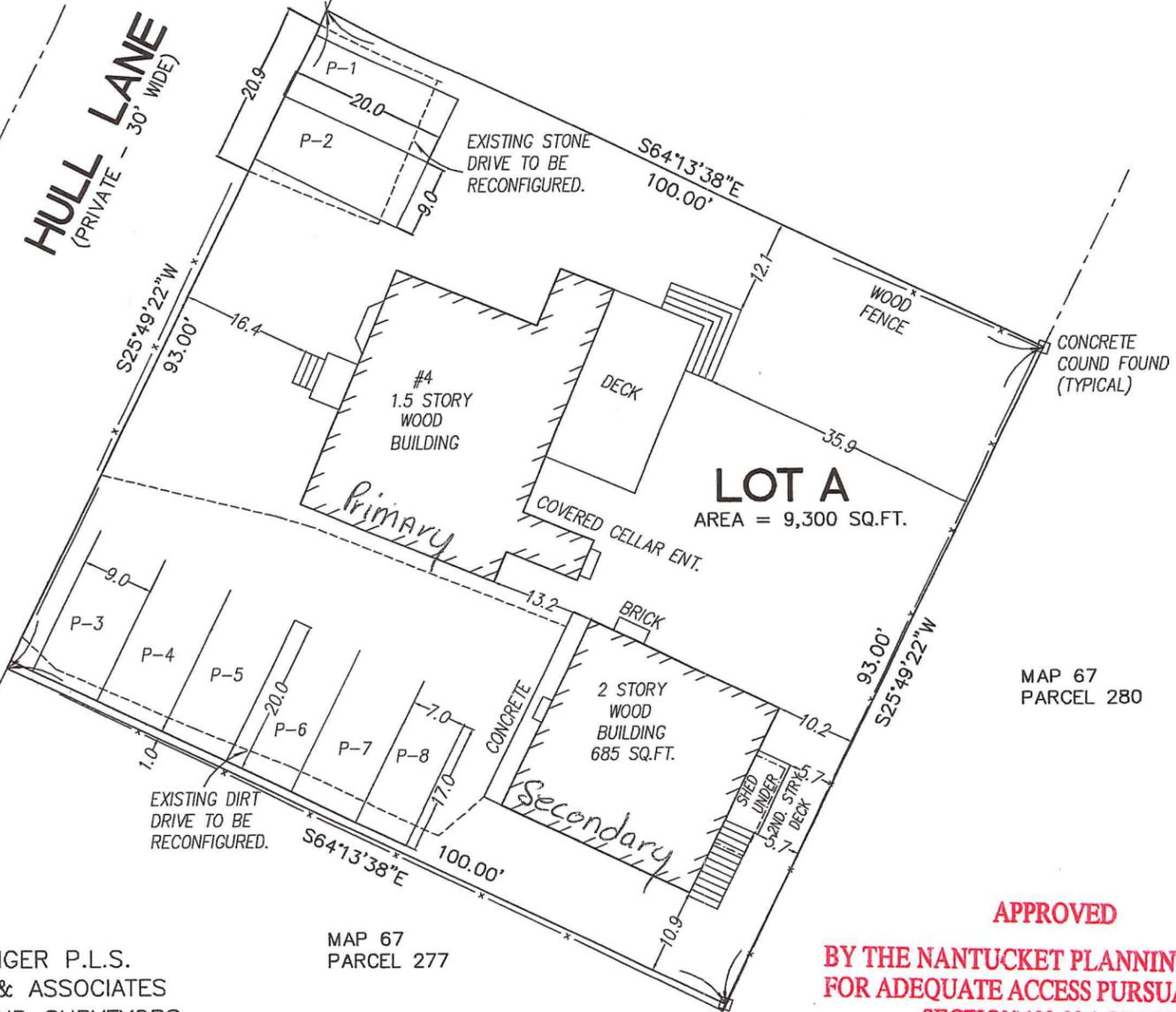
PLAN NO. 17, PAGE 4



MAP 67, PARCEL 278
DEED BOOK 1401, PAGE 26 PLAN BOOK 17, PAGE 4
PREPARED FOR: JUANITA GIL
CURRENT OWNERS: JOAN MANLEY & JUANITA GIL

MAP 67
PARCEL 278

HULL LANE
(PRIVATE - 30' WIDE)



MAP 67
PARCEL 280

JOSEPH MARCKLINGER P.L.S.
J. MARCKLINGER & ASSOCIATES
PROFESSIONAL LAND SURVEYORS
P.O. BOX 896
NANTUCKET, MA. 02554
(310) 945-7054

MAP 67
PARCEL 277

APPROVED
BY THE NANTUCKET PLANNING BOARD
FOR ADEQUATE ACCESS PURSUANT TO
SECTION 139-20.1 OF THE
NANTUCKET ZONING BYLAW

[Signature] 4/22/15
Chairman Date



Nantucket Planning Board

May 12, 2015

Mr. Steve Butler, Building Commissioner
2 Fairgrounds Road
Nantucket, MA 02554

Re: 4 Hull Lane – Juanita Gil (Map 67 Parcel 278)

Dear Mr. Butler:

Please be advised that the Planning Board, at its meeting on May 11, 2015 Planning Board Special Meeting, considered the above application for adequate access, as per §139-20.1 of the *Nantucket Code*, and granted a **tertiary dwelling approval** conditional upon the following:

Note: Article 62 proposing Tertiary Dwellings was passed at the 2015 Annual Town Meeting.
The 2015 ATM Warrant has NOT yet been approved by the Attorney General.

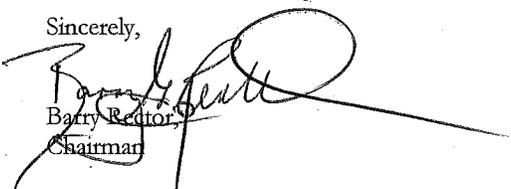
Planning staff recommends approval of this application with the following conditions:

- (1) That one of the three (3) dwellings on the site will be owner occupied.
- (2) **That an apron at the driveway entrance shall be constructed to a minimum depth of ten (10) feet and a maximum width of fifteen (15) feet and shall be constructed to the requirements of Nantucket Zoning Bylaw Section 139-20.1B.(2)(d);**
- (3) That the driveway be cleared free of vegetation and obstruction to a width of twelve (12) feet and a height of thirteen (13) feet;
- (4) That any landscaping at the driveway entrance be limited to low growing plant material not to exceed three (3) feet in height; and,
- (5) That the applicant shall **submit an As-Built prior to the final inspection by staff which shall take place prior to the issuance of a Certificate of Occupancy.**

The approval is also **conditional** upon adherence to the site plan submitted by the applicant and endorsed by the Chairman, showing the relative locations of proposed or existing dwellings and driveways or parking areas.

As per Section 139-2 of the *Nantucket Zoning Code*, the approval referenced herein is **valid for a period of two years only**, calculated from the date of site plan endorsement by the Planning Board. If you have any questions regarding this approval, please contact the Planning Office at 508-325-7587.

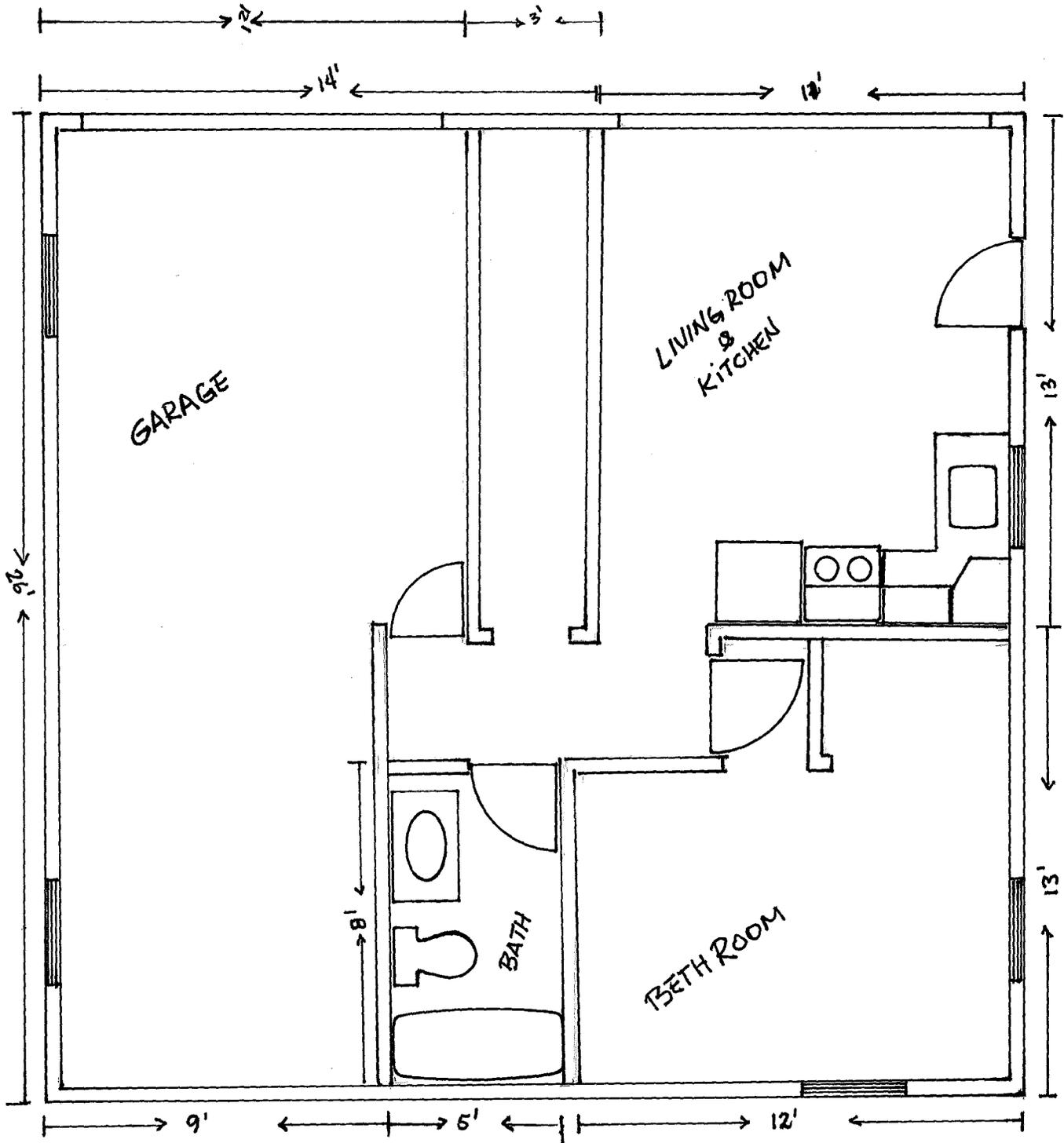
Sincerely,


Barry Redtor,
Chairman

cc: Juanita Gil
Marcus Silverstein - Zoning Enforcement Officer

NOTE TO APPLICANTS: Please note that a copy of the plan you submitted to the Board, which has been endorsed by the Chairman, is enclosed and must be presented to the Building Department when applying for a building permit. There will be a \$25 administrative fee to re-issue an endorsed site plan.

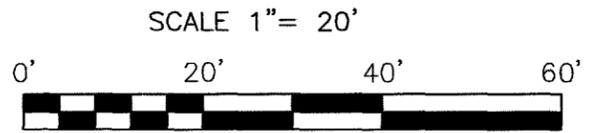
GARAGE BUILDING'S FRONT
FACING HULL LN



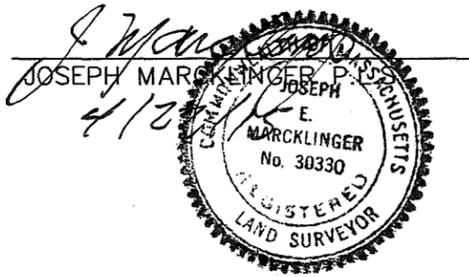
GARAGE BUILDING BACK

APPROVED
BY THE NANTUCKET PLANNING BOARD
FOR ADEQUATE ACCESS PURSUANT TO
SECTION 139-20.1 OF THE
NANTUCKET ZONING BYLAW
Joseph J. Stotas
Chairman
Date

ZONING CLASSIFICATION: R-10
 MINIMUM LOT SIZE = 10,000 SQ.FT
 MINIMUM FRONTAGE = 75 FT.
 FRONT YARD SETBACK = 20
 REAR YARD SETBACK = 10 FT.
 SIDE YARD SETBACK = 10 FT.
 GROUND COVER RATIO = 25 %
 EXISTING GROUND COVER RATIO = 17.06 %



I CERTIFY THAT THE BUILDINGS
 ARE LOCATED AS SHOWN HEREON.



PLAN NO. 17, PAGE 4

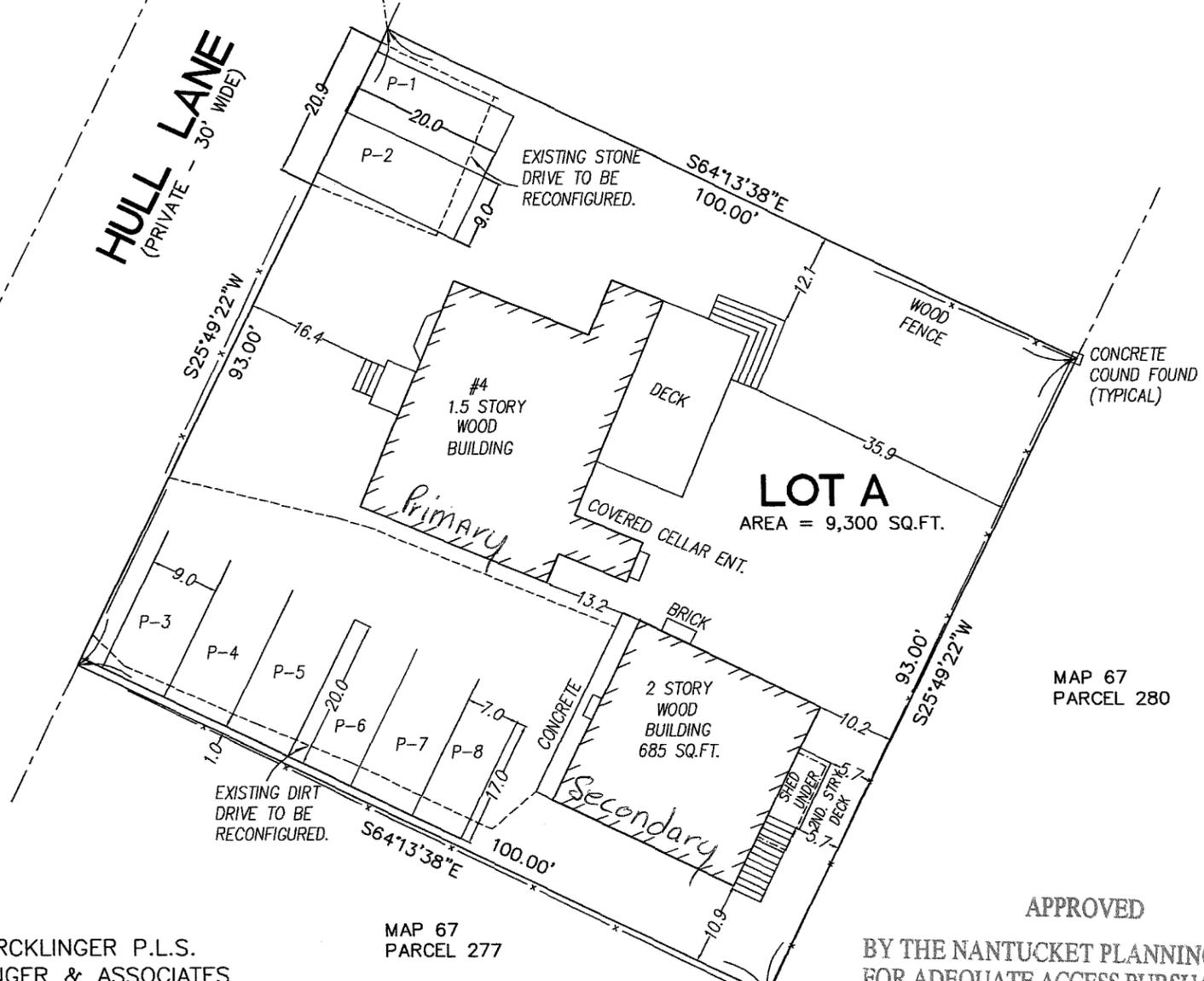


TROTTERS LANE

" PLOT PLAN"
 NANTUCKET, MA.
 4 HULL LANE
 (NANTUCKET COUNTY)
 SCALE 1 IN.= 20 FT.
 APRIL 22, 2015

MAP 67, PARCEL 278
 DEED BOOK 1401, PAGE 26 PLAN BOOK 17, PAGE 4
 PREPARED FOR: JUANITA GIL
 CURRENT OWNERS: JOAN MANLEY & JUANITA GIL

HULL LANE
 (PRIVATE - 30' WIDE)



JOSEPH MARCKLINGER P.L.S.
 J. MARCKLINGER & ASSOCIATES
 PROFESSIONAL LAND SURVEYORS
 P.O. BOX 896
 NANTUCKET, MA. 02554
 (310) 945-7054

MAP 67
 PARCEL 277

APPROVED

BY THE NANTUCKET PLANNING BOARD
 FOR ADEQUATE ACCESS PURSUANT TO
 SECTION 139-20.1 OF THE
 NANTUCKET ZONING BYLAW

[Signature] 4/25/15
 Chairman Date

Response: The lotting plan has been revised to reflect the lot number configuration as shown on all other plans. (note that there are only 3 lots now)

3. We note that roadway width label on sheets C-2 & L-1 still show “(Private – 30’ Wide).” We recommend that this be revised to indicate the final approved roadway width (16’ or 18’) on the final plans.

Response: The roadway width label now says 18’ wide on all plans.

4. The O & M Plan submitted does not show all contact names and phone numbers on page 4. We recommend that this information be added to the plan, and provided to the Board prior to the start of construction (recommend that this be added as a condition in the Decision).

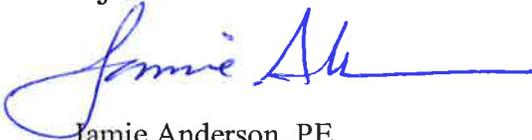
Response: We agree to contact names and phone numbers of those in charge of ongoing operations and maintenance being added to the O&M plan prior to the start of construction as a condition in the Decision.

We believe these responses and the enclosed revised plans address all of the comments received to date.

Please call me at 781-279-0180 x127, or email me at Jamie.anderson@rjoconnell.com if you have any additional questions.

Sincerely,

RJ O'CONNELL & ASSOCIATES



Jamie Anderson, PE
Associate

cc: Ed Pesce – Pesce Engineering & Associates, Inc.
Scott Kelley – Nantucket Island Resorts
Rick Beaudette – Vaughan, Dale, Hunter, and Beaudette, PC
John Twohig – Goulston & Storrs
Kristofer Machado – Goulston & Storrs
John Stoy – RJ O’Connell & Associates

DEFINITIVE PLAN FOR THE SUBDIVISION OF LAND WHITE ELEPHANT HOTEL PROPOSED WAY

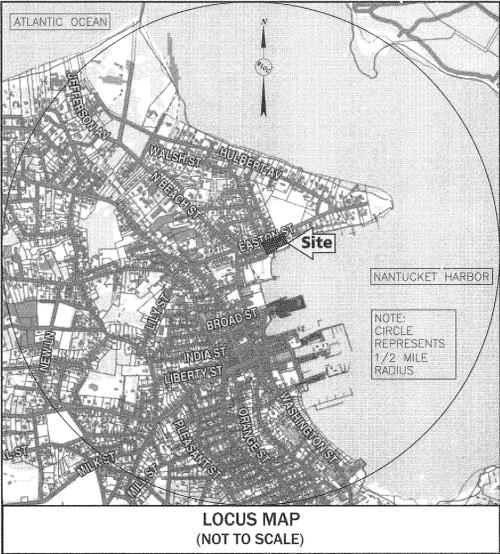
NANTUCKET, MA
OCTOBER 31, 2014
REV: SEPTEMBER 30, 2015

APPLICANT/OWNER:

**WHITE ELEPHANT HOTEL LLC
 C/O NEW ENGLAND DEVELOPMENT
 ONE WELLS AVENUE
 NEWTON, MA 02459**

DRAWING INDEX:

DRAWING DATE	LAST REVISION	DRAWING	DRAWING NAME
10/31/2014	09/30/2015		COVER SHEET
12/16/2010	-		ALTA/ACSM LAND TITLE SURVEY #50 EASTON STREET "WHITE ELEPHANT" NANTUCKET, MA (PREPARED FELDMAN LAND SURVEYORS)
10/31/2014	09/30/2015		LOTTING PLAN (PREPARED FELDMAN LAND SURVEYORS)
10/31/2014	09/30/2015	C-1	DEMOLITION AND EROSION CONTROL PLAN
10/31/2014	09/30/2015	C-2	GRADING AND DRAINAGE PLAN
10/31/2014	09/30/2015	C-3A	UTILITY PLAN
10/31/2014	09/30/2015	C-3B	UTILITY PLAN & PROFILE
10/31/2014	09/28/2015	L-1	LANDSCAPE PLAN (PREPARED BY WILLIAM FLEMING & ASSOCIATES)
10/31/2014	09/30/2015	C-4	DETAILS - SHEET 1
10/31/2014	09/30/2015	C-5	DETAILS - SHEET 2
10/31/2014	09/30/2015	C-6	DETAILS - SHEET 3



CONSULTANTS:

OWNER'S LEGAL COUNSEL
GOULSTON & STORRS
 400 ATLANTIC AVENUE
 BOSTON, MA 02110
 (617) 574-6595
 ATTN: JOHN TWOHIG
 ATTN: ERIN VANDEN BORRE

SURVEYOR
HARRY R. FELDMAN, INC.
 112 SHAWMUT AVENUE
 BOSTON, MA 02118
 (617) 357-9740
 ATTN: DAMIEN J. RAFFLE, PLS

CIVIL ENGINEER
RJ O'CONNELL & ASSOCIATES, INC.
 80 MONTVALE AVENUE
 STONEHAM, MA 02180
 (781) 279-0180
 ATTN: JAMIE ANDERSON

LANDSCAPE ARCHITECT
WILLIAM FLEMING & ASSOCIATES
 275 MAIN STREET
 2ND FLOOR, UNIT 3
 STONEHAM, MA 02180
 (781) 438-3088
 ATTN: WILLIAM F. FLEMING

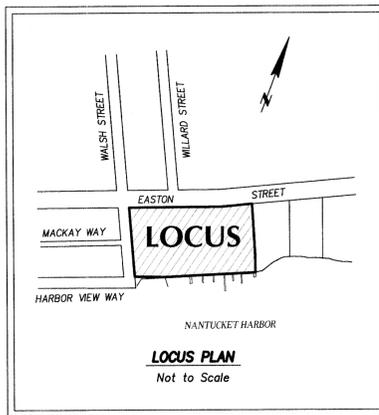
OWNER'S LEGAL COUNSEL
VAUGHAN, DALE, HUNTER AND BEAUDETTE, P.C.
 2 WHALER'S LANE. P.O. BOX 659
 NANTUCKET, MA 02554
 (508) 228-4455
 ATTN: RICHARD BEAUDETTE



**REDUCED TOTAL NUMBER OF
 PROPOSED LOTS
 09/30/2015**

<input type="checkbox"/>	NOTICE OF INTENT
<input checked="" type="checkbox"/>	NOT FOR CONSTRUCTION
<input type="checkbox"/>	ISSUED FOR REVIEW
<input checked="" type="checkbox"/>	ISSUED FOR PERMIT
<input type="checkbox"/>	ISSUED FOR BID/PRICING
<input type="checkbox"/>	ISSUED FOR CONSTRUCTION

Drawing name: G:\MA\Nantucket\NED\White Elephant Hotel\Main\Definitive Subdivision\14011_Cover Sheet.dwg
 Sep 30, 2015 - 1:48pm



BOUNDARY DESCRIPTION FROM COMMITMENT NO. 10-0254 MA/HOTEL ISSUED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY WITH AN EFFECTIVE DATE OF DECEMBER 8, 2010.

THE LAND IN NANTUCKET, NANTUCKET COUNTY, MASSACHUSETTS, CONSISTING OF TWO (2) PARCELS, WITH ALL THE BUILDINGS, STRUCTURES AND OTHER IMPROVEMENTS CURRENTLY SITUATED THEREON, BOUNDED AND DESCRIBED AS FOLLOWS:

PARCEL ONE (50 EASTON STREET - PART)

NORTHWESTERLY BY EASTON STREET, ONE HUNDRED SIXTY-SIX (166.00) FEET;
 NORTHEASTERLY BY LAND NOW OR FORMERLY OF MAY ANNA COLEMAN, ABOUT ONE HUNDRED FORTY-EIGHT (148+/-) FEET;
 SOUTHERLY and SOUTHEASTERLY BY NANTUCKET HARBOR; AND
 SOUTHWESTERLY BY LAND NOW OR FORMERLY OF ELLA V. COLEMAN, ABOUT ONE HUNDRED SIXTY (160+/-) FEET.

ALL OF SAID BOUNDARIES, EXCEPT THE HARBOR LINE, ARE DETERMINED BY THE COURT TO BE LOCATED AS SHOWN UPON PLAN NUMBER 6579-A, DRAWN BY WILLIAM F. CODD, SURVEYOR, DATED MAY 17, 1917, AND FILED WITH CERTIFICATE OF TITLE NO. 979 AT THE REGISTRY DISTRICT OF NANTUCKET COUNTY.

PARCEL TWO (50 EASTON - PART)

NORTHERLY BY EASTON STREET, ONE HUNDRED NINETY-THREE AND 97/100 (193.97) FEET;
 EASTERLY BY LAND NOW OR FORMERLY OF LYDIA B. COOK, MEASURING ON THE UPLAND, ABOUT ONE HUNDRED SIXTY (160+/-) FEET;
 SOUTHEASTERLY BY NANTUCKET HARBOR;
 WESTERLY ABOUT THIRTY (30+/-) FEET, MEASURING ON THE UPLAND,
 SOUTHERLY NINETY (90.00) FEET, BY LAND NOW OR FORMERLY OF THE TOWN OF NANTUCKET; AND
 WESTERLY BY A STREET, TWO HUNDRED TWO AND 48/100 (202.48) FEET.

ALL OF SAID BOUNDARIES, EXCEPT WATER LINES, ARE DETERMINED BY THE COURT TO BE LOCATED AS SHOWN UPON PLAN NUMBER 8810-B, DRAWN BY C.C. HUMPHREY, ENGINEER FOR THE COURT, DATED MAY 18, 1923, AND FILED WITH CERTIFICATE OF TITLE NO. 1114 AT THE REGISTRY DISTRICT OF NANTUCKET COUNTY. SAID LAND IS SHOWN THEREON AS LOTS A AND B.

BOUNDARY DESCRIPTION (BY SURVEY)

A CERTAIN PARCEL OF LAND LOCATED AT THE SOUTHEAST CORNER OF WALSH STREET AND EASTON STREET IN NANTUCKET, MASSACHUSETTS, BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE EASTERLY SIDELINE OF WALSH STREET WITH THE SOUTHERLY SIDELINE OF EASTON STREET;

THENCE RUNNING N 70°00'04" E, A DISTANCE OF 266.87 FEET BY THE SOUTHERLY SIDELINE OF EASTON STREET;

THENCE TURNING AND RUNNING N 65°29'12" E, A DISTANCE OF 93.10 FEET BY SAID SOUTHERLY SIDELINE OF EASTON STREET;

THENCE TURNING AND RUNNING S 22°14'48" E, A DISTANCE OF ABOUT 148 FEET TO THE ORIGINAL MEAN LOW WATER LINE;

THENCE TURNING AND RUNNING WESTERLY AND SOUTHWESTERLY BY THE ORIGINAL MEAN LOW WATER LINE;

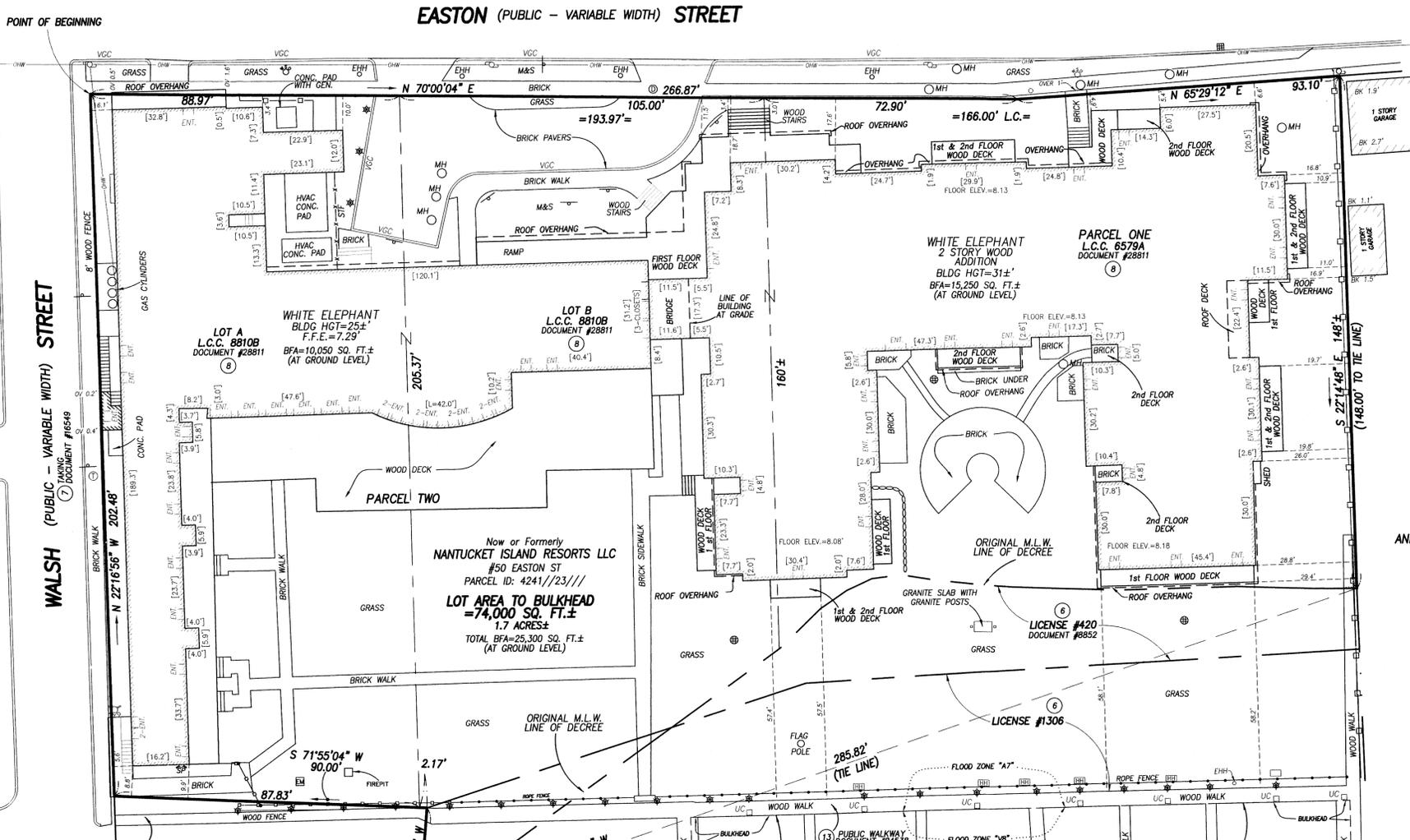
THENCE TURNING AND RUNNING N 15°46'56" W, A DISTANCE OF ABOUT 30 FEET;

THENCE TURNING AND RUNNING S 71°55'04" W, A DISTANCE OF 90.00 FEET TO A POINT ON THE EASTERLY SIDELINE OF WALSH STREET;

THENCE TURNING AND RUNNING N 22°16'56" W, A DISTANCE OF 202.48 FEET BY THE EASTERLY SIDELINE OF WALSH STREET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PARCEL CONTAINS AN AREA OF ABOUT 62,000 SQUARE FEET.

POINT OF BEGINNING



WALSH STREET (PUBLIC - VARIABLE WIDTH) STREET

HARBOR VIEW WAY

LEGEND:

- UC □ UTILITY CONNECTION
- ⊙ DRAIN MANHOLE
- ⊙ TELEPHONE MANHOLE
- ⊙ MANHOLE
- ⊙ HYDRANT
- ⊙ WATER SHUT OFF
- ⊙ UTILITY POLE
- ⊙ WALK LIGHT
- ⊙ ELECTRIC HANDHOLE
- ⊙ STAND PIPE/SIAMESE CONNECTION
- ⊙ ELECTRIC METER
- ⊙ GATE POST
- ENT ENTRANCE
- VGC VERTICAL GRANITE CURB
- SQ. FT. SQUARE FEET
- BFA BUILDING FOOTPRINT AREA
- M&S MULCH & SHRUBS
- LCC LAND COURT CASE
- BK BACK
- OV OVER
- [30.4'] BUILDING DIMENSION
- MLW MEAN LOW WATER
- F.F.E. FIRST FLOOR ELEVATION
- BLDG BUILDING
- HGT HEIGHT
- CONC. CONCRETE
- OHV OVERHEAD WIRES

REFERENCES:

- MASSACHUSETTS LAND COURT
- LCC 46020
- LCC 4829A
- LCC 5543A
- LCC 6579A
- LCC 8803A
- LCC 8810
- LCC 9630C

CERTIFICATE OF TITLE 12975
 CERTIFICATE OF TITLE 18414
 DOCUMENT NO. 80623

LICENSE PLAN 4654

ZONING DISTRICT - "RESIDENTIAL COMMERCIAL (RC)"

- MINIMUM LOT SIZE 5,000 S.F.
- MINIMUM FRONT YARD NONE
- MINIMUM SIDE YARD 5 FEET
- MINIMUM REAR YARD 5 FEET
- MINIMUM FRONTAGE 40 FEET
- GROUND COVER RATIO 50 PERCENT
- MAXIMUM BUILDING HEIGHT 32 FEET



TO: RBS CITIZENS, NATIONAL ASSOCIATION AND THEIR SUCCESSORS AND/OR ASSIGNS; FIDELITY NATIONAL TITLE INSURANCE COMPANY AND WHITE ELEPHANT HOTEL LLC

THIS IS TO CERTIFY THAT THIS PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," AS ADOPTED BY ALTA AND NSPS IN 2005, AND INCLUDES ITEMS 2, 3, 4, 6, 7(a), 7(b)(1), 8, 9, 10, 11(a), 13, 14, 16 AND 17 OF TABLE A THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, I FURTHER CERTIFY THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE COMMONWEALTH OF MASSACHUSETTS, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.

I ALSO CERTIFY THAT THE PARCEL SHOWN HEREON LIES WITHIN BOTH A ZONE "VB", AREAS OF 100 YEAR COASTAL FLOOD WITH VELOCITY (WAVE ACTION) AND A ZONE "A7", AREAS OF 100 YEAR FLOOD, AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR THE TOWN OF NANTUCKET, MASSACHUSETTS, COMMUNITY PANEL NO. 250230 0011 D, EFFECTIVE DATE: JULY 2, 1992.

I FURTHER CERTIFY THAT THERE ARE NO GAPS OR GORES BETWEEN THE PARCELS THAT COMPRISE THE SITE.

EXCEPTIONS FROM COVERAGE (SURVEY RELATED ONLY) LISTED IN TITLE COMMITMENT NO. 10-0254 MA/HOTEL ISSUED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY WITH AN EFFECTIVE DATE OF DECEMBER 8, 2010.

- 6) PROVISIONS OF A LICENSE BY THE MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS DATED JANUARY 29, 1963, REGISTERED AS DOCUMENT NO. 8852, AND TO THE EXTENT IN FORCE AND APPLICABLE, LICENSE NO. 420 AND LICENSE NO. 1306, NOT APPEARING OF RECORD. ---AS SHOWN HEREON.
- 7) PROVISIONS OF AN ORDER OF TAKING BY THE COUNTY OF NANTUCKET FOR THE LAYOUT OF HARBOR VIEW WAY AS A PUBLIC HIGHWAY, DATED OCTOBER 29, 1975, AND REGISTERED AS DOCUMENT NO. 16549 AS AFFECTED BY (a) THAT CERTAIN AFFIRMATION OF TOWN MEETING VOTE TO DISCONTINUE CERTAIN PUBLIC WAYS DATED APRIL 17, 1998, AND RECORDED AT BOOK 578, PAGE 78 AND REGISTERED AS DOCUMENT NO. 80463 (b) THAT CERTAIN CERTIFIED TOWN MEETING VOTE DATED APRIL 28, 1998, AND RECORDED AT BOOK 578, PAGE 89 AND REGISTERED AS DOCUMENT NO. 80464, (c) THAT CERTAIN VOTE TO DISCONTINUE ROADS BY THE COUNTY OF NANTUCKET DATED APRIL 8, 1998 AND RECORDED AT BOOK 578, PAGE 92 AND REGISTERED AS DOCUMENT NO. 80465 (d) THE PROVISIONS OF AN ORDER OF DISCONTINUANCE DATED APRIL 8, 1998, RECORDED AT BOOK 578, PAGE 113 AND REGISTERED AS DOCUMENT NO. 80470, AND AN ORDER OF DISCONTINUANCE RECORDED AT BOOK 579, PAGE 197 AND REGISTERED AS DOCUMENT NO. 80519, AND (e) A GRANT OF EASEMENT DATED MARCH 30, 1998, REGISTERED AS DOCUMENT NO. 80471 AND DOCUMENT NO. 80472. ---TAKING AS SHOWN, ALL OTHERS NOT LOCUS.
- 8) COVENANT WITH THE TOWN OF NANTUCKET REQUIRING LOTS A AND B LAND COURT PLAN 8810-B AND LAND ON LAND COURT PLAN 6579-A TO BE MERGED AS ONE LOT, DATED JANUARY 16, 1984, REGISTERED AS DOCUMENT NO. 28811. ---AS SHOWN HEREON.
- 9) PUBLIC RIGHTS IN THE PORTIONS OF THE PREMISES LYING BELOW PRIMITIVE MEAN HIGH WATER MARK IN NANTUCKET HARBOR. ---NOT PLOTTABLE.
- 11) PROVISIONS OF AN ORDER OF CONDITIONS ISSUED BY THE NANTUCKET CONSERVATION COMMISSION, DATED NOVEMBER 3, 1987, REGISTERED AS DOCUMENT NO. 51722, AS AFFECTED BY EXTENSION PERMIT REGISTERED AS DOCUMENT NO. 51723. ---NOT PLOTTABLE.
- 12) PROVISIONS OF A VARIANCE ISSUED BY THE NANTUCKET BOARD OF APPEALS, AS EVIDENCED BY A CERTIFICATE OF GRANTING OF VARIANCE, DATED NOVEMBER 3, 1993, REGISTERED AS DOCUMENT NO. 62518. ---NOT PLOTTABLE.
- 13) LICENSE AND PLAN ISSUED BY THE COMMONWEALTH OF MASSACHUSETTS, DATED FEBRUARY 23, 1999, REGISTERED AS DOCUMENT NO. 84538. ---AS SHOWN HEREON.
- 14) LICENSE AND PLAN ISSUED BY THE COMMONWEALTH OF MASSACHUSETTS, DATED FEBRUARY 12, 1999, REGISTERED AS DOCUMENT NO. 84539. ---AS SHOWN HEREON.
- 15) SPECIAL PERMIT ISSUED BY THE NANTUCKET PLANNING BOARD, DATED MAY 28, 1999, REGISTERED AS DOCUMENT NO. 86185, AS AFFECTED BY THE MODIFICATION DATED APRIL 11, 2002, REGISTERED AS DOCUMENT NO. 97439, MODIFICATION DATED MAY 17, 2010, REGISTERED AS DOCUMENT NO. 130909, AND MODIFICATION DATED MAY 17, 2010, REGISTERED AS DOCUMENT NO. 130979. ---NOT PLOTTABLE.
- 16) ORDER OF CONDITIONS ISSUED BY THE NANTUCKET CONSERVATION COMMISSION, DATED MAY 13, 1999, REGISTERED AS DOCUMENT NO. 86186, AS AFFECTED BY CERTIFICATE OF COMPLIANCE, DATED MARCH 29, 2002, REGISTERED AS DOCUMENT NO. 96588. ---NOT PLOTTABLE.
- 17) ORDER OF CONDITIONS ISSUED BY THE NANTUCKET CONSERVATION COMMISSION, REGISTERED AS DOCUMENT 49652. ---NOT PLOTTABLE.
- 18) ORDER OF CONDITIONS ISSUED BY THE NANTUCKET CONSERVATION COMMISSION, DATED FEBRUARY 15, 2002, REGISTERED AS DOCUMENT NO. 96299, AS AFFECTED BY CERTIFICATE OF COMPLIANCE, DATED MARCH 21, 2003, REGISTERED AS DOCUMENT NO. 102476. ---NOT PLOTTABLE.
- 19) ORDER OF CONDITIONS ISSUED BY THE NANTUCKET CONSERVATION COMMISSION, DATED NOVEMBER 17, 2006, REGISTERED AS DOCUMENT NO. 118651. ---AS SHOWN HEREON
- 20) ORDER OF CONDITIONS ISSUED BY THE NANTUCKET CONSERVATION COMMISSION, DATED NOVEMBER 17, 2006, REGISTERED AS DOCUMENT NO. 118652, AS AFFECTED BY CERTIFICATE OF COMPLIANCE, DATED MARCH 19, 2010, REGISTERED AS DOCUMENT NO. 130248. ---NOT PLOTTABLE.

Now or Formerly
ANNE R. STINNET TRUST ET AL
 #46 EASTON ST
 PARCEL ID: 4241/22///

12/16/2010	REVISED PER NEW TITLE COMMITMENT
10/27/2010	UPDATED FIELD INSPECTION

ALTA/ACSM LAND TITLE SURVEY
 #50 EASTON STREET
 "WHITE ELEPHANT"
 NANTUCKET, MASS.

SCALE: 1"=20' MAY 8, 1998
 HARRY R. FELDMAN, INC. LAND SURVEYORS
 112 SHAWMUT AVENUE PHONE: (617)357-9740
 BOSTON, MASS. 02118 www.harryfeldman.com

FELDMAN Professional Land Surveyors				
20 0 10 20 40 80 GRAPHIC SCALE				
RESEARCH JLC	FIELD CHIEF CB	CHECKED BY RCF	APPROVED RCF	SHEET NO. 1 OF 1
CALC RDN	CADD RDN	FIELD CHECKED CB	CRD FILE 12958	JOB NO. 12958
FILENAME: S:\PROJECTS\12900a\12958\12958A-ALTA.dwg				

RESERVED FOR REGISTRY USE

GENERAL NOTES:

- COORDINATES SHOWN HEREON REFER TO MASSACHUSETTS STATE PLANE, ISLAND ZONE, COORDINATE SYSTEM, NORTH AMERICAN DATUM 1983.
- COORDINATE AND BEARING SHOWN ON LAND COURT CASE 26633 HELD AND CONVERTED TO NORTH AMERICAN DATUM 1983 FROM NORTH AMERICAN DATUM 1927.
- LOCUS PARCEL CONSISTS OF LAND CASE NUMBERS 6579A AND 8810B.
- THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN LAND SURVEYORS ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMAN LAND SURVEYORS' SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY FELDMAN LAND SURVEYORS.

ZONING DISTRICT - "RESIDENTIAL COMMERCIAL (RC)"

- MINIMUM LOT SIZE 5,000 S.F.
- MINIMUM FRONT YARD NONE
- MINIMUM SIDE YARD 5 FEET
- MINIMUM REAR YARD 5 FEET
- MINIMUM FRONTAGE 40 FEET
- GROUND COVER RATIO 50 PERCENT
- MAXIMUM BUILDING HEIGHT 32 FEET

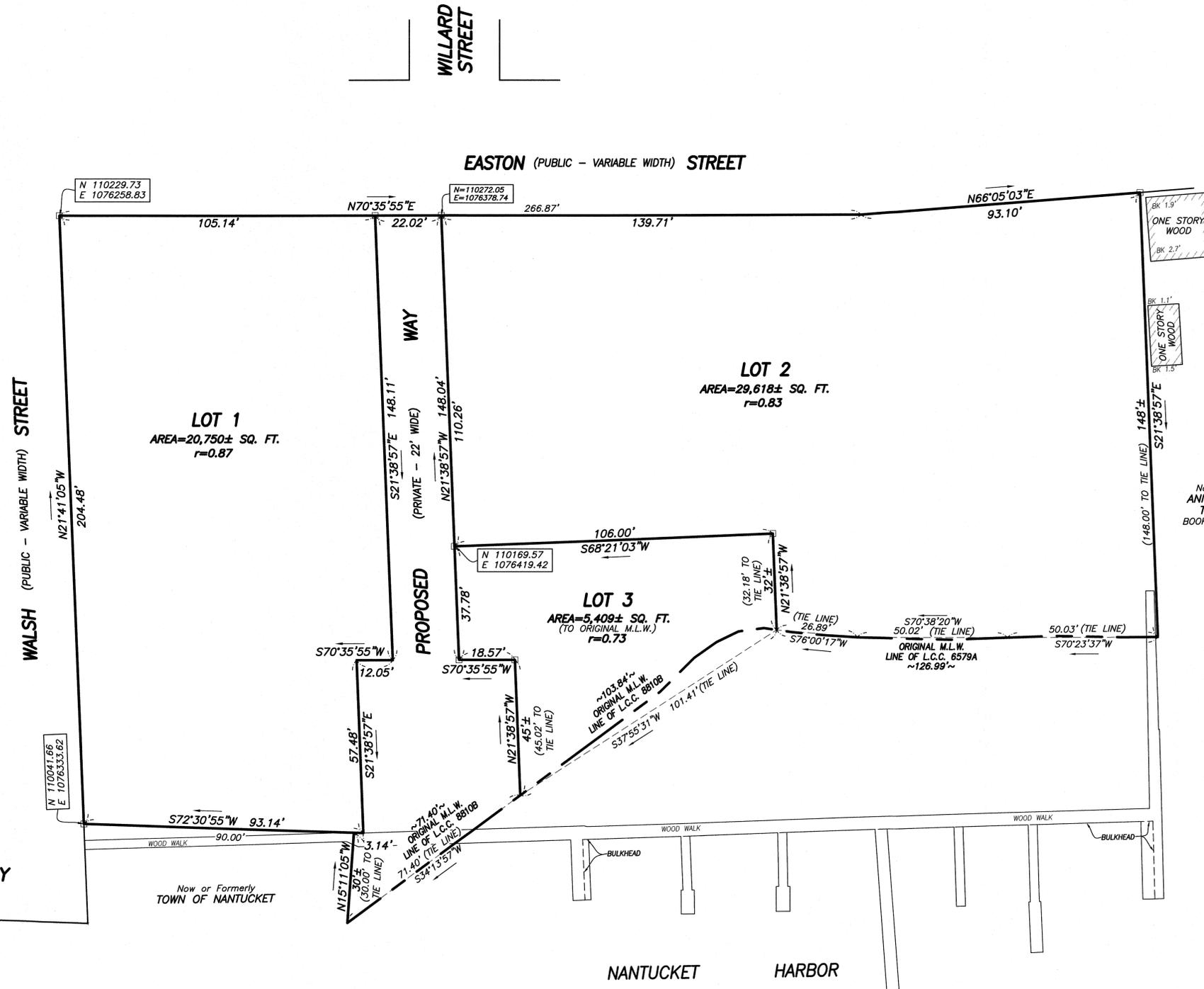
REFERENCES:

- MASSACHUSETTS LAND COURT
 LCC 4602D
 LCC 4829A
 LCC 5543A
 LCC 6579A
 LCC 8803A
 LCC 8810
 LCC 9630C

- CERTIFICATE OF TITLE 12975
 CERTIFICATE OF TITLE 18414
 DOCUMENT NO. 80823

LICENSE PLAN 4654

OWNER OF RECORD: WHITE ELEPHANT HOTEL LLC (CERT. 23726)
 ENGINEER OF RECORD: R.J. O'CONNELL & ASSOCIATES, INC.
 SURVEYOR OF RECORD: FELDMAN LAND SURVEYORS



LEGEND

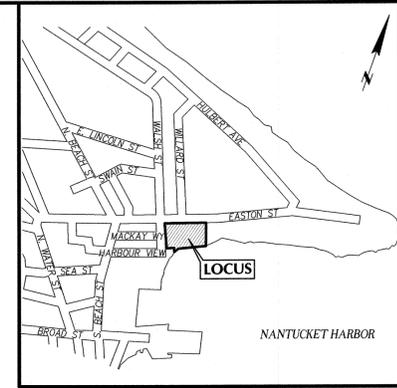
- BK BACK
- LCC LAND COURT CASE
- M.L.W. MEAN LOW WATER
- r= REGULARITY FACTOR
- SBDH STONE BOUND WITH DRILL HOLE
- SQ. FT. SQUARE FEET
- SBDH TO BE SET

I CERTIFY THAT THIS PLAN CONFORMS WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS, AND THE TOWN OF NANTUCKET RULES AND REGULATIONS GOVERNING THE SUBDIVISION OF LAND.

FOR FELDMAN LAND SURVEYORS

Damen J. Raffle
 DAMIEN J. RAFFLE, PLS (MA# 49629)
 djr@feldmansurveyors.com

9/30/2015
 DATE



Nantucket Planning Board

APPROVAL UNDER THE
 SUBDIVISION CONTROL LAW
 REQUIRED

- Barry Rector, Chairman
- Linda Williams, Vice Chairman
- Joseph Marcklinger
- John McLaughlin
- Nathaniel Lowell

DATE APPROVED: _____
 DATE ENDORSED: _____
 PLANNING BD. FILE NO.: _____

Now or Formerly
 ANNE R. STINNET
 TRUST ET AL
 BOOK 1010 PAGE 183

**LOTING PLAN
 WHITE ELEPHANT HOTEL
 PROPOSED WAY
 50 EASTON STREET
 NANTUCKET, MASS.**

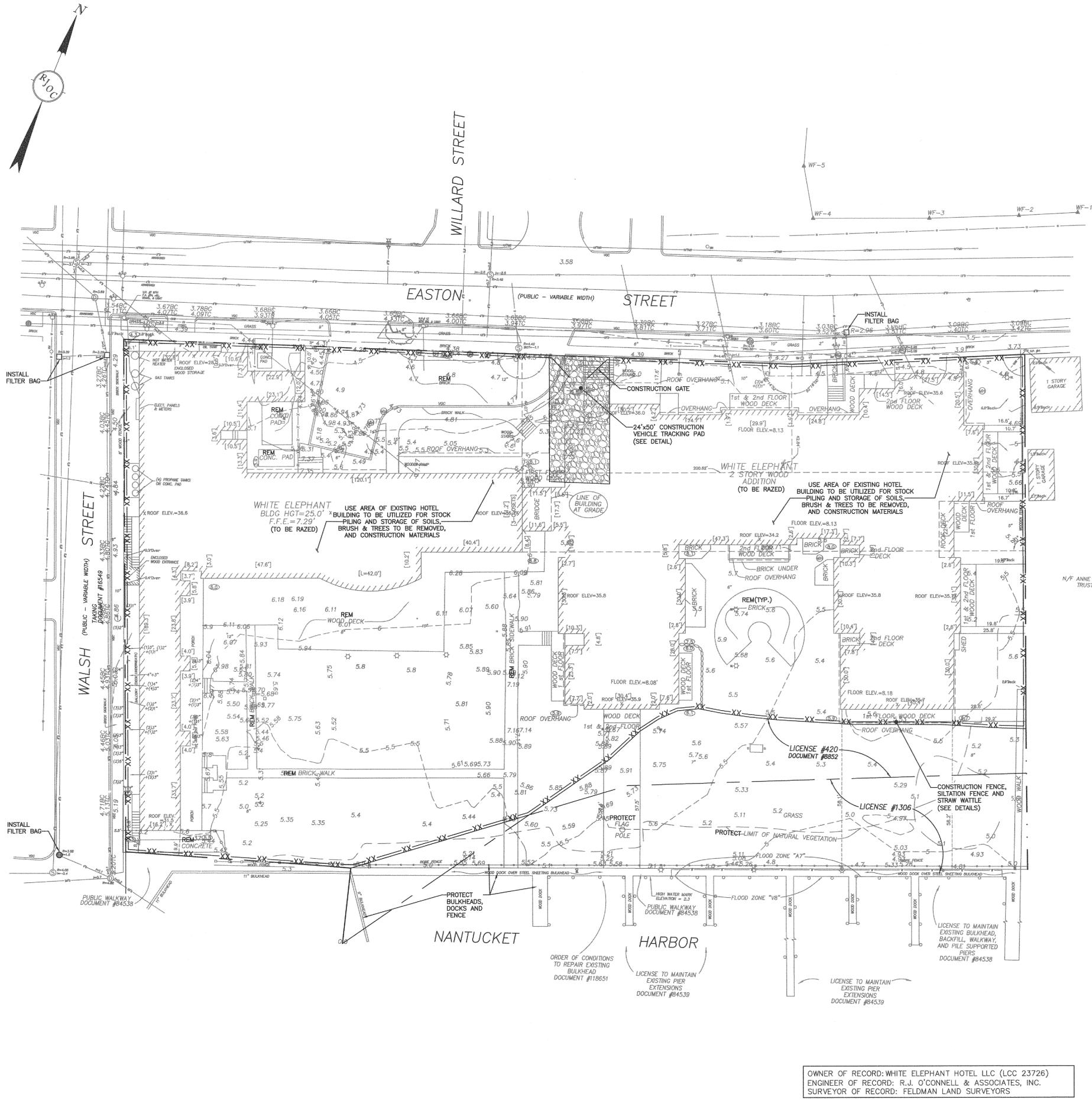
FELDMAN LAND SURVEYORS SEPTEMBER 30, 2015
 112 SHAWMUT AVENUE PHONE: (617)357-9740
 BOSTON, MASS. 02118 www.feldmansurveyors.com



RESEARCH JLC	FIELD CHIEF CB	PROJ MGR DJR	APPROVED	SHEET NO. 1 OF 1
CALC DJR	CADD DJR	FIELD CHECKED	CRD FILE 14446	JOB NO. 14446

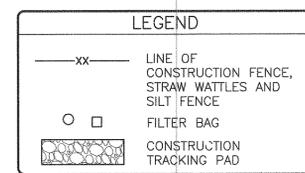
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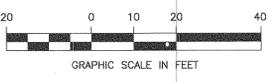
- DEMOLITION NOTES:**
- ALL EXISTING BITUMINOUS CONCRETE PAVEMENT WITHIN THE LIMIT OF WORK SHALL BE PULVERIZED IN PLACE AND MIXED WITH THE ON-SITE MATERIAL OR IMPORT MATERIAL FOR REUSE AS ON-SITE FILL. TO BE REUSED ON-SITE THE MIXED MATERIAL MUST MEET THE SPECIFIED GRADATION FOR FILL MATERIAL.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND PROTECTING ALL EXISTING AND NEW SITE DRAINAGE AND UTILITIES WHICH ARE TO REMAIN AND/OR BE CONSTRUCTED.
 - DISPOSAL OF ALL DEMOLISHED MATERIAL MUST BE OFF-ISLAND BY THE CONTRACTOR AND IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REQUIREMENTS.
 - DEMOLITION ACTIVITY ON SITE SHALL BE DONE IN A MANNER SUCH THAT RUNOFF IS DIRECTED TO THE APPROPRIATE SEDIMENT CONTROL FACILITIES.
 - OWNER TO COMPLETE ABATEMENT OF INDIVIDUAL BUILDINGS PRIOR TO DEMOLITION.
 - PRIOR TO ANY BUILDING DEMOLITION, ALL UTILITIES SERVING THE BUILDING SHALL BE SHUT OFF, CAPPED AND MADE SAFE.
 - DURING DEMOLITION, EXISTING FIRE HYDRANTS TO REMAIN OPERATIONAL.
 - CRUSH ALL BRICK PAVERS AND GRANITE CURBING ON ISLAND AND REUSE AS BASE MATERIAL.
 - EXISTING DRAIN AND WATER MAIN PIPES TO BE ABANDONED SHALL BE CAPPED AND/OR PLUGGED BY USING BRICKS AND MORTAR, OR PLUGS/CAPS AVAILABLE FROM PIPE SUPPLIERS.
 - WORK INVOLVED IN THE ABANDONMENT OF EXISTING MANHOLES AND CATCH BASINS SHALL BE AS FOLLOWS:
 - REMOVE EXISTING CASTINGS
 - REMOVE A MINIMUM OF THE TOP THREE FEET OF THE STRUCTURE.
 - PLUG ALL PIPES
 - BACKFILL THE STRUCTURE WITH COMPACTED GRANULAR FILL UP TO THE BOTTOM OF REQUIRED SURFACE MATERIALS.
 - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "CALL DIG" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
 - PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION ACTIVITIES THE ON-SITE EROSION CONTROL MEASURES MUST BE INSTALLED AND APPROVED BY THE OWNER AND/OR OWNERS REPRESENTATIVE.

- EROSION AND SEDIMENT CONTROL NOTES**
- LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY GOVERNING AUTHORITIES.
 - THE GENERAL CONTRACTOR SHALL STRICTLY ADHERE TO THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) DURING CONSTRUCTION OPERATIONS.
 - PRIOR TO ANY LAND DISTURBING ACTIVITIES COMMENCING ON THE SITE, THE CONTRACTOR SHALL PHYSICALLY MARK LIMITS OF NO LAND DISTURBANCE ON THE SITE WITH TAPE, SIGNS, OR ORANGE CONSTRUCTION FENCE, SO THAT WORKERS CAN SEE THE AREA TO BE PROTECTED.
 - NO LAND CLEARING OR GRADING SHALL BEGIN UNTIL PERIMETER SEDIMENT CONTROL MEASURES HAVE BEEN INSTALLED.
 - ALL EXPOSED AREAS SHALL BE STABILIZED OR SEEDED IMMEDIATELY WHEN GRADING OR EXCAVATING ACTIVITIES HAVE PERMANENTLY CEASED.
 - SHOULD GRADING OR EXCAVATION CONSTRUCTION STOP FOR LONGER THAN 14 DAYS (OR SHORTER DURATION IF REQUIRED BY GOVERNING AGENCIES PERMIT), THE SITE SHALL BE SEEDING AS SPECIFIED.
 - SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSPECTED AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF 0.25 INCHES RAINFALL OR GREATER DURING A 24-HOUR PERIOD OR MORE FREQUENTLY IF REQUIRED BY GOVERNING AGENCIES PERMIT. ALL MAINTENANCE REQUIRED BY INSPECTION SHALL COMMENCE WITHIN 24 HOURS AND BE COMPLETED WITHIN 48 HOURS OF REPORT.
 - THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SEDIMENT FROM LEAVING THE SITE.
 - GENERAL CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL ORDINANCES THAT APPLY.
 - ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED AS DEEMED NECESSARY BY SITE INSPECTIONS.
 - IF INSTALLATION OF STORM DRAINAGE SYSTEM SHOULD BE INTERRUPTED BY WEATHER OR NIGHTFALL, THE PIPE ENDS SHALL BE COVERED WITH FILTER FABRIC.
 - GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
 - SEDIMENT SHALL BE REMOVED FROM FILTER BAGS AND SILTATION FENCE/WATTLE WHEN IT IS 25% FULL.
 - ALL WORK TO BE DONE IN STRICT ACCORDANCE WITH DIVISION 2 OF SITE SPECIFICATIONS.
 - EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL SURFACE RESTORATION IS COMPLETE AND SHALL BE MAINTAINED IN GOOD CONDITION AT ALL TIMES.
 - CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES FROM ON-SITE CONSTRUCTION ACTIVITIES AND REMOVE ANY SEDIMENT OR DEBRIS DEPOSITED THEREON IMMEDIATELY.
 - STOCKPILES SHALL BE SURROUNDED ON THEIR PERIMETERS WITH STAKED SEDIMENT FENCES TO PREVENT AND/OR CONTROL SILTATION AND EROSION.
 - TOPS OF STOCKPILES SHALL BE COVERED IN SUCH A MANNER THAT STORMWATER DOES NOT INFILTRATE THE MATERIALS AND THEREBY RENDER THE SAME UNSUITABLE FOR FILL USE.
 - THE CONTRACTOR SHALL KEEP ON SITE AT ALL TIMES ADDITIONAL SEDIMENT FENCING FOR INSTALLATION AT THE DIRECTION OF THE ENGINEER TO MITIGATE ANY EMERGENCY CONDITION.
 - THE AREA OR AREAS OF ENTRANCE AND EXIT TO AND FROM THE SITE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. ALL SEDIMENT OR DEBRIS SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY. SWEEPING SHALL BE PERFORMED ON AN AS NEEDED BASIS IN ORDER TO KEEP ROADWAY CLEAR OF SEDIMENT.
 - THE CONTRACTOR SHALL ANTICIPATE AND MODIFY EROSION CONTROL MEASURES BASED ON PAST AND CURRENT WEATHER CONDITIONS, SEASON AND EXPECTED FUTURE CONSTRUCTION ACTIVITIES.
 - THE CONTRACTOR SHALL MINIMIZE THE AREA OF DISTURBED SOIL. EFFORTS SHALL BE MADE TO LIMIT THE TIME OF EXPOSURE OF DISTURBED AREAS.
 - ANY DETERIORATION OF EXCAVATIONS NECESSARY DURING CONSTRUCTION SHALL BE COMPLETED IN A MANNER SUCH THAT NO SEDIMENT-LADEN RUNOFF IS DISCHARGED FROM THE PROJECT SITE. PUMP INTAKES SHALL BE ADEQUATELY PROTECTED AND FLOATED ABOVE THE BOTTOM OF THE EXCAVATION TO MINIMIZE CAPTURED SEDIMENT. ALL PUMPED WATER SHALL BE DISCHARGED TO A TEMPORARY STILLING BASIN. THE BASIN SHALL BE OF ADEQUATE SIZE AND CONFIGURATION TO PROVIDE FOR THE COMPLETE REMOVAL OF SEDIMENT FROM THE PUMPED WATER PRIOR TO DISCHARGE FROM THE SITE.
 - IN THE EVENT THAT EXCAVATION DETERIORATION IS REQUIRED WITHIN ANY AREA SUBJECT TO JURISDICTION OF THE WETLANDS PROTECTION ACT THE APPLICANT SHALL NOTIFY THE CONSERVATION COMMISSION IN ADVANCE OF SUCH WORK, AND SHALL BE RESPONSIBLE TO ENSURE THAT SUCH WATER IS FREE OF SUSPENDED SOLIDS BEFORE BEING DISCHARGED INTO EITHER A WETLAND OR INTO ANY STORM WATER DRAINAGE SYSTEM. THIS CONDITION APPLIES TO ALL FORMS OF DETERIORATION, INCLUDING PUMPING AND TRENCHING.
 - SOIL AND OTHER MATERIALS SHALL NOT BE STOCKPILED OR REDISTRIBUTED, EITHER TEMPORARILY OR PERMANENTLY, IN LOCATIONS OR IN SUCH A MANNER AS WOULD CAUSE SUFFOCATION OF TREE ROOT SYSTEMS.
 - PERMANENT SEEDING SHOULD BE UNDERTAKEN IN THE SPRING FROM MARCH THROUGH MAY, AND IN LATE SUMMER AND EARLY FALL FROM AUGUST TO OCTOBER 15. WHEN SEEDING IS FOUND TO BE IMPRACTICAL, AN APPROPRIATE TEMPORARY MULCH SHALL BE APPLIED. PERMANENT SEEDING MAY BE UNDERTAKEN DURING THE SUMMER IF PLANS PROVIDE FOR ADEQUATE MULCHING AND WATERING.
 - THE CONTRACTOR SHALL USE APPROPRIATE MEASURES TO CONTROL FUGITIVE DUST DURING CONSTRUCTION.



ZONING DISTRICT "RESIDENTIAL COMMERCIAL (RC)"

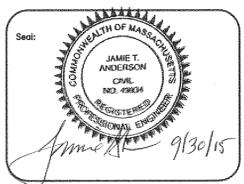
MINIMUM LOT SIZE	5,000 S.F.
MINIMUM FRONT YARD	NONE
MINIMUM SIDE YARD	5 FEET
MINIMUM REAR YARD	5 FEET
MINIMUM FRONTAGE	40 FEET
GROUND COVER RATIO	50 PERCENT
MAXIMUM BUILDING HEIGHT	32 FEET



OWNER OF RECORD: WHITE ELEPHANT HOTEL LLC (LC 23726)
 ENGINEER OF RECORD: R.J. O'CONNELL & ASSOCIATES, INC.
 SURVEYOR OF RECORD: FELDMAN LAND SURVEYORS

Date	Revision	No.
09/30/2015		1
09/02/2015		2
10/27/2014		1

Location
 50 EASTON STREET
 NANTUCKET, MA
 ASSESSORS ID:
 MBLU 4241//23



Designed by: JTA
 Drawn by: MCR
 Checked by: JTA
 Scale: 1"=20'
 Date: 10/31/2014

Prepared for:
WHITE ELEPHANT HOTEL LLC
 C/O NEW ENGLAND DEVELOPMENT
 ONE WELLS AVENUE
 NEWTON, MA 02459

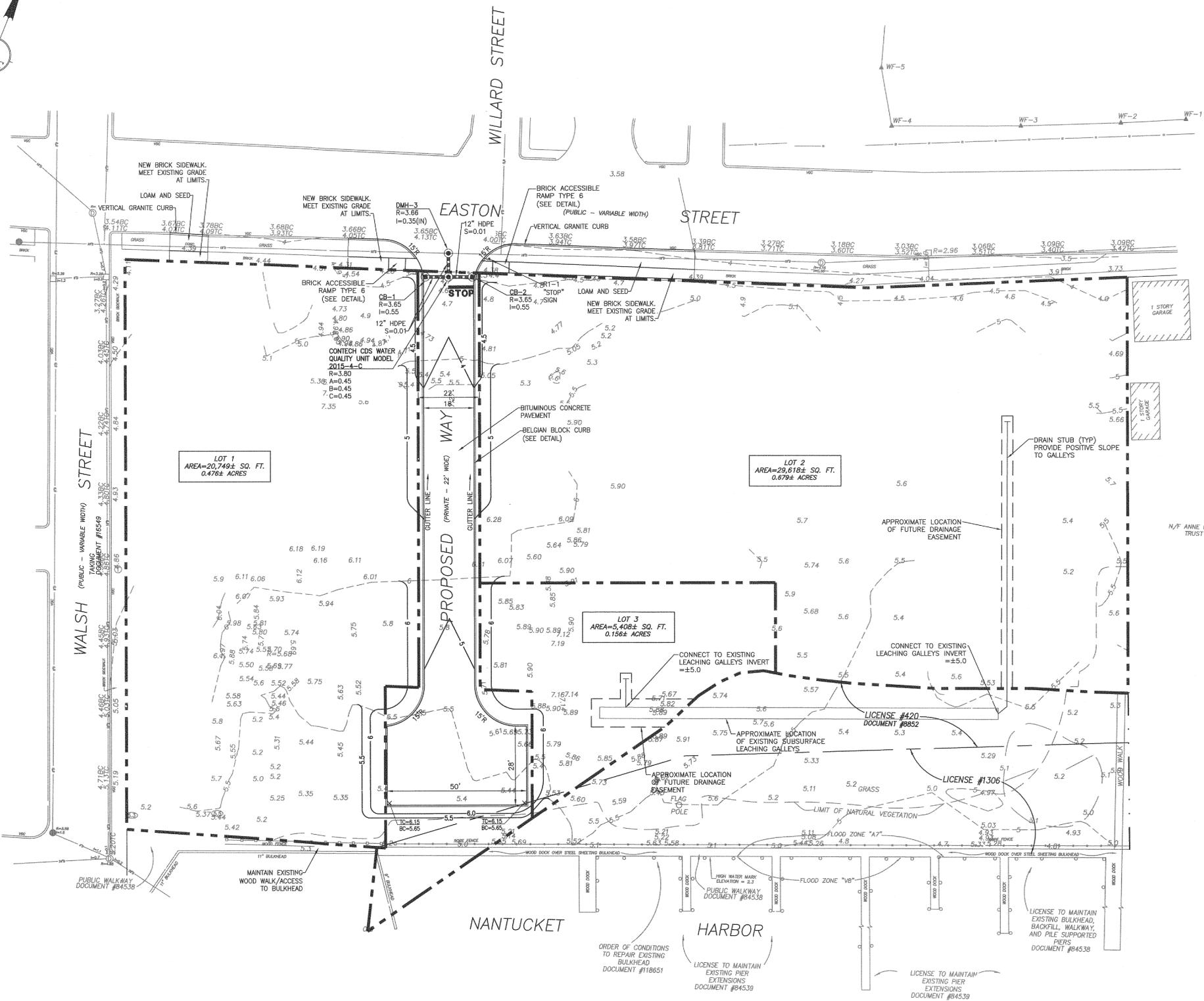
Prepared by:
RJO'CONNELL & ASSOCIATES, INC.
 CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS
 80 MONTVALE AVE
 STONEHAM, MA 02180
 781-279-0180
 FAX: 781-279-0173

Project Name:
DEFINITIVE PLAN FOR THE SUBDIVISION OF LAND WHITE ELEPHANT HOTEL PROPOSED WAY NANTUCKET, MA

Drawing Name:
DEMOLITION AND EROSION CONTROL PLAN

Drawing No.:
C-1
 Project No.: 14011

Drawing name: C:\VA\Nantucket\VED\White Elephant Hotel\Main\Definitive Subdivision\14011_C-2 GRADING & DRAINAGE.dwg
 Sep 30, 2015 - 1:34:33pm



GRADING & DRAINAGE NOTES

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIG SAFE" AT 1-800-DIG-SAFE (344-7233) AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENT SHOWN ON THE PLAN.
2. EXISTING CONDITIONS INFORMATION TAKEN FROM A PLAN ENTITLED ALTA/ACSM LAND TITLE SURVEY, #50 EASTON STREET "WHITE ELEPHANT" NANTUCKET, MASS. DATED 5/8/98 WITH LATEST REVISION DATE OF 12/16/10, PREPARED BY HARRY R. FELDMAN, INC.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCH MARKS NECESSARY FOR THE WORK.
4. ALL CATCH BASINS SHALL BE EQUIPPED WITH GAS/OIL HOODS AND SHALL HAVE 4 FOOT SUMPS.
5. CORRUGATED POLYETHYLENE PIPE SHALL CONFORM WITH ASTM 2648 AND ASTM F477, SHALL BE MANUFACTURED WITH HIGH DENSITY POLYETHYLENE PLASTIC AND SHALL BE ADS N-12 "MEGA GREEN" PIPE AS DETAILLED BY ADVANCE DRAINAGE SYSTEM, INC. OR APPROVED EQUAL UNLESS OTHERWISE NOTED OR DETAILLED.
6. A MINIMUM OF 18" VERTICAL CLEARANCE SHALL BE MAINTAINED WHERE WATER SERVICES CROSS STORM DRAIN LINES.
7. ALL EXISTING STRUCTURES, UNLESS OTHERWISE NOTED TO REMAIN, FENCING, TREES, & ETC., WITHIN CONSTRUCTION AREA SHALL BE REMOVED & DISPOSED OF OFF SITE. ANY BURNING ON SITE SHALL BE SUBJECT TO LOCAL ORDINANCES.
8. ALL DRAINAGE STRUCTURES SHALL BE PRE-CAST CONCRETE.
9. ALL DRAINAGE STRUCTURES AND STORM DRAINAGE PIPES SHALL MEET HEAVY DUTY TRAFFIC (H20) LOADING AND BE INSTALLED ACCORDINGLY.
10. GENERAL CONTRACTOR SHALL NOTIFY DIG-SAFE ALL UTILITY COMPANIES HAVING UNDERGROUND UTILITIES ON SITE OR IN RIGHT-OF-WAY PRIOR TO EXCAVATION. CONTRACTOR SHALL CONTACT UTILITY LOCATING COMPANY AND LOCATE ALL UTILITIES PRIOR TO GRADING START.
11. SITE GRADING SHALL NOT PROCEED UNTIL APPROPRIATE SEDIMENT CONTROL MEASURES HAVE BEEN INSTALLED.

LEGEND

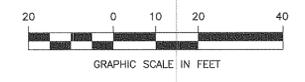
EXISTING	PROPOSED
UC □	UTILITY CONNECTION
⊙	DRAIN MANHOLE
⊕	CATCH BASIN
⊖	TELEPHONE MANHOLE
⊗	MANHOLE
⊘	HYDRANT
⊙	WATER SHUT OFF
⊙	UTILITY POLE
⊙	WALK LIGHT
⊙	ELECTRIC HANDHOLE
⊙	STAND PIPE/SIAMESE CONNECTION
⊙	ELECTRIC METER
⊙	GATE POST
ENT	ENTRANCE
VGC	VERTICAL GRANITE CURB
SQ. FT.	SQUARE FEET
BFA	BUILDING FOOTPRINT AREA
M&S	MULCH & SHRUBS
LCC	LAND COURT CASE
BK	BACK
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[30.4']	BUILDING DIMENSION
MLW	MEAN LOW WATER
F.F.E.	FIRST FLOOR ELEVATION
BLDG	BUILDING
HGT	HEIGHT
CONC.	CONCRETE
OHW	OVERHEAD WIRES

ZONING DISTRICT "RESIDENTIAL COMMERCIAL (RC)"

MINIMUM LOT SIZE	5,000 S.F.
MINIMUM FRONT YARD	NONE
MINIMUM SIDE YARD	5 FEET
MINIMUM REAR YARD	5 FEET
MINIMUM FRONTAGE	40 FEET
GROUND COVER RATIO	50 PERCENT
MAXIMUM BUILDING HEIGHT	32 FEET

ZONING COMPLIANCE
 (A) LOTS 1 THROUGH 10 AND THE PROPOSED WAY LOT ARE SUBJECT IN PART TO PROTECTION UNDER THE MASSACHUSETTS WETLANDS PROTECTION ACT, BUT CONTAIN SUFFICIENT LOT AREA, AS DEFINED IN THE NANTUCKET ZONING BYLAW, TO COMPLY WITH APPLICABLE ZONING REQUIREMENTS. A NOTICE OF INTENT MAY BE REQUIRED TO BE FILED WITH THE NANTUCKET CONSERVATION COMMISSION WITH REGARD TO PROPOSED CONSTRUCTION OF SUCH LOTS.

OWNER OF RECORD: WHITE ELEPHANT HOTEL LLC (LCC 23726)
 ENGINEER OF RECORD: R.J. O'CONNELL & ASSOCIATES, INC.
 SURVEYOR OF RECORD: FELDMAN LAND SURVEYORS

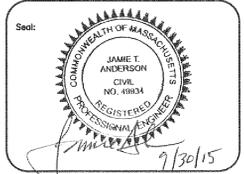


Nantucket Planning Board
 APPROVAL UNDER THE SUBDIVISION CONTROL LAW REQUIRED

Barry Rector, Chairman
 Linda Williams, Vice Chairman
 Joseph Marcklinger
 John McLaughlin
 Nathaniel Lowell
 DATE APPROVED: _____
 DATE ENDORSED: _____
 PLANNING BD. FILE NO.: _____

No.	Revision	Date
4.	REDUCED TOTAL NUMBER OF PROPOSED LOTS	09/30/2015
3.	REVISED PER PER REVIEW COMMENTS	04/24/2015
2.	REVISED PER PLANNING BOARD & PER REVIEW COMMENTS	04/02/2015
1.	DEFINITIVE SUBDIVISION PLAN SUBMISSION	10/31/2014

Location
 50 EASTON STREET
 NANTUCKET, MA
 ASSESSORS ID:
 MBLU 4241//23



Designed by: JJS
 Drawn by: MCR
 Checked by: JTA
 Scale: 1"=20'
 Date: 10/31/2014

Prepared for:
WHITE ELEPHANT HOTEL LLC
 O/D NEW ENGLAND DEVELOPMENT
 ONE WELLS AVENUE
 NEWTON, MA 02459

Prepared by:
RJO'CONNELL & ASSOCIATES, INC.
 CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS
 80 MONTVALE AVE
 STONEHAM, MA 02180
 781-279-0180
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Project Name:
 DEFINITIVE PLAN FOR THE SUBDIVISION OF LAND
WHITE ELEPHANT HOTEL
 PROPOSED WAY
 NANTUCKET, MA

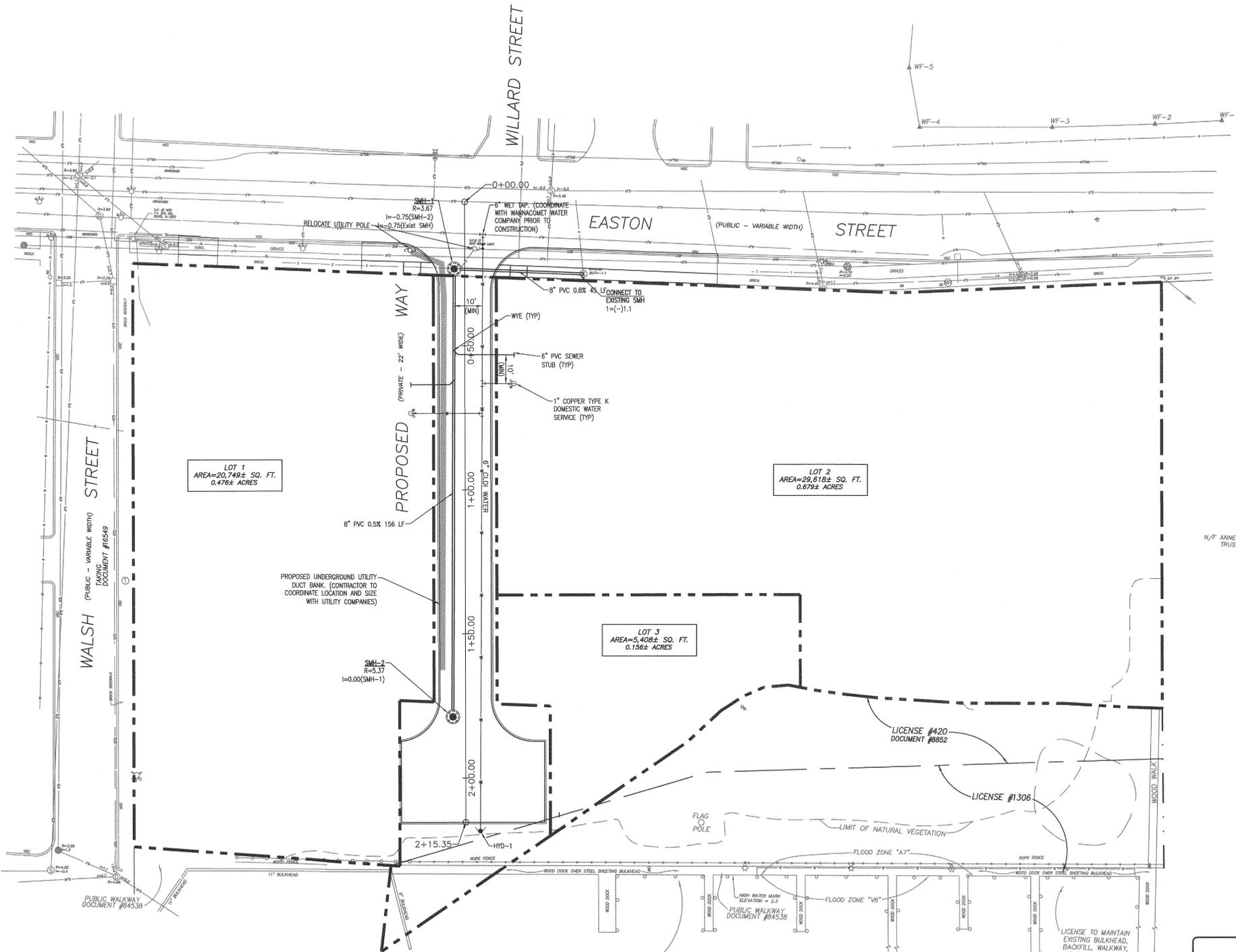
Drawing Name:
GRADING AND DRAINAGE PLAN

Drawing No.:
C-2
 Project No.: 14011



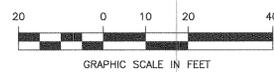
SITE UTILITY NOTES

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- EXISTING CONDITIONS INFORMATION TAKEN FROM A PLAN ENTITLED ALTA/ACSM LAND TITLE SURVEY, #50 EASTON STREET "WHITE ELEPHANT" NANTUCKET, MASS. DATED 5/8/98 WITH LATEST REVISION DATE OF 12/16/10, PREPARED BY HARRY R. FELDMAN, INC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCH MARKS NECESSARY FOR THE WORK.
- ALL WATER MAINS SHALL BE INSTALLED WITH A MINIMUM OF 4'-6" FEET OF COVER AND A MAXIMUM OF 5'-6" FEET OF COVER EXCEPT AS NOTED OR OTHERWISE. GREATER DEPTHS ARE PERMITTED WHERE REQUIRED TO AVOID CONFLICTS WITH OTHER UTILITIES.
- GENERALLY, WATER MAIN FITTINGS IDENTIFIED ON THIS DRAWING ARE SHOWN FOR INSTALLATION LOCATION PURPOSES. THE CONTRACTOR SHALL NOTE THAT NOT ALL FITTINGS ARE NOTED, SHOWN, OR INDICATED.
- A MINIMUM OF 10 FEET CLEAR HORIZONTALLY SHALL BE MAINTAINED BETWEEN SANITARY SEWER MAINS AND WATER MAINS. WHENEVER CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET TO A WATER MAIN, THE WATER MAIN SHALL BE LAID IN A SEPARATE TRENCH AND THE ELEVATION OF THE CROWN OF THE SEWER SHALL BE AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER MAIN.
- DOMESTIC WATER SERVICES 2.5" AND SMALLER SHALL BE TYPE K COPPER TUBING AND SHALL BE INSTALLED WITH APPROPRIATELY SIZED CORPORATION STOP WITH APPROVED SADDLE, CURB STOP, AND BOX.
- ALL WATER MAINS 3" AND LARGER SHALL BE CEMENT LINED DUCTILE IRON - CLASS 52, AND SHALL BE INSTALLED WITH APPROPRIATELY SIZED FITTINGS AND GATE VALVES.
- DOMESTIC WATER SERVICES SHALL BE INSTALLED WITH APPROPRIATELY SIZED GATE, BOX AND TEE FITTINGS.
- ALL WATER MAIN APPURTENANCES, MATERIALS, METHODS OF INSTALLATION AND TESTING REQUIREMENTS SHALL MEET OR EXCEED ALL LOCAL MUNICIPAL REQUIREMENTS.
- PRESSURE AND LEAKAGE TEST, DISINFECTION AND FLUSHING SHALL BE IN ACCORDANCE WITH ALL LOCAL MUNICIPAL STANDARDS AND REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS IN CONNECTION WITH UTILITY TESTS, FLUSHING AND INSPECTIONS AS REQUIRED BY THE LOCAL MUNICIPALITY.
- ALL GRAVITY SEWER PIPE SHALL BE POLYVINYL CHLORIDE PIPE (P.V.C.), SDR 35 AND SHALL CONFORM WITH ASTM-D3034 UNLESS NOTED OTHERWISE.
- A MINIMUM OF 18" VERTICAL CLEARANCE SHALL BE MAINTAINED WHERE WATER MAINS CROSS STORM DRAIN LINES.
- WHERE SANITARY SEWERS CROSS WATER MAINS, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE CROWN OF THE SEWER IS AT LEAST EIGHTEEN INCHES BELOW THE INVERT OF THE WATER MAIN. IF THE ELEVATION OF THE SEWER CANNOT BE VARIED TO MEET THIS REQUIREMENT, THE WATER MAIN SHALL BE RELOCATED TO PROVIDE THIS SEPARATION OR CONSTRUCTED WITH MECHANICAL JOINT PIPE FOR A DISTANCE OF TEN FEET ON EACH SIDE OF THE SEWER. ONE FULL LENGTH OF WATER MAIN SHALL BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. IF MECHANICAL JOINT PIPE IS NOT USED THEN BOTH THE WATER MAIN AND SANITARY SEWER SHALL BE ENCASED IN CONCRETE FOR A MINIMUM DISTANCE OF 10 FEET FROM THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
- GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR ALL TAP AND TIE ON FEES REQUIRED, AS WELL AS COST OF UNDERGROUND SERVICE CONNECTIONS TO THE BUILDING.
- THRUST BLOCKS SHALL BE PROVIDED AT ALL BENDS, TEES, AND FIRE HYDRANTS.
- DIMENSIONS SHOWN ARE TO CENTERLINE OF PIPE OR FITTING.
- ALL FIRE HYDRANTS SHALL BE PROVIDED WITH AN APPROVED GATE VALVE A MAXIMUM OF 5'-0" FROM HYDRANT.
- ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
- GENERAL CONTRACTOR SHALL HAVE APPROVAL OF ALL GOVERNING AGENCIES HAVING JURISDICTION OVER THIS SYSTEM PRIOR TO INSTALLATION.



LEGEND	
EXISTING	PROPOSED
UC □	UTILITY CONNECTION
⊙	DRAIN MANHOLE
⊠	CATCH BASIN
⊙	TELEPHONE MANHOLE
⊙	SEWER MANHOLE
⊙	HYDRANT
⊙	WATER SHUT OFF
⊙	UTILITY POLE
⊙	WALK LIGHT
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VGC	VERTICAL GRANITE CURB
SQ. FT.	SQUARE FEET
BFA	BUILDING FOOTPRINT AREA
M&S	MULCH & SHRUBS
LCC	LAND COURT CASE
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[30.4']	BUILDING DIMENSION
MLW	MEAN LOW WATER
F.F.E.	FIRST FLOOR ELEVATION
BLDG	BUILDING
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OHW	OVERHEAD WIRES

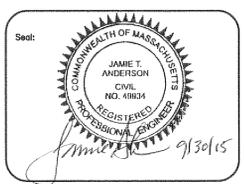
ZONING DISTRICT "RESIDENTIAL COMMERCIAL (RC)"	
MINIMUM LOT SIZE	5,000 S.F.
MINIMUM FRONT YARD	NONE
MINIMUM SIDE YARD	5 FEET
MINIMUM REAR YARD	5 FEET
MINIMUM FRONTAGE	40 FEET
GROUND COVER RATIO	50 PERCENT
MAXIMUM BUILDING HEIGHT	32 FEET



OWNER OF RECORD: WHITE ELEPHANT HOTEL LLC (LCC 23726)
 ENGINEER OF RECORD: R.J. O'CONNELL & ASSOCIATES, INC.
 SURVEYOR OF RECORD: FELDMAN LAND SURVEYORS

No.	Date	Revision
4.	09/30/2015	REDUCED TOTAL NUMBER OF PROPOSED LOTS
3.	04/24/2015	REVISED PER REVIEW COMMENTS
2.	04/22/2015	REVISED PER PLANNING BOARD & PEER REVIEW COMMENTS
1.	10/27/2014	DEFINITIVE SUBDIVISION PLAN SUBMISSION

Location
 50 EASTON STREET
 NANTUCKET, MA
 ASSESSORS ID:
 MBLU 4241//23



Designed by: JTA
 Drawn by: MCR
 Checked by: JTA
 Scale: 1"=20'
 Date: 10/31/2014

Prepared for:
WHITE ELEPHANT HOTEL LLC
 C/O NEW ENGLAND DEVELOPMENT
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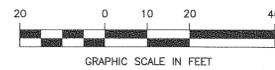
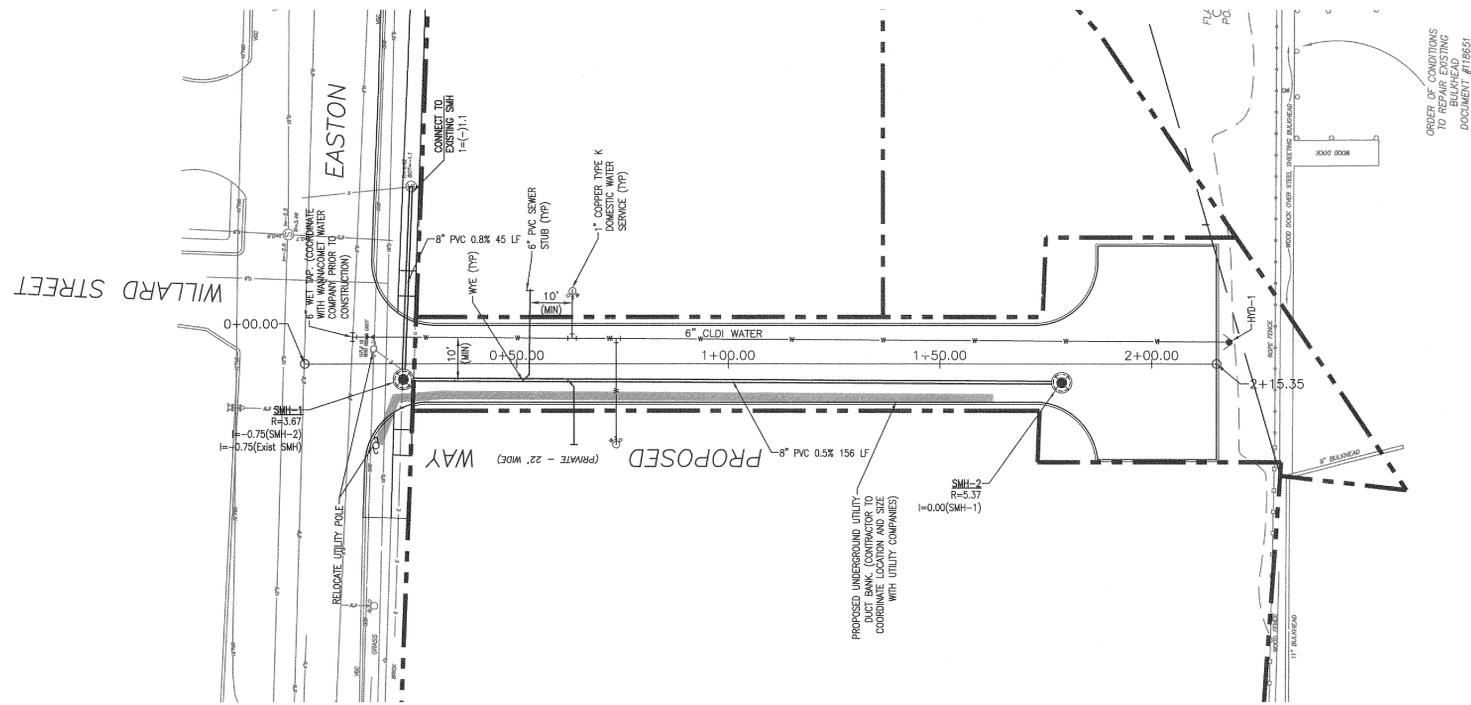
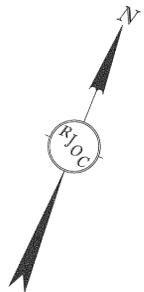
Nantucket Planning Board
 APPROVAL UNDER THE
 SUBDIVISION CONTROL LAW
 REQUIRED

Barry Rector, Chairman
 Linda Williams, Vice Chairman
 Joseph Marcklinger
 John McLaughlin
 Nathaniel Lowell
 DATE APPROVED: _____
 DATE ENDORSED: _____
 PLANNING BD. FILE NO.: _____

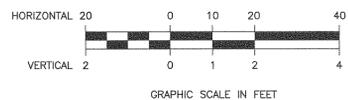
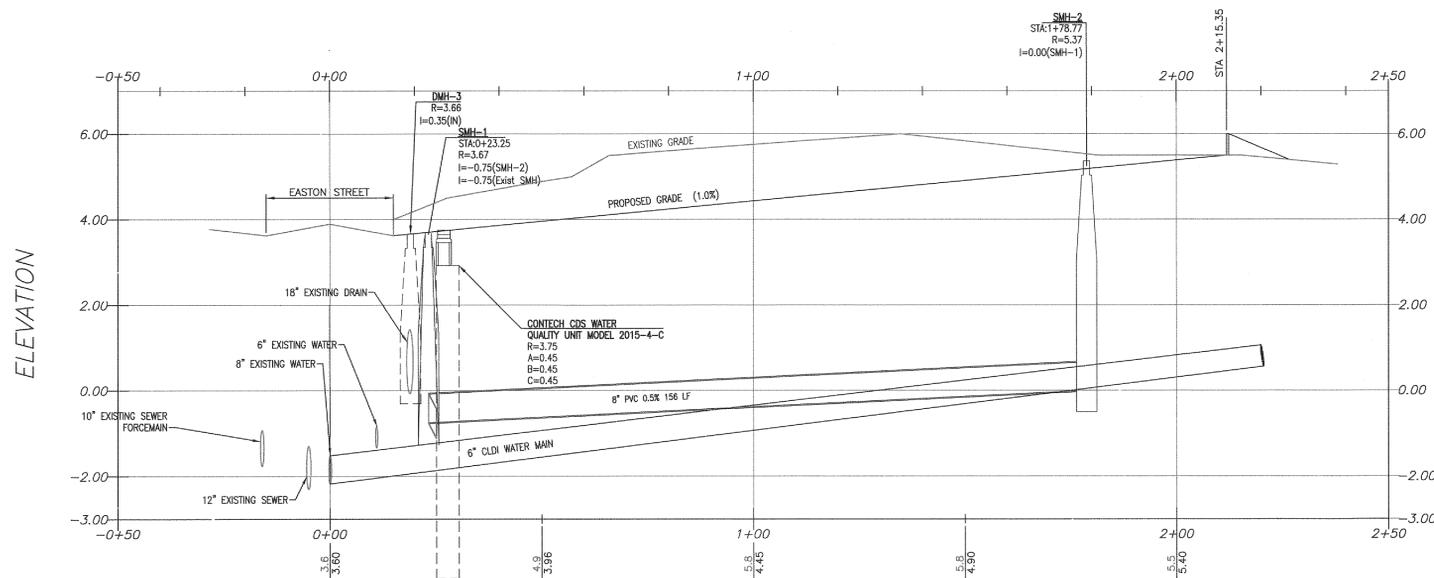
Project Name:
**DEFINITIVE PLAN FOR THE SUBDIVISION OF LAND
 WHITE ELEPHANT HOTEL
 PROPOSED WAY
 NANTUCKET, MA**

Drawing Name:
UTILITY PLAN

Drawing No.:
C-3A
 Project No.: 14011



PLAN
SCALE: 1"=20'



PROFILE - PROPOSED WAY
SCALE: 1"=20'

OWNER OF RECORD: WHITE ELEPHANT HOTEL LLC (LCC 23726)
ENGINEER OF RECORD: R.J. O'CONNELL & ASSOCIATES, INC.
SURVEYOR OF RECORD: FELDMAN LAND SURVEYORS

ZONING DISTRICT
"RESIDENTIAL COMMERCIAL (RC)"
MINIMUM LOT SIZE 5,000 S.F.
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MINIMUM SIDE YARD 5 FEET
MINIMUM REAR YARD 5 FEET
MINIMUM FRONTAGE 40 FEET
GROUND COVER RATIO 50 PERCENT
MAXIMUM BUILDING HEIGHT 32 FEET

Nantucket Planning Board

APPROVAL UNDER THE
SUBDIVISION CONTROL LAW
REQUIRED

Barry Rector, Chairman

Linda Williams, Vice Chairman

Joseph Marchlinger

John McLaughlin

Nathaniel Lowell

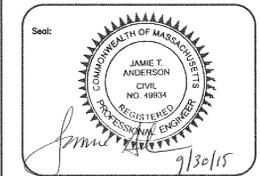
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DATE ENDORSED: _____

PLANNING BD. FILE NO.: _____

No.	Revision	Date
4.	REDUCED TOTAL NUMBER OF PROPOSED LOTS	09/30/2015
3.	REVISED PER PEER REVIEW COMMENTS	04/24/2015
2.	REVISED PER PLANNING BOARD & PEER REVIEW COMMENTS	04/02/2015
1.	DEFINITIVE SUBDIVISION PLAN SUBMISSION	10/27/2014

Location
50 EASTON STREET
NANTUCKET, MA
ASSESSORS ID:
MBLU 4241//23



Designed by: JTA
Drawn by: MCR
Checked by: JTA
Scale: AS NOTED
Date: 10/31/2014

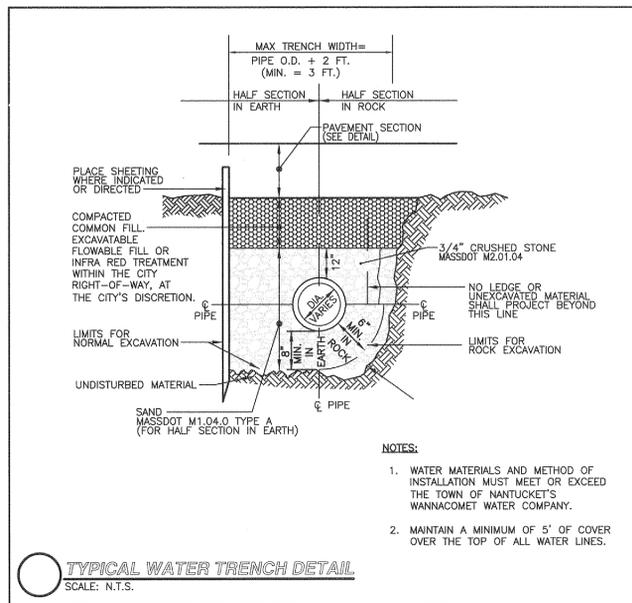
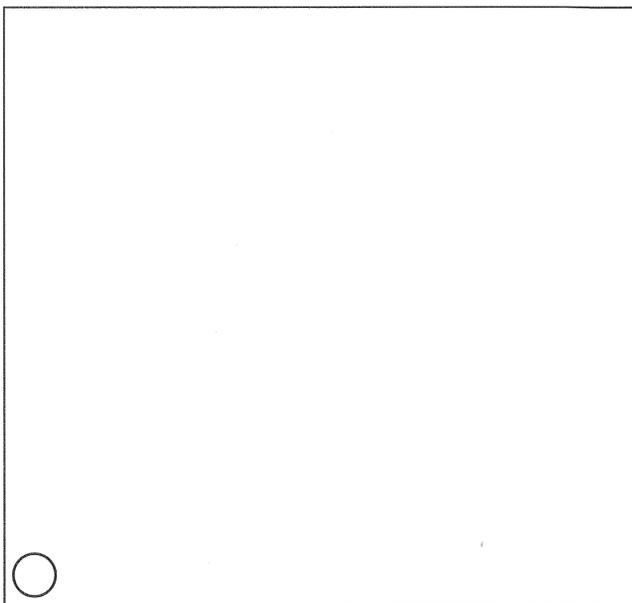
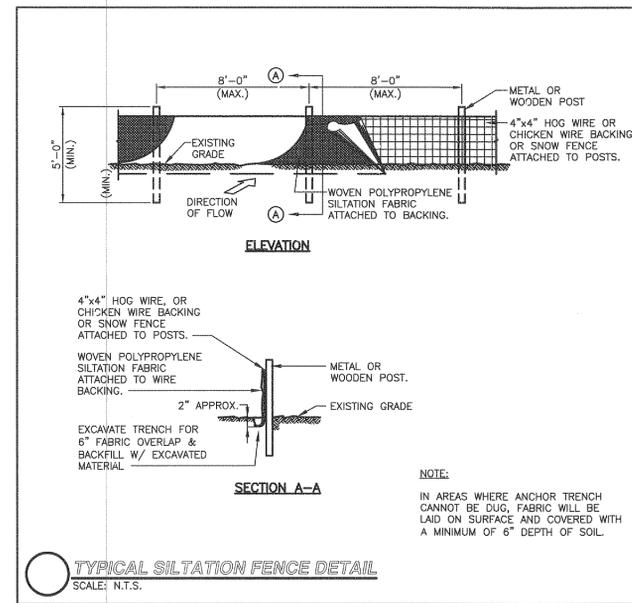
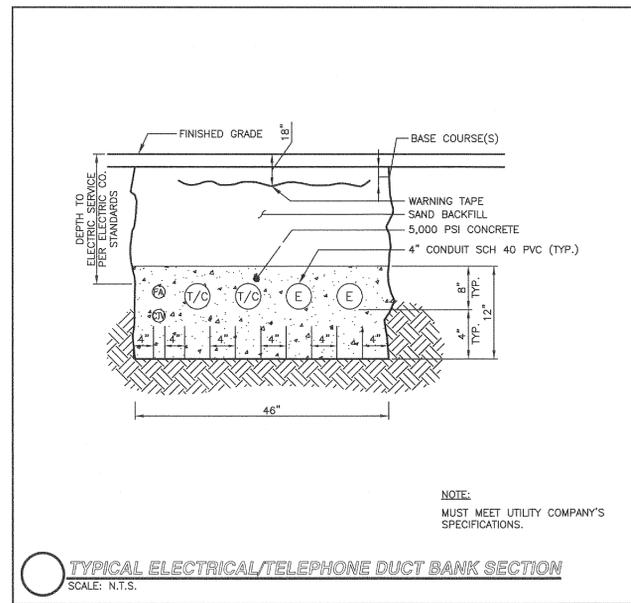
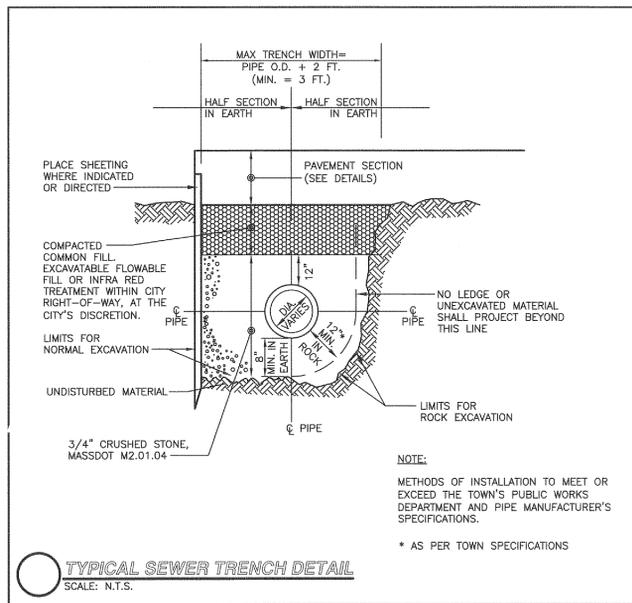
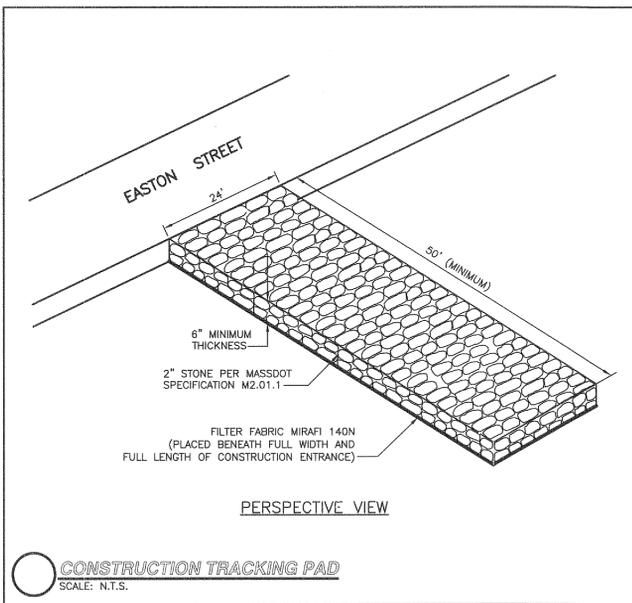
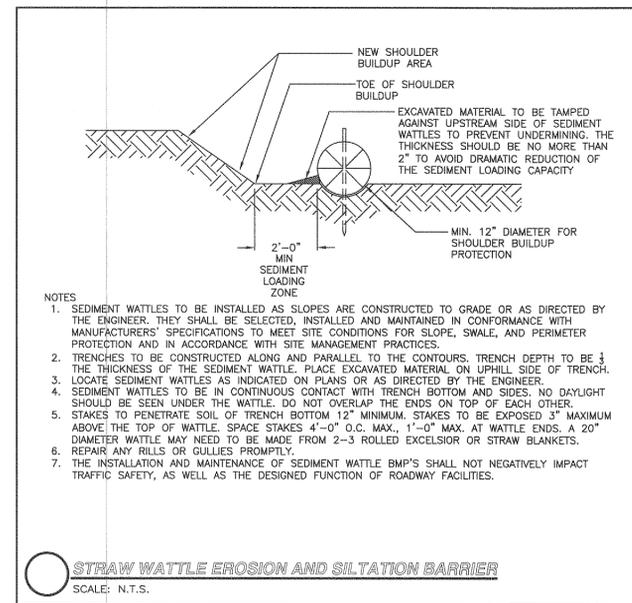
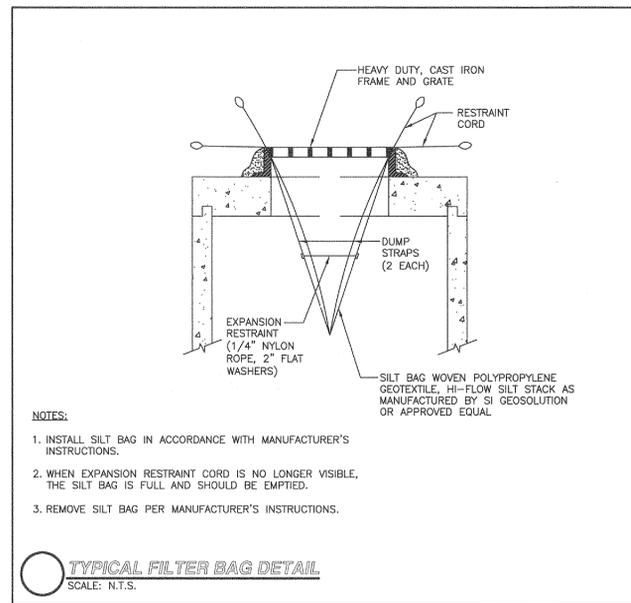
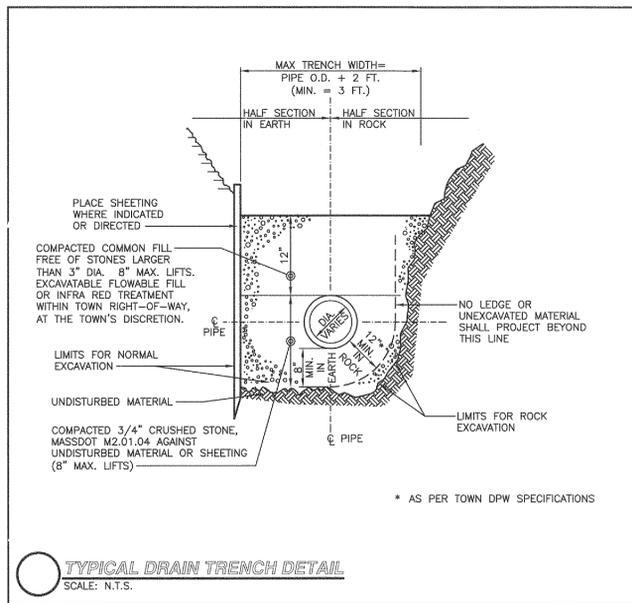
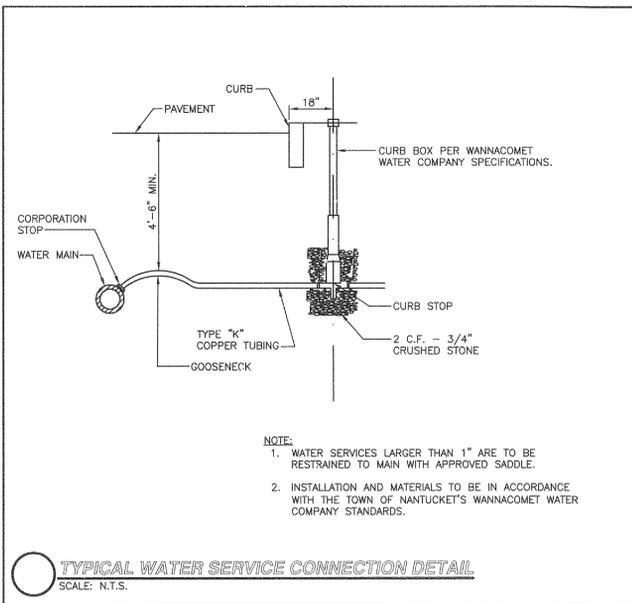
Prepared for:
WHITE ELEPHANT HOTEL LLC
C/O NEW ENGLAND DEVELOPMENT
ONE WELLS AVENUE
NEWTON, MA 02459

Prepared by:
RJO'CONNELL & ASSOCIATES, INC.
CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS
80 MONTVALE AVE
STONEHAM, MA 02180
781-279-0180
FAX: 781-279-0173

Project Name:
DEFINITIVE PLAN FOR THE SUBDIVISION OF LAND
WHITE ELEPHANT HOTEL
PROPOSED WAY
NANTUCKET, MA

Drawing Name:
UTILITY PLAN

Drawing No.:
C-3B
Project No.: 14011



NOTES:
1. ALL WATER MAIN FITTINGS, BENDS, TEES, PLUGS ETC. SHALL BE RESTRAINED W/ THRUST BLOCKS EXCEPT WHERE NOTED.
2. ALL THRUST BLOCKS & COLLARS SHALL BE INSTALLED SO THAT THEY BEAR AGAINST UNDISTURBED EARTH.
3. SIZE OF CONCRETE THRUST BLOCKS AS NOTED BELOW.
4. MINIMUM COMPRESSIVE STRENGTH OF THRUST BLOCK CONCRETE SHALL BE 4,000 P.S.I.
5. MINIMUM BEARING AREA BASED ON 2000 LB/SF ALLOWABLE SOIL BEARING PRESSURE WITH A 1.5 SAFETY FACTOR.
6. A MINIMUM OF 1/3 CUBIC YARD OF CONCRETE MUST BE USED FOR THRUST BLOCKS
7. MATERIALS, METHOD INSTALLATION SHALL CONFORM TO THE TOWN OF NANTUCKET'S WANNACOMET WATER COMPANY SPECIFICATIONS.

PIPE DIA.	TEES/CAP/HYD	90° BEND	45° BEND	22.5° BEND	11.25° BEND
4"	2	2	2	2	1
6"	4	5	3	2	1
8"	6	8	5	2	1
10"	9	13	7	3	2
12"	13	18	10	4	4
14"	18	25	14	6	4
16"	23	32	18	8	6

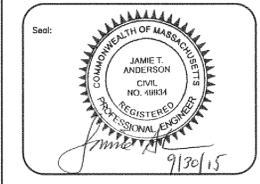
Nantucket Planning Board
APPROVAL UNDER THE SUBDIVISION CONTROL LAW REQUIRED

Barry Rector, Chairman
Linda Williams, Vice Chairman
Joseph Marcklinger
John McLaughlin
Nathaniel Lowell

DATE APPROVED: _____
DATE ENDORSED: _____
PLANNING BD. FILE NO.: _____

No.	Date	Revision
3	09/29/2015	REDUCED TOTAL NUMBER OF PROPOSED LOTS
2	04/02/2015	REVISED PER PLANNING BOARD & PER REVIEW COMMENTS
1	10/31/2014	DEFINITIVE SUBDIVISION PLAN SUBMISSION

Location
50 EASTON STREET
NANTUCKET, MA
ASSESSORS ID:
MBLU 4241//23



Designed by: JTA
Drawn by: MCR
Checked by: JTA
Scale: N.T.S.
Date: 10/31/2014

Prepared for:
WHITE ELEPHANT HOTEL LLC
C/O NEW ENGLAND DEVELOPMENT
ONE WELLS AVENUE
NEWTON, MA 02459

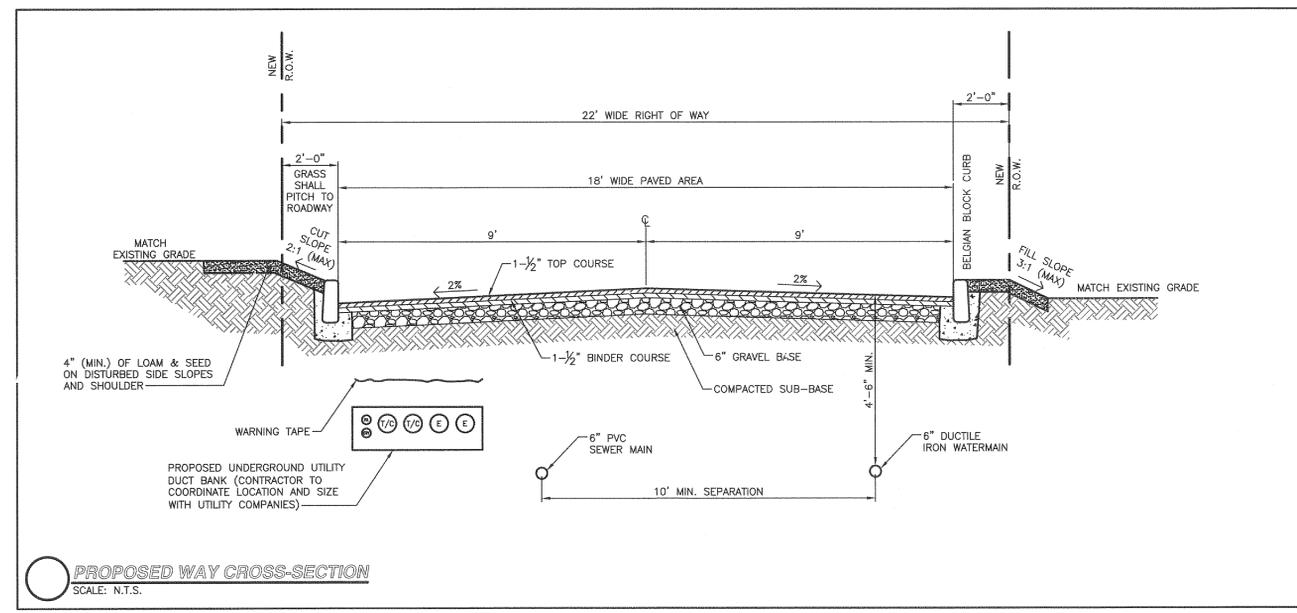
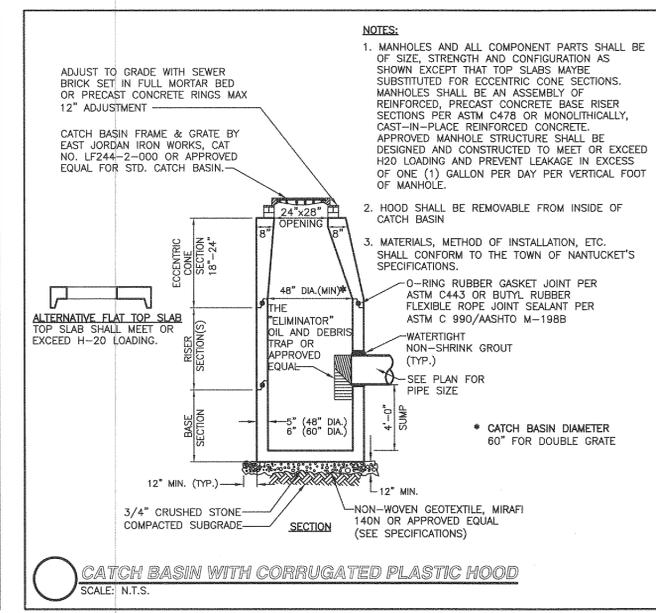
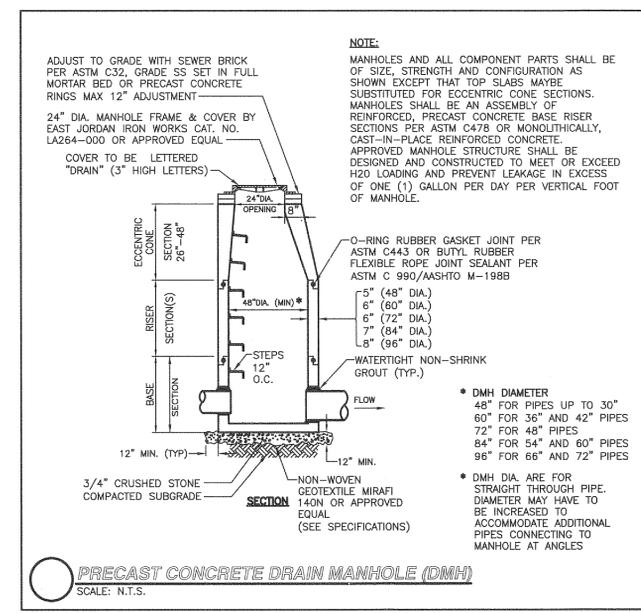
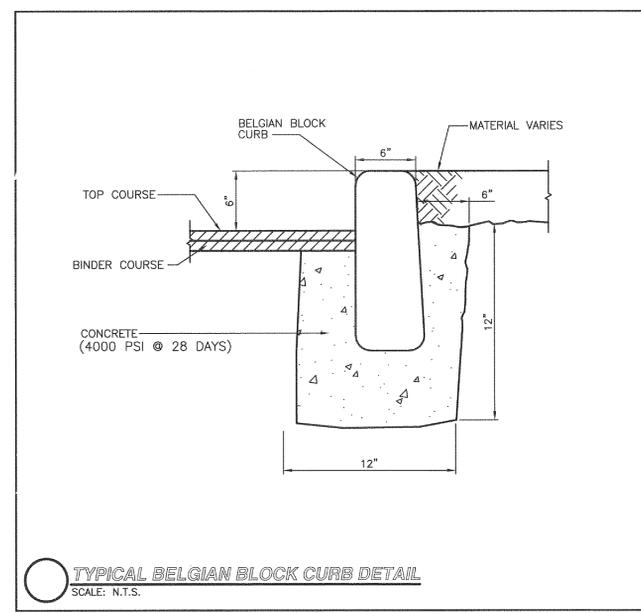
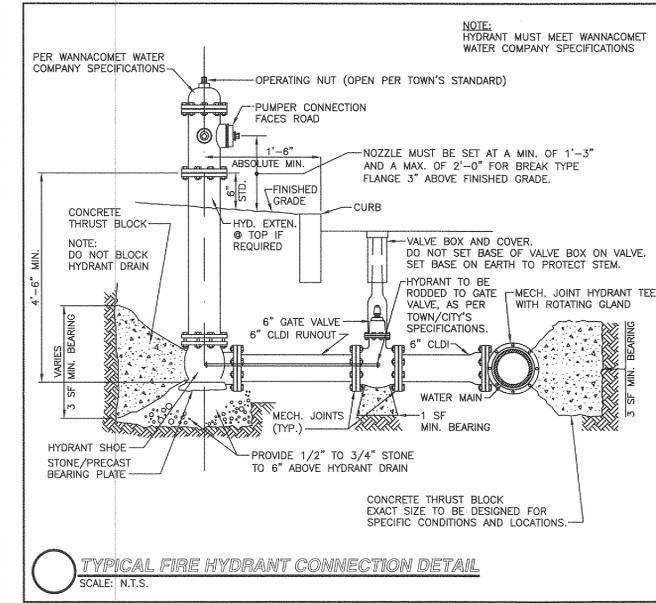
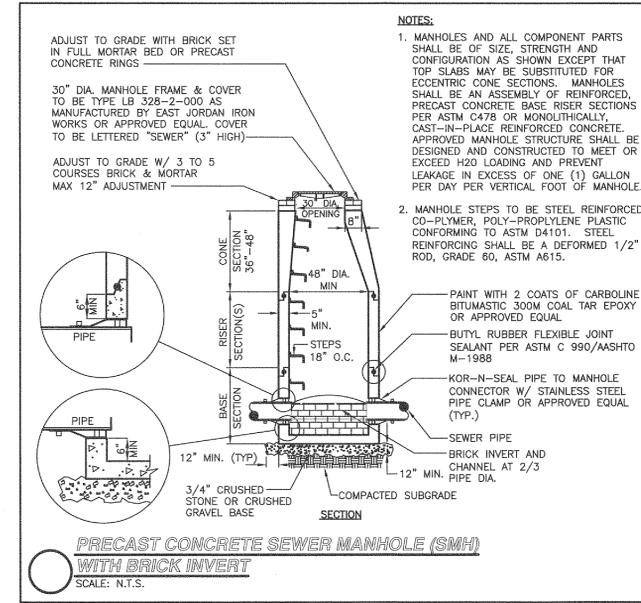
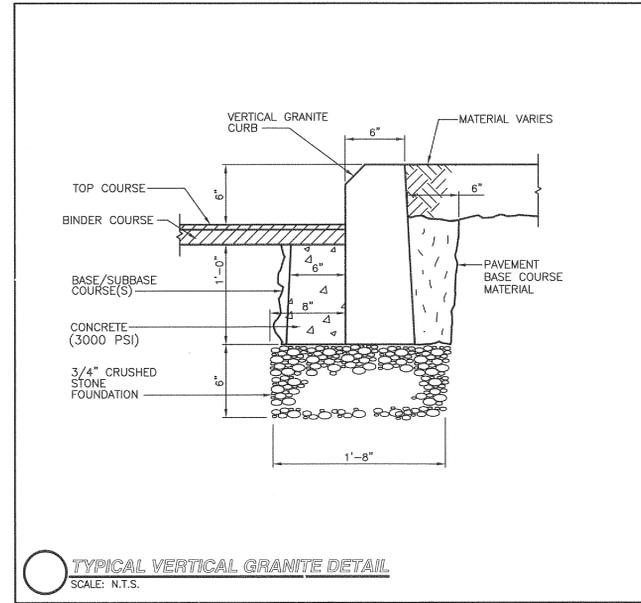
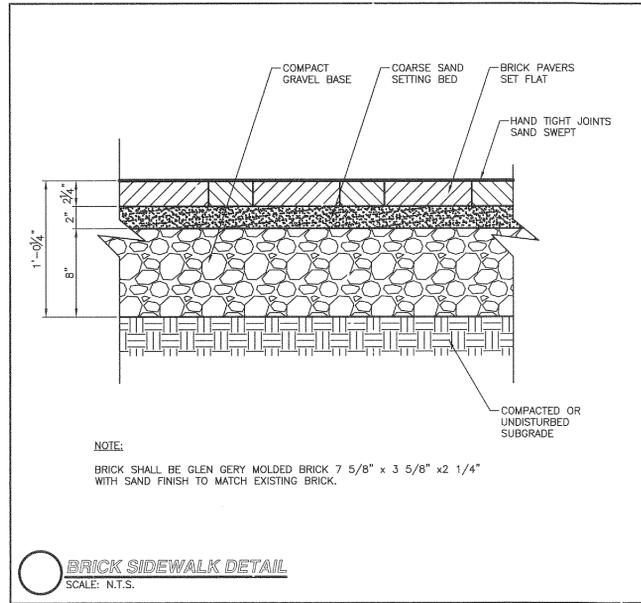
Prepared by:
RJO'CONNELL & ASSOCIATES, INC.
CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS
80 MONTVALE AVE
STONEHAM, MA 02180
781-279-0160
FAX: 781-279-0173

Project Name:
DEFINITIVE PLAN FOR THE SUBDIVISION OF LAND
WHITE ELEPHANT HOTEL
PROPOSED WAY
NANTUCKET, MA

Drawing Name:
DETAILS - SHEET 1

Drawing No.:
C-4
Project No.: 14011

Drawing name: G:\MA\Nantucket\VED\White Elephant Hotel\Main\Definitive Subdivision\14011_C-4_DETAILS.dwg
Sep 30, 2015 - 1:34:59pm



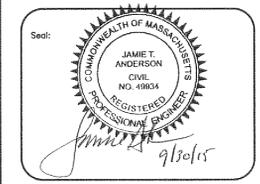
Nantucket Planning Board
APPROVAL UNDER THE SUBDIVISION CONTROL LAW REQUIRED

Barry Rector, Chairman
Linda Williams, Vice Chairman
Joseph Marcklinger
John McLaughlin
Nathaniel Lowell

DATE APPROVED: _____
DATE ENDORSED: _____
PLANNING BD. FILE NO.: _____

Date	Revision
10/31/2014	1. DEFINITIVE SUBDIVISION PLAN SUBMISSION
04/02/2015	2. REVISED PER PLANNING BOARD & DEED REVIEW COMMENTS
09/30/2015	3. REVISED TOTAL NUMBER OF PROPOSED LOTS

Location
50 EASTON STREET
NANTUCKET, MA
ASSESSORS ID:
MBLU 4241//23



Designed by: JTA
Drawn by: MCR
Checked by: JTA
Scale: N.T.S.
Date: 10/31/2014

Prepared for:
WHITE ELEPHANT HOTEL LLC
C/O NEW ENGLAND DEVELOPMENT
ONE WELLS AVENUE
NEWTON, MA 02459

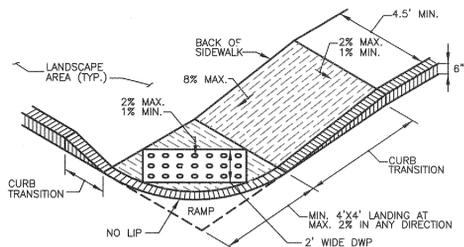
Prepared by:
RJO'CONNELL & ASSOCIATES, INC.
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Project Name:
DEFINITIVE PLAN FOR THE SUBDIVISION OF LAND
WHITE ELEPHANT HOTEL
PROPOSED WAY
NANTUCKET, MA

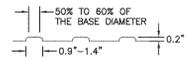
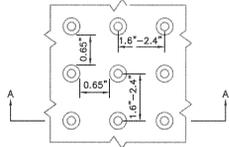
Drawing Name:
DETAILS - SHEET 2

Drawing No.:
C-5
Project No.: 14011

Drawing name: G:\MA\Nantucket\VED\White Elephant Hotel\Main\Definitive Subdivision\14011_C-5 DETAILS.dwg
Sep 30, 2015 - 1:34pm



AR TYPE - 6



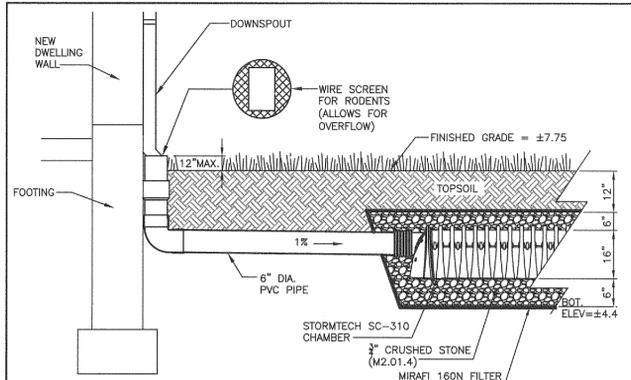
DETECTABLE WARNING PANEL (DWP)

NOTES:

- SEE PLANS FOR CURB TYPE.
- CURBS AND WALKS ALONG ACCESSIBLE ROUTES SHALL MEET OR EXCEED THE APPLICABLE MA REGULATIONS AND ADA.
- THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 2% (1% MIN).
- THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
- THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE CURB RAMPS SHALL BE 8%.
- MAINTAIN A MINIMUM OF 3 FEET CLEAR AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS ETC.)
- GRADE BASE OF RAMP TO PREVENT PONDING.
- RAMP CONSTRUCTION SHALL CONFORM TO TYPICAL SIDEWALK SECTION.
- WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5'X5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
- ALL CURBING AT RAMPS SHALL BE VERTICAL CURBING SET FLUSH WHERE IT ABUTS ROADWAY.
- ALL RAMPS SHALL BE CEMENT CONCRETE WITH BROOM NON-SLIP SURFACE.
- ALL RAMPS SHALL HAVE A 24" WIDE DETECTABLE WARNING PANEL EXTENDING THE FULL WIDTH OF THE FLUSH RAMP EDGE.

ACCESSIBLE CURB RAMPS (AR TYPE-6)

SCALE: N.T.S.

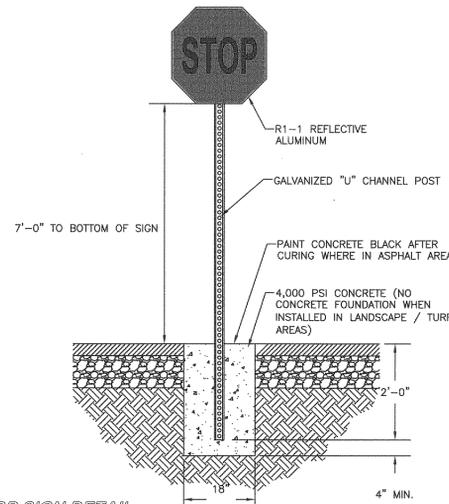


NOTES:

- 5 CHAMBERS PER DWELLING TO BE USED IN LOTS 1 THROUGH 6. FINAL LOCATION TO BE DETERMINED AFTER HOUSES ARE LOCATED AND SOIL TESTING IS COMPLETE.
- FOR ALL DEPTHS OF COVER LESS THAN TWO (2) FEET, PIPE MUST BE SCHEDULE 40 PVC. FOR DEPTHS GREATER THAN TWO (2) FEET, FLEXIBLE PIPE MAY BE USED. REFER TO SPECIFICATIONS FOR ALLOWABLE PIPE TYPES.
- A WATERTIGHT CONNECTION SHALL BE MAINTAINED FROM ANY TRANSITION FROM SCH. 40 PVC PIPE TO ANY OTHER PIPE TYPE.
- THE DOWNSPOUT COLLECTOR DRAIN SHALL BE INSTALLED BEFORE THE DOWNSPOUTS ARE INSTALLED ON THE BUILDING. SITEWORK CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK TO AND INCLUDING THE RODENT SCREEN. BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONNECTION AT THE POINT OF THE RODENT SCREEN.

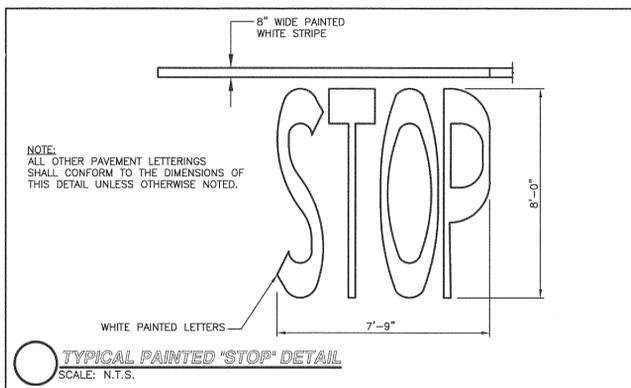
TYPICAL ROOF STORMWATER SYSTEM

SCALE: N.T.S.



STOP SIGN DETAIL

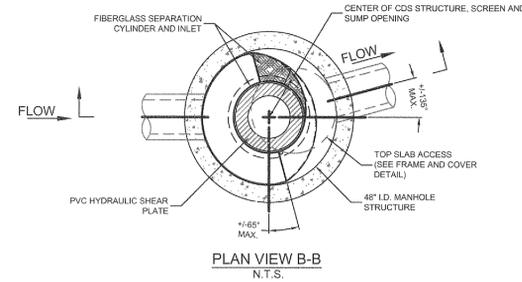
SCALE: N.T.S.



NOTE:
ALL OTHER PAVEMENT LETTERINGS SHALL CONFORM TO THE DIMENSIONS OF THIS DETAIL UNLESS OTHERWISE NOTED.

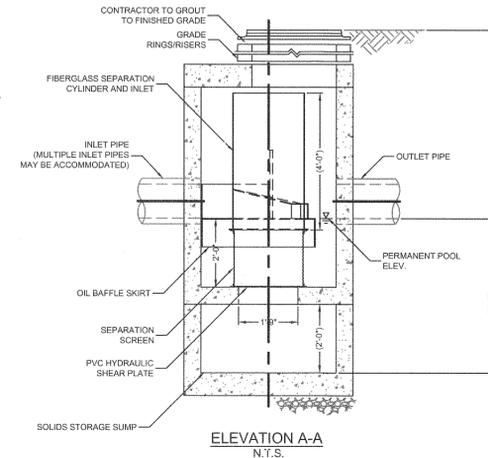
TYPICAL PAINTED 'STOP' DETAIL

SCALE: N.T.S.



PLAN VIEW B-B

N.T.S.

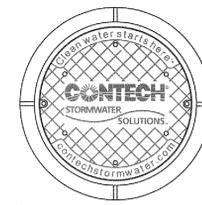


ELEVATION A-A

N.T.S.

CDS2015-4-C CDS INLINE STANDARD DETAIL

SCALE: N.T.S.



FRAME AND COVER
(DIAMETER VARIES)
N.T.S.

GENERAL NOTES

- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- DIMENSIONS MARKED WITH (1) ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
- FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH CONSTRUCTION PRODUCTS REPRESENTATIVE. www.contech-cpi.com
- CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
- STRUCTURE SHALL MEET AASHTO H20 AND CASTINGS SHALL MEET AASHTO M306 LOAD RATING. ASSUMING GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
- PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.

INSTALLATION NOTES

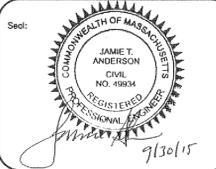
- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE (LIFTING CLUTCHES PROVIDED).
- CONTRACTOR TO ADD JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS, AND ASSEMBLE STRUCTURE.
- CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INVERTS. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT. HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.



9025 Centre Pointe Dr., Suite 400, West Chester, OH 45390
937-336-1122 513-865-7000 513-865-7903 FAX

SCALE: N.T.S.

Location
50 EASTON STREET
NANTUCKET, MA
ASSESSORS ID:
MBLU 4241//23



Designed by: JTA
Drawn by: MCR
Checked by: JTA
Scale: N.T.S.
Date: 10/31/2014

Prepared for:
WHITE ELEPHANT HOTEL LLC
C/O NEW ENGLAND DEVELOPMENT
ONE WELLS AVENUE
NEWTON, MA 02459

Prepared by:
RJO'CONNELL & ASSOCIATES, INC.
CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS
80 MONTVALE AVE
STONEHAM, MA 02180
781-279-0180
FAX: 781-279-0173

Nantucket Planning Board

APPROVAL UNDER THE
SUBDIVISION CONTROL LAW
REQUIRED

Barry Rector, Chairman

Linda Williams, Vice Chairman

Joseph Marcklinger

John McLaughlin

Nathaniel Lowell

DATE APPROVED: _____

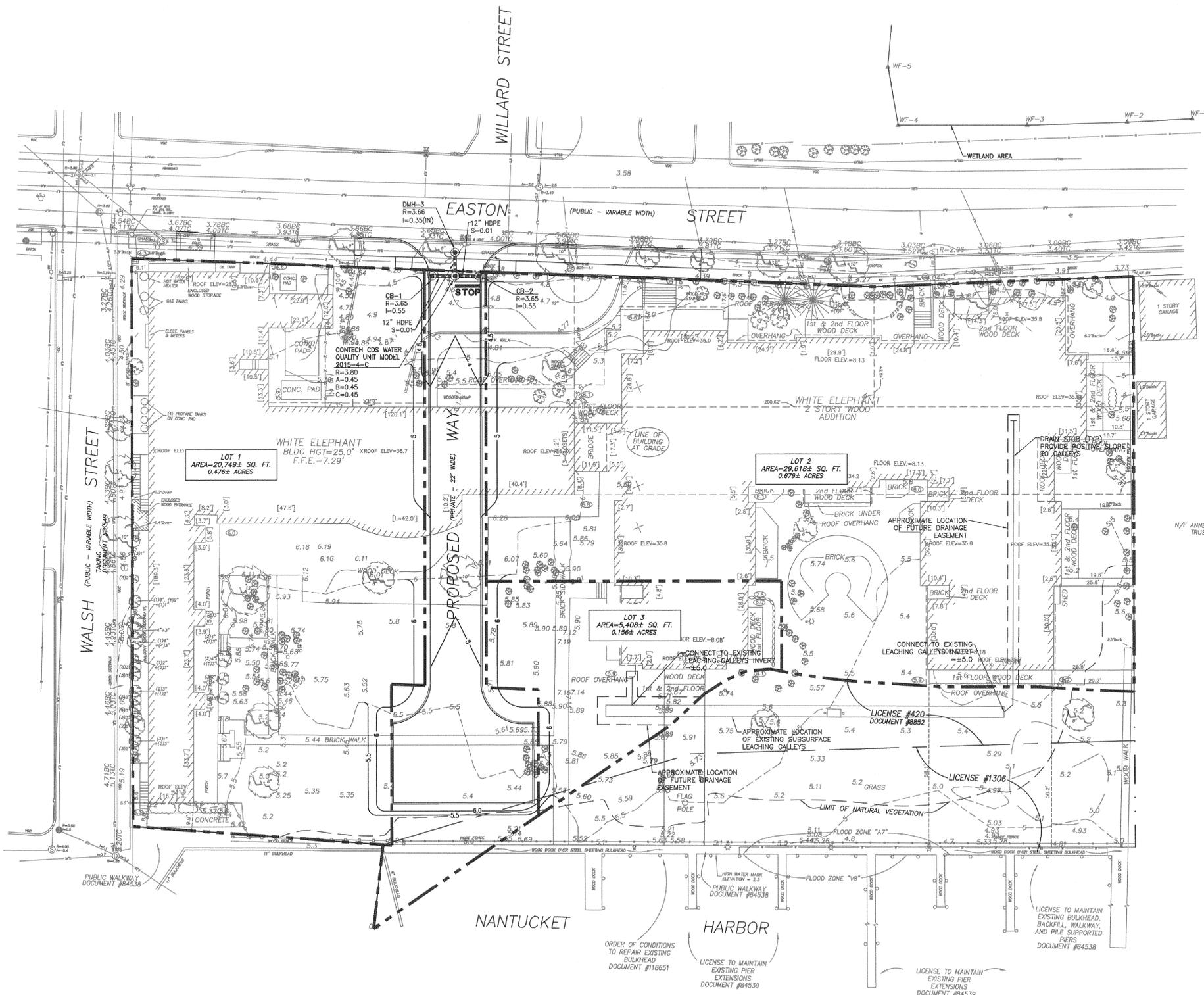
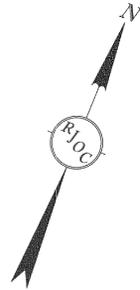
DATE ENDORSED: _____

PLANNING BD. FILE NO.: _____

Project Name:
DEFINITE PLAN FOR THE SUBDIVISION OF LAND
WHITE ELEPHANT HOTEL
PROPOSED WAY
NANTUCKET, MA

Drawing Name:
DETAILS - SHEET 3

Drawing No.:
C-6
Project No.: 14011



SITE ANALYSIS MAP NOTES:

WETLANDS:

- THERE ARE NO INLAND WETLANDS LOCATED ON THE SITE. THE WETLAND AREA TO THE NORTHEAST OF THE SITE IS LOCATED ON ADJACENT PROPERTY ACROSS THE STREET.
- WORK ASSOCIATED WITH THE CONSTRUCTION OF THE ROADWAY AS WELL AS LOT 2 WOULD REQUIRE AN NOI TO BE FILED WITH THE CONSERVATION COMMISSION AS THIS LOT IS WITHIN 100' OF THE NEIGHBORING WETLAND.
- ALL 3 LOTS AS WELL AS THE PROPOSED WAY LOT ARE LAND SUBJECT TO COASTAL STORM FLOWAGE, AND ARE WITHIN THE JURISDICTION OF THE CONSERVATION COMMISSION. THEREFORE WORK ASSOCIATED WITH THE CONSTRUCTION OF ALL LOTS WOULD REQUIRE AN NOI TO BE FILED.

AREAS OF SPECIAL FLOOD HAZARD:

- THE ENTIRE PROJECT SITE IS LOCATED IN ZONE AE WITH A BASE FLOOD DETERMINED TO BE ELEVATION 9

AREAS WITH SEVERE LIMITATIONS FOR ON-SITE SEWAGE SYSTEMS:

- THIS IS NOT APPLICABLE TO THE SITE. THE DWELLINGS WILL BE CONNECTING TO THE MUNICIPAL SEWER SYSTEM

AREAS WITH SEVERE LIMITATIONS TO SEASONAL HIGH WATER TABLE:

- BASED ON THE USDA ONLY SOIL SURVEY, THE ENTIRE SITE IS MAPPED AS >200 CM DEPTH TO SEASONAL HIGH WATER TABLE. BASED ON THIS MAP, THERE IS A MINIMUM OF 6.5' TO GROUNDWATER. BASED ON HISTORICAL KNOWLEDGE OF THE SITE, THIS VALUE IS LIKELY INCORRECT. THE GROUNDWATER LEVEL IS AT 4.5' BELOW GROUND BASED ON 1999 TEST PIT INFORMATION.

AREAS WHERE SPECIAL DRAINAGE, EROSION AND SEDIMENTATION MEASURES WILL BE UNDERTAKEN:

- REFER TO SHEET C-1 SHOWING WHERE EROSION CONTROLS ARE TO BE INSTALLED.

PREDOMINANT VEGETATIVE COVER TYPE:

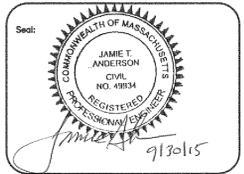
- GROUND NOT COVERED BY THE HOTEL CONSISTS OF MANICURED LAWN, THE AREA ADJACENT TO THE HARBOR CONSISTS OF NATURAL VEGETATION, AND WILL NOT BE ALTERED OR OTHERWISE AFFECTED BY THE PROPOSED SUBDIVISION.

PROTECTED AREAS:

- THE AREA ADJACENT TO THE HARBOR CONSISTS OF NATURAL VEGETATION, AND WILL NOT BE ALTERED OR OTHERWISE AFFECTED BY THE PROPOSED SUBDIVISION.

Location	50 EASTON STREET NANTUCKET, MA
Assessors ID:	MBLU 4241//23
Reduced Total Number of Proposed Lots	06/28/2015
Reduced Total Number of Proposed Lots	06/28/2015
Definitive Submission Plan Submission	10/31/2014
No.	
Revision	
Date	

Location
50 EASTON STREET
NANTUCKET, MA
Assessors ID:
MBLU 4241//23



Designed by: JJS
Drawn by: MCR
Checked by: JTA
Scale: 1"=20'
Date: 10/31/2014

Prepared for:
WHITE ELEPHANT HOTEL LLC
C/O NEW ENGLAND DEVELOPMENT
ONE WELLS AVENUE
NEWTON, MA 02459

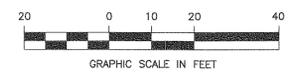
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STONEHAM, MA 02180
781-279-0180
FAX: 781-279-0173

Project Name:
DEFINITIVE PLAN FOR THE SUBDIVISION OF LAND
WHITE ELEPHANT HOTEL
PROPOSED WAY
NANTUCKET, MA

SITE ANALYSIS MAP

Drawing No.:
C-0
Project No.: 14011

OWNER OF RECORD: WHITE ELEPHANT HOTEL LLC (LCC 23726)
ENGINEER OF RECORD: R.J. O'CONNELL & ASSOCIATES, INC.
SURVEYOR OF RECORD: FELDMAN LAND SURVEYORS



VAUGHAN, DALE, HUNTER AND BEAUDETTE

PROFESSIONAL CORPORATION

ATTORNEYS AT LAW

WHALER'S LANE

P.O. BOX 659

NANTUCKET, MASSACHUSETTS 02554

TEL: (508) 228-4453

FAX: (508) 228-3070

EDWARD FOLEY VAUGHAN

KEVIN F. DALE

RICHARD P. BEAUDETTE

—
LORI D'ELLA

BRYAN J. SWAIN

WILLIAM F. HUNTER

OF COUNSEL

January 27, 2016

Leslie Woodson Snell
Deputy Director of Planning
Nantucket Planning Board
2 Fairgrounds Road
Nantucket, Massachusetts 02554

Re: Continuance of the White Elephant Hotel LLC,
50 Easton Street
Planning Board File# 7771
Nantucket, MA 02554

Dear Leslie:

As you are aware, I represent the White Elephant Hotel, LLC in the above referenced matter. It is scheduled to be heard at the next Planning Board Meeting. I would like to request a continuance of this matter until the March 14, 2016 public hearing. I appreciate your attention to this matter. If you have any questions please feel free to contact me.

Sincerely,



Richard P. Beaudette

RPB/BJs

Cc: White Elephant Hotel, LLC.

VAUGHAN, DALE, HUNTER AND BEAUDETTE

PROFESSIONAL CORPORATION

ATTORNEYS AT LAW

WHALER'S LANE

P.O. BOX 659

NANTUCKET, MASSACHUSETTS 02554

TEL: (508) 228-4455

FAX: (508) 228-3070

EDWARD FOLEY VAUGHAN

KEVIN F. DALE

RICHARD P. BEAUDETTE

—
LORI D'ELIA

BRYAN J. SWAIN

WILLIAM F. HUNTER

OF COUNSEL

May 3, 2016

Barry Rector, Chairman
Nantucket Planning Board
2 Fairgrounds Road
Nantucket, Massachusetts 02554

Re: White Elephant Hotel LLC,
50 Easton Street
Planning Board File# 7771
Nantucket, MA 02554

Dear Chairman Rector:

As you are aware, I represent the White Elephant Hotel, LLC in the above referenced matter. At the last Planning Board Meeting there was a discussion whether the applicant would agree to a condition restricting the Premises to Three (3) lots that could not be further subdivided without Planning Board relief. I have discussed this matter with my client and they have agreed to that condition. I appreciate your attention to this matter. I look forward to discussing this with you and the other Board members in person at the May 9, 2016 meeting. If you have any additional questions please feel free to contact me.

Sincerely,



Richard P. Beaudette

RPB/BJS

Cc: White Elephant Hotel, LLC.



#7917 Woodland Hill
Definitive Subdivision
4 North Mill Court, LLC
Map 55 Parcels 919 through 928



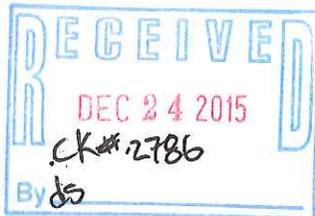
PB# 7917

TOWN CLERK

NANTUCKET

24AM10:14:46

DEC 24 2015



Nantucket Planning Board

Form B1

Application for Approval of a Definitive Subdivision Modification

File one completed form with the Planning Board and one copy with the Town Clerk.

Date: December 24, 2015 File #: 7661

To the Planning Board of Nantucket:

The undersigned, being the applicant as defined under Chapter 41, Section 81-L, for approval of a proposed subdivision *modification* shown on a plan entitled plan of land in Nantucket designed by Bracken Engineering, Inc dated March 10, 2014, and described as follows: located on 11 Mill Hill, Lot 7-20 Inclusive on Land Court Plan No. 1255-G

_____, number of lots proposed _____, total acreage of tract _____, hereby submits said plan as a **definitive plan modification** in accordance with the *Rules and Regulations Governing the Subdivision of Land* of the Nantucket Planning Board and makes application to the Board for approval of said modification.

The undersigned's title to said land is derived from Dorthy Harrison Egan Foundation by deed dated June 23, 2014 and recorded in the Nantucket Registry of Deeds Book _____, Page _____, registered in the Nantucket Registry District of the Land Court, Certificate of Title # 25308 and shown on Nantucket Assessor's Map # 55, Parcel 919-928, and said land is free of encumbrances except for the following: _____

Said plan has has not evolved from a preliminary plan submitted to the Board on _____ (date) and approved disapproved on May 12, 2014 (date).

The undersigned hereby applies for the approval of said **definitive plan modification** by the Board, in belief that the plan conforms to the Board's *Rules and Regulations*.

To further amend Paragraph 12 of the Decision to allow minor encroachment into the 10' buffer on Lot 15 Land Court Plan No. 12559-G

Name(s) and address(es) of the Applicant(s):
(to include all the names and addresses of the principals of the owner entity such as principal officers of the corporation, trustees

Nantucket Planning and Land Use Services ▪ 2 Fairgrounds Road ▪ Nantucket ▪ MA ▪ 02554 ▪ (508) 325-7587

Planning Board, Form B, page 2
of a trust or partners of a partnership)

4 North Mill Court LLC

Contact Phone #: 508-228-0337 Contact Fax #: 508-228-0970

Name of owner(s): 4 North Mill Court LLC

Address of owner(s): c/o Cohen & Cohen, PO Box 786, Nantucket, MA 02554

I hereby certify that the applicant(s) listed above have been authorized by me to file a subdivision plan modification with the Planning Board on property that I own.

4 North Mill Court, LLC
By [Signature] esq.
Owner's signature

Received by Town Clerk:

Date: _____

Time: _____

Received by Board of Health:

Date: _____

Time: _____

Planning Board File #: 7917



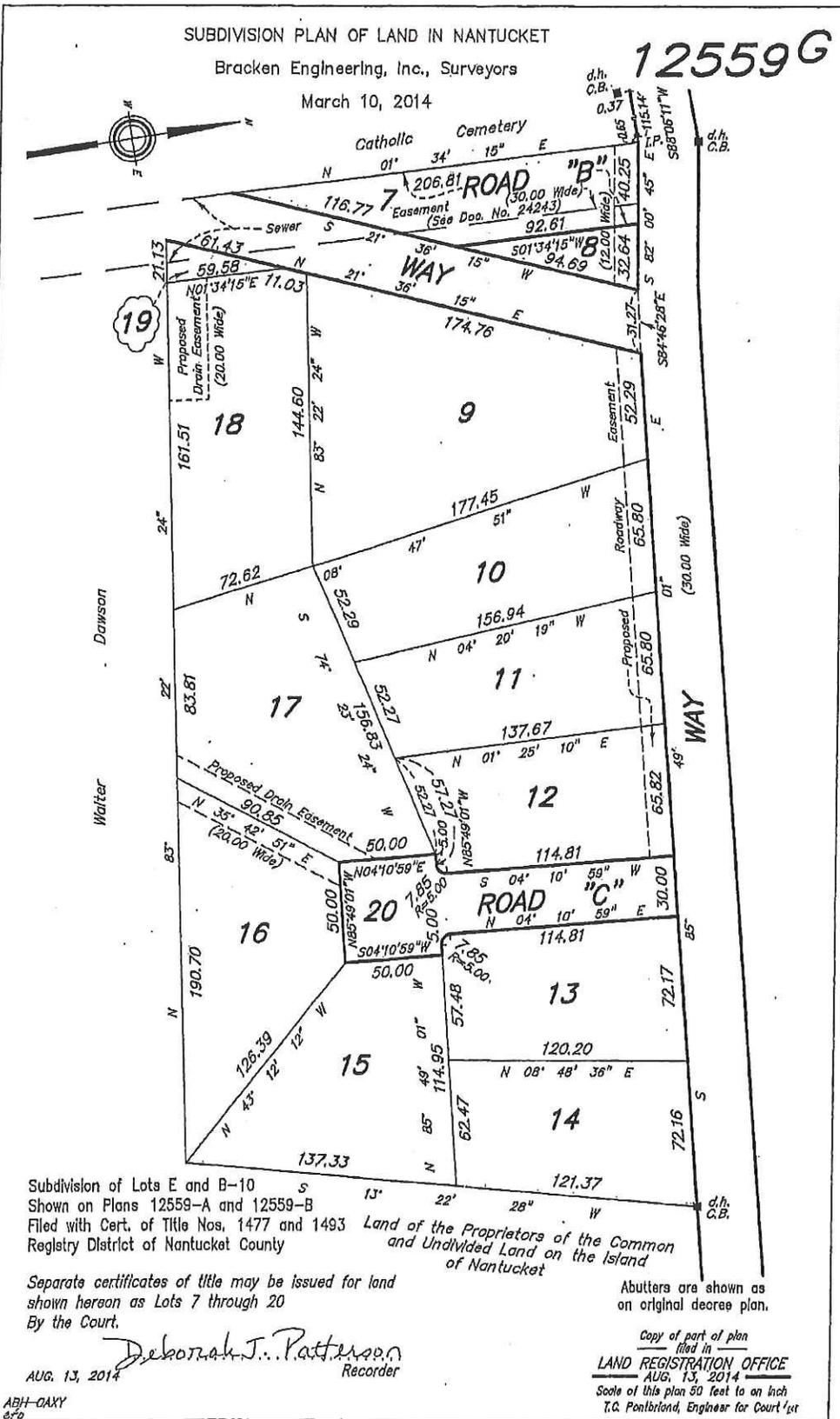
SUBDIVISION PLAN OF LAND IN NANTUCKET

Bracken Engineering, Inc., Surveyors

March 10, 2014

12559G

THIS PLAN FILED WITH CERTIFICATE NO. 25778



Subdivision of Lots E and B-10
 Shown on Plans 12559-A and 12559-B
 Filed with Cert. of Title Nos. 1477 and 1493
 Registry District of Nantucket County

Land of the Proprietors of the Common
 and Undivided Land on the Island
 of Nantucket

Separate certificates of title may be issued for land
 shown hereon as Lots 7 through 20
 By the Court.

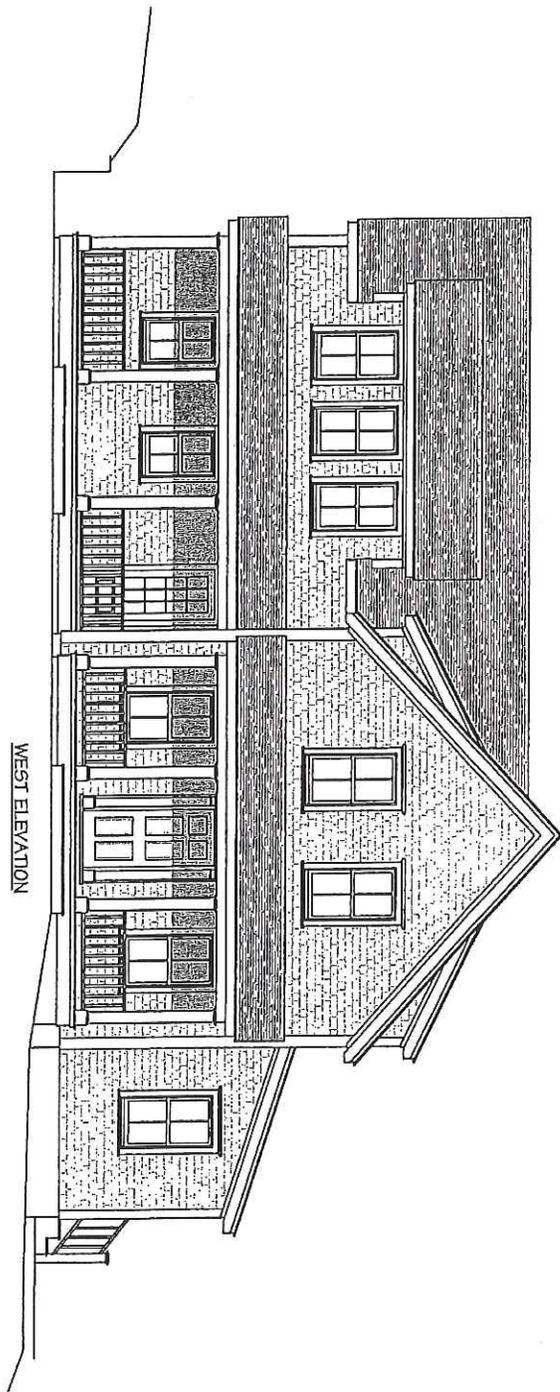
Deborah J. Patterson
 Recorder

AUG. 13, 2014

ABH-CAXY
 872

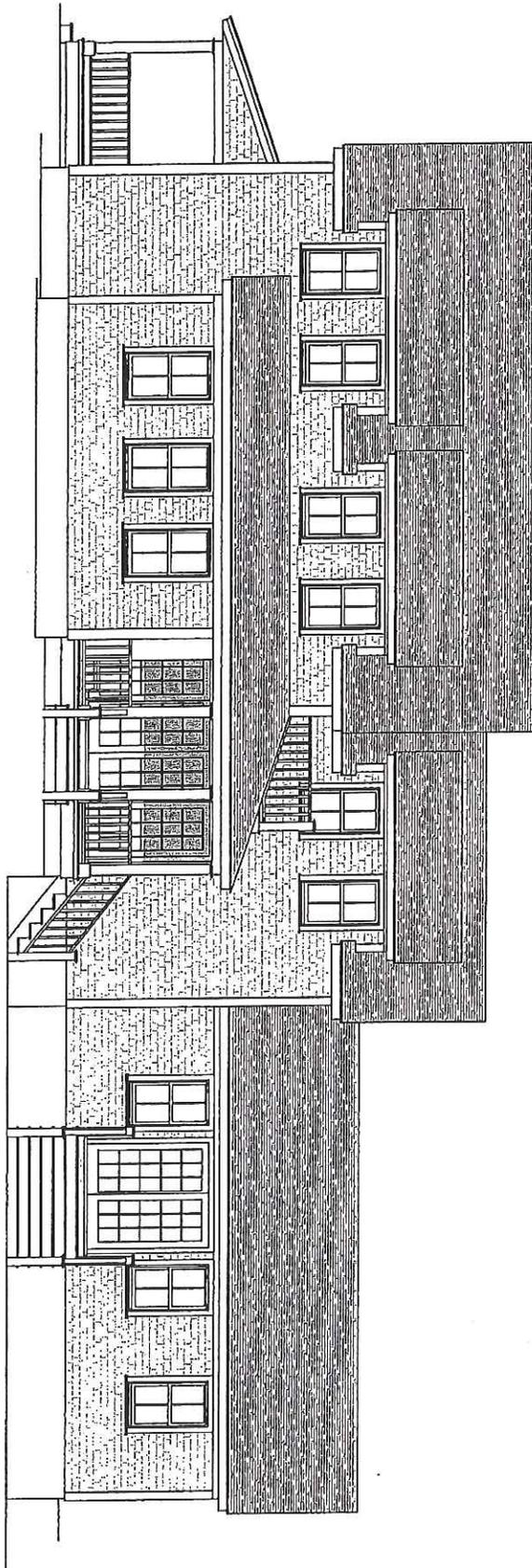
Abutters are shown as
 on original decree plan.

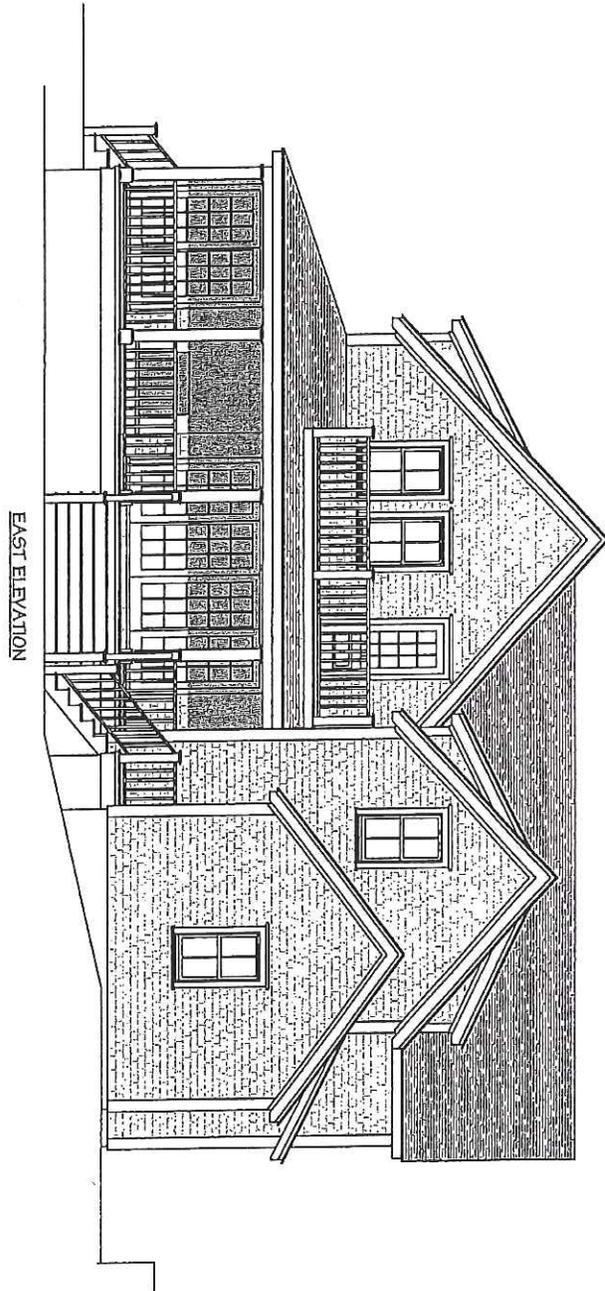
Copy of part of plan
 filed in
LAND REGISTRATION OFFICE
 AUG. 13, 2014
 Scale of this plan 50 feet to an inch
 T.G. Pontbriand, Engineer for Court



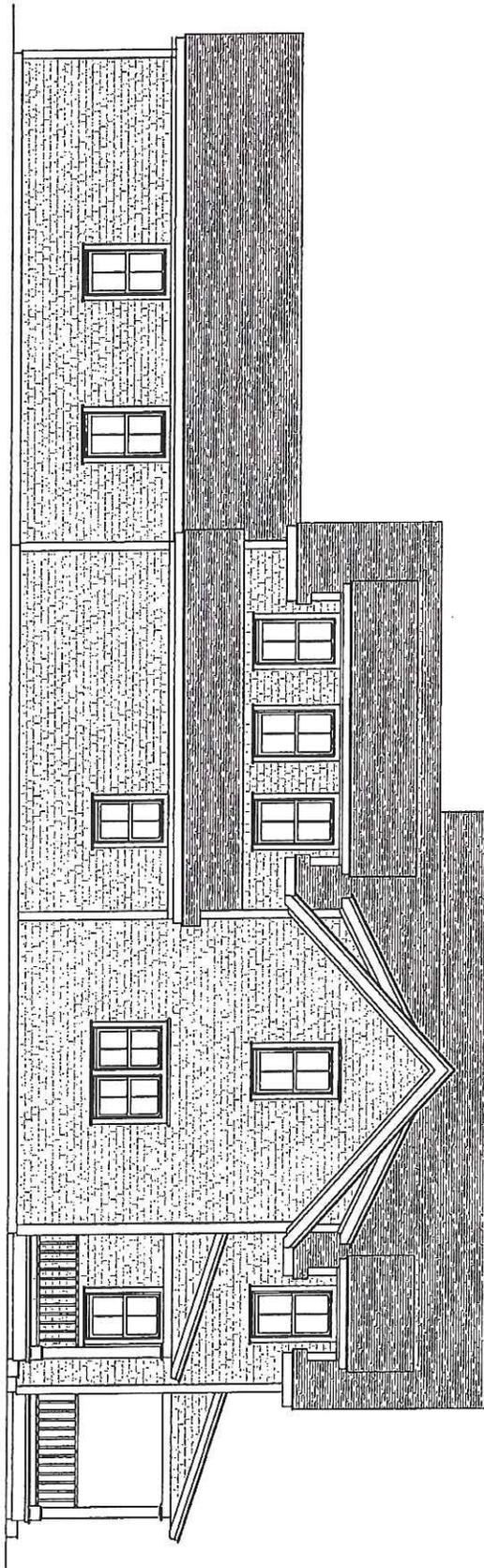
WEST ELEVATION

SOUTH ELEVATION

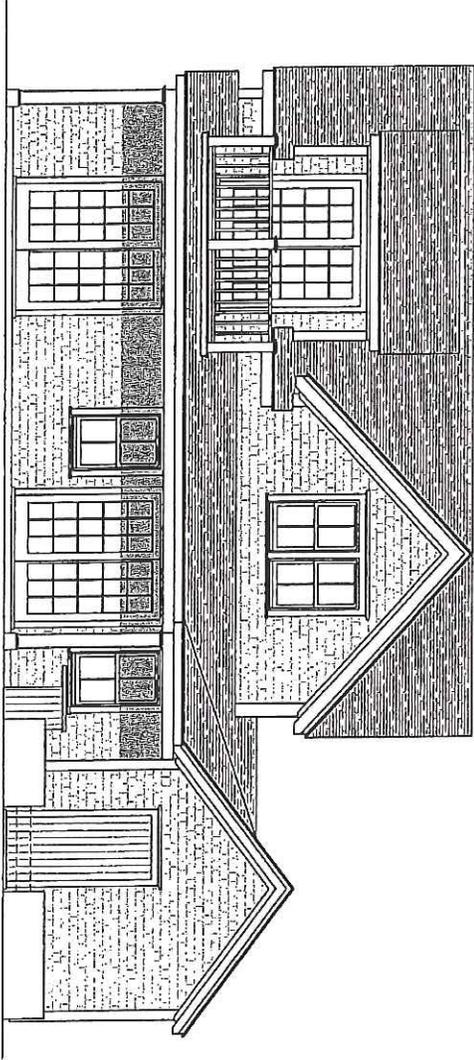




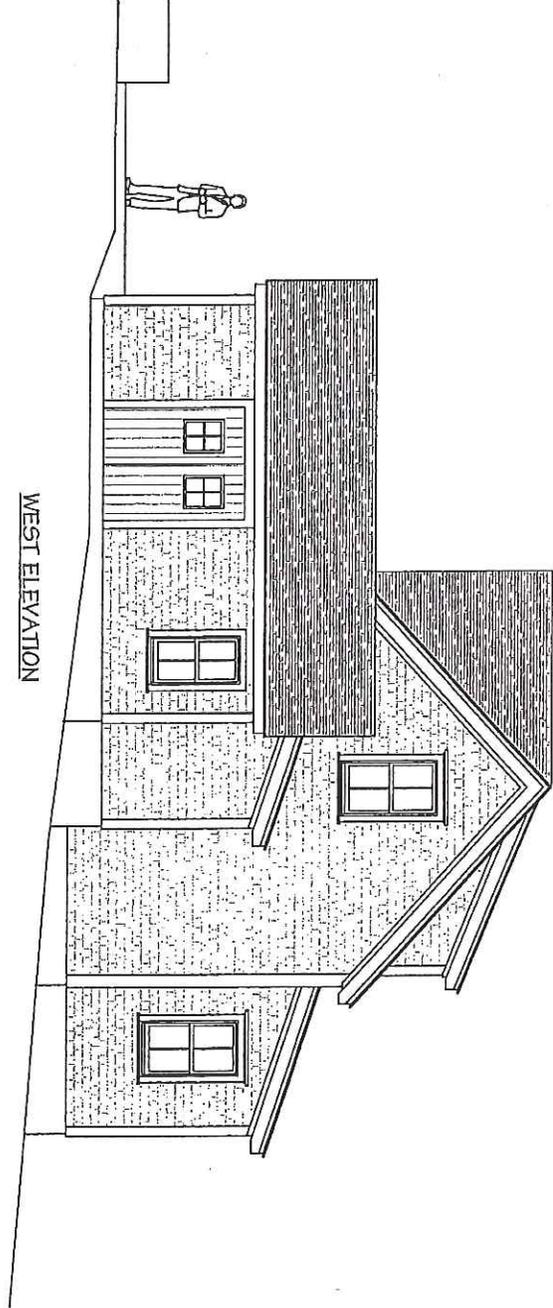
NORTH ELEVATION



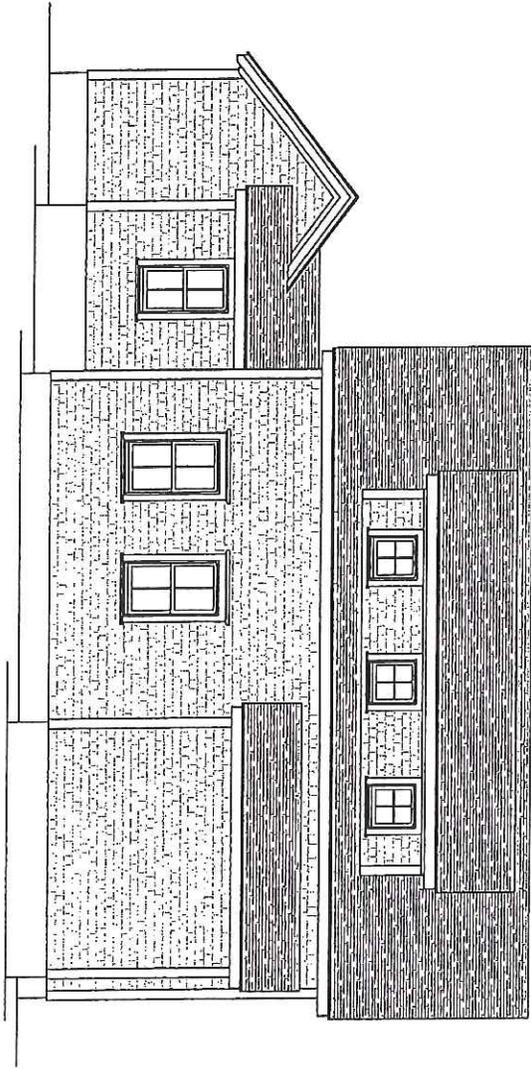
NORTH ELEVATION



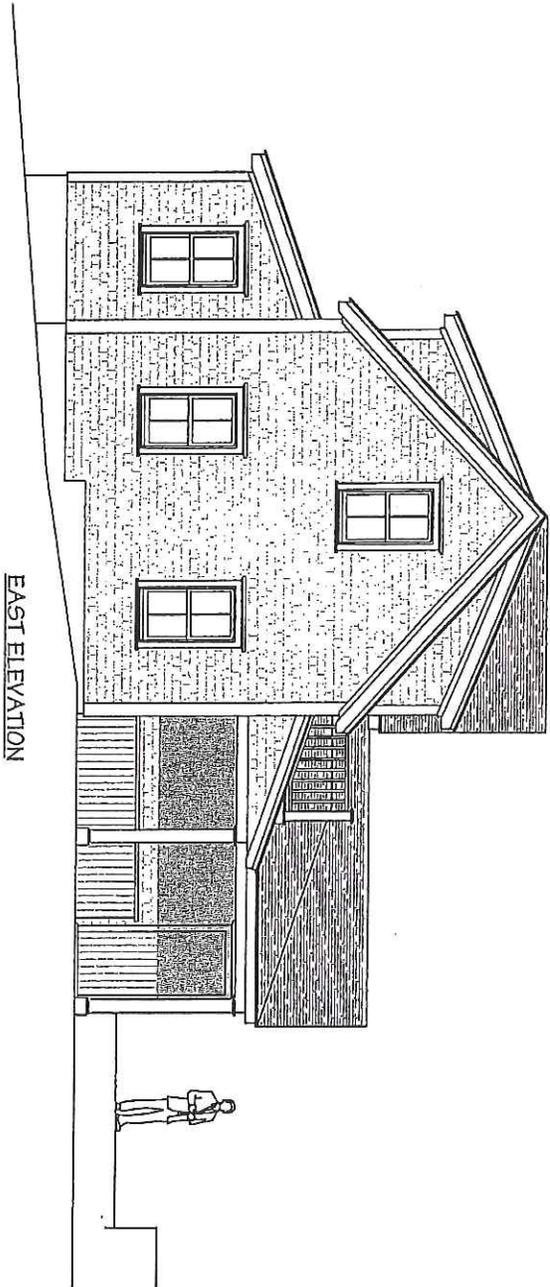
WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION



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By



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DEC 24 2015
By



Nantucket Planning Board

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2015 JUN 23 PM 3:49
NANTUCKET TOWN OFFICE

APPROVAL OF A DEFINITIVE SUBDIVISION PLAN (AR)

Woodland Hill Subdivision
Planning Board File #7661

Current Owner & Applicant: GG Development, LLC

Prior Owner: Dorothy Harrison Egan Foundation

Property located off of an Unnamed Way off of Mill Hill

Registered in the Nantucket Registry District of the Land Court, Certificate of Title #19810 and #22778 25308

Parcels 314, 316, 317, 318 shown on Nantucket Tax Assessors Map 55
Parcel 26 shown on Nantucket Tax Assessors Map 55.4.4

May 12, 2014

TECHNICAL CORRECTIONS

(to reflect renumbering of lots and transfer of ownership)

June 23, 2015

The applicant is proposing an Approval Required (AR) subdivision on a 2.8 acre parcel with frontage on an unnamed way in the vicinity of Hummock Pond Road and Mill Hill Lane. There are a total of ten (10) buildable lots in the subdivision, all of which meet or exceed the minimum lot size, frontage, and upland requirements. In addition, Lot 29 (buildable) and Lots 48 and 15, now known as the "Way" (unbuildable) are anticipated to be combined and reconfigured in the future to result in a total of three (3) buildable lots, shown as Future Lot A, B, and C on sheet 5 of the plans. A maximum of twelve (12) buildable total lots may result from the proposal.

Three (3) roadways will provide access and frontage to the lots within the subdivision. Roadway A is an existing unnamed road that will provide the primary access from Hummock Pond Road to the proposed Roadway C, Roadway B will connect to the proposed 1950's Cato Lane roadway layout that was never established as a public way, and Roadway C is a dead-end street within the subdivision. The specific proposal for each of these roads is as follows:

- Roadway A will be paved to a width of eighteen (18) feet between Hummock Pond Road and Roadway B, and between Roadway C and the terminus of the paved portion of the roadway as shown on the proposed plans. Between Roadway B and Roadway C, the pavement width will be increased twenty-seven (27) feet to accommodate on-street parking spaces of nine (9) feet in width. Six (6) inch vertical granite curbing will be installed along the edge of the roadway and associated parking spaces. Roadway A will provide driveway access to two (2) lots within the subdivision;

- Roadway B will be paved to a width of eighteen (18) feet and will terminate in a “Turning L” configuration. Cape Cod berms will be installed along the edge of the roadway. Roadway C will provide driveway access to a maximum of four (4) lots within the subdivision;
- Roadway C will be paved to a width of eighteen (18) feet and will terminate in a “Turning T” configuration. Cape Cod berms will be installed along the edge of the roadway. Roadway C will provide driveway access to five (5) lots within the subdivision.

Stormwater runoff from the proposed roadway construction will be collected by deep sump catch basins, which will discharge to subsurface infiltration systems designed to contain and infiltrate up to the twenty-five (25) year storm event. All lots within the proposed subdivision will be serviced by municipal water and sewer.

The Nantucket Planning Board at its May 12, 2014 meeting voted 5-0 to close the public hearing and voted 5-0 to **APPROVE** the Definitive Subdivision Plan (AR) for the subject property. The application for approval of this definitive subdivision plan was received by the Planning Board on March 11, 2014 and approval of the subdivision was based on the following documents:

- A letter from Bracken Engineering, Inc. dated March 10, 2014. This letter includes the requests for waivers from the “Rules and Regulations Governing the Subdivision of Land”;
- Plans entitled “Definitive Subdivision Plan Set of “Woodland Hill” in Nantucket, Massachusetts”, sheets 1 through 11, prepared by Bracken Engineering, Inc., dated March 10, 2014;
- A document entitled “Supplemental Information” prepared by Bracken Engineering Inc., dated March 10, 2014;
- Engineering review reports from Pesce Engineering & Associates, Inc., engineering consultants for the Planning Board, dated April 11, 2014;
- A 2013 Preliminary Plan approval issued by the Planning Board;
- Representation and testimony received in connection with the public hearings held April 16, 2014 and May 12, 2014. Minutes of these meetings are on file with the Planning Board; and
- Other assorted documents (including correspondence from various Town departments) that are on file with the Planning Board.

Approval of the subdivision is granted conditionally upon the aforementioned documents, compliance with the Planning Board’s *Rules and Regulations Governing the Subdivision of Land* (as amended through December 20, 1999), and on the following additional requirements and agreements:

1. That the applicant be granted the following waivers from the *Rules and Regulations Governing the Subdivision of Land*:

4.03a(1)	Streets	Waiver Granted – the finished roadway width of eighteen (18) feet for the travel lanes is appropriate for the scale of this subdivision;
4.03(e)	Streets	Waiver Granted – the existing width of the roadway layout for Roadway A is thirty (30) feet. This roadway is shown on a 1928 Land Court Plan. The proposal includes an additional twelve (12) foot easement for a total of forty (42) feet to be dedicated to roadway purposes. Roadway C will have a layout of thirty (30) feet total. This is an interior roadway and additional width is not required for infrastructure improvements.
4.09	Shoulders	<p>Waiver Granted – to reduce the width of the shoulder along the north side of Roadway A from four (4) feet to one (1) foot. This waiver is appropriate based on the roadway construction including vertical curbing. No pedestrian infrastructure will be affected.</p> <p>Waiver Granted – to reduce the width of the shoulder along both sides of Roadway B and Roadway C from four (4) feet to two (2) feet. This waiver is appropriate based on the number of lots served by these dead-end roadways and the lack of affect on any pedestrian infrastructure.</p>

- 4.18 Sidewalks
Waiver Granted – the applicant has agreed to construct a bike path connection between the terminus of Roadway A and Mill Hill Lane. Sidewalks for the proposed roadways are unnecessary due to the scale and location of this subdivision. The bike path connection will positively impact the ability to access the existing pedestrian network in proximity to this subdivision;
- 4.19 Bicycle Paths
Waiver Granted – the applicant has agreed to construct a bike path connection between the terminus of Roadway A and Mill Hill Lane. The bike path connection will positively impact the ability to access the existing pedestrian network in proximity to this subdivision, and will provide a much needed connection between Prospect Street and Hummock Pond and Madaket Roads;
- 4.20 Street Lights
Waiver Granted – street lighting in this located would be inconsistent with the semi-rural landscape of the surrounding open space.

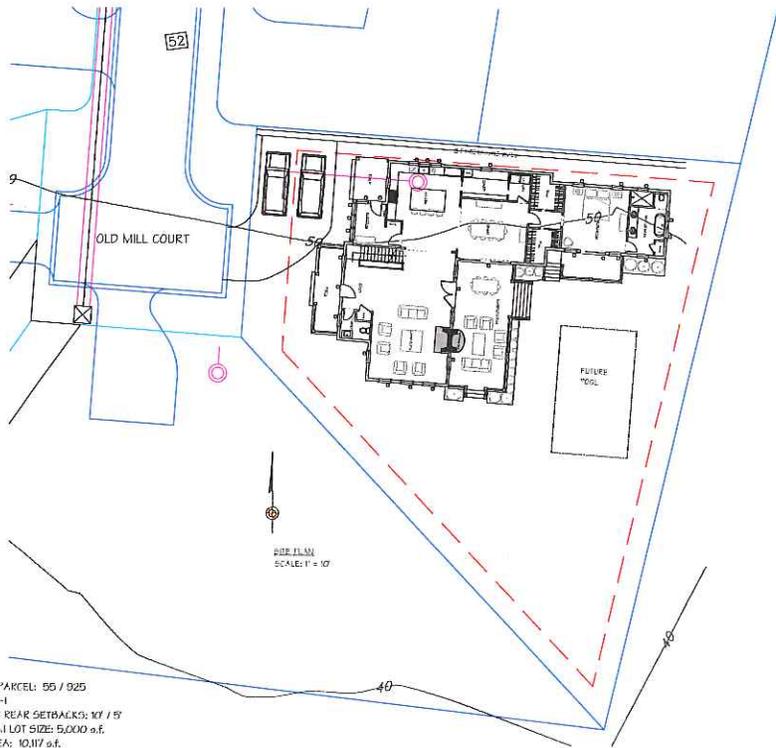
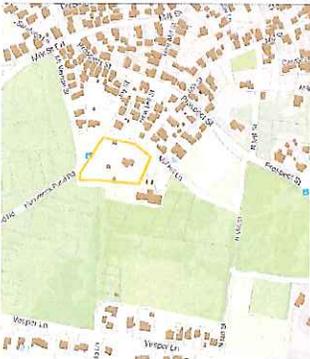
2. That the interior roadway and associated infrastructure improvements shall not commence until the definitive plans have been endorsed by the Planning Board. The definitive plans shall be presented to the Planning Board within six (6) months of the date of this decision (November 12, 2014) and shall incorporate any changes required by Pesce Engineering & Associates;
3. That recorded copies of all legal documents (Homeowners Association documents, Statement of Conditions, Grant of Right of Enforcement, Declaration of Restrictions and Easements for Access, Driveways, Utilities, and Drainage, and Covenant) shall be presented to the Planning Board prior to the release of any lot from the Covenant or within six (6) months from the date of this decision (November 12, 2014);
4. That a Homeowners Association be established by the applicant, along with a Road Maintenance Endowment Fund for the maintenance of all required improvements to the interior roadway including the drainage structures, grading, utilities, etc.. The Association shall be initially endowed at \$1000 per buildable lot (\$10,000.00 total). This fund shall be administered by the Homeowners Association with the Planning Board named as a third party enforcing agent. Proof of this endowment shall be provided prior to the release of any lot from the covenant;
5. That the roadway layout for the interior roadway be transferred to the Homeowners Association. Evidence of the conveyance shall be presented to the Planning Board prior to the release of any lot from the covenant;
6. That the following easements shall be granted to the Town/County of Nantucket upon installation of the binder course of pavement, and prior to the release of any lots thereafter:
 - a. Bicycle and pedestrian access shall be granted within Roadway A, within the land east of the terminus of Roadway A at Roadway C to Mill Hill Lane, and Roadway B. Applicant has agreed to prepared the plan showing these easements;
 - b. Vehicular access shall be granted within Roadway A between Hummock Pond Road and a line extending the eastern sideline of Roadway B, and through Roadway B. Applicant has agreed to prepared the plan showing these easements;
 - c. Vehicular access shall be granted from the southern sideline of Roadway A to the property line separating the land within this subdivision from land owned by the Town of Nantucket. Applicant has agreed to prepared the plan showing these easements;
 - d. Water and sewer easements within Roadway A, B, and C and within the land east of the terminus of Roadway A at Roadway C to Mill Hill Lane. Applicant has agreed to prepared the plan showing these easements;
 - e. To the extent necessary, an easement shall also be granted for the existing sewer in Lots 12 and 15 the "Way" as shown on the plans referenced in this decision. Applicant has agreed to prepared the plan showing these easements;
7. That the applicant has agreed to offer as a gift to the Town the construction of the turn-around at the terminus of Roadway B and within land owned by the Town of Nantucket as shown on the plans referenced in this decision. This gift shall be offered prior to the construction of the turn-around and shall be completed prior to the release of the final lot from the covenant;

8. That all lots within the subdivision be restricted to no further division, with the exception of Lot 2 9. Minor lot line adjustments shall be permitted through the submission of an Approval Not Required (ANR) plan, however, no additional building lots shall be created;
9. That five (5) lots shall be restricted to a single dwelling unit. Studios, garages, sheds, outbuildings, or other accessory structures that do not contain dwelling units shall be permitted;
10. That access to Lots 5, 6, and 7 12, 13, and 14 shall be prohibited from Roadway A. Lots 5 and 6 shall be accessed from Roadway C and Lot 7 shall be accessed from Mill Hill Lane;
11. That access to Lots 15, 14, and 2 the "Way", Lots 8 and 9 (which are anticipated to be combined and reconfigured to create future Lots A, B, and C) shall be prohibited from Roadway A;
12. That a ten (10) foot wide, densely vegetated buffer including a mixture of coniferous and deciduous plant material, shall be established and permanently maintained along the southern and eastern limits of the subdivision, specifically affecting Lots 1, 7, 8, 9, and 10 18, 14, 15, 16, and 17, but excluding the drainage easement area within Lots 1, 9, and 10 18, 16, and 17. This restriction shall be included in future deeds and included within the legal documents, with enforcement granted to the Town of Nantucket. On an as-needed basis, plantings shall be replaced within a year of their removal/deterioration/demise;
13. That one (1) lot shall be released upon endorsement of the definitive plans. Other lots shall be released as infrastructure improvements are completed. At anytime, the applicant shall have the right to obtain release(s) of the lots from the covenant in return for a deposit of money or negotiable securities with the Planning Board sufficient, in the opinion of the Board, to secure performance of the construction of ways and the installation of municipal services required for lots in the subdivision shown on the plan as set forth in the covenant, and the Planning Board may require that the applicant specify the time within which such construction shall be completed, all in accordance with Section 20.6f(2) of Rules & Regulations Governing the Subdivision of Land, Nantucket Island, Massachusetts, as amended;
14. That a dense gravel tracking pad shall be installed at the entrance to the site from Hummock Pond Road during the construction period to remove construction debris from the tires of construction vehicles, as shown on the plans;
15. That all utilities shall be installed underground in accordance with the requirements of the respective utility;
16. That all required infrastructure improvements be completed within two (2) years from the date of definitive plan endorsement;
17. That the Planning Board may grant extensions of deadlines stated herein without holding a public hearing;
18. The failure or refusal of any Town board, commission, agency, or department, including, but not limited to the Nantucket Board of Selectmen, Nantucket Islands Land Bank, and the Wannacomet Water Department to accept any easement, gift, contribution, improvement, or the like, shall not affect the intent or findings of this decision, the applicant's ability to proceed under the other provisions of this decision, or the special permits and waivers granted in this decision.

SIGNATURE PAGE TO FOLLOW

RECEIVED
 MAR 03 2016
 By _____

THE BRODERICK RESIDENCE
 4 OLD MILL COURT
 NANTUCKET, MA 02554



MAP & PARCEL: 55 / 925
 ZONE: R-1
 FRONT / REAR SETBACKS: 17 / 5'
 MINIMUM LOT SIZE: 5,000 s.f.
 LOT AREA: 10,117 s.f.
 GROUND COVER RATIO: 30 %
 PROPOSED NEW GROUND COVER: 2,311 s.f.
 TOTAL GROUND COVER: 2,311 s.f.
 ALLOWABLE GROUND COVER: 3,035 s.f.

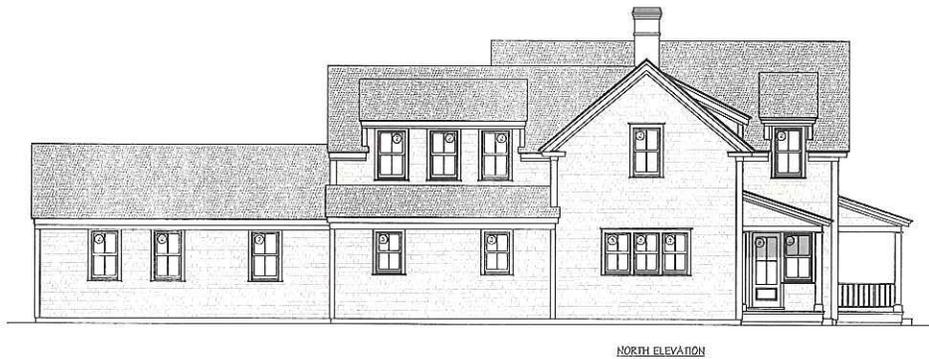
THE BRODERICK RESIDENCE
 4 Old Mill Court
 Nantucket, MA

PLANNING & ACCOUNTS
 15 COMMERCIAL WHARF
 NANTUCKET, MASSACHUSETTS
 02552-2044

DATE: 03/03/2016
 09:15:30 AM
 SCALE: AS NOTED

BY: [Signature]

Item	Description	Quantity	Unit	Notes
1	2x4 Stud	100	Linear Feet	
2	2x6 Stud	50	Linear Feet	
3	2x8 Stud	20	Linear Feet	
4	2x10 Stud	10	Linear Feet	
5	2x12 Stud	5	Linear Feet	
6	2x14 Stud	2	Linear Feet	
7	2x16 Stud	1	Linear Feet	
8	2x18 Stud	1	Linear Feet	
9	2x20 Stud	1	Linear Feet	
10	2x22 Stud	1	Linear Feet	
11	2x24 Stud	1	Linear Feet	
12	2x26 Stud	1	Linear Feet	
13	2x28 Stud	1	Linear Feet	
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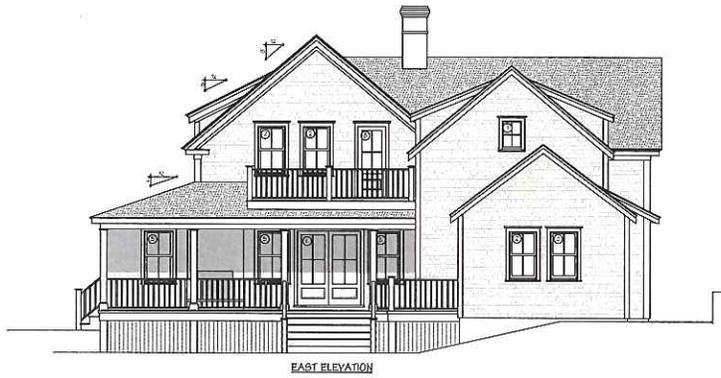
TRICOR FINANCIAL SERVICES
 IS CONFIDENTIAL UNDER
 FINANCIAL PRIVACY ACT

PERSONS

REVISION
 SCALE: 1/4" = 1'-0"

THE PROSODICK RESIDENCE
 4 ONE MILL COURT
 NANTUCKET, MA

2



PELTON ROWLAND ASSOCIATES
 15 CORTICAL STREET
 HARTFORD, CONNECTICUT
 06103-2044

RESIDENCE

REV 004P
 04/2008
 SCALE 3/4" = 1'-0"

THE RESIDENCE
 4 Old Mill Court
 Mansfield, MA

3



Nantucket Planning Board

RECEIVED
2015 JUN 23 PM 3 49
NANTUCKET TOWN CLERK

MEMORANDUM

Date: June 23, 2015

To: Town Clerk

From: Eleanor Weller Antonietti, Zoning Administrator

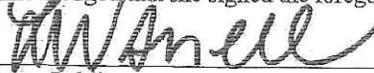
Re: Planning Board File #7661 – TECHNICAL CORRECTION

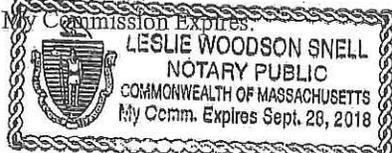
The above referenced Planning Board Decision regarding APPROVAL OF THE DEFINITIVE WOODLAND HILL SUBDIVISION, filed with the Town Clerk on June 3, 2014 requires a modification to reflect a recent re-numbering of the subject lots. A corrected decision is filed herewith. This minor modification will neither effect the content of the decision nor the completed appeal period.


 Eleanor W. Antonietti,
 Zoning Administrator

COMMONWEALTH OF MASSACHUSETTS

Nantucket, ss
 On the 23 day of June, 2015, before me, the undersigned notary public, personally appeared Eleanor Antonietti, the above-named Zoning Administrator of Nantucket, Massachusetts, personally known to me to be the person whose name is signed on the preceding document, and acknowledged that she signed the foregoing instrument voluntarily for the purposes therein expressed.


 Notary Public:



Town and County of Nantucket
Board of Selectmen • County Commissioners

Robert R. DeCosta, Chairman
Rick Atherton
Matt Fee
Tobias Glidden
Dawn E. Hill Holdgate



16 Broad Street
Nantucket, Massachusetts 02554

Telephone (508) 228-7255
Facsimile (508) 228-7272
www.nantucket-ma.gov

C. Elizabeth Gibson
Town & County Manager

July 2, 2015

Rick Beaudette, Esq.
Vaughan, Dale, Hunter and Beaudette
PO Box 659
Nantucket, MA 02554

Dear Rick:

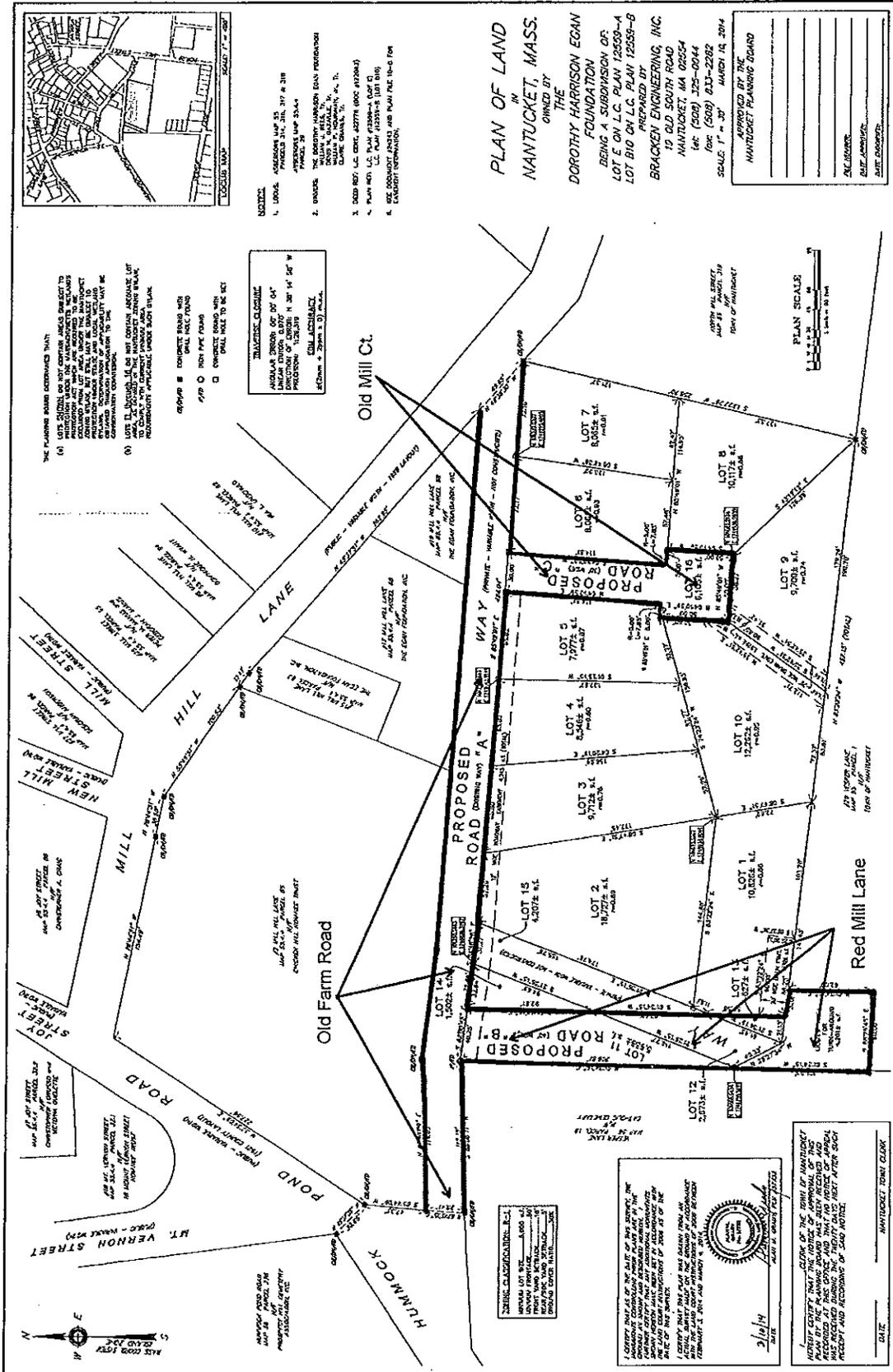
At its June 17, 2015 meeting, the Board of Selectmen voted to approve the request of GG Development, LLC to name the roads in the Woodland Hill Subdivision "Old Farm Road," "Red Mill Lane" and "Old Mill Court", as identified on the attached plan.

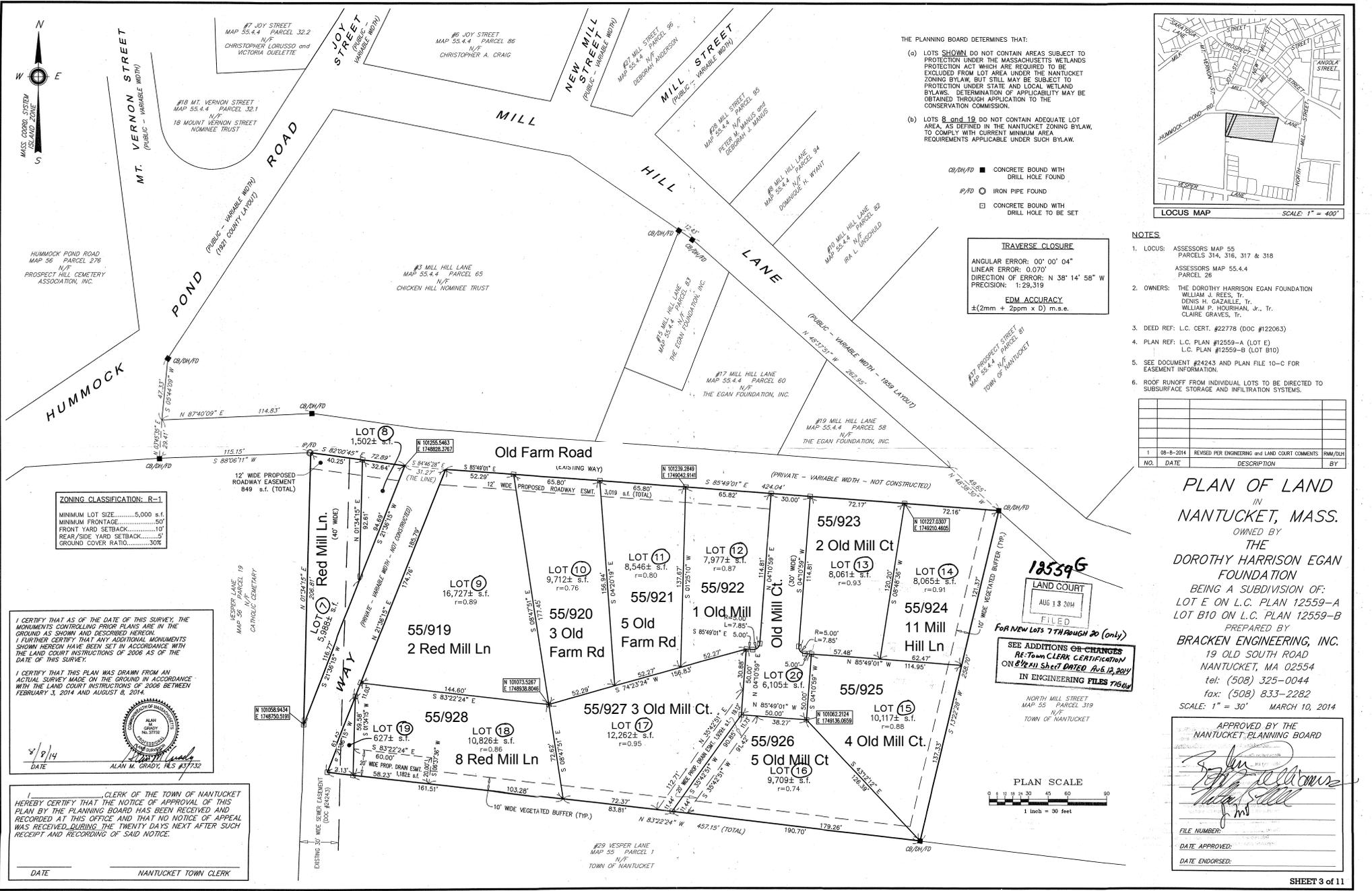
Sincerely,

A handwritten signature in blue ink, appearing to read "Erika", is written over the word "Sincerely,".

Erika D. Mooney
Project Administrator

Cc: Assessor
Police Department
Leslie Snell, PLUS
Fire Department
DPW
GIS





THE PLANNING BOARD DETERMINES THAT:

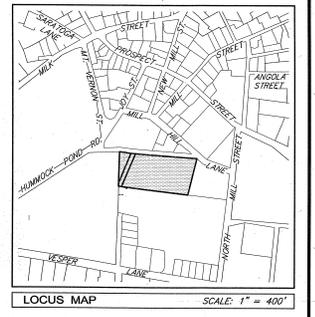
(a) LOTS SHOWN DO NOT CONTAIN AREAS SUBJECT TO PROTECTION UNDER THE MASSACHUSETTS WETLANDS PROTECTION ACT WHICH ARE REQUIRED TO BE EXCLUDED FROM LOT AREA UNDER THE NANTUCKET ZONING BYLAW, BUT STILL MAY BE SUBJECT TO PROTECTION UNDER STATE AND LOCAL WETLAND BYLAWS. DETERMINATION OF APPLICABILITY MAY BE OBTAINED THROUGH APPLICATION TO THE CONSERVATION COMMISSION.

(b) LOTS 8 and 19 DO NOT CONTAIN ADEQUATE LOT AREA, AS DEFINED IN THE NANTUCKET ZONING BYLAW, TO COMPLY WITH CURRENT MINIMUM AREA REQUIREMENTS APPLICABLE UNDER SUCH BYLAW.

- CB/DH/FO ■ CONCRETE BOUND WITH DRILL HOLE FOUND
- IP/FO ○ IRON PIPE FOUND
- CONCRETE BOUND WITH DRILL HOLE TO BE SET

TRAVERSE CLOSURE
 ANGULAR ERROR: 00° 00' 04"
 LINEAR ERROR: 0.070'
 DIRECTION OF ERROR: N 38° 14' 58" W
 PRECISION: 1:28,319

EDM ACCURACY
 ±(2mm + 2ppm x D) m.a.e.



- NOTES**
- LOCUS: ASSESSORS MAP 55 PARCELS 314, 316, 317 & 318 ASSESSORS MAP 55.4.4 PARCEL 28
 - OWNERS: THE DOROTHY HARRISON EGAN FOUNDATION WILLIAM J. REES, Tr. DENIS H. GAZAILE, Tr. WILLIAM P. HOURIHAN, Jr., Tr. CLAIRE GRAVES, Tr.
 - DEED REF: L.C. CERT. #22778 (DOC #122063)
 - PLAN REF: L.C. PLAN #12559-A (LOT C) L.C. PLAN #12559-B (LOT B10)
 - SEE DOCUMENT #24243 AND PLAN FILE 10-C FOR EASEMENT INFORMATION.
 - ROOF RUNOFF FROM INDIVIDUAL LOTS TO BE DIRECTED TO SUBSURFACE STORAGE AND INFILTRATION SYSTEMS.

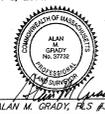
NO.	DATE	DESCRIPTION	BY
1	08-8-2014	REVISED PER ENGINEERING and LAND COURT COMMENTS	RMW/DJH

ZONING CLASSIFICATION: R-1

MINIMUM LOT SIZE.....5,000 s.f.
 MINIMUM FRONTAGE.....50'
 FRONT YARD SETBACK.....10'
 REAR/SIDE YARD SETBACK.....5'
 GROUND COVER RATIO.....30%

I CERTIFY THAT AS OF THE DATE OF THIS SURVEY, THE MONUMENTS CONTROLLING PRIOR PLANS ARE IN THE GROUND AS SHOWN AND DESCRIBED HEREON.
 I FURTHER CERTIFY THAT ANY ADDITIONAL MONUMENTS SHOWN HEREON HAVE BEEN SET IN ACCORDANCE WITH THE LAND COURT INSTRUCTIONS OF 2006 AS OF THE DATE OF THIS SURVEY.

I CERTIFY THAT THIS PLAN WAS DRAWN FROM AN ACTUAL SURVEY MADE ON THE GROUND IN ACCORDANCE WITH THE LAND COURT INSTRUCTIONS OF 2006 BETWEEN FEBRUARY 3, 2014 AND AUGUST 8, 2014.



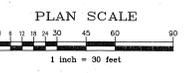
DATE: 8/14
 ALAN M. GRADY, PLS #37132

I, _____, CLERK OF THE TOWN OF NANTUCKET HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND THAT NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

DATE: _____ NANTUCKET TOWN CLERK

125396
 LAND COURT
 AUG 13 2014
 FILED
 FOR NEW LOTS 7 THRU 20 (only)
 SEE ADDITIONS OR CHANGES
 RE: TOWN CLERK CERTIFICATION
 ON 8/22/14 SHEET DATED AUG 13, 2014
 IN ENGINEERING FILES 7164

NORTH MILL STREET MAP 55 PARCEL 319 N/A TOWN OF NANTUCKET



PLAN OF LAND
 IN
NANTUCKET, MASS.
 OWNED BY
 THE
DOROTHY HARRISON EGAN FOUNDATION
 BEING A SUBDIVISION OF:
 LOT E ON L.C. PLAN 12559-A
 LOT B10 ON L.C. PLAN 12559-B
 PREPARED BY
BRACKEN ENGINEERING, INC.
 19 OLD SOUTH ROAD
 NANTUCKET, MA 02554
 tel: (508) 325-0044
 fax: (508) 833-2282
 SCALE: 1" = 30' MARCH 10, 2014

APPROVED BY THE NANTUCKET PLANNING BOARD

[Signature]
 FILE NUMBER: _____
 DATE APPROVED: _____
 DATE ENDORSED: _____

East looking towards Mill Hill Park



Southeast Corner of lot next to Mill Hill Park



View from Lot 15 to Mill Hill Park



Vegetation on adjacent Mill Hill Park



East property line of Lot 15



View from cul-de-sac towards Southeast corner of lot



Holly Backus

From: Holly Backus
Sent: Monday, February 29, 2016 8:35 AM
To: 'Ira Unschuld'
Cc: Catherine Ancero; Eleanor Antonietti; Leslie Snell; Andrew Vorce
Subject: RE: Planning Board #7917 on March 3rd
Attachments: #7917 FINAL for packet.pdf

Good Morning Ira,

Please find the attached application that will be in front of the Planning Board this Thursday, March 3rd.

The applicant is seeking a modification to a previously approved definitive subdivision plan called Woodland Hill Subdivision. Specifically, the applicant is requesting an encroachment into the required ten (10') foot buffer on Lot 15 (Map 55 Parcel 925, 4 Old Mill Court.)

Please let me know if you have any questions or if I can be of further assistance.
Take care,

Holly E. Backus
Land Use Specialist

Town of Nantucket
Planning & Land Use Services
2 Fairgrounds Road
Nantucket, MA 02554

Tel: 508-325-7587 X 7026
Fax: 508-228-7298
hbackus@nantucket-ma.gov
<http://www.nantucket-ma.gov>

-----Original Message-----

From: Ira Unschuld [<mailto:Ira@brantpointfund.com>]
Sent: Saturday, February 27, 2016 11:15 AM
To: Holly Backus
Subject: Planning Board #7917 on March 3rd

Dear Sir or Madam,

I am the owner of 10 Mill Hill Lane. I received a certified letter regarding a meeting on Thursday to consider an application to modify the Woodland Hill Subdivision plan. I am unclear how if at all this will affect my home, and as I live in New York, can't really come by just to inspect the file. Is it possible to speak to someone regarding this, or to get the information emailed to me?

Thanks so much for your help.

Sincerely,

Ira Unschuld

Holly Backus

From: Holly Backus
Sent: Monday, February 29, 2016 9:25 AM
To: 'Wyant, Dom'
Cc: Catherine Ancero; Eleanor Antonietti; Leslie Snell; Andrew Vorce
Subject: RE: 8 Mill Hill Lane - Public Notice Received Via Certified Mail
Attachments: #7917 FINAL for packet.pdf

Good Morning Dom,

Per your request, please find the attached application that will be in front of the Planning Board this Thursday, March 3rd.

The applicant is seeking a modification to a previously approved definitive subdivision plan called Woodland Hill. Specifically, the applicant is requesting an encroachment into the required ten (10') foot buffer on Lot 15 (Map 55 Parcel 925, 4 Old Mill Court.)

Please let me know if you have any questions or if I can be of further assistance.
Take care,

Holly E. Backus
Land Use Specialist

Town of Nantucket
Planning & Land Use Services
2 Fairgrounds Road
Nantucket, MA 02554

Tel: 508-325-7587 X 7026
Fax: 508-228-7298
hbackus@nantucket-ma.gov
<http://www.nantucket-ma.gov>



From: Wyant, Dom [<mailto:Dom.Wyant@am.jll.com>]
Sent: Monday, February 29, 2016 8:50 AM
To: Holly Backus
Subject: 8 Mill Hill Lane - Public Notice Received Via Certified Mail

Thank you for sending the attached public notice which was received on 2/19. I live in Atlanta GA and because I can't make it to the hearing, will you please provide me with a brief commentary about the encroachment within the 10' foot buffer on the 11 Mill Hill Lane Property? And how visible that improvement would be to our house located at 8 Mill Hill Lane?

Thank you for sending the notice and response to this e-mail.

Dom Wyant

Dom H. Wyant, Jr.
Managing Director
Jones Lang LaSalle Americas, Inc.
3344 Peachtree Road, NE, Suite 1200
Atlanta, GA 30326

(Main) 404.995.2100
(Direct) 404.995.2419
(Cell) 404.307.4258
(Fax) 404.995.2325

www.joneslanglasalle.com
dom.wyant@am.jll.com



This email is for the use of the intended recipient(s) only. If you have received this email in error, please notify the sender immediately and then delete it. If you are not the intended recipient, you must not keep, use, disclose, copy or distribute this email without the author's prior permission. We have taken precautions to minimize the risk of transmitting software viruses, but we advise you to carry out your own virus checks on any attachment to this message. We cannot accept liability for any loss or damage caused by software viruses. The information contained in this communication may be confidential and may be subject to the attorney-client privilege. If you are the intended recipient and you do not wish to receive similar electronic messages from us in the future then please respond to the sender to this effect.

Holly Backus

From: Saperstein, Lee W. [saperste@mst.edu]
Sent: Thursday, March 17, 2016 4:45 PM
To: Andrew Vorce; Leslie Snell; Catherine Ancero; Holly Backus; steven@cohenlegal.net
Cc: Reinhard, Allen
Subject: Vegetative Barriers for File No. 7917

Categories: Planning Board Matters

Please share with members of the Planning Board; these comments are with respect to the application that is File # 7917 for 4 Old Mill Court.

As an introductory comment, I am one of many citizens opposed to the request for reductions in the setback requirements for this property. Having said that, I may be able to contribute some technical insight to the discussion. The inclusion of a pool as part of the plans for the property increases my concern for appropriate noise shielding. As part of my career-long interest in the reclamation of severely disturbed lands, I have researched and lectured on vegetative barriers for sight and sound. Inasmuch as one of the conditions suggested for this property is a vegetative barrier, I would like to share the major design considerations for when vegetation is used, particularly to block sound. The hard surfaces around a pool reflect sound efficiently; a good, solid-plank fence helps a lot to deflect noise upward instead of outward. The following considerations should be part of the design for sound-reducing plantings.

- Plantings should be spaced in an irregular, even random order. Sound waves have a symmetric and regular shape – the sine wave – and easily radiate through a series of plants that are in a regular pattern.
- A single row of plants is ineffective.
- Plantings should be of varied heights: shrubs as well as trees. If a barrier is all trees, when they mature the ground-level view can easily be bare tree trunks.
- If the barrier is needed for all seasons, then evergreen plants should be mixed into the planting. Deciduous plants will be bare in the winter time, thus providing little or no barrier.
- As with any landscaping project, care, maintenance, and the allowance of time are needed for successful planting. When plants are close together, the landscaper needs to be concerned with competition for water and nutrients.

I hope that this information helps you with your discussion. Lee Saperstein

Lee and Priscilla Saperstein
P. O. Box 1408 (USPS)
20 New Street (express mail)
Nantucket, MA 02554
1-508-680-1337 (home)
1-573-578-7750 (Lee cell)
1-573-578-7752 (Priscilla cell)

Planning Board meeting: Thursday, March 17 at noon

In 2014 the Planning Board unanimously approved the subdivision next to Mill Hill Park with the requirement that a 10 foot densely vegetative buffer be installed along the border of the development next to the public park.

One of the lots has been sold.

The new owner wants to waive the setback requirement by cutting it in half. Not only that, the new owner wants to evaporate the requirement of a densely vegetative buffer on their property.

Stand 5 feet away from someone. Still feels pretty close, doesn't it? Now imagine standing 5 feet from the wall of a building. That would be the distance from the Public Park and the building they have proposed. From the Park's perspective, this is the most visible lot in the subdivision. Building with a only a 5 foot setback would make the public area seem like someone's backyard.

Please attend the Planning Board special meeting on File# 7917. Stand up and say you support the 10 foot buffer with dense vegetation, and ask the Planning Board to deny the waiver request.

The meeting is scheduled on St. Patrick's day.
Thursday, March 17th at 12:00, in the Public Meeting room.

Get your green out!

p.s... Call the Planning Board to confirm the date and time
in case there is a change.

Elizabeth Trillos 2 Greglen Avenue #402 Nantucket, Massachusetts 02554

May 3, 2016

Nantucket Planning Board
2 Fairgrounds Road
Nantucket, MA 02554

2016 MAY -4 AM 9: 58

Mr. Andrew Vorce and Ms. Leslie Snell:

I'd like to express my opinion on the request for a variance File #7917. Unfortunately I'll be off island on Monday, May 9th and will be unable to do so in person.

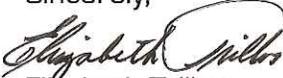
I am completely opposed to any changes to the 10 foot buffer zone between this Development and Mill Hill Park. The buffer zone was meant to make visitors to the park feel that they had distanced themselves from the surrounding development, and hustle, and bustle of our growing island.

The current owners of the lot were aware of the buffer zone when they purchased this property. There is no reason why they, their architects, and builder could not have designed their structures in accordance with the buffer zone limitations. It is still possible for them to do so if they care to but if they don't it's up to you, the Planning Board, to look after this very valuable town asset.

In 2012 I was involved in the GIS mapping of the park's vegetation in preparation for its Centennial Celebration by the Nantucket Civic League. The preparation for this event gave me a better understanding of the value of preserving this area of our island for the enjoyment of future generations and visitors.

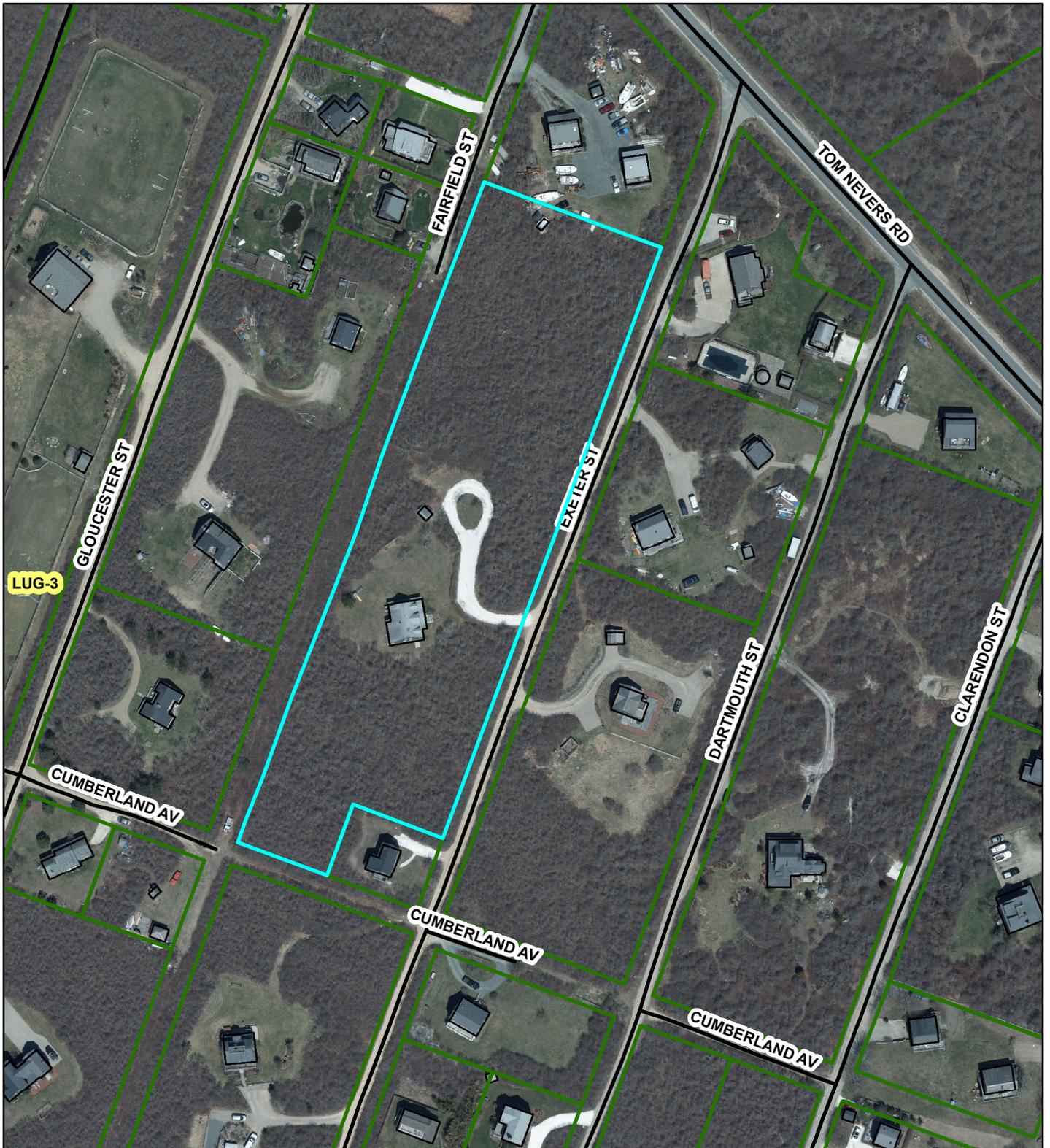
I would appreciate your presenting my letter before the board as it considers the 10 foot buffer protection for Mill Hill Park.

Sincerely,


Elizabeth Trillos



#17-16 Secondary Lot Special Permit
Dawn & Michael Holdgate
15 Exeter Street
Map 76.4.1 Parcel 410





Town Clerk
Town & County Building
16 Broad St
Nantucket, MA 02554 *nat*

MAR 24 2016 AMB:07

Nantucket Planning Board

Application for a Special Permit

Date: 3/14/16 File #: 17-16

Name of development: N/A

Owner(s) name(s): Dawn E. Holdgate & Michael K. Holdgate

Mailing address: c/o Cohen & Cohen Law P.C., PO Box 786, Nantucket, MA 02554

Phone number: 508 228 0397 Fax number: 508 228 0970 E-mail: STEVEN@cohenlegal.net

Applicant's name: Same

Mailing address: _____

Phone number: _____ Fax number: _____ E-mail: _____

Engineer / surveyor's name: Paul Santos, Nantucket Surveyors LLC

Mailing address: 5 Windy Way, Nantucket, MA 02554

Phone number: 508 228 0240 Fax number: _____ E-mail: psantos@nantucketsurveyors.com

Location of lot(s):
 Street address 15 Exeter Street

Tax Assessors Map 76.4.1 Parcel 410

Nantucket Registry of Deed: Plan Book _____ and Page _____ OR

LOTS
Plan File # 10-42247-83 OR Block 12 Land Court Plan # 5004-6 at Certificate # 25887

Size of parcel: ~~183,560 ±~~ 140,000 ± sq. ft. Zoning District: L09-3

Special Permit sought: (check one)

- Cluster subdivision
- Commercial WECS
- Driveway Access/Curb Cut Special Permit
- Harbor Overlay District (HOD)
- Major Commercial Development (MCD)

ATIS

- Multi-family Special Permit
- Moorlands Management District Subdivision or Construction (MMD)
- NEHOD (Neighborhood Employee Housing Overlay District)
- MRD (Major Residential Development)
- MIPOD (Mid-Island Planned Overlay District)
- Other Uses Requiring a Special Permit (specify all uses and *Nantucket Code* sections)

Section	Description
139-8C	Secondary Lot, NHNC

Specify all associated Zoning Code relief sought:

Section	Description
139-8C-2h	Shared driveway

Only the zoning relief expressly requested above will be considered as part of this application.

If applying for a Major Commercial Development, specify how the application will comply with Section 139-11 (J) of the *Zoning Code of the Town of Nantucket*, also known as the Town's Affordable Housing Effort:

N/A

Planning Board filing fee due: \$ 250 +

Engineering Inspection Escrow Deposit due: \$

I/ we hereby certify that the applicant(s) cited above have been authorized by me/ us to file a Special Permit application with the Planning Board on property that I/ we own.

Nantucket Planning and Land Use Services ▪ 2 Fairgrounds Road ▪ Nantucket ▪ MA ▪ 02554 ▪ (508) 325-7587

Owner(s)' Signature(s)

Applicant's Signature

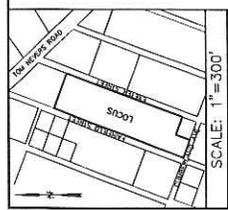
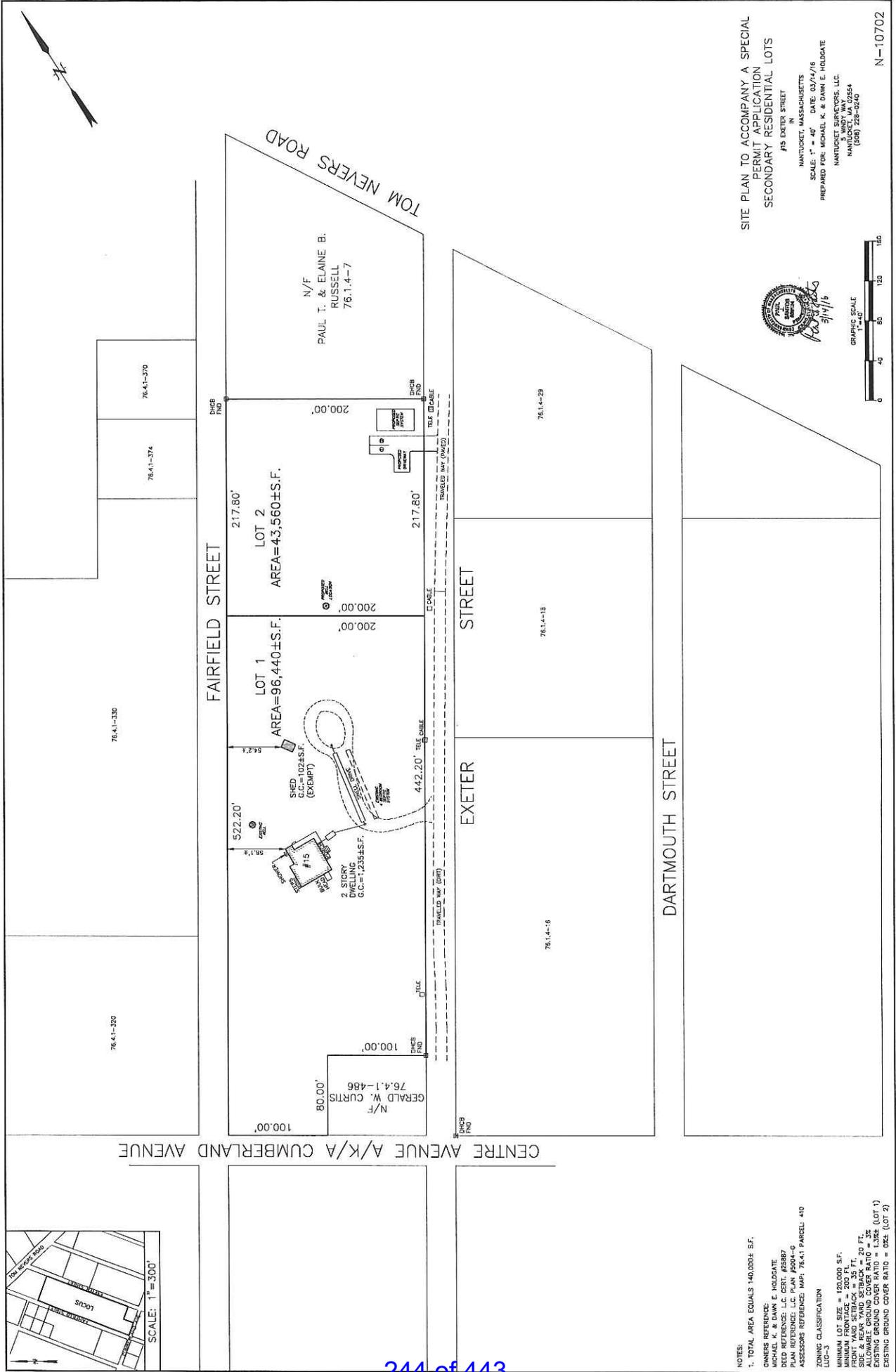
Steven Chen as Attorney

I/we _____, the undersigned, hereby authorize
_____ to act as agent(s) on my/our behalf and to
make any necessary revisions on this filed application as they may be requested by the Board to meet its governing
rules and guidelines.

Owner(s)' signature(s)

Check List:

- Planning Board Special Permit abutters list – to be obtained at the Tax Assessor's office
- Completed application form entitled "Application to the Planning Board for a Special Permit"
- Application fee of \$250.00 payable to Town of Nantucket
- Abutters fee of ~~\$6.11~~^{6.49} per abutters payable to Pitney Bowes Reserved Funds
- Four (4) sets of mailing labels with each abutter's name and address
 - 1" x 2 5/8" size, typed labels, are preferred
 - duplicate labels are not necessary if the same owner is listed for more than one abutting property
- Completed application form
- Town Clerk's stamped application (provide 2 copies-one for Town Clerk and one for Planning Board)



SITE PLAN TO ACCOMPANY A SPECIAL PERMIT APPLICATION SECONDARY RESIDENTIAL LOTS

JIS EXETER STREET
 NANTUCKET, MASSACHUSETTS
 SCALE: 1" = 40'
 DATE: 03/14/16
 PREPARED FOR: MICHAEL K. & DAWN E. HOLDGATE
 NANTUCKET SURVEYORS, LLC
 2 WINDY WAY, #254
 NANTUCKET, MA 02544
 (508) 228-2242



N-10702

NOTES:
 1. TOTAL AREA EQUALS 140,000± S.F.
 OWNERS REFERENCE: MICHAEL K. & DAWN E. HOLDGATE
 DEED REFERENCE: L.C. CERT. #3887
 PLAT REFERENCE: MAP: 76.4.1 PARCELS 410
 ASSESSORS REFERENCE: MAP: 76.4.1 PARCELS 410
 ZONING CLASSIFICATION: LUC-3
 LOT SIZE = 140,000± S.F.
 MINIMUM FRONTAGE = 200 FT.
 FRONT YARD SETBACK = 25 FT. 75 FT.
 SIDE YARD SETBACK = 5 FT. 10 FT.
 ALLOWABLE GROUND COVER RATIO = 3%
 EXISTING GROUND COVER RATIO = 1.32% (LOT 1)
 EXISTING GROUND COVER RATIO = 0.2% (LOT 2)

Holly Backus

From: Holly Backus
Sent: Monday, May 02, 2016 12:11 PM
To: 'Elaine Russell'
Subject: RE: Comments to Planning board re:15 Exeter St

Good Afternoon Elaine,

Thank you for your email and letter. I will make sure the Planning Board receives your comments for the May 9th meeting.

Please let me know if you have any questions or if I can be of further assistance.
Take care,

Holly E. Backus
Land Use Specialist
Town of Nantucket

From: Elaine Russell [<mailto:elainebrussell@comcast.net>]
Sent: Monday, May 02, 2016 11:59 AM
To: Holly Backus
Subject: Comments to Planning board re:15 Exeter St

Hi Holly,

Attached please find a letter we would like to submit in regards to division and driveway cut at the 15 Exeter Street property owned by Michael and Dawn Holdgate.
I assume this letter will be given to the Planning Board prior to the meeting on May 9th.

Thank you
Elaine Russell

P.O. Box 2386
2 Fairfield Street
Nantucket, MA 02584
May 2, 2016

Nantucket Planning Board
2 Fairgrounds Road
Nantucket, MA 02554

RE: 15 Exeter Street
Waiver for Shared Driveway Requirement

Dear Planning Board,

We are direct abutters to the 15 Exeter Street property owned by Michael and Dawn Holdgate and our property directly abuts the property line of the newly proposed second lot. After reviewing the subdivision plans and proposed new driveway cut, at this property, we are very concerned about the location of the newly proposed driveway cut. This new cut is only approximately 35' from our property line and back yard. We feel this driveway cut will create excessive noise and disturb the peace and quiet in our backyard. If a second driveway cut is approved, we would like to see it placed a minimum of 100' from our abutting property line. Thank you for your consideration.

Respectfully,

Tim and Elaine Russell



#7946 AR

Stephen M. Waterhouse

20 Sparks Avenue

Map 55 Parcel 307

RC **pending ATM Article 34 to CMI**



PLANNING BOARD

FILE # 7946



Nantucket Planning Board

Form B

Application for Approval of a Definitive Subdivision Plan (AR)

File one completed form with the Planning Board and one copy with the Town Clerk.

Date: 3/14/2016

To the Planning Board of Nantucket:

The undersigned, being the applicant as defined under Chapter 41, Section 81-L, for approval of a proposed subdivision shown on a plan entitled DEFINITIVE PLAN OF LAND designed by ISLAND SURVEYORS, INC dated 3/14/2016, and described as follows: located on 20 SPARKS AVENUE, number of lots proposed 4, total acreage of tract 21,038 S.F., hereby submits said plan as a **definitive** plan in accordance with the *Rules and Regulations Governing the Subdivision of Land* of the Nantucket Planning Board and makes application to the Board for approval of said plan.

The undersigned's title to said land is derived from DANIEL M. D. WATERHOUSE by deed dated 2/5/2009 and recorded in the Nantucket Registry of Deeds Book 1169, Page 89, registered in the Nantucket Registry District of the Land Court, Certificate of Title # _____ and shown on Nantucket Assessor's Map # 55, Parcel 307, and said land is free of encumbrances except for the following: _____

Said plan has has not evolved from a preliminary plan submitted to the Board on _____ (date) and approved disapproved on _____ (date).

The undersigned hereby applies for the approval of said **definitive** plan by the Board, in belief that the plan conforms to the Board's *Rules and Regulations*.

Name(s) and address(es) of the Applicant(s):

(to include all the names and addresses of the principals of the owner entity such as principal officers of the corporation, trustees of a trust or partners of a partnership)

STEPHEN M. WATERHOUSE 20 SPARK'S AVE.

Contact Phone #: (508) 294-4446 Fax #: () E-mail: _____

Name of owner(s): STEPHEN M. WATERHOUSE

Address of owner(s): 20 SPARK'S AVENUE

I hereby certify that the applicant(s) listed above have been authorized by me to file a subdivision plan with the Planning Board on property that I own.

 AGENT
Owner's signature
508-228-2720

Received by Town Clerk:

Date: _____

Time: _____

Received by Board of Health:

Date: _____

Time: _____

Planning Board File # 7946

Approval of the subdivision is granted conditionally upon the aforementioned documents, compliance with the Planning Board's *Rules and Regulations Governing the Subdivision of Land* (as amended through December 20, 1999), and on the following additional requirements and agreements:

1. Requested waivers from the *Rules and Regulations Governing the Subdivision of Land*:

- | | |
|-----------|---|
| 2.06a(2) | Street Network Plan
Waiver Granted – the proposed subdivision does not warrant such plan for the scale of this subdivision; |
| 2.06a(5) | Master Plan
Waiver Granted – the proposed subdivision does not warrant such plan, as the owners do not own any property adjacent to said property; |
| 2.06a(10) | Storm Water Calculations
Waiver Granted – the proposed subdivision will not create any significant changes to the exiting drainage conditions; |
| 2.06a(11) | Site Analysis Report and Map
Waiver Granted – the proposed project consists of a small three-lot subdivision, only two of which are buildable. Only one new building lot is being created and the proposed subdivision plan set contains sufficient information to address the interests of this section for this subdivision; |
| 2.06a(12) | Traffic Study
Waiver Granted – only one additional building lot is being created and therefore the traffic impact along Quidnet Road will be minimal and adequate for the scale of this subdivision; |
| 2.06b(6) | Bounds
Waiver Granted – the proposed project is of small scale and providing all the roads and ways on the plan is unnecessary for the scale of this subdivision; |
| 2.06b(10) | Topography
Waiver Granted – the site of the proposed subdivision does not contain sufficient elevation changes to depict this contour interval and therefore are no proposed changes to the site that would require detailed elevation information due to the scale of the subdivision; |
| 2.06b(13) | Utility Plan
Waiver Granted – the proposed subdivision is only for two (2) lots and therefore does not warrant a Utility Plan; |
| 2.06b(14) | Landscape Plan
Waiver Granted – existing vegetation and landscape buffers will be maintained as shown on the subdivision plans; |
| 2.06b(16) | Location of Curbs and Gutters
Waiver Granted – the proposed subdivision will provide a rural road alternative that is better suited for the scale of this subdivision; |
| 2.06b(17) | Roadway Cross-section
Waiver Granted – the proposed project is of small scale and providing a roadway cross-section is unnecessary for the sale of this subdivision; |

- 2.06b(18) One-Site Brush Disposal
Waiver Granted – there will be little brush cutting as part of the installation of this small subdivision;
- 2.06b(19) Storm Drainage
Waiver Granted – the proposed subdivision will not create any significant changes to the existing drainage conditions;
- 2.06b(20) Profiles of Street and Utilities
Waiver Granted – the proposed subdivision is of a small scale and providing street and utility profiles is unnecessary for the scale of this subdivision;
- 2.06b(21) Erosion Control Plan
Waiver Granted – the proposed subdivision is of a small scale and providing the plan is unnecessary for the scale of this subdivision;
- 3.02 Public Open Space
Waiver Granted – the proposed subdivision is of a small scale and providing public open space is unnecessary for the scale of this subdivision;
- 4.03a(1) Streets
Waiver Granted – the proposed subdivision will keep the existing 10-12 foot gravel roadway due to the scale of this subdivision;
- 4.04(b) Dead-End Street
Waiver Granted – the proposed subdivision will not provide access to the rear lot and therefore will not require the sixty (60) foot radius;
- 4.05 Street Construction
Waiver Granted – the proposed subdivision is of a small scale and the rural road alternative is better suited for a subdivision of this size;
- 4.06 Storm Drainage
Waiver Granted – the proposed subdivision is of a small scale and is providing only one (1) new building lot where the changes to the existing drainage conditions will be insubstantial;
- 4.16 Landscaping
Waiver Granted – the existing vegetation and landscape buffers will be maintained as shown on the subdivision plans;
- 4.18 Sidewalks
Waiver Granted – the proposed subdivision is of a small scale and sidewalks are unnecessary for the scale of this project;
- 4.19 Bicycle Paths
Waiver Granted – the proposed subdivision is of a small scale and a bike bath is unnecessary for the scale of this project;
- 4.20 Street Lights
Waiver Granted – the proposed subdivision is of a small scale and street lights are unnecessary for the scale of this project;
- 4.22 Curbing & Berms
Waiver Granted – the proposed subdivision will have a rural road alternative is proposed, therefore, curbing and berms are unnecessary;

4.23

Soil Surveys

Waivers Granted – the proposed subdivision is of a small scale and soil surveys are unnecessary for the scale of this project;

4.24

Driveway Aprons

Waivers Granted – the proposed subdivision will be created off an existing driveway off Quidnet Road and will only be servicing two (2) lots.

2. That recorded copies of all legal documents (Homeowners Association documents, Statement of Conditions, Grant of Right of Enforcement, Grant of Easements for Utilities, Drainage, and Covenant) shall be presented to the Planning Board prior to the release of the second lot from the Covenant and within six (6) months from the date of this decision (June 18, 2015). The Planning Board may grant extensions of this deadline without holding a public hearing;
3. That the roadway shall be constructed and maintained, as shown on the referenced definitive subdivision plans;
4. That frontage and access utilizing the interior roadway shall be limited to lots within this subdivision. This restriction is based upon the significant waivers granted for interior roadway improvements. Any future modification of this condition shall require a public hearing;
5. ~~That all lots shall be connected to the municipal sewer and water system;¹~~
6. That all lots shall be prohibited from further subdivision. Minor lot line adjustments which do not result in the creation of any additional buildable lots shall be permitted through the Approval Not Required (ANR) process;
7. That duplexes shall be a prohibited use upon any lot within the subdivision;
8. That the applicant agreed to provide the Town of Nantucket an easement for the proposed drive QUIDNET PRESERVE DRIVE and utility easement;
9. That the applicant agreed to one (1) dwelling unit per lot for a total of two (2) dwellings for said subdivision.

YES

SIGNATURE PAGE TO FOLLOW

¹ This condition was included by inadvertent error. There is no municipal water or sewer in the vicinity and there are no plans to extend it.



Property Information

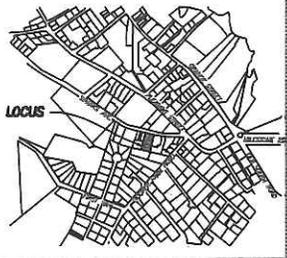
Property ID 55 307
Location 20 SPARKS AV
Owner WATERHOUSE STEPHEN M



**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**

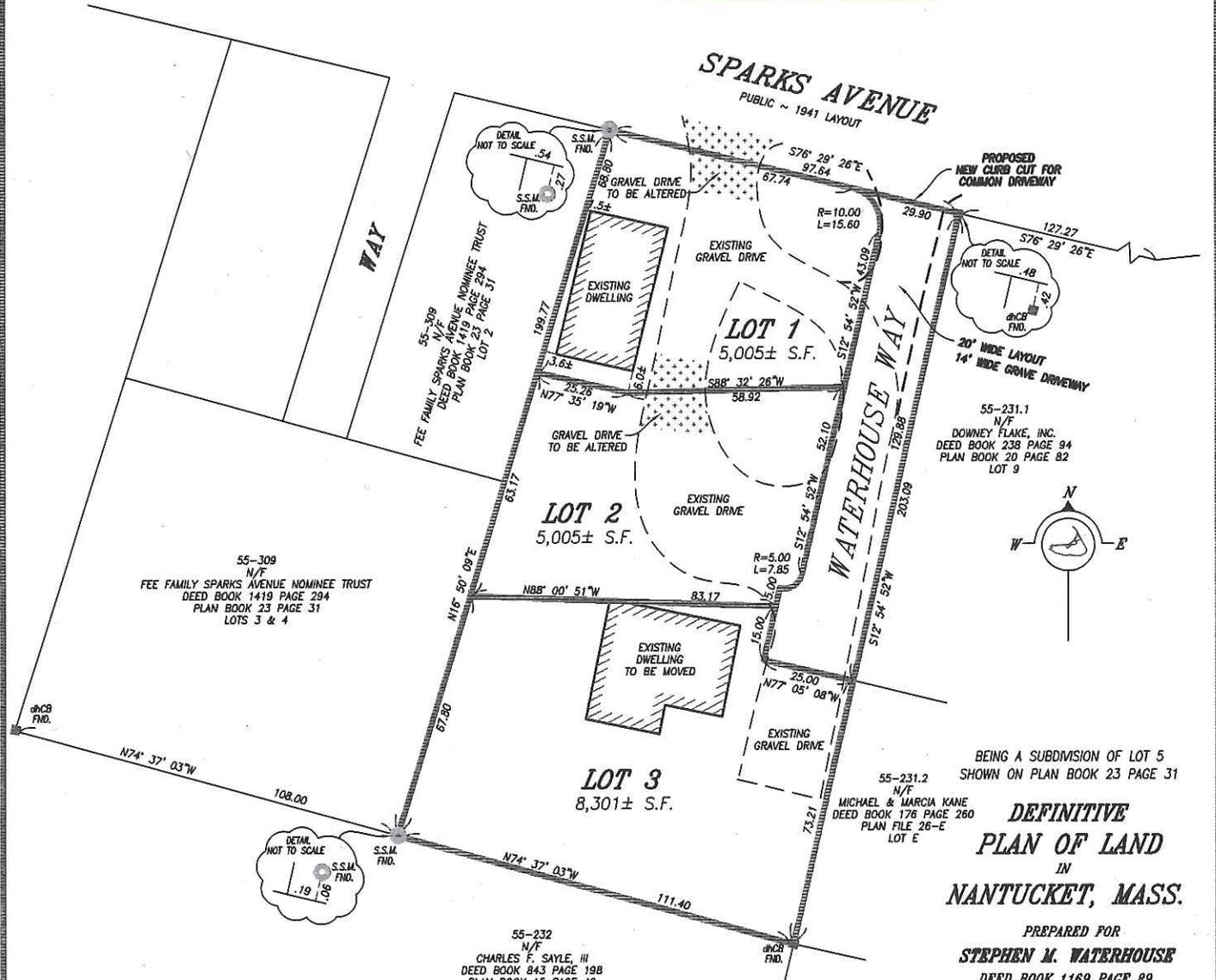
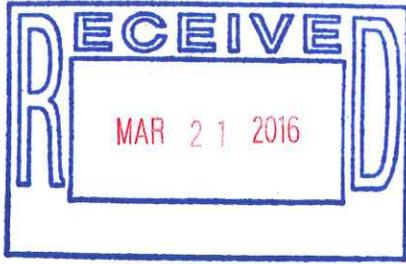
Town and County of Nantucket, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Parcels updated December, 2014
Properties updated January, 2015



LOCUS MAP SCALE: 1"=1000±

CURRENT ZONING CLASSIFICATION:
Residential Commercial (R.C.)
MINIMUM LOT SIZE: 5000 S.F.
MINIMUM FRONTAGE: 40 FT.
FRONT YARD SETBACK: none
REAR/SIDE SETBACK: 5 FT.
GROUND COVER % : 50%



BEING A SUBDIVISION OF LOT 5 SHOWN ON PLAN BOOK 23 PAGE 31
DEFINITIVE PLAN OF LAND IN NANTUCKET, MASS.

PREPARED FOR
STEPHEN M. WATERHOUSE
DEED BOOK 1169 PAGE 89

SCALE: 1"= 20' DATE: MARCH 14, 2016
ISLAND SURVEYORS, LLC
Professional Land Surveyors
90 OLD SOUTH ROAD
NANTUCKET, MASS. 02554
(508) 228-2720

Nantucket Planning Board
APPROVAL UNDER THE SUBDIVISION CONTROL LAW REQUIRED

DATE APPROVED: _____
DATE ENDORSED: _____
PLANNING BD. FILE No. _____

LEGEND

- chCB FND. DENOTES DRILL HOLE IN CONCRETE BOUND FOUND
- S.S.M. FND. DENOTES STEEL SURVEY MARKER FOUND

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

"I, CATHERINE STOVER, CLERK OF THE TOWN OF NANTUCKET, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE."

PROFESSIONAL LAND SURVEYOR _____ DATE _____ TOWN CLERK _____ DATE _____

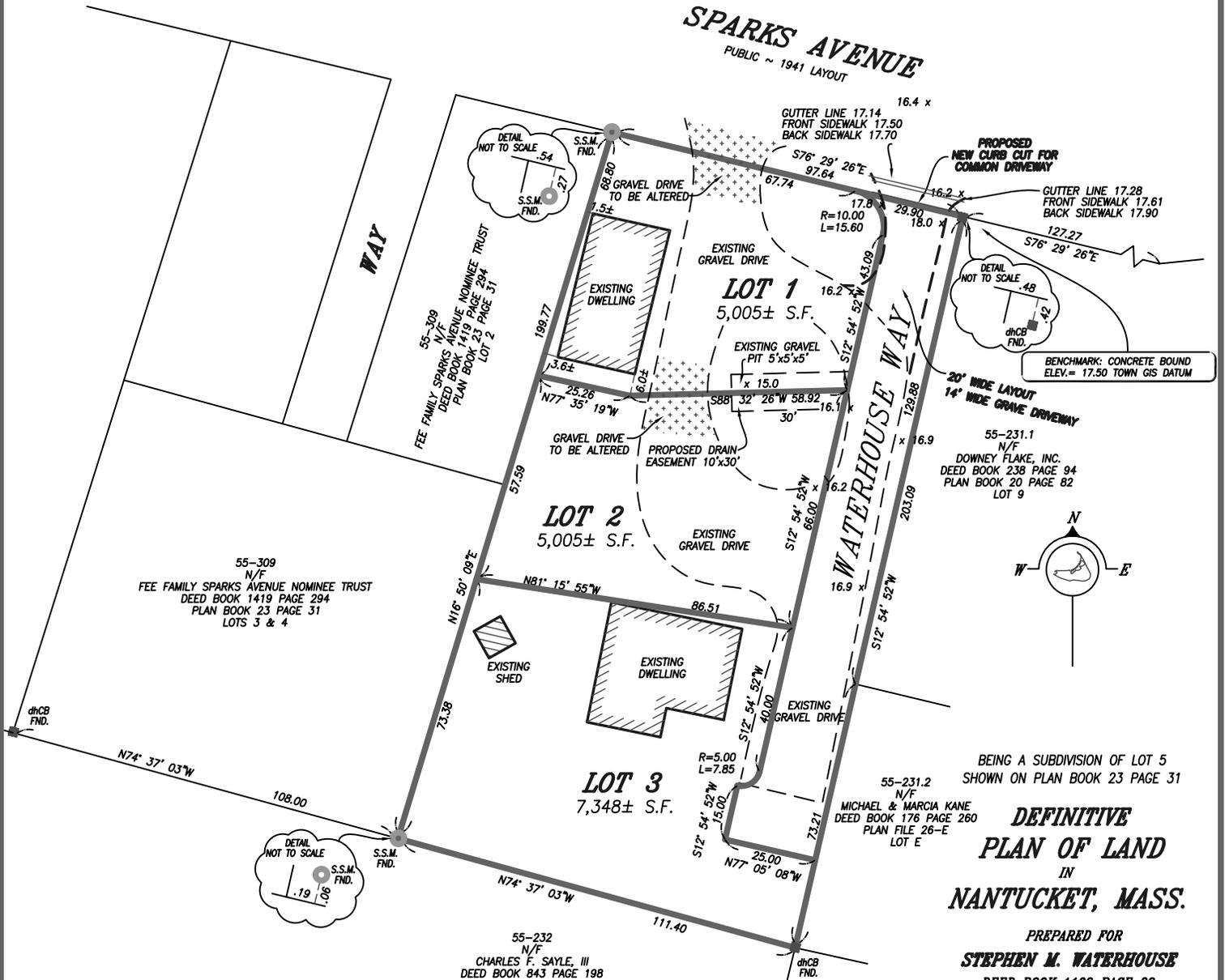


LOCUS MAP SCALE: 1"=1000'±

CURRENT ZONING CLASSIFICATION:
Residential Commercial (R.C.)

MINIMUM LOT SIZE: 5000 S.F.
MINIMUM FRONTAGE: 40 FT.
FRONT YARD SETBACK: none
REAR/SIDE SETBACK: 5 FT.
GROUND COVER % : 50%

REVISION
RECEIVED 4-26-16



BEING A SUBDIVISION OF LOT 5
SHOWN ON PLAN BOOK 23 PAGE 31

**DEFINITIVE
PLAN OF LAND
IN
NANTUCKET, MASS.**

PREPARED FOR
STEPHEN M. WATERHOUSE
DEED BOOK 1169 PAGE 89

SCALE: 1" = 20' DATE: APRIL 25, 2016

ISLAND SURVEYORS, LLC
Professional Land Surveyors
90 OLD SOUTH ROAD
NANTUCKET, MASS. 02554
(508) 228-2720

Nantucket Planning Board
APPROVAL UNDER THE
SUBDIVISION CONTROL LAW
REQUIRED

LEGEND

- dhCB FND. ■ DENOTES DRILL HOLE IN CONCRETE BOUND FOUND
- S.S.M. FND. ● DENOTES STEEL SURVEY MARKER FOUND
- 16.2 x DENOTES EXISTING SPOT ELEVATION

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

"I, CATHERINE STOVER, CLERK OF THE TOWN OF NANTUCKET, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE."

PROFESSIONAL LAND SURVEYOR _____ DATE _____

TOWN CLERK _____ DATE: _____

DATE APPROVED: _____
DATE ENDORSED: _____
PLANNING BD. FILE NO. _____

255 of 443

Holly Backus

From: Holly Backus
Sent: Thursday, May 05, 2016 8:14 AM
To: 'Ed Pesce'; 'Teddy'
Cc: Leslie Snell
Subject: RE: 20 Sparks Ave.

Thanks Ed. We will make sure the board is aware of your comments.

Thanks!

Holly E. Backus
Land Use Specialist
Town of Nantucket

From: Ed Pesce [<mailto:epesce@comcast.net>]
Sent: Wednesday, May 04, 2016 4:00 PM
To: Holly Backus; 'Teddy'
Cc: Leslie Snell
Subject: RE: 20 Sparks Ave.

OK Holly – got it!

This appears to address Leslie's original comments, but my comments below from earlier today still stand, and should be addressed.

Thanks,

ED

Edward L. Pesce, P.E., LEED® AP

Pesce Engineering & Associates, Inc.

451 Raymond Road
Plymouth, MA 02360

Office: 508-743-9206

Fax: 508-743-0211

Cell: 508-333-7630

epesce@comcast.net

From: Holly Backus [<mailto:hbackus@nantucket-ma.gov>]
Sent: Wednesday, May 04, 2016 10:36 AM
To: Ed Pesce; 'Teddy'
Cc: Leslie Snell
Subject: RE: 20 Sparks Ave.

Hi Ed,

Teddy sent me a revision on April 26th. My apologies, I thought you had received it already. Sorry for assuming. I have attached it for you.

Thanks,

Holly E. Backus
Land Use Specialist
Town of Nantucket

From: Ed Pesce [<mailto:epesce@comcast.net>]
Sent: Wednesday, May 04, 2016 10:30 AM
To: 'Teddy'
Cc: Leslie Snell; Holly Backus
Subject: RE: 20 Sparks Ave.

Hi Teddy,

Sorry for the delay – I've been away on Military duty and am now catching up.

Regarding 20 Sparks Ave – I recall seeing the attached message from Leslie regarding an issue with the Lot Frontage for Lot 3. Did that ever get addressed?

I was actually thinking you were working on a solution, and would be providing a revised plan, along with additional drainage details. The Drainage Plan you sent me (attached) is not adequate to make a determination of adequacy. The additional information needed/present preliminary comments:

1. Proposed grading
2. Any proposed drainage structures? Collection system or overland flow (super-elevate the roadway) to the cul-de-sac island?
3. Adequacy of the proposed drainage system to handle at least the 25-yr. storm
4. Stormwater Operations & maintenance Plan for long term maintenance & use
5. Gravel Drive cross-section detail for construction, showing compliance with the Subdivision Rules & Regs
6. Curb cut & paved apron detail at Sparks Ave.
7. Proposed new monumentation for new lots (to comply with Subdivision R&R)
8. Recommend a new stop sign at end of road
9. Proposed landscaping in road layout (any screening plantings on east side?)

Thanks Teddy – I'll be on Island tomorrow if you want to discuss,

ED

Edward L. Pesce, P.E., LEED® AP

Pesce Engineering & Associates, Inc.

451 Raymond Road
Plymouth, MA 02360

Office: 508-743-9206

Fax: 508-743-0211

Cell: 508-333-7630

epesce@comcast.net

From: Teddy [<mailto:acksurvey@hotmail.com>]

Sent: Tuesday, May 03, 2016 10:57 AM

To: Ed Pesce

Subject: 20 Sparks ave.

Hi Ed,

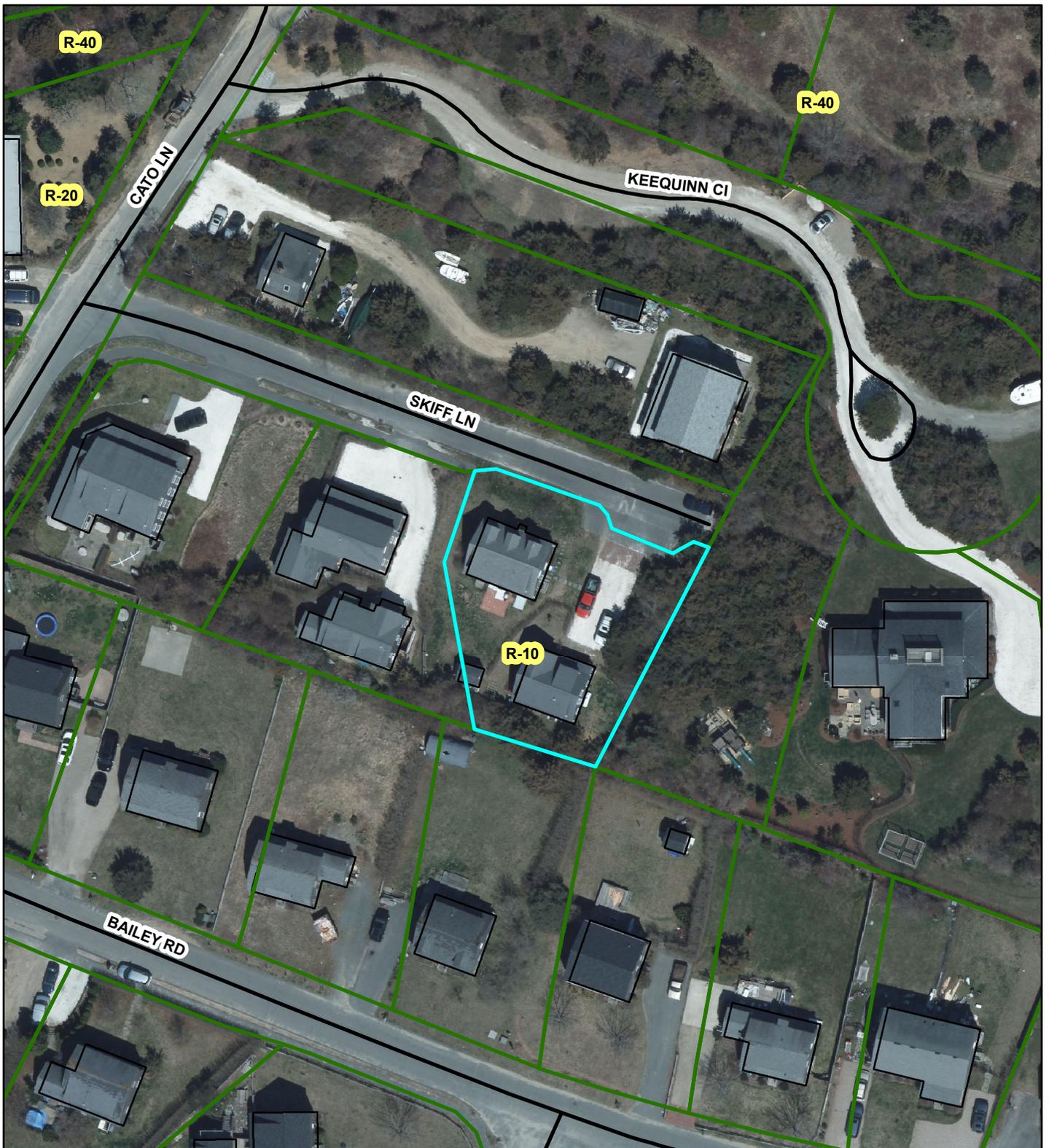
I was checking to see if you have reviewed the plan for 20 Sparks avenue.

Thanks

Teddy



#10-16 Special Permit
Skiff Lane, LLC
5 Skiff Lane
Map 55 Parcel 109.1



APR 8 2016 AM 10:23



Nantucket Planning Board

Application for a Special Permit

Date: April 8, 2016

File #: 10-16

Name of development: _____

Owner(s) name(s): Skiff Lane, LLC

Mailing address: c/o 2 Whaler's Lane, P.O. Box 659, Nantucket, MA 02554

Phone number: 508-228-4455 Fax number: _____ E-mail: rick@vdhlaw.com; lori@vdhlaw.com

Applicant's name: same

Mailing address: same

Phone number: same Fax number: same E-mail: same

Engineer / surveyor's name: Bracken Engineering, Inc.

Mailing address: 19 Old South Road, Nantucket, MA 02554

Phone number: 508-325-0044 Fax number: 508-833-2282 E-mail: _____

Location of lot(s):

Street address 5 Skiff Lane

Tax Assessors Map 55 Parcel 109.1

Nantucket Registry of Deed: Plan Book 2010 and Page 13 OR

Plan File # _____ OR Land Court Plan # _____ at Certificate # _____

Size of parcel: 11,075 square feet sq. ft. Zoning District: R-10

Special Permit sought: (check one)

- Cluster subdivision
- Commercial WECS
- Driveway Access/Curb Cut Special Permit
- Harbor Overlay District (HOD)
- Major Commercial Development (MCD)

Nantucket Planning and Land Use Services ▪ 2 Fairgrounds Road ▪ Nantucket ▪ MA ▪ 02554 ▪ (508) 325-7587



Owner(s)' Signature(s) Richard P. Beaudette, Attorney for Skiff Lane, LLC

Applicant's Signature _____

I/we _____, the undersigned, hereby authorize
_____ to act as agent(s) on my/our behalf and to
make any necessary revisions on this filed application as they may be requested by the Board to meet its governing
rules and guidelines.

Owner(s)' signature(s) _____

Check List:

- Planning Board Special Permit abutters list – to be obtained at the Tax Assessor's office
- Completed application form entitled "Application to the Planning Board for a Special Permit"
- Application fee of \$250.00 payable to Town of Nantucket
- Abutters fee of \$6.11 per abutters payable to Pitney Bowes Reserved Funds
- Four (4) sets of mailing labels with each abutter's name and address
 - 1" x 2 5/8" size, typed labels, are preferred
 - duplicate labels are not necessary if the same owner is listed for more than one abutting property
- Completed application form
- Town Clerk's stamped application (provide 2 copies-one for Town Clerk and one for Planning Board)

APR 8 2016 AM 10:23

VAUGHAN, DALE, HUNTER AND BEAUDETTE

PROFESSIONAL CORPORATION

ATTORNEYS AT LAW

WHALER'S LANE

P.O. BOX 659

NANTUCKET, MASSACHUSETTS 02554

TEL: (508) 228-4455

FAX: (508) 228-3070

EDWARD FOLEY VAUGHAN

KEVIN F. DALE

RICHARD P. BEAUDETTE

LORI D'ELIA

BRYAN J. SWAIN

WILLIAM F. HUNTER

OF COUNSEL

April 8, 2016

Leslie Snell
Deputy Director of Planning
2 Fairgrounds Road
Nantucket, MA 02554

*Re: Special Permit Request
Secondary Residential Lot
5 Skiff Lane, Nantucket, MA 02554*

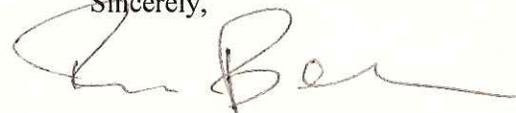
Dear Leslie:

Our client, Skiff Lane, LLC, seeks Special Permit Relief under Section 139-8C of the Nantucket Zoning By-Law to create a secondary residential lot on its property located at 5 Skiff Lane, Nantucket, MA 02554 (the "Premises").

Further to this request, enclosed please find an Application for a Special Permit with supporting documentation. As more particularly described in the materials attached hereto, the Premises is located in the Residential - 10 Zoning District and consists of an 11,075 square foot lot with two free standing condominium units and one shed. The Applicant seeks permission to create a primary and secondary residential lot under the Nantucket Housing Needs Covenant Program. The Applicant also seeks a waiver of the setback requirements only as they apply to the lot lines between the primary and secondary lot.

Please note that the requisite filing fee and abutter's notice fee were previously submitted to the Planning Board. Please also note that I reserve the right to supplement this application with further materials at a later time. Please mark this matter for hearing by the Planning Board at its May 9th meeting. Thank you for your help and please feel free to call me should you have questions.

Sincerely,



Richard P. Beaudette

RPB/lld

Enclosures

cc: Skiff Lane, LLC

ADDENDUM – Skiff Lane, LLC

Applicant, Skiff Lane, LLC, seeks Special Permit Relief pursuant to Section 139-8C of the Nantucket Zoning By-Law to create a secondary residential lot under the Nantucket Housing Needs Program on its property located at 5 Skiff Lane, Nantucket, Massachusetts 02554 (the “Premises”). Applicant also seeks permission under Section 139-8C.(2)(f) of the By-Law to waive the setback requirements only as they apply to the lot lines between the primary and secondary lot.

The Premises is located in the Residential-10 zoning district and is shown in Plan Book 2010-13 recorded at the Nantucket Registry of Deeds, a copy of which is attached hereto as Exhibit A (the “Condo Plan”). As shown on the Condo Plan, the Premises currently consists of a 11,075 square foot lot with two free standing condominium units and one shed.

As shown on the proposed plan entitled “*Plan of Land In Nantucket, Mass.*”, dated April 7, 2016, prepared for Skiff Lane, LLC by Bracken Engineering, a copy of which is attached hereto as Exhibit B, Applicant plans to create a 6,176+/- square foot primary lot (“ New Lot ‘A’ ”) and a 4,899+/- square foot secondary lot (“ New Lot ‘B’ ”). Applicant plans to subject New Lot A to the Nantucket Housing Needs Covenant and to designate New Lot B as the market rate lot. The Applicant also seeks a waiver from the setback requirements only as they apply to the lot lines between the primary and secondary lot.

In conclusion, on behalf of our client, we respectfully request that the Board approve the request for Special Permit under Section 139-8C of the By-Law to: (1) create a secondary residential lot under the Nantucket Housing Needs Program and (2) waive the setback requirements only as they relate to the lot lines between the primary and secondary lot.

RESERVED FOR REGISTRY USE

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE COMMONWEALTH OF MASSACHUSETTS.



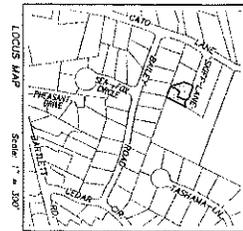
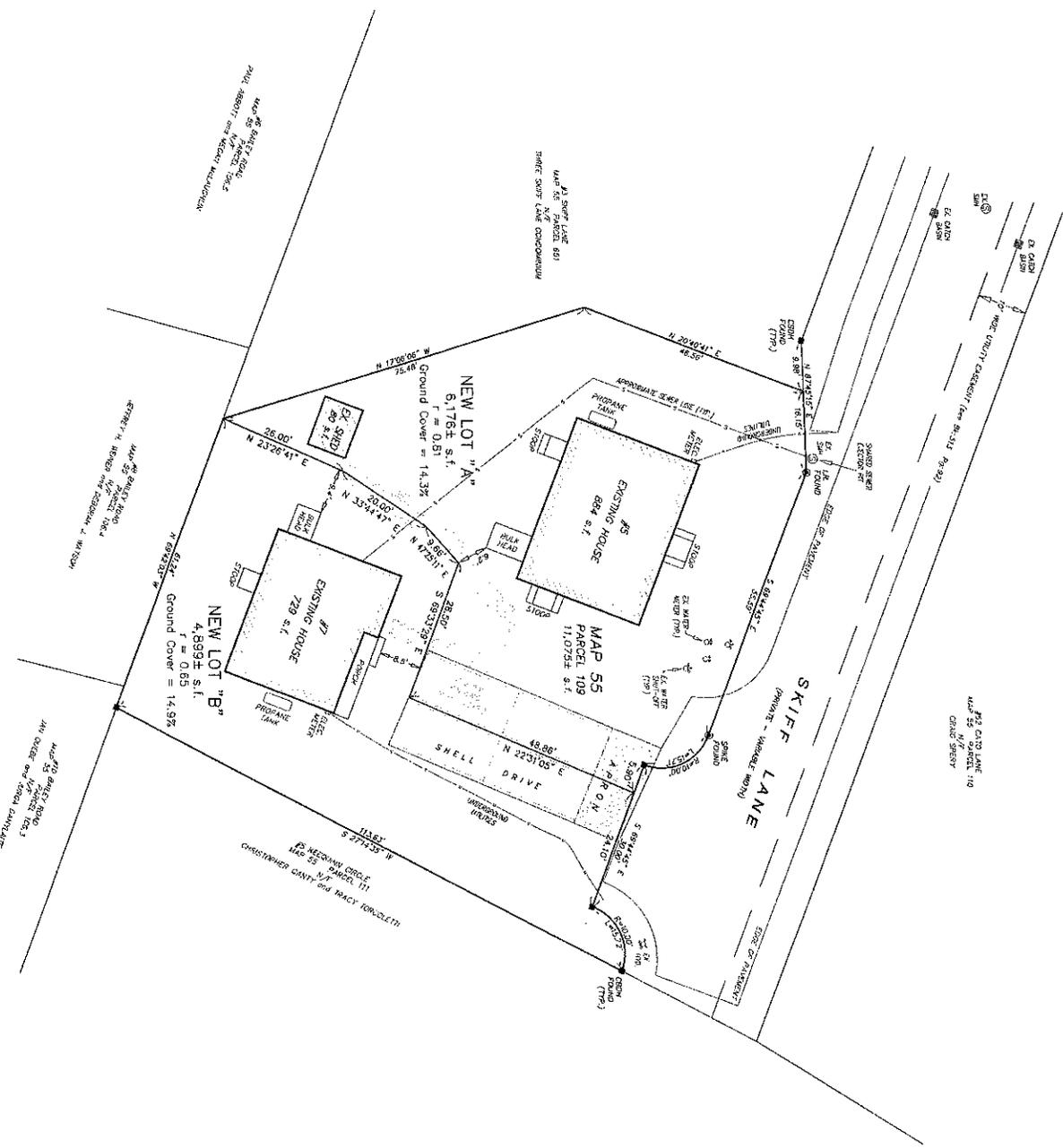
ALAN H. GRAY, P.E.
 LICENSE NO. 2722
 STATE OF MASSACHUSETTS



- NOTES:**
1. LOCUS IS SURF LANE MAP 25 PARCEL 109.1
 2. OWNER: SURF LANE, LLC
 19 OLD SOUTH ROAD
 NANTUCKET, MA 02554
 3. ZONED MAP 25-1200 P-10
 4. PLAN PER: PER. NO. 2007-23 (LOT 3)
 5. LOCUS DOES NOT FALL WITHIN A SPECIAL DRAINAGE ZONE AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP NO. 25019-0004-C dated 05/09/2014.
 6. PLANNING BOARD SUPERVISORY DOES NOT CONSTITUTE A COMMITMENT OF THE BOARD.
 7. THE WORK OF THIS PLAN IS TO SUBDIVIDE LOT "A" AS SHOWN ON LOT 3 AS

THE PLANNING BOARD DETERMINES THAT:

(2) PARCELS 7 AND 8 DO NOT CONTAIN ANIMALS OR OTHER HAZARDOUS MATERIALS AS REQUIRED TO BE REMOVED FROM THE PROPERTY. THE PROPERTY IS NOT SUBJECT TO ANY FEDERAL, STATE OR LOCAL REGULATIONS THAT REQUIRE THE PROPERTY TO BE REMOVED FROM THE PROPERTY AND BE REDEVELOPED THROUGH APPLICATION TO THE CONSERVATION COMMISSION.



ZONE: R-10
 REQUIRED
 LOT AREA: 10,000 s.f.
 LOT FRONTAGE: 75'
 FRONT YARD: 20'
 SIDE YARD: 10'
 REAR YARD: 10'
 GROUND COVER RATIO: 25% (MAX.)
 REGULATORY FACTOR: > 0.35



PLAN OF LAND
 IN
 NANTUCKET, MASS.
 PREPARED FOR
SURF LANE, LLC
 19 OLD SOUTH ROAD
 NANTUCKET, MA 02554
 PREPARED BY
BRACKEN ENGINEERING, INC.
 101 (508) 325-0044
 101 (508) 833-2282
 SCALE: 1" = 10'
 APRIL 7, 2016

APPROVED BY THE
 NANTUCKET PLANNING BOARD
 NOT REQUIRED

FILE NUMBER: _____
 DATE APPROVED: _____

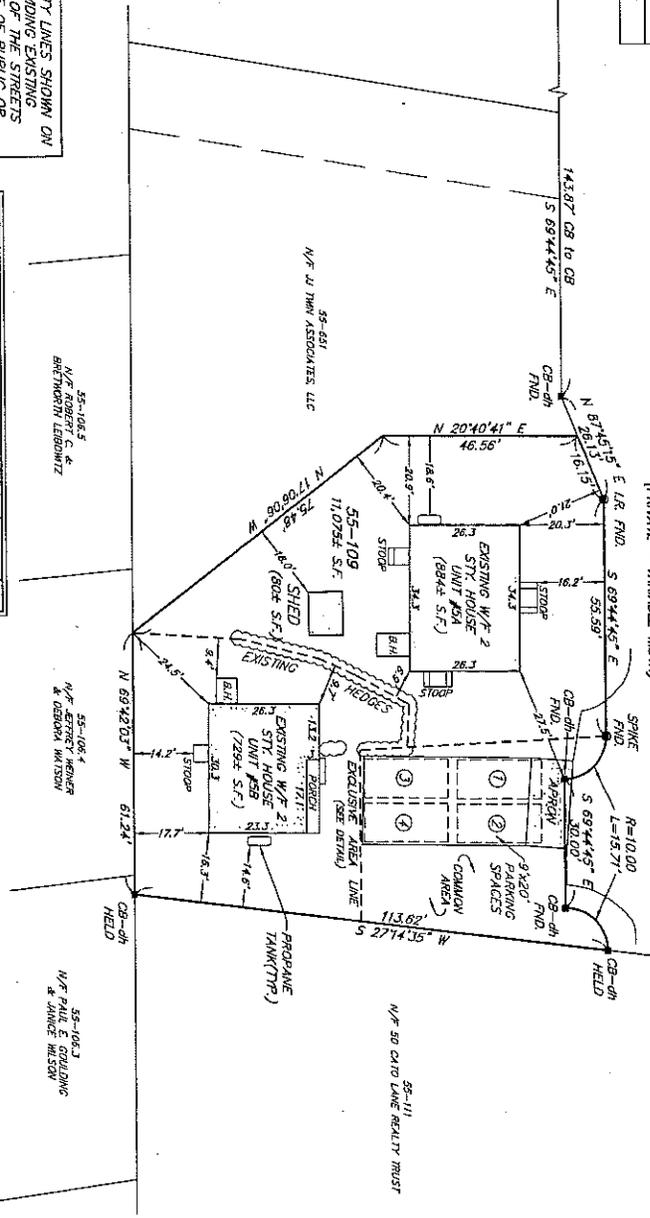
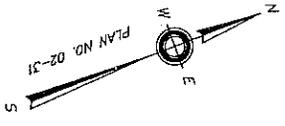
04/14/2009
 11:58 AM
 5010-13
 100' x 50'
 100' x 50'
 100' x 50'

FOR REGISTRY USE ONLY

101' WIDE UTILITY EASEMENT
 BOOK 513 PAGE 92

SKIFF LANE
 (PRIVATE - VARIABLE WIDTH)

55-110
 N/F CHAD SHERY

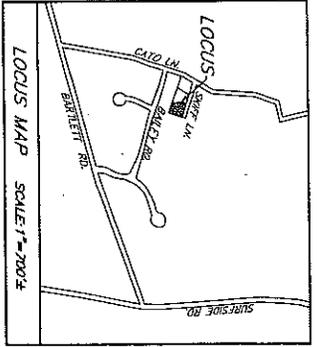
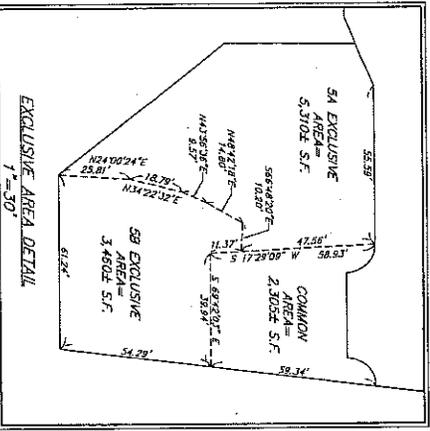


I CERTIFY THAT THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING INTERESTS AND THE LINES OF THE STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

I CERTIFY THAT THIS PLAN FULLY AND ACCURATELY DEPICTS THE LOCATION AND DIMENSIONS OF THE BUILDINGS AS-BUILT AND FULLY LISTS THE UNITS CONTAINED THEREIN.

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

DATE: 4/29/09
 PROFESSIONAL LAND SURVEYOR



ZONING REQUIREMENTS

ZONE: R-10	REQUIRED
LOT AREA:	10,000 S.F.
FRONTAGE:	75'
FRONT YARD:	20'
SIDE/REAR YARD:	10'
LOT COVERAGE:	25%

- NOTES:
- LOCUS IS SHOWN AS PARCEL 109 ON NANUCKET ASSESSOR'S MAP 95
 - OWNER: SKIFF LANE, LLC
1 EXPRESS DRIVE
WAREHAM, MA 02571
 - DEED REFERENCE: DEED BK. 1120 PG. 75
 - PLAN REFERENCE: PLAN NO. 02-31
 - LOCUS DOES NOT FALL WITHIN A SPECIAL FLOOD HAZARD ZONE AS SHOWN ON FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 260230 0011 D.

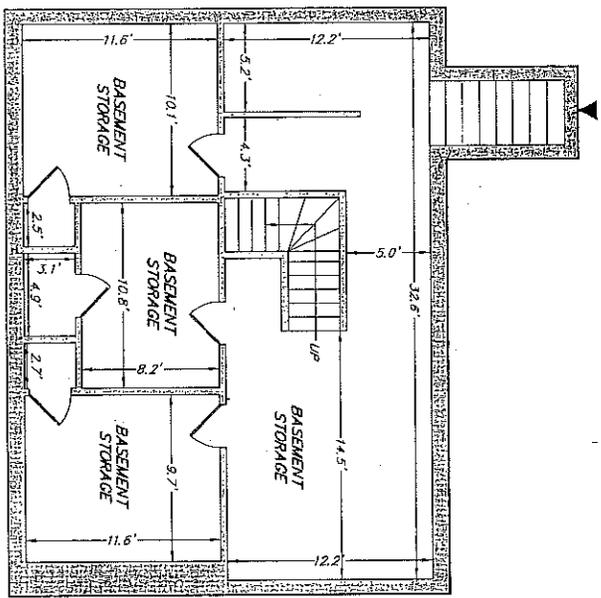
**FIVE SKIFF LANE CONDOMINIUM
 SITE PLAN OF LAND**
 IN
NANTUCKET, MASSACHUSETTS
 PREPARED FOR
SKIFF LANE, LLC
 PREPARED BY
BRACKEN ENGINEERING, INC.
 19 OLD SOUTH ROAD, UNIT B
 P.O. BOX 3525
 NANTUCKET, MA, 02584
 (508) 325-0044
 SCALE: 1"=20'
 APRIL 29, 2009
 SHEET 1 of 3

2010 06060613
 BR: P: 0 P: 0 P: 0
 Doc: PLAN 04/18/09 11:58 AM

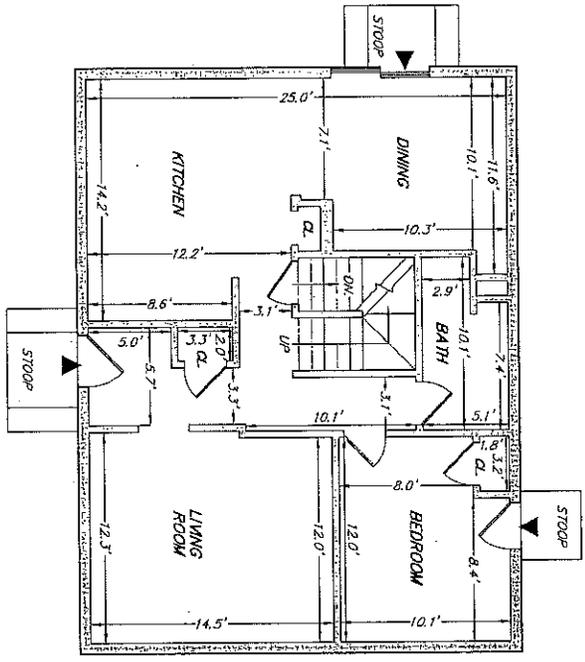
FOR REGISTRY USE ONLY

MANUSETT REGISTRY
 OF DEEDS
 2ND FLOOR
 19 OLD SOUTH ROAD
 NANTUCKET, MA 02584
 (508) 325-0044
 APRIL 28, 2009

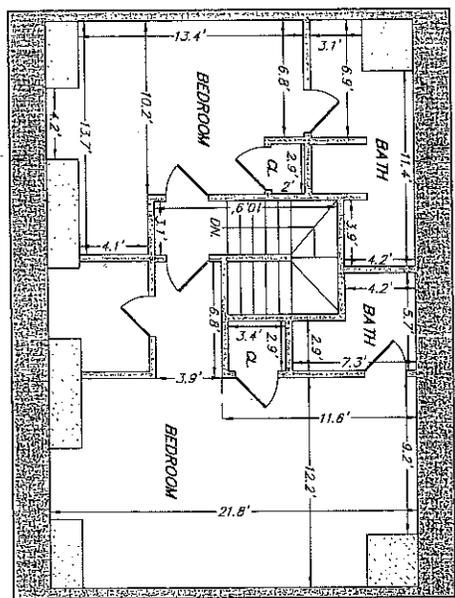
Sheet 2 of 3



UNIT #5A BASEMENT
 806± S.F.



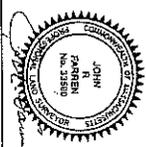
UNIT #5A 1st FLOOR
 803± S.F.



UNIT #5A 2nd FLOOR
 641± S.F.

I CERTIFY THAT THIS PLAN FULLY AND ACCURATELY DEPICTS THE LAYOUT, LOCATION, UNIT NUMBER AND DIMENSIONS OF THE UNIT NUMBERED 5A IN FIVE SKIFF LANE CONDOMINIUMS IN NANTUCKET, MA.

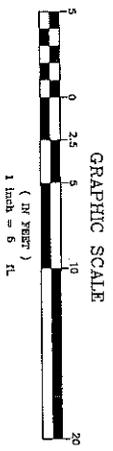
I ALSO CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.



PROFESSIONAL LAND SURVEYOR
 DATE: 4/29/09

NOTE:
 1. ALL MEASUREMENTS TAKEN FROM INSIDE OF FINISHED WALLS.
 ▲ DENOTES ENTRANCE TO UNITS

AREA SUMMARY (S.F.)	
BASEMENT	806±
1ST FLOOR	803±
2ND FLOOR	641±
TOTAL AREA	2,250±



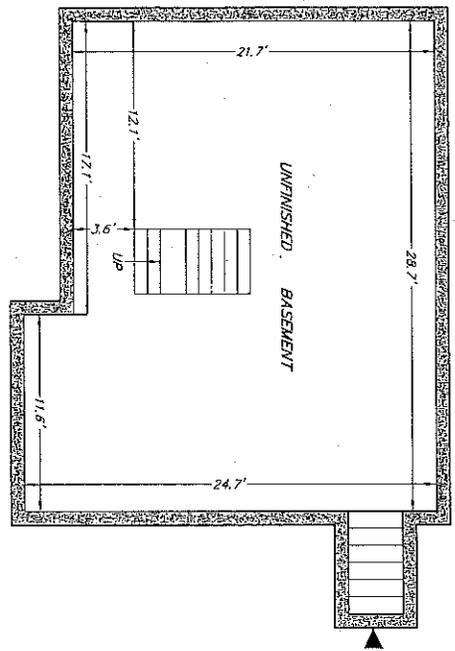
FIVE SKIFF LANE CONDOMINIUM
 UNIT 5A FLOOR PLANS
 IN
 NANTUCKET, MASSACHUSETTS

PREPARED FOR
 SKIFF LANE, LLC

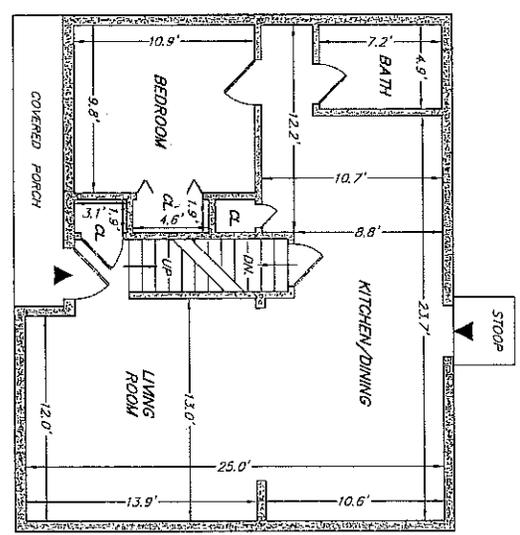
PREPARED BY
 BRACKEN ENGINEERING, INC.
 19 OLD SOUTH ROAD, UNIT B
 P.O. BOX 3525
 NANTUCKET, MA 02584
 (508) 325-0044
 SCALE: 1"=5'
 APRIL 28, 2009
 SHEET 2 of 3

FOR REGISTRY USE ONLY

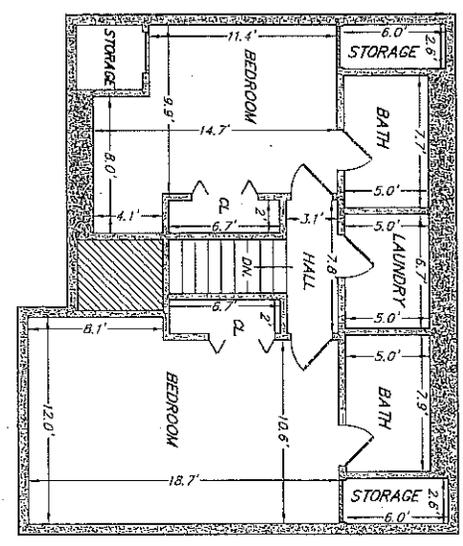
MASSACHUSETTS REGISTRY OF DEEDS
 2009-04-29 11:58 AM
 PLAN 041142010 11:58 AM
 SHEET 3 OF 3



UNIT #5B BASEMENT
 675± S.F.



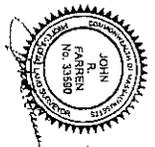
UNIT #5B 1st FLOOR
 647± S.F.



UNIT #5B 2nd FLOOR
 619± S.F.

I, CERTIFY THAT THIS PLAN FULLY AND ACCURATELY DEPICTS THE LAYOUT, LOCATION, UNIT NUMBER AND DIMENSIONS OF THE UNIT NUMBERED 5B IN FIVE SKIFF LANE CONDOMINIUMS IN NANTUCKET, MA.

I ALSO CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.



PROFESSIONAL LAND SURVEYOR
 DATE 4-29-09

NOTE:
 1. ALL MEASUREMENTS TAKEN FROM INSIDE OF FINISHED WALLS.
 ▲ DENOTES ENTRANCE TO UNITS

AREA SUMMARY (S.F.)	
BASEMENT	675±
1ST FLOOR	647±
2ND FLOOR	619±
TOTAL AREA	1,941±



FIVE SKIFF LANE CONDOMINIUM
 UNIT 5B FLOOR PLANS
 IN
 NANTUCKET, MASSACHUSETTS
 PREPARED FOR
 SKIFF LANE, LLC
 PREPARED BY
 BRACKEN ENGINEERING, INC.
 19 OLD SOUTH ROAD, UNIT B
 P.O. BOX 3325
 NANTUCKET, MA, 02584
 (508) 325-0044
 SCALE: 1"=5'
 APRIL 29, 2009
 SHEET 3 OF 3



#18-16 MCD Special Permit
Hillsboro & 15th, LLC & 5050 Properties, LLC
1,3,5, 7 Flint Road & 34 Tomahawk Road
Map 69 Parcels 340 through 347





APR 11 2016 PM 12:57

Catherine Flanagan Stover, Town Clerk
Town of Nantucket - 16 Broad Street
Nantucket, MA 02554 townclerk@nantucket.net
508-228-7217 Fax: 508-325-5313
Home: 508-228-7841

Nantucket Planning Board

Application for a Special Permit

Date: April 11, 2016

File #: 17-16

Name of development: _____

Owner(s) name(s): HILLSBORO & 15th, LLC, and 5050 PROPERTIES, LLC, both Utah limited liability companies

Mailing address: c/o Cohen and Cohen Law PC, BO Box 786, Nantucket MA 02554

Phone number: 508-228-0337 Fax number: 508-228-0970 E-mail: Steven@cohenlegal.net

Applicant's name: same

Mailing address: _____

Phone number: _____ Fax number: _____ E-mail: _____

Engineer / surveyor's name: Don Bracken, Bracken Engineering Inc.

Mailing address: 19 Old South Road, Nantucket, MA 02554

Phone number: 508-325-0044 Fax number: 508-833-2282 E-mail: Don@BrackenEng.com

Location of lot(s): 1, 3, 5 and 7 Flint Road, and 28, 30, 32 and 34 Tomahawk Road

Street address _____

Tax Assessors Map 69 Parcel 340-347

Nantucket Registry of Deed: Plan Book _____ and Page _____ **OR**

Plan File # Lots 192-199 **OR** Land Court Plan # 26984-8 at Certificate # 150091

Size of parcel: 41,424+/-SF sq. ft. Zoning District: CI (RC-2 freeze)

Special Permit sought: (check one)

- Cluster subdivision
- Commercial WECS
- Driveway Access/Curb Cut Special Permit
- Harbor Overlay District (HOD)
- Major Commercial Development (MCD)

Nantucket Planning and Land Use Services ▪ 2 Fairgrounds Road ▪ Nantucket ▪ MA ▪ 02554 ▪ (508) 325-7587

- Multi-family Special Permit
- Moorlands Management District Subdivision or Construction (MMD)
- NEHOD (Neighborhood Employee Housing Overlay District)
- MRD (Major Residential Development)
- MIPOD (Mid-Island Planned Overlay District)
- Other Uses Requiring a Special Permit (specify all uses and *Nantucket Code* sections)

Section see addendum	Description

Specify all associated Zoning Code relief sought:

Section see addendum	Description

Only the zoning relief expressly requested above will be considered as part of this application.

If applying for a Major Commercial Development, specify how the application will comply with Section 139-11 (J) of the *Zoning Code of the Town of Nantucket*, also known as the Town's Affordable Housing Effort:
see addendum

Planning Board filing fee due: \$ 250 + 123.31 (\$6.49x19 to Pitney Bowes)

Engineering Inspection Escrow Deposit due: \$ _____

I/ we hereby certify that the applicant(s) cited above have been authorized by me/ us to file a Special Permit application with the Planning Board on property that I/ we own.

Nantucket Planning and Land Use Services ▪ 2 Fairgrounds Road ▪ Nantucket ▪ MA ▪ 02554 ▪ (508) 325-7587

Owner(s)' Signature(s)

Applicant's Signature

Steven Cohen
*Steven Cohen as authorized
attorney for owner/applicant*

I/we _____, the undersigned, hereby authorize
_____ to act as agent(s) on my/our behalf and to
make any necessary revisions on this filed application as they may be requested by the Board to meet its governing
rules and guidelines.

Owner(s)' signature(s)

Check List:

- Planning Board Special Permit abutters list – to be obtained at the Tax Assessor's office
- Completed application form entitled "Application to the Planning Board for a Special Permit"
- Application fee of \$250.00 payable to Town of Nantucket
- Abutters fee of \$6.11 per abutters payable to Pitney Bowes Reserved Funds
- Four (4) sets of mailing labels with each abutter's name and address
 - 1" x 2 5/8" size, typed labels, are preferred
 - duplicate labels are not necessary if the same owner is listed for more than one abutting property
- Completed application form
- Town Clerk's stamped application (provide 2 copies-one for Town Clerk and one for Planning Board)

MCD Special Permit Addendum

HILLSBORO & 15th, LLC, a Utah limited liability company with a mailing address of 1245 East Brickyard Road, Suite 70, Salt Lake City, Utah 84106, and **5050 PROPERTIES, LLC**, a Utah limited liability company, of 786 East Redford Drive, Provo, Utah 84604, apply to the Nantucket Planning Board for a Special Permit for a Major Commercial Development at **1, 3, 5 and 7 Flint Road, and 28, 30, 32 and 34 Tomahawk Road**, Nantucket, Massachusetts (Locus). Said land is shown as Lots 196, 197, 198, 199, 195, 194, 193 and 192, respectively, on Land Court Plan No. 26984-8, filed at the Nantucket Registry District of the Land Court. See Certificate of Title 150091 for the Owner's/Applicant's title.

The locus is in the Commercial Industrial (CI) Zoning District, but is part of a Coffin Subdivision, which is subject to a "zoning freeze" at the Residential Commercial 2 (RC-2) Zoning District, which expires on October 15, 2017.

The locus is vacant. The locus is comprised of eight vacant lots, totaling approximately 41,424+/-SF. Each lot is at or over the 5,000 SF of lot area required in the RC-2 district and less than the 15,000 SF of lot area required in the CI district, but the Locus is well over both. Each Lot also complies with the 40 feet of frontage required in the RC-2 district and the locus complies with the 75 feet of frontage required in the CI district.

The Applicant proposed to construct a self-storage facility. The facility is proposed to be comprised of two buildings. The structures are proposed as close as 8.6 feet +/- from the eastern side lot line, where the CI zone requires 10 foot side and rear setbacks but RC-2 requires only 5 feet.

The primary building is proposed as a structure with a footprint of approximately 17,378+/-SF. A secondary building of is proposed as a structure with a foot print of approximately 3,203 +/-SF. The locus is proposed with a Ground Cover Ratio of 49.9% where 50% is allowed.

The locus is proposed to have mixed commercial and residential use, as allow. The primary building is proposed to have two basement levels and three levels above grade, with a total of 82,457+/-SF of self-storage Gross Floor Area and an office space of about 954+/-SF. The secondary building is proposed to have one level of self-storage with a Gross Floor Area of about 3,203+/-SF. The two buildings are proposed to have a total of about 691+/- storage units, of various sizes, with a Gross Floor Area of about 86,614+/-SF. The secondary building is proposed to have one second story dwelling, a two bedroom apartment for employee housing.

The proposed commercial use requires 31 parking spaces and the apartment requires 2 parking space, for a total of 33 parking spaces. The Applicant proposes to provide 6 designated parking spaces and up to 13 overflow over-flow parallel spaces between the two buildings. The Applicant notes that there is very limited traffic associated with such facilities.

The locus is proposed to have an open area ratio of 27.8% where 30% is required. Applicant seeks a waiver based on the industrial nature of the area.

Plans for storm water, drainage, erosion control, lighting, parking, access, surface material, grading, utilities, and similar are attached. The locus will be connected to Town water, Town sewer, and utilities already existing in the road and will contain no overhead wires. Lighting will comply with the Nantucket zoning by-law.

Waste will be kept in a screened dumpster with daily off-site disposal by staff or a commercial service at peak seasons and as needed in the off seasons.

The facility is proposed to have 3 or less employees at peak operation. NRTA passes will be provided to employees.

A bike rack for employees and customers will be provided on site. The property is near the end of the Old South Road Bike Path.

Emergency vehicle road access is available entirely on paved roads and on three sides of the property.

The facility is proposed with hours of 7AM to 7PM, with no exterior activities (except loading or unloading). The facility is strictly for dead storage of nonhazardous materials. No other commercial activities will take place from the facility and no hazardous materials will be stored therein.

Applicant seeks an MCD Special Permit with relief and waivers pursuant to the following sections of the Nantucket Zoning By-law:

- 1) Section 139-7A for interior and exterior storage or warehousing (allowed in CI, but requires a Special Permit in RC-2).
- 2) Section 139-11G for waiver of the open space requirement.
- 3) Sections 139-11I and 16A to reduce the setback and/or use the 5 foot side/rear yard setback of RC-2 (instead of 10 foot from CI).
- 4) Section 11J to waive inclusionary housing.
- 5) Section 139-18 for waiver of the off-street parking requirement.
- 6) Section 139-19 for waiver of screening and driveways.
- 7) Section 139-20.1 for waiver of driveway access.
- 8) Section 139-23 to waive Site Plan, Traffic Study, Drainage, Storm Water Runoff, Landscaping, and other such reviews and requirements, to the extent applicable.

Additionally, the Applicant proposes to build the facility in phases and specifically requests the ability construct the primary building, the secondary commercial building, and the employee apartment separately from each other, and to build less than authorized. Further the Applicant seeks release from the MCD in File 04-84 to the extent necessary.

EROSION CONTROL NOTES:

PROTECTION OF NATURAL FEATURES

DUE REGARD SHALL BE SHOWN FOR ALL NATURAL FEATURES, SUCH AS TREES, WATER COURSES, SCENIC POINTS AND SENSITIVE AREAS. EXISTING TREES NEAR CONSTRUCTION TO BE PROTECTED WITH SNOW FENCING OR CONTRACTOR FENCING.

MINIMIZE SITE DISTURBANCE

DURING THE CONSTRUCTION OF THE ROADWAY AND DRAINAGE SYSTEM, DISTURBANCE TO THE SITE SHALL BE MINIMIZED. CONSTRUCTION EQUIPMENT AND TRUCKS MUST STAY WITHIN THE AREAS OF PROPOSED WORK AS SHOWN ON THE APPROVED PLAN.

TEMPORARY STABILIZATION

TEMPORARY SURFACES SHOULD BE STABILIZED AS SOON AS ACTIVE GRADING IS SUSPENDED, REGARDLESS OF THE TIME OF YEAR. DISTURBED AREAS SHOULD BE RE-VEGETATED EARLY ENOUGH IN THE FALL THAT GOOD COVER IS ESTABLISHED BEFORE COLD WEATHER COMES.

TEMPORARY VEGETATION, MULCHING, OR OTHER PROTECTIVE MEASURES MUST BE PROVIDED FOR AREAS THAT WILL BE EXPOSED FOR ONE OR MORE MONTHS. THESE TEMPORARY MEASURES MUST BE APPLIED IMMEDIATELY AFTER DISRUPTION. TEMPORARY MEASURES INCLUDE: SEEDING WITH RYE GRASS OR OTHER ANNUAL GRASSES, JUTE NETTING, SPREADING STRAW MULCH, AND ANY OTHER METHOD ACCEPTABLE TO THE BOARD. IF A DISTURBED AREA WILL BE EXPOSED FOR GREATER THAN ONE YEAR, PERMANENT GRASSES OR OTHER APPROVED COVER MUST BE INSTALLED. IN DISTURBED AREAS, IF THE SURFACE MATERIAL IS NOT SUITABLE FOR THE GROWING OF SEED, A MINIMUM OF 4 INCHES OF LOAM WILL BE REQUIRED.

PERMANENT STABILIZATION

STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. WOOD CHIPS AND MULCHES WILL NOT GENERALLY BE PERMITTED.

AREAS WHERE THE HORIZONTAL DISTURBANCE IS LESS THAN EIGHT FEET MAY BE TREATED WITH A PERENNIAL GRASS MIXTURE OR SOD. A MINIMUM OF FOUR (4) INCHES OF LOAM IS REQUIRED FOR AREAS THAT WILL BE SEED. THE LOAM MUST BE RAKED AND FREE OF ROOTS, STONES, AND TWIGS.

TEMPORARY SEDIMENT CONTROL FOR DRAINAGE

TEMPORARY SEDIMENT CONTROLS MAYBE REQUIRED FOR UNPAVED ROADS, PAVED ROADS WHERE CURBING HAS NOT BEEN INSTALLED, DRAINAGE INLETS, AND DRAINAGE OUTFALLS. TEMPORARY SEDIMENT CONTROLS ALSO MAYBE REQUIRED FOR ALL UNPAVED DRIVEWAYS AND DISTURBED LOTS THAT SLOPE TOWARD THE ROAD. TEMPORARY SEDIMENT CONTROL DEVICES MAY INCLUDE: SILT FENCES, FILTER STRIPS, STAKED HAYBALES, SILT TRAPS, SEDIMENT BASINS, AND CRUSHED ROCK BERMS. TEMPORARY SEDIMENT CONTROL DEVICES MUST BE PLACED ALONG ROAD SIDES WHERE RUNOFF MAY OCCUR AND AROUND STORM DRAIN INLETS AND OUTFALLS. THE PLANNING BOARD MAY REQUIRE A SPECIFIC TYPE OF TEMPORARY SEDIMENT CONTROLS. ALL SEDIMENTS MUST BE REMOVED FROM THE ROADWAY AND OTHER COLLECTION AREAS ON A REGULAR BASIS.

DUST CONTROL

DUST CONTROL IS REQUIRED TO PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED AREAS TO PREVENT OFF-SITE DAMAGE.

1. TEMPORARY STABILIZATION METHODS AS NOTED ABOVE SHALL BE INSTITUTED TO LIMIT THE AMOUNT OF EXPOSED AREAS.
2. EXPOSED SURFACES SHALL BE MOISTENED PERIODICALLY WITH ADEQUATE WATER TO CONTROL DUST.
3. STONE SHALL BE UTILIZED TO COVER SURFACES IN HEAVY TRAFFIC AREAS IF NECESSARY IN CONJUNCTION WITH WATERING.

RESPONSIBILITY

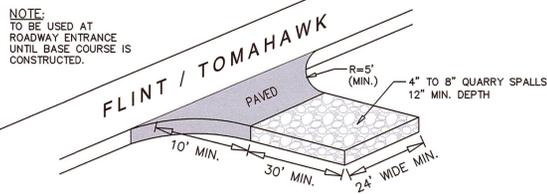
THE DEVELOPER IS RESPONSIBLE FOR PREVENTING ALL EROSION AND THE BUILD-UP OF SEDIMENT WITHIN THE AREAS DISTURBED. EROSION CONTROL MEASURES SHALL BE INSPECTED DAILY BY THE CONTRACTOR AND REPLACED AND REPAIRED AS NEEDED.

TRACKING PAD NOTES:

FILTER CLOTH - SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.

SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHOULD BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM SHOULD BE PERMITTED.

MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH PREVENTS TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANING OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.



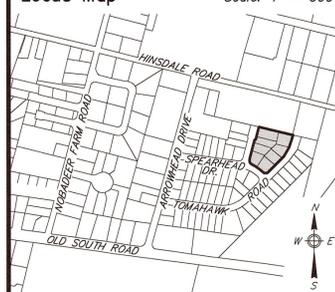
CONSTRUCTION ENTRANCE TRACKING PAD DETAIL

NOT TO SCALE

PROJECT NOTES:

1. THE CONTRACTOR SHALL REPORT TO THE OWNER AND ENGINEER OF ANY SIGNIFICANT VARIATIONS IN EXISTING SITE CONDITIONS FROM THOSE SHOWN ON THESE PLANS. ANY PROPOSED REVISIONS TO THE WORK, IF REQUIRED BY THESE SITE CONDITIONS SHALL NOT BE UNDERTAKEN UNTIL REVIEWED AND APPROVED BY THE OWNER AND THE ENGINEER.
2. IN ORDER TO PROTECT THE PUBLIC SAFETY DURING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING AT ALL TIMES ALL NECESSARY SAFETY DEVICES AND PERSONNEL, WARNING LIGHTS, BARRICADES, AND POLICE OFFICERS.
3. THE CONTRACTOR SHALL REGULARLY INSPECT THE PERIMETER OF THE PROPERTY TO CLEAN UP AND REMOVE LOOSE CONSTRUCTION DEBRIS BEFORE IT LEAVES THE SITE. ALL DEMOLITION DEBRIS SHALL BE PROMPTLY REMOVED FROM THE SITE TO A LEGAL DUMP SITE. ALL TRUCKS LEAVING THE SITE SHALL BE COVERED.
4. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTITUTE EROSION CONTROL MEASURES. SEE EROSION CONTROL NOTES.
5. THE LOCATION OF UNDERGROUND UTILITIES AS REPRESENTED ON THESE PLANS IS BASED UPON PLANS AND INFORMATION PROVIDED BY THE RESPECTIVE UTILITY COMPANIES OR MUNICIPAL DEPARTMENTS SUPPLEMENTED BY FIELD IDENTIFICATION WHEREVER POSSIBLE. NO WARRANTY IS MADE AS TO THE ACCURACY OF THESE LOCATIONS OR THAT ALL UNDERGROUND UTILITIES ARE SHOWN. THE CONTRACTOR SHALL CONTACT DIG SAFE AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION. DIG SAFE TELEPHONE NUMBER IS 1-800-322-4844.
6. THE CONTRACTOR SHALL VERIFY THE LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES PRIOR TO TAPPING INTO, CROSSING OR EXTENDING THEM. IF THE NEW WORK POSES A CONFLICT WITH EXISTING UTILITIES, THE ENGINEER SHALL BE NOTIFIED PRIOR TO THE CONTRACTOR CONTINUING.
7. THE WANNACOMET WATER DEPARTMENT SHALL BE NOTIFIED PRIOR TO ANY WORK ON THE WATER SYSTEM.
8. ALL AREAS TO BE PLANTED WITH GRASS SHALL BE TREATED WITH 100 POUNDS OF GROUND LIMESTONE PER 1000 S.F. OF AREA PLANTED. ALL AREAS TO BE PLANTED WITH GRASS SHALL BE FERTILIZED WITH 10-10-10 AT THE RATE OF 1,000 POUNDS PER ACRE OR AS REQUIRED BY SOIL TEST. 40% OF THE NITROGEN SHALL BE IN ORGANIC FORM.
9. ALL LANDSCAPED AREAS TO BE LOAMED & SEEDDED UNLESS OTHERWISE NOTED.
10. UNLESS OTHERWISE SPECIFIED ALL WORK IS TO CONFORM TO THE LATEST MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS REGULATIONS.

Locus Map Scale: 1" = 500'



Notes

1. LOCUS: #1, #3, #5 & #7 FLINT ROAD #28, #30, #32 & #34 TOMAHAWK ROAD MAP 69 PARCELS 340 thru 347
2. OWNER: KENNETH C. COFFIN, INC. P.O. BOX 90 SIACONSET, MA 02564
3. APPLICANT: NANTUCKET & TOMAHAWK, LLC 786 E. REDFORD ROAD PROVO, UT 84604
4. DEED REF: CERT #11346
5. PLAN REF: LCC #26984-8 (LOTS 192 thru 199)
6. ZONING FREEZE: DOC #133482 (RC-2 ZONE)
7. LOCUS DOES NOT FALL WITHIN A SPECIAL FLOOD HAZARD ZONE AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP No. 25019C-0093-G dated 06/09/2014.
8. LOCUS DOES NOT FALL WITHIN THE NATURAL HERITAGE and ENDANGERED SPECIES PROGRAM (NHSP) AREAS OF ESTIMATED HABITATS OF RARE WILDLIFE and PRIORITY HABITATS OF RARE SPECIES.

LEGEND

- - - - -100- - - - - EXISTING CONTOUR
- 100x0 EXISTING SPOT SHOT
- w—w—w EXISTING WATER LINE
- s—s—s EXISTING SEWER LINE
- d—d—d EXISTING DRAINAGE LINE
- ⊙ EXISTING DRAIN MANHOLE
- ⊕ EXISTING CATCH BASIN
- ⊙ EXISTING WATER SERVICE
- ⊙ EXISTING SEWER SERVICE
- ⊙ EXISTING ELECTRIC BOXES
- ⊙ EXISTING STREET TREE
- x—x—x EXISTING EDGE OF LAWN
- x—x—x PROPOSED SILT FENCE
- PROPOSED SILT SACK

ZONE: C(RC-2*)

	REQUIRED*
LOT AREA:	5,000 s.f.
FRONTAGE:	40'
FRONT YARD:	10'
SIDE/REAR YARD:	5'
GROUND COVER:	50% (MAX)
OPEN AREA:	30% (MIN.)

* SEE ZONING FREEZE (RC-2 ZONE IN DOC #133482)

Prepared By:

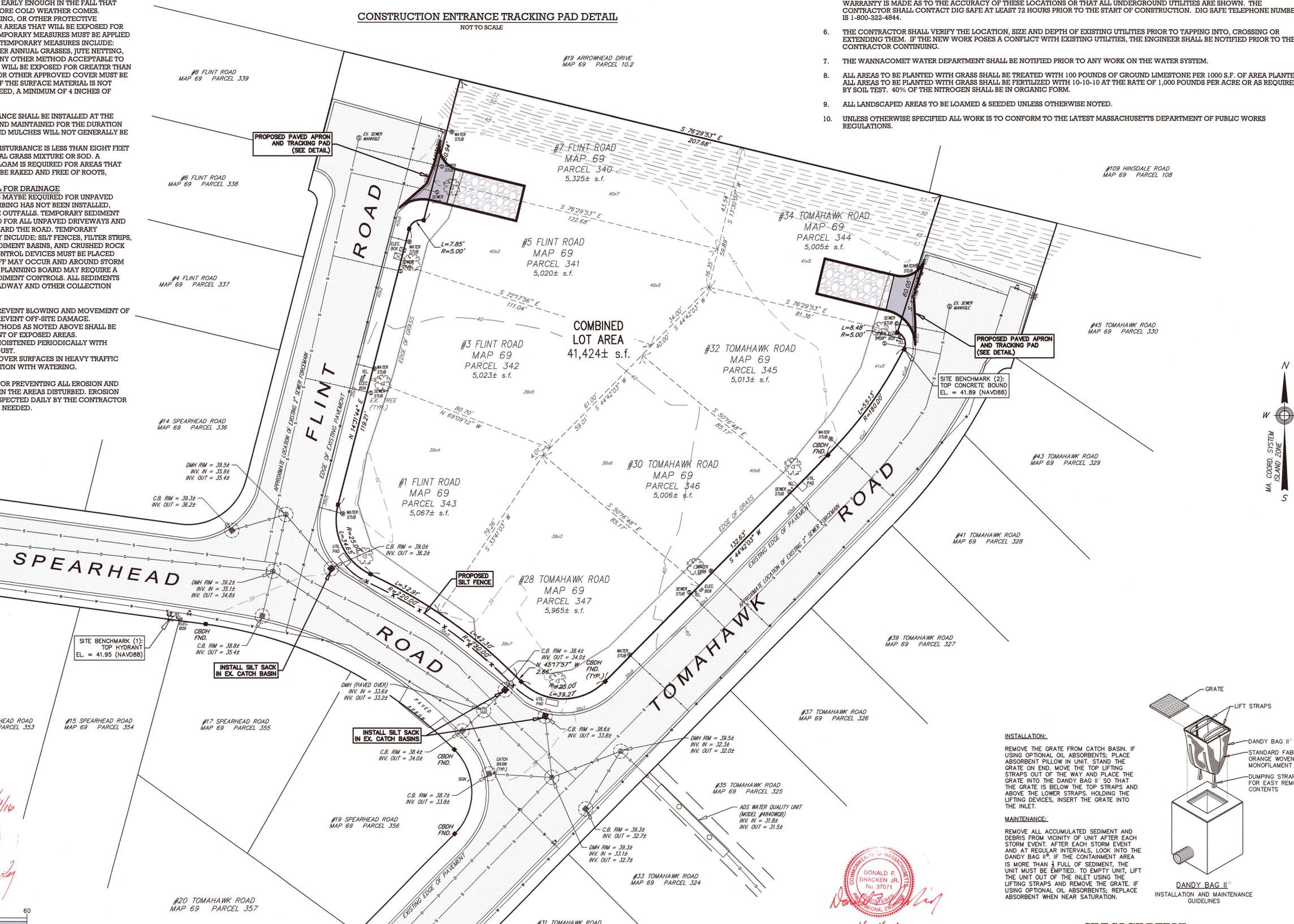
BRACKEN ENGINEERING, INC.
 49 HERRING POND ROAD BUZZARDS BAY, MA 02532
 (tel) 508.833.0070 (fax) 508.833.2282
 19 OLD SOUTH ROAD NANTUCKET, MA 02554
 (tel) 508.325.0044 (fax) 508.325.0044 www.brackeneng.com

EXISTING CONDITIONS AND EROSION CONTROL PLAN IN NANTUCKET, MASSACHUSETTS

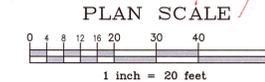
Prepared For:
NANTUCKET & TOMAHAWK, LLC
 #1, #3, #5 and #7 FLINT ROAD #28, #30, #32 and #34 TOMAHAWK ROAD MAP 69 PARCELS 340 THROUGH 347

No.	Date	Revision Description	By

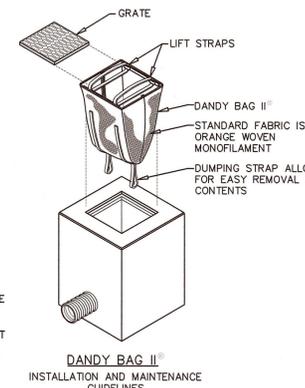
Date:	Drawn:	Checked:	Sheet:
APRIL 8, 2016	RMM/BEI	DFB/AMG	1 of 4



Professional Engineer Seal for Alan M. Grady, No. 37732, State of Massachusetts. Includes a signature and date 4/11/16.



Professional Engineer Seal for Donald F. Bracken Jr., No. 37071, State of Massachusetts. Includes a signature and date 4-11-16.



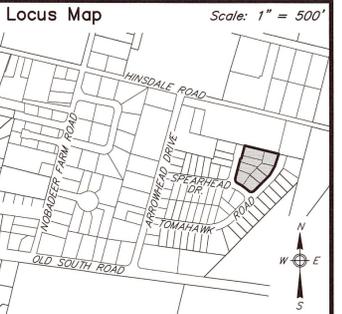
SILT SACK DETAIL

NOT TO SCALE



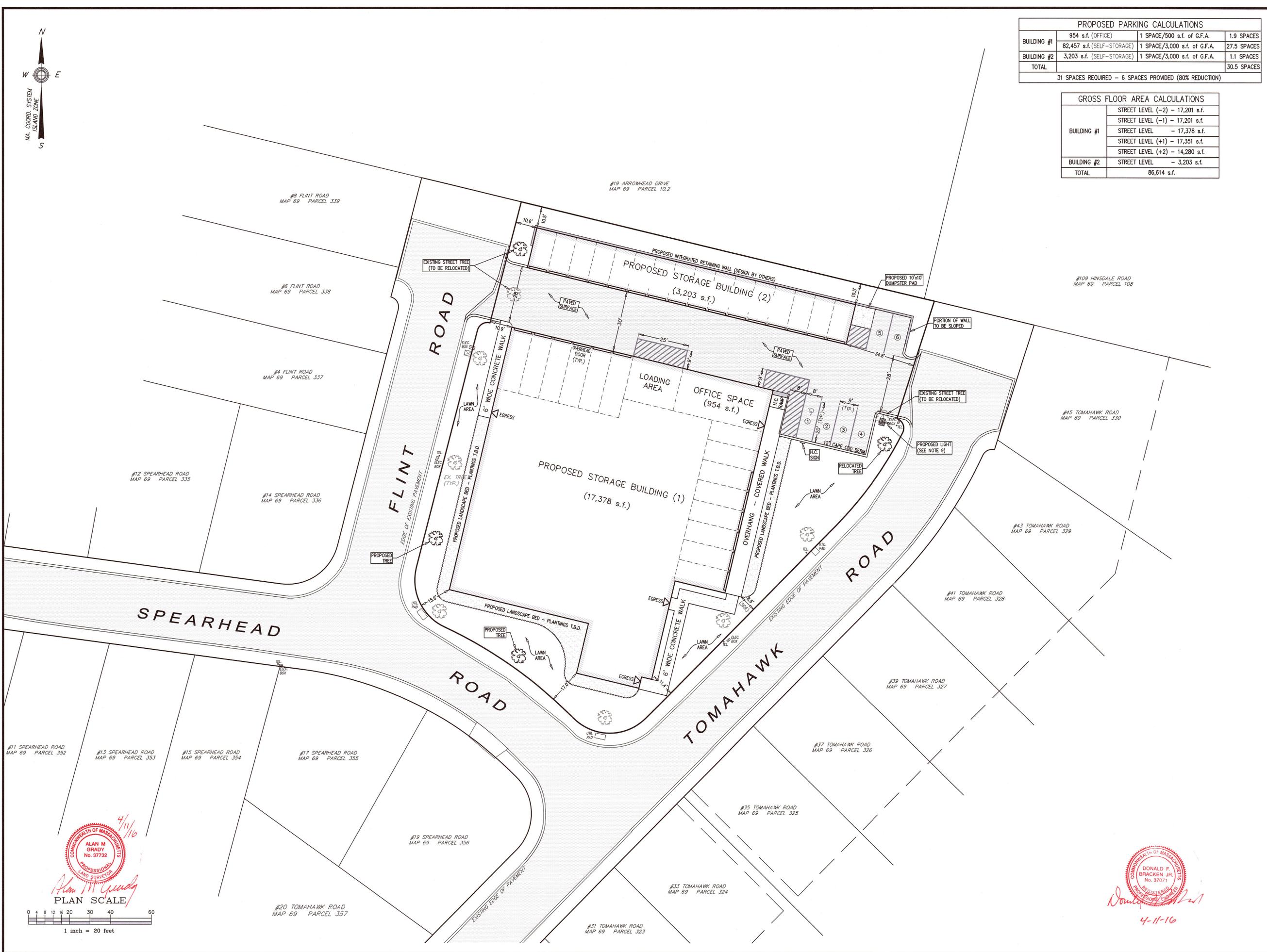
PROPOSED PARKING CALCULATIONS			
BUILDING #1	954 s.f. (OFFICE)	1 SPACE/500 s.f. of G.F.A.	1.9 SPACES
	82,457 s.f. (SELF-STORAGE)	1 SPACE/3,000 s.f. of G.F.A.	27.5 SPACES
BUILDING #2	3,203 s.f. (SELF-STORAGE)	1 SPACE/3,000 s.f. of G.F.A.	1.1 SPACES
TOTAL			30.5 SPACES
31 SPACES REQUIRED - 6 SPACES PROVIDED (80% REDUCTION)			

GROSS FLOOR AREA CALCULATIONS	
	STREET LEVEL (-2) - 17,201 s.f.
	STREET LEVEL (-1) - 17,201 s.f.
	STREET LEVEL - 17,378 s.f.
	STREET LEVEL (+1) - 17,351 s.f.
	STREET LEVEL (+2) - 14,280 s.f.
BUILDING #2	STREET LEVEL - 3,203 s.f.
TOTAL	86,614 s.f.



Notes

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- APPLICANT: NANTUCKET & TOMAHAWK, LLC 786 E. REDFORD ROAD PROVO, UT 84604
- DEED REF: CERT #11346
- PLAN REF: LCC #26984-8 (LOTS 192 thru 199)
- ZONING FREEZE: DOC #133482 (RC-2 ZONE)
- LOCUS DOES NOT FALL WITHIN A SPECIAL FLOOD HAZARD ZONE AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP No. 25019C-0093-G dated 06/09/2014.
- LOCUS DOES NOT FALL WITHIN THE NATURAL HERITAGE and ENDANGERED SPECIES PROGRAM (NHESP) AREAS OF ESTIMATED HABITATS OF RARE WILDLIFE and PRIORITY HABITATS OF RARE SPECIES.



ZONE: C(RC-2*)	REQUIRED*	PROPOSED
LOT AREA:	5,000 s.f.	41,424± s.f.
FRONTAGE:	40'	>40'
FRONT YARD:	10'	10.6'
SIDE/REAR YARD:	5'	8.6'
GROUND COVER:	50% (MAX)	49.9%
OPEN AREA:	30% (MIN.)	27.8%

* SEE ZONING FREEZE (RC-2 ZONE IN DOC #133482)

Prepared By:

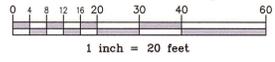
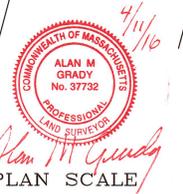
BRACKEN ENGINEERING, INC.

49 HERRING POND ROAD BUZZARDS BAY, MA 02532
 (tel) 508.833.0070 (fax) 508.833.2282

19 OLD SOUTH ROAD NANTUCKET, MA 02554
 (tel) 508.326.0044 www.brackenneng.com

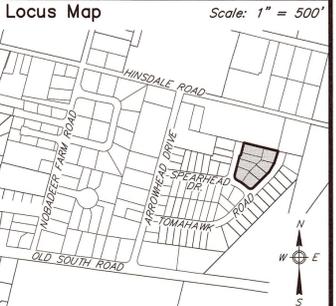
PROPOSED LAYOUT and LANDSCAPING PLAN IN NANTUCKET, MASSACHUSETTS

Prepared For:
NANTUCKET & TOMAHAWK, LLC
 #1, #3, #5 and #7 FLINT ROAD #28, #30, #32 and #34 TOMAHAWK ROAD MAP 69 PARCELS 340 THROUGH 347





DRAINAGE SCHEDULE	
NOTES:	
1. ALL DRAINAGE PIPES SHALL BE CONSTRUCTED OF ADS HDPE PIPE UNLESS OTHERWISE SPECIFIED	
2. ALL DRAINAGE PIPES SHALL BE 10 INCHES IN DIAMETER AND SET WITH A MINIMUM SLOPE OF S=0.01 FT/FT UNLESS OTHERWISE NOTED HEREON.	
DMH 1	CB 1 (w/ 4' SUMP)
RIM.....	40.7
INV A (OUT:WQ 1).....	36.8
INV B (IN:CB 1).....	36.9
INV C (IN:CB 2).....	36.9
DMH 2	CB 2 (w/ 4' SUMP)
RIM.....	41.0
INV A (OUT:SWMA 1).....	36.3
INV B (IN:ROOF).....	36.4
WQ 1	CB 3 (w/ 4' SUMP)
RIM.....	41.0
INV A (OUT:SWMA 1).....	35.7
INV B (IN:DMH 1).....	36.0
INV C (IN:CB 3).....	36.0



- Notes**
- LOCUS: #1, #3, #5 & #7 FLINT ROAD #28, #30, #32 & #34 TOMAHAWK ROAD MAP 69 PARCELS 340 thru 347
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 - PLAN REF: LCC #26984-8 (LOTS 192 thru 199)
 - ZONING FREEZE: DOC #133482 (RC-2 ZONE)
 - LOCUS DOES NOT FALL WITHIN A SPECIAL FLOOD HAZARD ZONE AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP No. 25019C-0093-G dated 06/09/2014.
 - LOCUS DOES NOT FALL WITHIN THE NATURAL HERITAGE and ENDANGERED SPECIES PROGRAM (NHESP) AREAS OF ESTIMATED HABITATS OF RARE WILDLIFE and PRIORITY HABITATS OF RARE SPECIES.

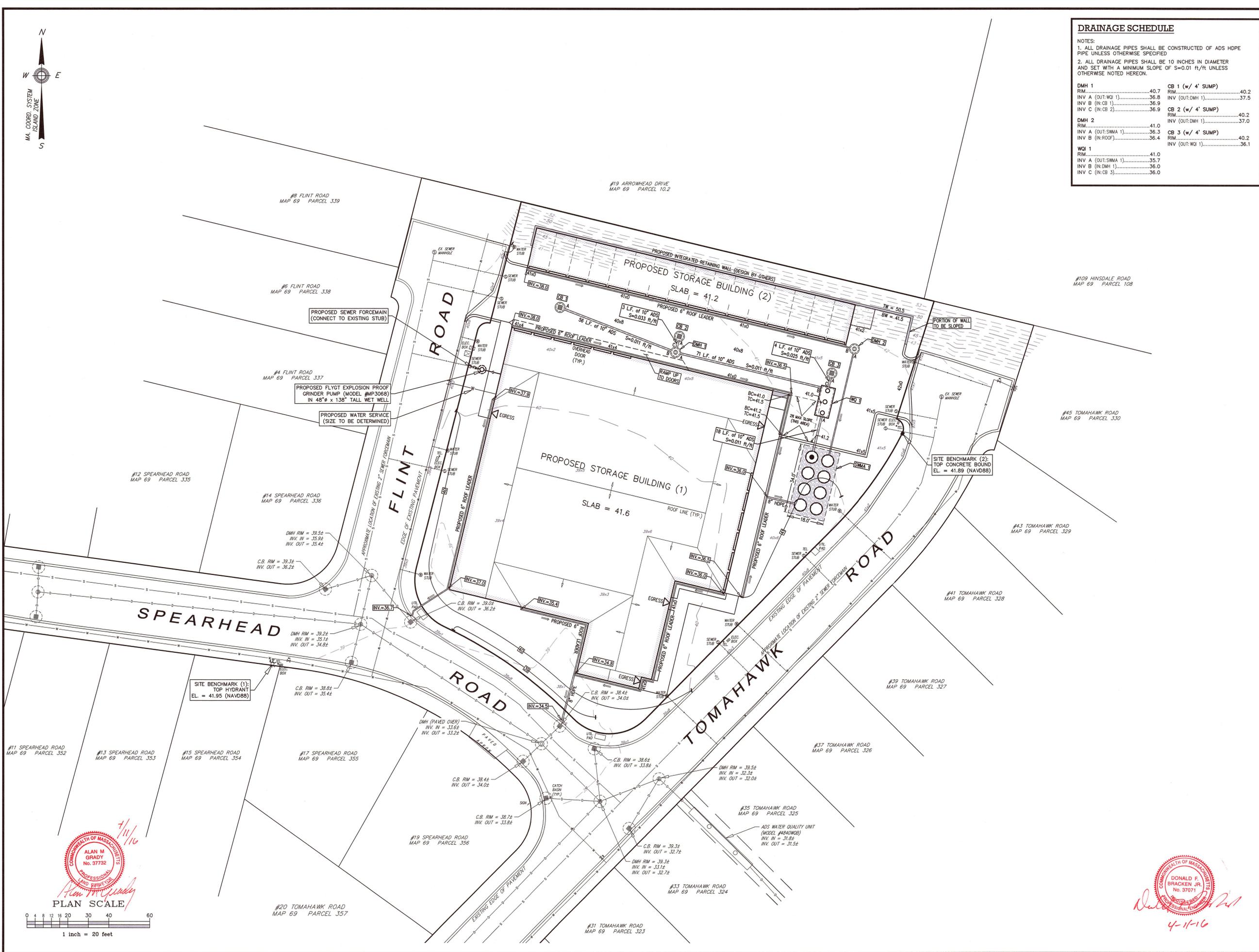
LEGEND

---	EXISTING CONTOUR
100x0	EXISTING SPOT SHOT
W	EXISTING WATER LINE
S	EXISTING SEWER LINE
D	EXISTING DRAINAGE LINE
⊙	EXISTING DRAIN MANHOLE
⊕	EXISTING CATCH BASIN
⊙	EXISTING WATER SERVICE
⊙	EXISTING SEWER SERVICE
⊕	EXISTING ELECTRIC BOXES
---	PROPOSED DRAIN LINE
---	PROPOSED ROOF LEADER
⊕	PROPOSED CATCH BASIN
⊕	PROPOSED DRAIN MANHOLE
S	PROPOSED SEWER SERVICE
FM	PROPOSED SEWER FORCEMAIN
W	PROPOSED WATER SERVICE
---	PROPOSED CONTOUR
90x0	PROPOSED SPOT ELEVATION

Prepared By:
BRACKEN ENGINEERING, INC.
 49 HERRING POND ROAD BUZZARDS BAY, MA 02532
 (tel) 508.833.0070 (fax) 508.833.2282
 19 OLD SOUTH ROAD NANTUCKET, MA 02554
 (tel) 508.325.0044 (www.brackeneng.com)

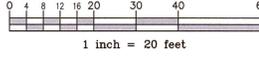
GRADING, DRAINAGE & UTILITIES PLAN
IN NANTUCKET, MASSACHUSETTS
 Prepared For:
NANTUCKET & TOMAHAWK, LLC
 #1, #3, #5 and #7 FLINT ROAD
 #28, #30, #32 and #34 TOMAHAWK ROAD
 MAP 69 PARCELS 340 THROUGH 347

Date	Revision Description	By
APRIL 8, 2016	RMM/BEI DFB/AMG	3 of 4

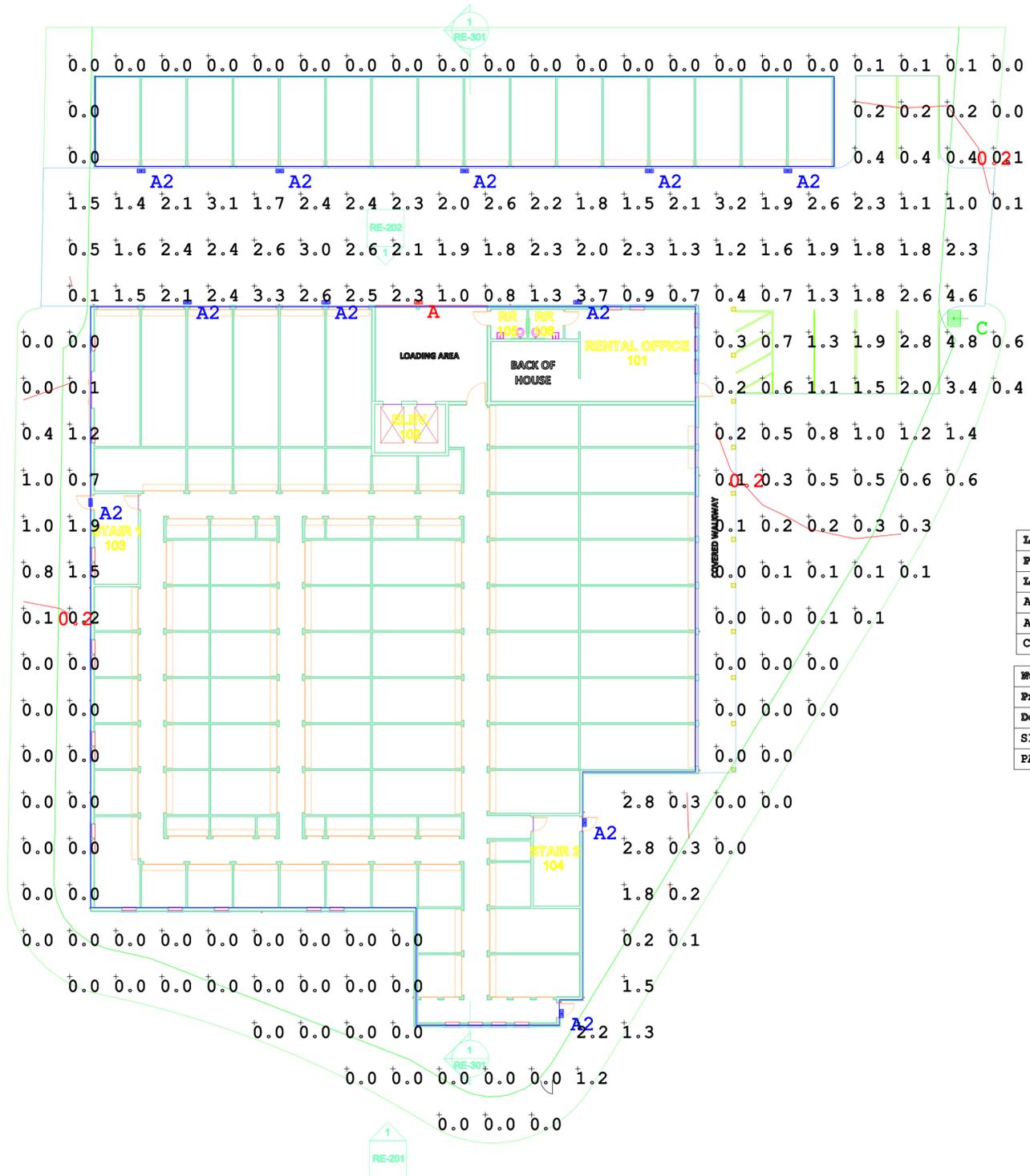


7/11/16
 ALAN M. GRADY
 No. 37732
 PROFESSIONAL ENGINEER
 AND SURVEYOR
 Commonwealth of Massachusetts

7/11/16
 DONALD F. BRACKEN JR.
 No. 3707
 PROFESSIONAL ENGINEER
 Commonwealth of Massachusetts



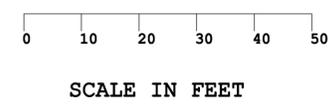
Project:
**TURNKEY SELF
STORAGE
PROJECT**



Luminaire Schedule					
Project: Project_1					
Label	Symbol	Qty	Description	Lum. Lumens	LLF
A	[Symbol]	1	22WT LED VISOR WALLPACK - VISOR22U1 @ 15' AFG	1686	0.900
A2	[Symbol]	11	19WT LED VISOR WALLPACK - VISOR22U1 @ 8' AFG	1355	0.900
C	[Symbol]	1	250WT PS METAL HALIDE - FULL CUTOFF-FRWD/THRW W/BLS - FFM825-M @ 25' POLE HGT	8578	0.700

Numeric Summary						
Project: Project_1						
Description	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE @ GRADE	Fc	0.83	4.8	0.0	N.A.	N.A.
PARKING LOT @ GRADE	Fc	1.86	3.7	0.2	9.30	18.50

PHOTOMETRIC LIGHTING PLAN



NOTES:
THIS LIGHTING DESIGN IS BASED ON INFORMATION PROVIDED BY OTHERS. ACTUAL RESULTS MAY DIFFER FROM DESIGN, DUE TO INACCURATE, ADDITIONAL OR MISSING CRITICAL SITE INFORMATION THAT IS PERTINATE TO THIS DESIGN. SIMKAR CORPORATION OR CEW LIGHTING IS NOT RESPONSIBLE FOR DIFFERENCES IN DESIGN VERSUS ACTUAL PERFORMANCE BASED ON THIS SITE INFORMATION.
ILLUMINANCE VALUES SHOWN ARE CALCULATED FROM THE LUMINAIRE LABORTORY TEST DATA LISTED. LABORATORY TEST ARE MADE UNDER OPTIMUM CONDITIONS, WITH LAMP OUTPUT AT RATED VALUE AND IN ACCORDANCE WITH ILLUMINATING ENGINEERING STANDARDS.

Scale:
AS SHOWN

Date:
4-6-16

Project#
turnkey1.agi

Drawn By:
D.A.O.

Email:
doneal@simkar.com

Sheet Size:
C

STORMWATER REPORT

PREPARED FOR

Nantucket & Tomahawk, LLC

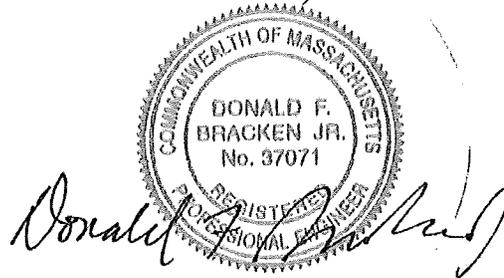
FOR

**#1, #3, #5, #7 Flint Road
#28, #30, #32, #34 Tomahawk Road
Nantucket, MA**

Map 69 Parcels 340 through 347

PREPARED BY

**BRACKEN ENGINEERING, INC.
19 OLD SOUTH ROAD
NANTUCKET, MA 02554**



**Donald F. Bracken, Jr., P.E.
April 8, 2016**

OBJECTIVE

To design a stormwater management system for a new self-storage facility including parking and driveway areas will be paved.

EXISTING CONDITIONS

The site is currently vacant and cleared and located in a commercial subdivision. The site has frontage and access from Flint Road and Tomahawk Road which are paved roads.

USGS soil mapping for this site indicate Evesboro sand which drains very well and has a low runoff potential.

A preliminary Geotechnical Report included test borings on site and in the area of drainage disposal system. Soil descriptions include fine to medium sands and gravels. The site has been filled with these materials but is suitable for a subsurface drainage system.

PROPOSED CONDITIONS

Runoff from the parking areas will be collected via deep sump catch basins and diverted through a water quality tank and into a subsurface infiltration system. A portion of the building's roof runoff will be collected via a gutter system and piped directly into the infiltration system.

The remaining roof runoff will be collected via a gutter system and connected to the subdivision's drainage system. Additional site runoff will also be directed into catch basins in the subdivision's drainage system. This runoff has been designed to not exceed the allowable runoff of 50% of a developed commercial site within the subdivision.

HYDROLOGIC MODELING

To estimate what runoff would be generated under proposed watershed conditions and to determine the capacity of the infiltration system, a mathematical model of the watersheds was prepared. The model utilized the standard engineering practices based on the National Engineering Handbook, Section 4, Hydrology (NEH-4), and the Soil Conservation Services (SCS)

Technical Release 20 (TR-20), Urban Hydrology for Small Watersheds. The system was analyzed using the rainfall data for the twenty-five (25) year, 24 hour duration storm frequencies as required in the "Rules and Regulations Governing the Subdivision of Land" for Nantucket. The precipitation was based on the Natural Resources Conservation Service Maps, revised in 1986.

The "TR-20" program calculates the runoff based on the rainfall and watershed characteristics, and produces a runoff hydrograph, (a runoff rate versus time curve). The stage-storage-discharge curves for a specific infiltration area are used to compute an outflow hydrograph by hydraulically routing an inflow hydrograph through the infiltration area. This procedure calculates the relationship of the inflow hydrograph with the characteristics of the infiltration area to determine the outflow, stage, and storage capacity of the infiltration area for a given time during the specified storm event.

To assist in the analysis, the Stormwater Modeling System utilized was Hydrocad®. This program is largely based on hydrologic techniques developed by the Natural Resource Conservation Service, combined with other hydrologic and hydraulic calculations.

CONCLUSION

The drainage system has been designed to adequately handle the 25 year storm event in accordance with the Town's standards. The runoff from the site that will be discharged directly into the street drainage system will not exceed the allowable of 50% of the developed lot area and will actually result in a substantial reduction in allowable flow.

The following is a comparison of allowed and proposed runoff:

Allowable peak flow: 2.40 cubic feet per second (cfs)

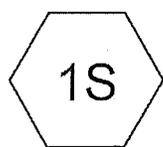
Proposed peak flow: 1.33 cfs

Reduction: 46%

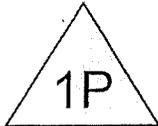
Allowable volume: 7,667 cubic feet (cf)

Proposed Volume: 4,181 cf

Reduction: 45%



1 Flint Rd



SWMA 1



Proposed Flow Offsite



Allowable Flow Offsite
(50% of Developed Lot Area)



Routing Diagram for 1 Flint Road - PostDev
Prepared by Bracken Engineering, Inc., Printed 4/11/2016
HydroCAD® 10.00 s/n 03102 © 2013 HydroCAD Software Solutions LLC

1 Flint Road - PostDev

Prepared by Bracken Engineering, Inc.
HydroCAD® 10.00 s/n 03102 © 2013 HydroCAD Software Solutions LLC

1 Flint Road
Type III 24-hr C - 25 YR Rainfall=5.70"

Printed 4/11/2016

Page 2

Time span=0.00-72.00 hrs, dt=0.05 hrs, 1441 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: 1 Flint Rd Runoff Area=19,587 sf 100.00% Impervious Runoff Depth=5.46"
Tc=5.0 min CN=98 Runoff=2.53 cfs 0.205 af

Subcatchment 2S: Proposed Flow Offsite Runoff Area=21,829 sf 47.10% Impervious Runoff Depth=2.31"
Tc=5.0 min CN=67 Runoff=1.33 cfs 0.096 af

Subcatchment 3S: Allowable Flow Offsite Runoff Area=20,712 sf 85.00% Impervious Runoff Depth=4.45"
Tc=5.0 min CN=89 Runoff=2.40 cfs 0.176 af

Pond 1P: SWMA 1 Peak Elev=35.37' Storage=3,241 cf Inflow=2.53 cfs 0.205 af
Outflow=0.31 cfs 0.205 af

Total Runoff Area = 1.426 ac Runoff Volume = 0.477 af Average Runoff Depth = 4.01"
23.59% Pervious = 0.336 ac 76.41% Impervious = 1.090 ac

1 Flint Road - PostDev

Prepared by Bracken Engineering, Inc.

HydroCAD® 10.00 s/n 03102 © 2013 HydroCAD Software Solutions LLC

1 Flint Road
Type III 24-hr C - 25 YR Rainfall=5.70"

Printed 4/11/2016

Page 3

Summary for Subcatchment 1S: 1 Flint Rd

Runoff = 2.53 cfs @ 12.07 hrs, Volume= 0.205 af, Depth= 5.46"

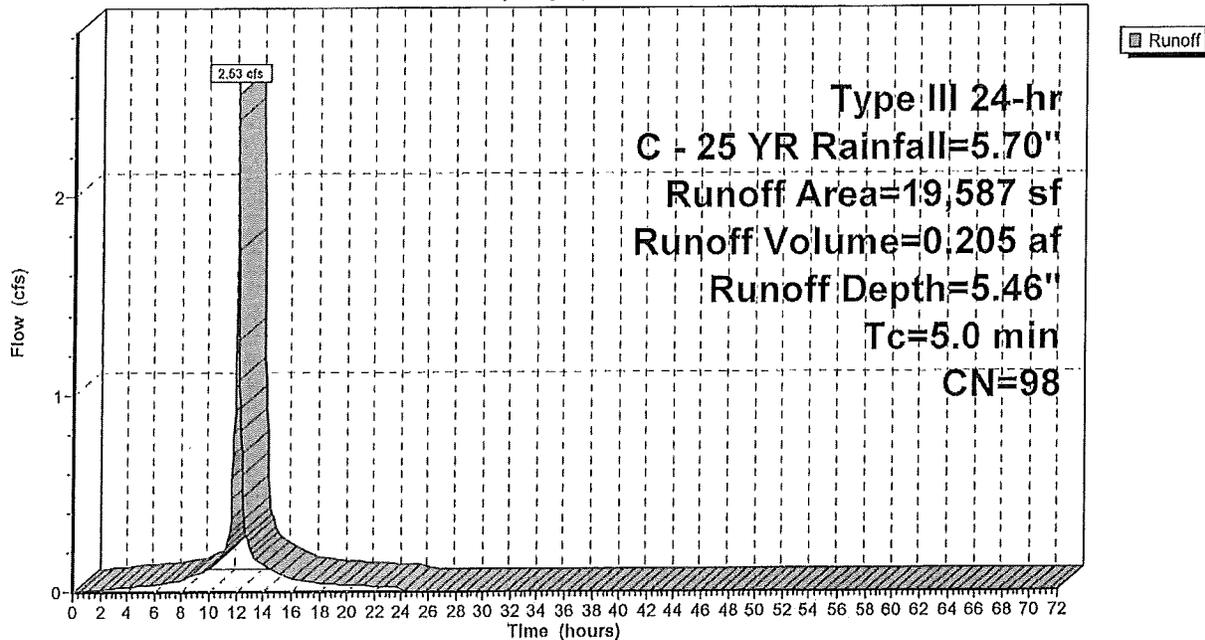
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs
Type III 24-hr C - 25 YR Rainfall=5.70"

Area (sf)	CN	Description
7,313	98	Paved roads w/curbs & sewers, HSG A
12,274	98	Roofs, HSG A
19,587	98	Weighted Average
19,587		100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

Subcatchment 1S: 1 Flint Rd

Hydrograph



1 Flint Road - PostDev

Prepared by Bracken Engineering, Inc.

HydroCAD® 10.00 s/n 03102 © 2013 HydroCAD Software Solutions LLC

1 Flint Road
Type III 24-hr C - 25 YR Rainfall=5.70"

Printed 4/11/2016

Page 4

Summary for Subcatchment 2S: Proposed Flow Offsite

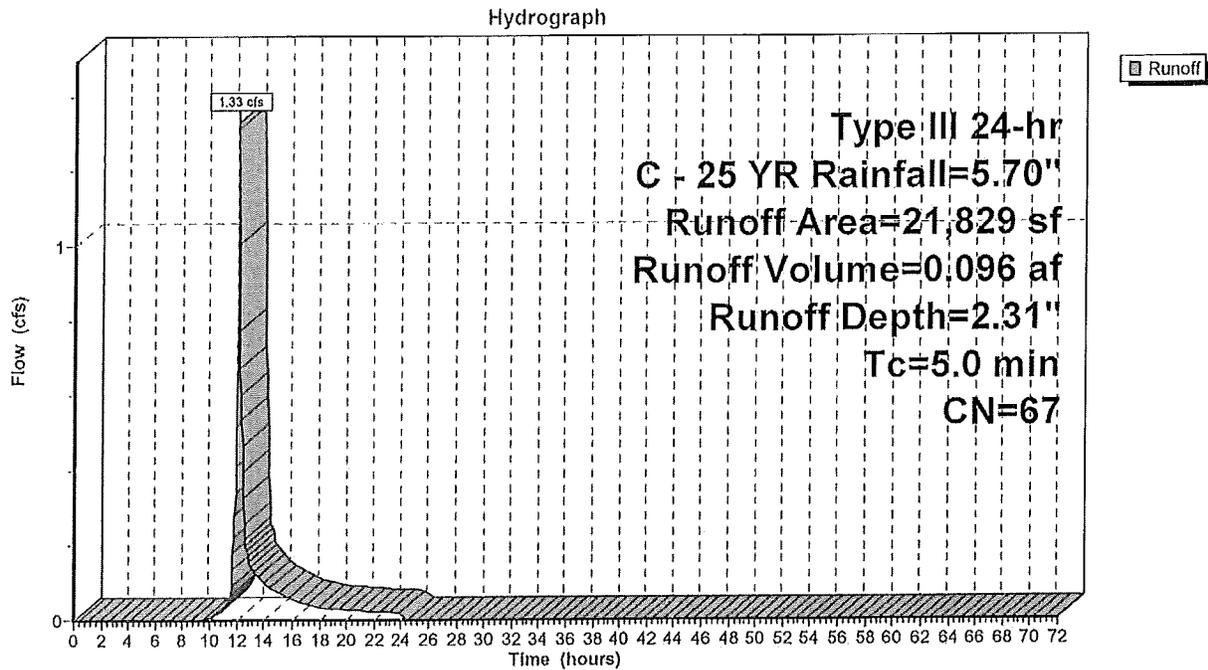
Runoff = 1.33 cfs @ 12.08 hrs, Volume= 0.096 af, Depth= 2.31"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs
Type III 24-hr C - 25 YR Rainfall=5.70"

Area (sf)	CN	Description
1,148	98	Paved parking, HSG A
11,548	39	>75% Grass cover, Good, HSG A
* 9,133	98	Roof
21,829	67	Weighted Average
11,548		52.90% Pervious Area
10,281		47.10% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

Subcatchment 2S: Proposed Flow Offsite



1 Flint Road - PostDev

Prepared by Bracken Engineering, Inc.

HydroCAD® 10.00 s/n 03102 © 2013 HydroCAD Software Solutions LLC

1 Flint Road
Type III 24-hr C - 25 YR Rainfall=5.70"

Printed 4/11/2016

Page 5

Summary for Subcatchment 3S: Allowable Flow Offsite (50% of Developed Lot Area)

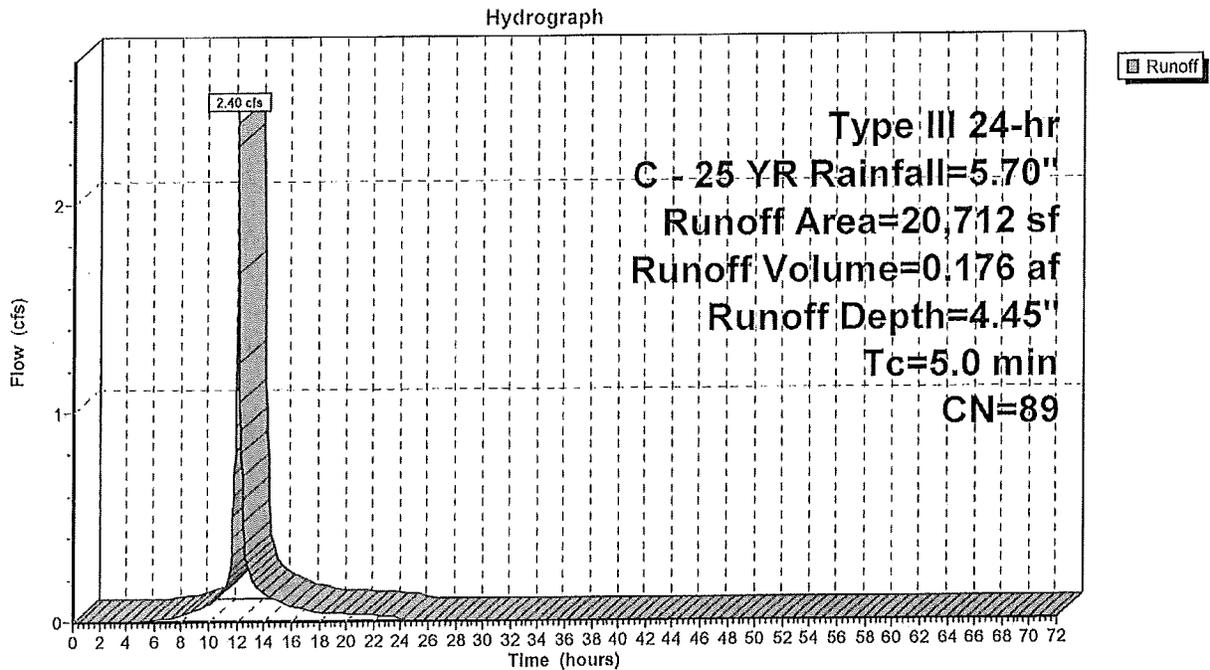
Runoff = 2.40 cfs @ 12.07 hrs, Volume= 0.176 af, Depth= 4.45"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs
Type III 24-hr C - 25 YR Rainfall=5.70"

Area (sf)	CN	Description
20,712	89	Urban commercial, 85% imp, HSG A
3,107		15.00% Pervious Area
17,605		85.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

Subcatchment 3S: Allowable Flow Offsite (50% of Developed Lot Area)



1 Flint Road - PostDev

Prepared by Bracken Engineering, Inc.

HydroCAD® 10.00 s/n 03102 © 2013 HydroCAD Software Solutions LLC

1 Flint Road
Type III 24-hr C - 25 YR Rainfall=5.70"

Printed 4/11/2016

Page 6

Summary for Pond 1P: SWMA 1

Inflow Area = 0.450 ac, 100.00% Impervious, Inflow Depth = 5.46" for C - 25 YR event
 Inflow = 2.53 cfs @ 12.07 hrs, Volume= 0.205 af
 Outflow = 0.31 cfs @ 12.62 hrs, Volume= 0.205 af, Atten= 88%, Lag= 33.1 min
 Discarded = 0.31 cfs @ 12.62 hrs, Volume= 0.205 af

Routing by Stor-Ind method, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs
 Peak Elev= 35.37' @ 12.62 hrs Surf.Area= 612 sf Storage= 3,241 cf

Plug-Flow detention time= 91.2 min calculated for 0.205 af (100% of inflow)
 Center-of-Mass det. time= 91.2 min (836.2 - 745.0)

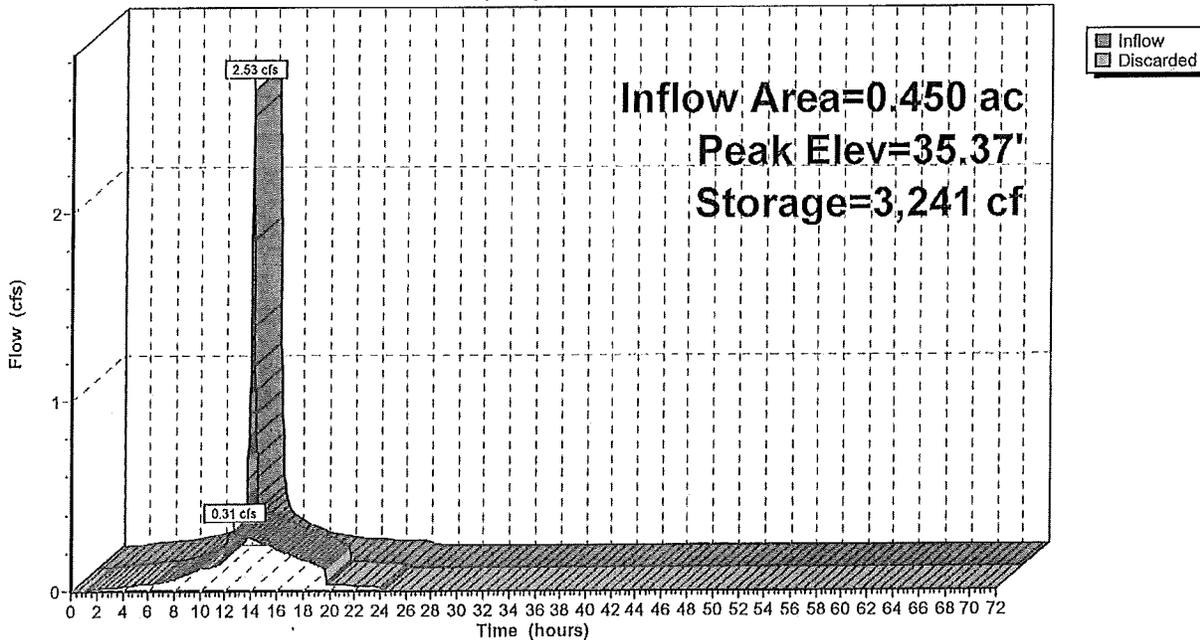
Volume	Invert	Avail.Storage	Storage Description
#1	25.83'	1,599 cf	18.00'W x 34.00'L x 10.00'H Prismatic 6,120 cf Overall - 2,124 cf Embedded = 3,996 cf x 40.0% Voids
#2	27.83'	1,810 cf	6.00'D x 8.00'H Vertical Cone/Cylinder x 8 Inside #1 2,124 cf Overall - 3.0" Wall Thickness = 1,810 cf
		3,408 cf	Total Available Storage

Device	Routing	Invert	Outlet Devices
#1	Discarded	25.83'	8.270 in/hr Exfiltration over Wetted area

Discarded OutFlow Max=0.31 cfs @ 12.62 hrs HW=35.37' (Free Discharge)
 ↑ 1=Exfiltration (Exfiltration Controls 0.31 cfs)

Pond 1P: SWMA 1

Hydrograph



OPERATION & MAINTENANCE PLAN

Stormwater Management Systems

#1, #3, #5, and #7 Flint Road

#28, #30, #32, and #34 Tomahawk Road

Nantucket, Massachusetts

Dated: April 8, 2016

The Stormwater Management System employs Best Management Practices (BMPs) as set forth in the revised Massachusetts Stormwater Standards and Massachusetts structural BMPs, including this Operation and Maintenance Plan, to reduce the types and concentrations of contaminants contained within stormwater runoff. Structural BMPs that are part of the system and include deep sump catch basins, water quality tanks, and underground recharge structures. The stormwater management systems are designed to remove a total minimum of 89% TSS prior to outfalls in accordance with the Massachusetts Stormwater Standards. The drainage system will function to both remove contaminants and recharge the groundwater.

This Operation and Maintenance Plan is intended to identify the party or parties responsible for operation and maintenance of the drainage systems and to set forth a schedule and tasks for inspections and maintenance.

Responsibility for Operation and Maintenance:

The applicant for this project is Nantucket & Tomahawk, LLC. The applicant, their designated representative, or future owners of the property shall be responsible for the continuous operation and maintenance of the systems or shall enter into an agreement with a qualified maintenance contractor to conduct the work.

The contractor shall have demonstrated capabilities in sediment removal, cleaning and maintenance of drainage structures, and shall have the equipment to physically remove the accumulated sediments and the ability to repair the structural components of the systems.

Maintenance Schedule and Tasks:

Pavement Sweeping- Routine maintenance of the system shall consist of sweeping the parking lot pavement surface with a motorized sweeper a minimum of four times total per year, including two times during the spring following the last snow melt to remove sands and other debris, and four times during the late fall, or as necessary.

Deep Sump Catch Basin - The proposed catch basin is to be a minimum of four feet in diameter and equipped with a four foot deep sump to trap sediments and any debris/trash. The pipe inlets shall be

hooded to prevent floating debris and oils from entering the subsurface drainage conveyance system. The actual removal of sediments, trash, and associated pollutants only occurs when the deep sumps are cleaned out; therefore, frequent maintenance is required. The more frequent the cleaning, the less likely sediments will be re-suspended and subsequently discharged. In addition, frequent cleaning also results in more volume available for future storms and enhances overall performance.

In areas of high sediment loading, deep sumps should be inspected and cleaned as necessary, particularly after every major storm event. The recommended inspection frequency is every three months, and cleaning two to three times per year. Disposal of accumulated sediment and trash is to be in accordance with applicable local, state, and federal guidelines and regulations.

Water Quality Tank- The water quality tank shall be inspected after every major storm, but at least every month and cleaned if necessary. Tank should be cleaned twice a year and access is available via the frame and covers to grade. Remove accumulated sediment and debris from the chambers and dispose at an approved off-site location. Maintenance of the upstream drainage systems BMPs, the catch basins, will reduce the possibility of debris and sediment accumulating in the chambers.

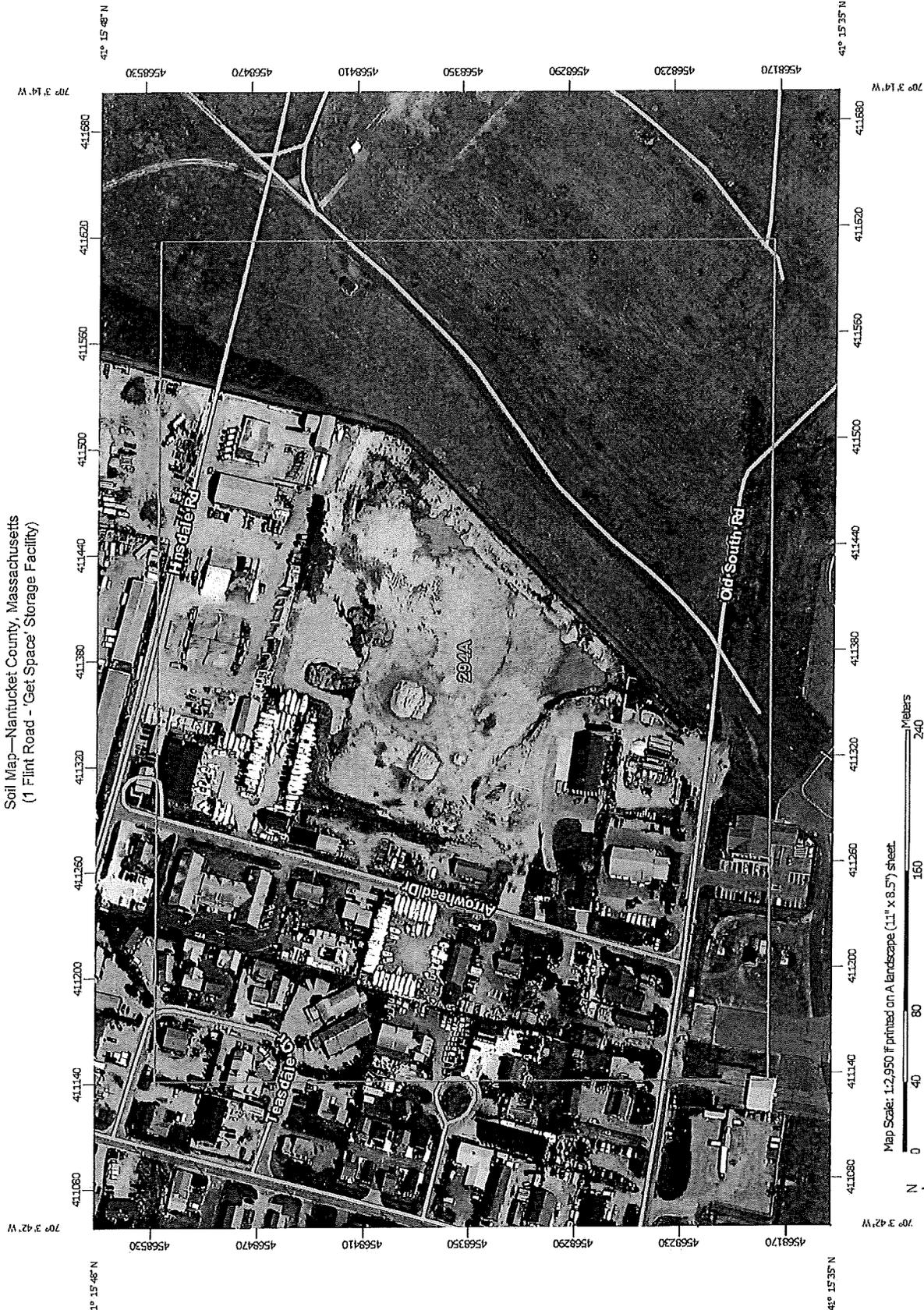
Subsurface Infiltration Systems- The subsurface infiltration system shall be inspected twice a year to ensure that the chambers are clean of debris and sediment. Access is available via the frame and covers to grade. Remove accumulated sediment and debris from the chambers and dispose at an approved off-site location. Maintenance of the upstream drainage systems BMPs, the catch basins and water quality tank, will reduce the possibility of debris and sediment accumulating in the chambers.

Operation & Maintenance Plan acknowledged/accepted

Applicant: Nantucket & Tomahawk, LLC

Date

Soil Map—Nantucket County, Massachusetts
 (1 Flint Road - 'Get Space' Storage Facility)



MAP LEGEND

	Area of Interest (AOI)		Soil Area
	Soils		Stony Spot
	Soil Map Unit Polygons		Very Stony Spot
	Soil Map Unit Lines		Wet Spot
	Soil Map Unit Points		Other
	Special Point Features		Special Line Features
	Blowout		Water Features
	Borrow Pit		Streams and Canals
	Clay Spot		Transportation
	Closed Depression		Rails
	Gravel Pit		Interstate Highways
	Gravelly Spot		US Routes
	Landfill		Major Roads
	Lava Flow		Local Roads
	Marsh or swamp		Background
	Mine or Quarry		Aerial Photography
	Miscellaneous Water		
	Perennial Water		
	Rock Outcrop		
	Saline Spot		
	Sandy Spot		
	Severely Eroded Spot		
	Sinkhole		
	Slide or Slip		
	Sodic Spot		

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:20,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
Web Soil Survey URL: <http://websoilsurvey.nrcs.usda.gov>
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Nantucket County, Massachusetts
Survey Area Data: Version 12, Sep 19, 2014

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

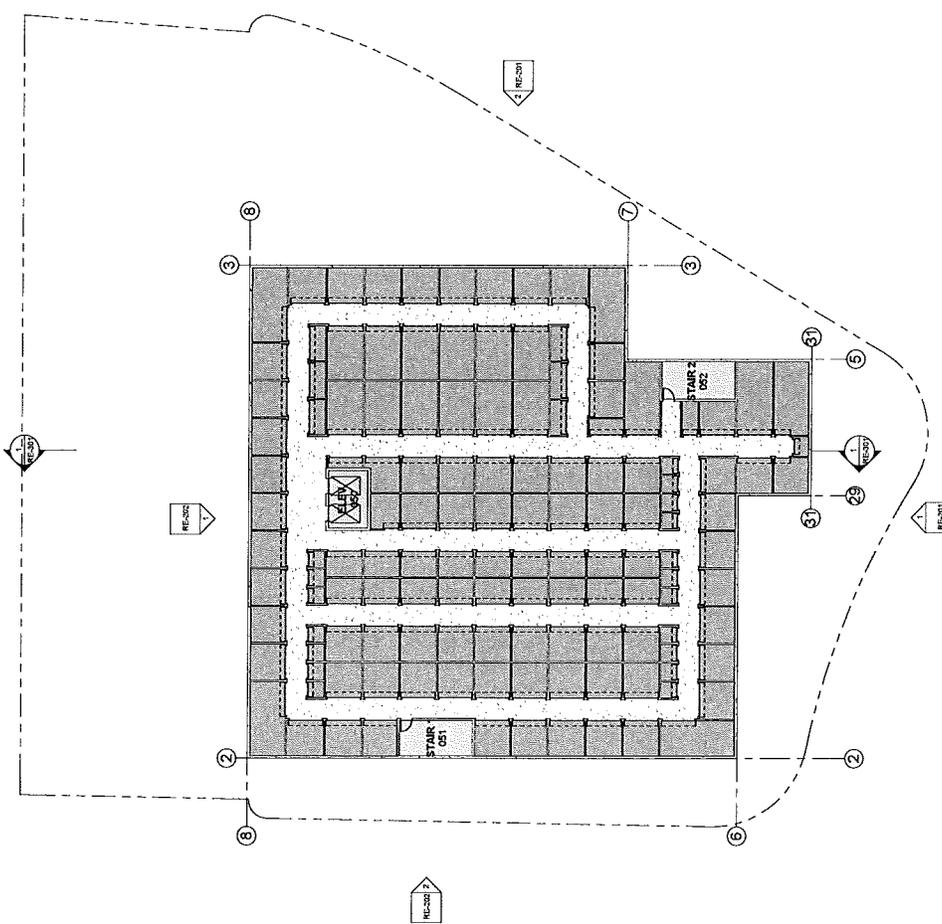
Date(s) aerial images were photographed: Mar 30, 2011—Oct 8, 2011

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

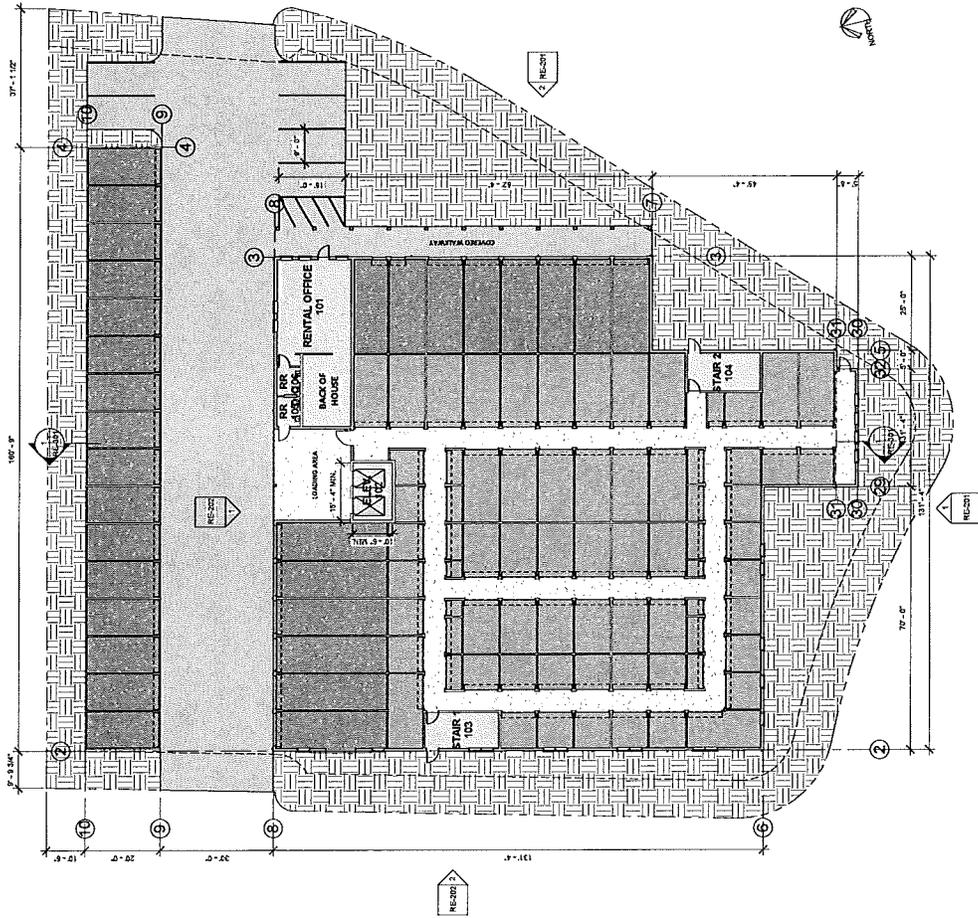
Nantucket County, Massachusetts (MA019)			
Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
294A	Evesboro sand, 0 to 3 percent slopes	41.1	100.0%
Totals for Area of Interest		41.1	100.0%

No.	Description	Date



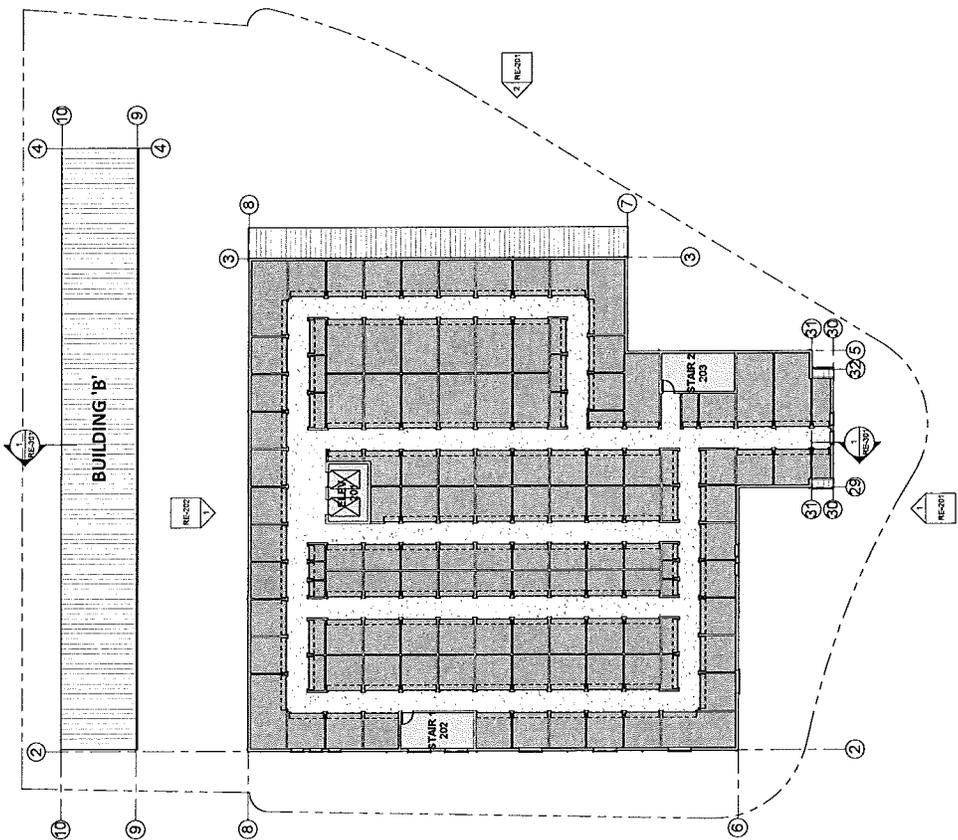
Below Grade 1

No.	Description	Date



At Grade

No.	Description	Date



Level 2
above Grade



#19-16 Special Permit
Hstetter Residence
53 Baxter Road
Map 49 Parcel 17





PAID
MAR 31 2016
CK# 18898
250
BY: JS CK# 18899 74.14

CIVIL WORK
Town & County Building
16 Broad St
Nantucket, MA 02554 *mlb*

MAR 31 2016 AM 9:10

Nantucket Planning Board

Application for a Special Permit

Date: March 31, 2016

File #: 19-16

Name of development: Hostetter Residence

Owner(s) name(s): Amos B. Hostetter, Jr., Stephen W. Kidder, and Michael J. Puzo, Trustees of A & B Realty Trust

Mailing address: c/o Reade, Gullicksen, Hanley & Gifford, LLP, P.O. Box 2669, Nantucket, MA 02584

Phone number: 508-228-3128 Fax number: 508-228-5630 E-mail: air@readelaw.com

Applicant's name: same

Mailing address: same

Phone number: _____ Fax number: _____ E-mail: _____

Engineer / surveyor's name: Blackwell & Associates

Mailing address: _____

Phone number: _____ Fax number: _____ E-mail: _____

Location of lot(s):

Street address 53 Baxter Road, Siasconset

Tax Assessors Map 49 Parcel 17

Nantucket Registry of Deed: ~~Plan Book~~ _____ ~~and Page~~ _____ ~~OR~~

~~Plan File #~~ _____ ~~OR~~ Land Court Plan # 20574-A ~~at Certificate #~~ 23030

Size of parcel: 51,490 sq. ft. Zoning District: Siasconset Residential 20 (SR-20)

Note: A portion of locus is in the LUG-3 district. Area within SR-20 is 51,490 sq. ft. All structures are within SR-20.

Special Permit sought: (check one)

- Cluster subdivision
- Commercial WECS
- Driveway Access/Curb Cut Special Permit
- Harbor Overlay District (HOD)
- Major Commercial Development (MCD)

Nantucket Planning and Land Use Services ▪ 2 Fairgrounds Road ▪ Nantucket ▪ MA ▪ 02554 ▪ (508) 325-7587

- Multi-family Special Permit
- Moorlands Management District Subdivision or Construction (MMD)
- NEHOD (Neighborhood Employee Housing Overlay District)
- MRD (Major Residential Development)
- MIPOD (Mid-Island Planned Overlay District)
- Other Uses Requiring a Special Permit (specify all uses and *Nantucket Code* sections)

Section	Description
139-20.1.C	Waiver of driveway entrance width and configuration

Describe

~~Specify all associated~~ Zoning Code relief sought:

Section	Description
	Existing driveway entrance width, measured at edge of pavement of Baxter Road, is about 43.3 feet.
	Applicants propose to move structures upon locus (see application filed with Board of Appeals) and in connection therewith to move the driveway entrance, reducing its width to about 37.9 feet at edge of pavement.

Only the zoning relief expressly requested above will be considered as part of this application.

If applying for a Major Commercial Development, specify how the application will comply with Section 139-11 (f) of the *Zoning Code of the Town of Nantucket*, also known as the Town's Affordable Housing Effort:

Planning Board filing fee due: \$ _____

Engineering Inspection Escrow Deposit due: \$ _____

I/ we hereby certify that the applicant(s) cited above have been authorized by me/ us to file a Special Permit application with the Planning Board on property that I/ we own.

Nantucket Planning and Land Use Services ▪ 2 Fairgrounds Road ▪ Nantucket ▪ MA ▪ 02554 ▪ (508) 325-7587

Amos B. Hostetter, Jr., Stephen W. Kidder, and Michael J. Puzo,
Trustees of A & B Realty Trust

By: Arthur I. Reade, Jr.
Owner(s)' Signature(s) Arthur I. Reade, Jr.
Attorney and Agent

Applicant's Signature _____

I/we _____, the undersigned, hereby authorize
_____ to act as agent(s) on my/our behalf and to
make any necessary revisions on this filed application as they may be requested by the Board to meet its governing
rules and guidelines.

Owner(s)' signature(s)

Check List:

- Planning Board Special Permit abutters list -- to be obtained at the Tax Assessor's office
- Completed application form entitled "Application to the Planning Board for a Special Permit"
- Application fee of \$250.00 payable to Town of Nantucket
- Abutters fee of \$6.11 per abutters payable to Pitney Bowes Reserved Funds
- Four (4) sets of mailing labels with each abutter's name and address
 - 1" x 2 5/8" size, typed labels, are preferred
 - duplicate labels are not necessary if the same owner is listed for more than one abutting property
- Completed application form
- Town Clerk's stamped application (provide 2 copies-one for Town Clerk and one for Planning Board)

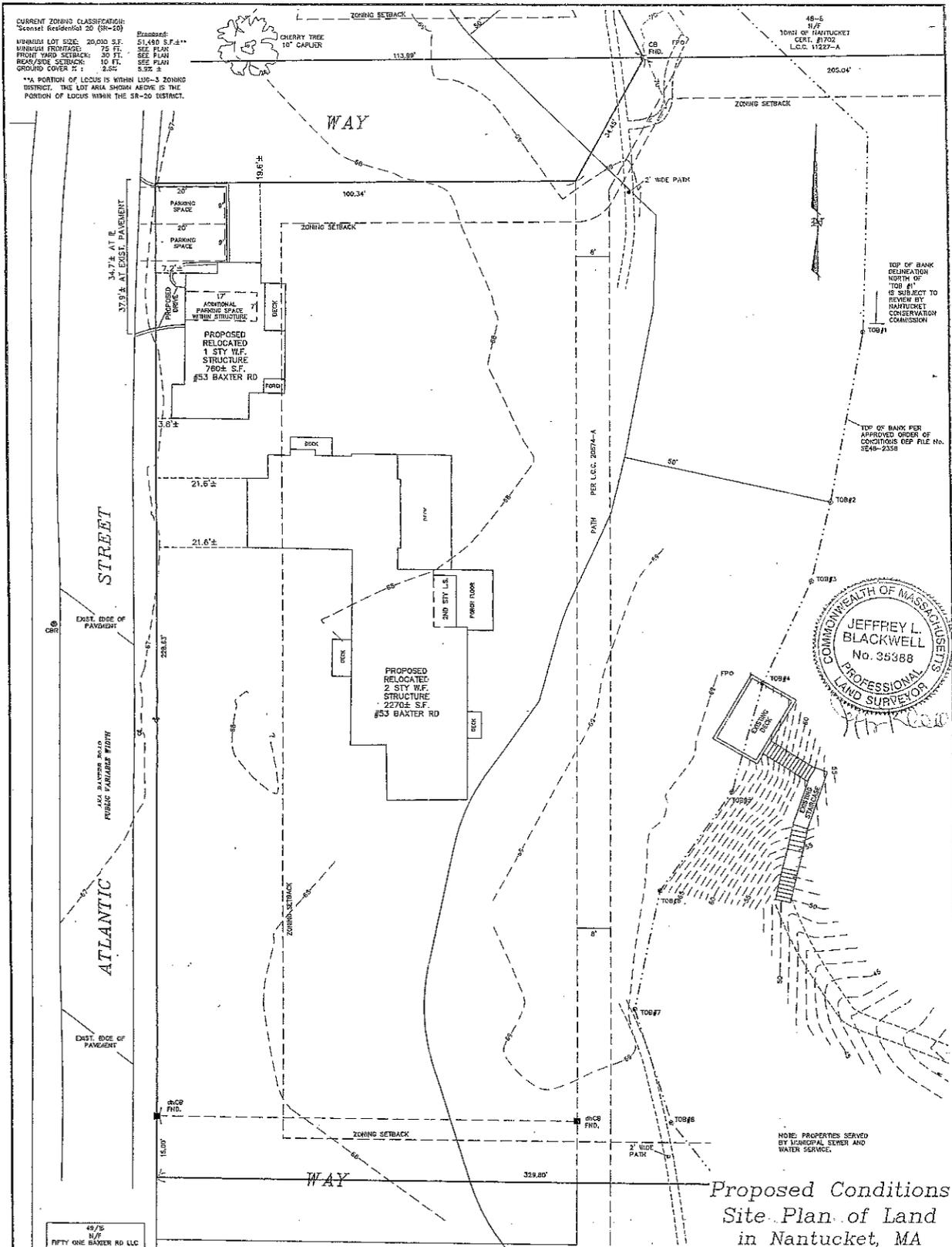
CURRENT ZONING CLASSIFICATION:
 Special Residential SR-20
 MINIMUM LOT SIZE: 20,000 S.F.
 MINIMUM FRONTAGE: 75 FT.
 FRONT YARD SETBACK: 20 FT.
 REAR/SIDE SETBACK: 10 FT.
 GROUND COVER %: 2.0%

Reference:
 51.449 S.F. ±
 SEE PLAN
 51.449 S.F. ±
 SEE PLAN
 5.92 ±
 SEE PLAN

CHERRY TREE
 10' CANOPY

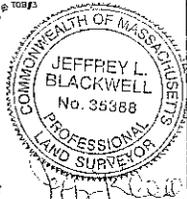
46-B
 H/F
 1081 OF NANTUCKET
 CENS. #100
 L.C.C. 11227-A

**A PORTION OF LOCUS IS WITHIN
 LUS-3 ZONING
 DISTRICT. THE LOT AREA SHOWN ABOVE IS THE
 PORTION OF LOCUS WITHIN THE SR-20 DISTRICT.



TOP OF BANK
 DELINEATION
 NORTH OF
 '1081' IS
 SUBJECT TO
 REVIEW BY
 NANTUCKET
 CONSERVATION
 COMMISSION

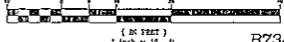
TOP OF BANK PER
 APPROVED ORDER OF
 COCHITUS DEP FILE No.
 2548-2358



NOTE: PROPERTIES SERVED
 BY SEWERAGE AND
 WATER SERVICE.

Proposed Conditions
 Site Plan of Land
 in Nantucket, MA
 Prepared for

A & B REALTY TRUST
 Scale: 1" = 10' MARCH 22, 2016
BLACKWELL & ASSOCIATES, Inc.
 Professional Land Surveyors
 20 TEASDALE CIRCLE
 NANTUCKET, MASS. 02554
 (608) 228-9026
 GRAPHIC SCALE



B7345

49/76
 N/A
 FIFTY ONE BAXTER RD LLC
 2312
 LCC 9408-4 LOT 1
 #51 BAXTER ROAD

OWNER'S INFORMATION
 A & B REALTY TRUST
 AMOS B. HOSTETTER, JR., TRUSTEE
 STEPHEN W. KROGER, TRUSTEE
 MICHAEL J. FORD, TRUSTEE
 CERT. OF TITLE #23030
 L.C.C. 20574-A
 ASSESSOR'S MAP 49, PARCEL 17
 #53 BAXTER ROAD

- LEGEND**
- CHC FND.(D) DENOTES CONCRETE BOUND WITH DRILLHOLE FOUND (DISTURBED)
 - CB FND. DENOTES CONCRETE BOUND FOUND
 - 50 --- DENOTES EXIST. GRADE CONTOUR
 - 50.0 DENOTES EXIST. GRADE SPOT ELEVATION
 - DENOTES EXIST. TOP OF BANK
 - TOB# DENOTES EXIST. TOP OF BANK FLAG FOUND
 - DENOTES EXIST. EDGE OF BRUSH
 - FP+ DENOTES EXIST. FLAGPOLE
 - USLP DENOTES EXIST. UNDERGROUND LP TANK
 - GL DENOTES EXIST. GROUND LIGHT
 - STP DENOTES EXIST. TELECOMMUNICATIONS PEDESTAL
 - EM DENOTES EXIST. ELECTRIC METER
 - W DENOTES EXIST. WATER METER
 - W DENOTES EXIST. WATER SHUT OFF
 - W DENOTES EXIST. FIRE HYDRANT
 - CBS B DENOTES EXIST. CATCH BASIN SQUARE
 - CBS R DENOTES EXIST. CATCH BASIN ROUND
 - CSB DENOTES EXIST. SEWER MAN HOLE
 - IRV DENOTES EXIST. IRRIGATION CONTROL VALVE HAND HOLE
 - SW DENOTES EXIST. STONE WALKWAY



#20-16 Special Permit
Nantucket Land Bank Commission
2A Massasoit Bridge Road
Map 59 Parcel 14





Nantucket Planning Board

Application for a Special Permit

Date: March 30, 2016File #: 20-16

Name of development: _____

Owner(s) name(s): Nantucket Land Bank CommissionMailing address: 22 Broad Street Nantucket, MA 02554Phone number: 508-228-7240 Fax number: 508-228-9369 E-mail: director@nantucketlandbank.orgApplicant's name: Nantucket Islands Land Bank

Mailing address: _____

Phone number: _____ Fax number: _____ E-mail: _____

Engineer / surveyor's name: Arthur Gasbarro, PE, PLS - Nantucket Engineering & Survey, P.C.Mailing address: 20 Mary Ann Drive Nantucket, MA 02554Phone number: 508-825-5053 Fax number: _____ E-mail: art@NantucketEngineer.com

Location of lot(s):

 Street address 2A Massasoit Bridge Road Tax Assessors Map 59 Parcel 14 Nantucket Registry of Deed: Plan Book _____ and Page _____ **OR**Plan File # _____ **OR** Land Court Plan # _____ at Certificate # 11,986Size of parcel: 64 +/- acres sq. ft. Zoning District: MMD **REMAINDER OF LOT E-1 PL 17368-A**

Special Permit sought: (check one)

- Cluster subdivision
- Commercial WECS
- Driveway Access/Curb Cut Special Permit
- Harbor Overlay District (HOD)
- Major Commercial Development (MCD)

Nantucket Planning and Land Use Services ▪ 2 Fairgrounds Road ▪ Nantucket ▪ MA ▪ 02554 ▪ (508) 325-7587

- Multi-family Special Permit
- Moorlands Management District Subdivision or Construction (MMD)
- NEHOD (Neighborhood Employee Housing Overlay District)
- MRD (Major Residential Development)
- MIPOD (Mid-Island Planned Overlay District)
- Other Uses Requiring a Special Permit (specify all uses and *Nantucket Code* sections)

Section	Description

Specify all associated Zoning Code relief sought:

Section	Description
139-13.B.2	An addition to a single-family dwelling in excess of 800 s.f., which may be allowed by Special Permit per 139-13.C.1 provided that the special permit granted shall include conditions requiring the siting of structures and uses in a manner which minimizes potentially adverse effects on the moorlands environment and its scenic integrity, as this proposal does as a result of the overall size of the property and expansion within existing disturbed areas
139-13. D	Site Plan Approval - The Applicant seeks approval of the site plan submitted with this application, which meets the performance standards set forth in sections 139-13.D.1 through 4.

Only the zoning relief expressly requested above will be considered as part of this application.

If applying for a Major Commercial Development, specify how the application will comply with Section 139-11 (j) of the *Zoning Code of the Town of Nantucket*, also known as the Town's Affordable Housing Effort:

Planning Board filing fee due: \$ 250.00

Engineering Inspection Escrow Deposit due: \$ N/A

I/ we hereby certify that the applicant(s) cited above have been authorized by me/ us to file a Special Permit application with the Planning Board on property that I/ we own.

Nantucket Planning and Land Use Services ▪ 2 Fairgrounds Road ▪ Nantucket ▪ MA ▪ 02554 ▪ (508) 325-7587

Arthur Gasbarro Agent Per Below

Owner(s)' Signature(s)

Applicant's Signature

I/we Eric Savetsky, Director Nantucket Islands Land Bank, the undersigned, hereby authorize Arthur Gasbarro, PE, PLS, Nantucket Engineering & Survey, P.C. to act as agent(s) on my/our behalf and to make any necessary revisions on this filed application as they may be requested by the Board to meet its governing rules and guidelines.

Eric Savetsky, Director
Nantucket Land Bank

Owner(s)' signature(s)

Check List:

- Planning Board Special Permit abutters list – to be obtained at the Tax Assessor's office
- Completed application form entitled "Application to the Planning Board for a Special Permit"
- Application fee of \$250.00 payable to Town of Nantucket
- Abutters fee of \$6.11 per abutters payable to Pitney Bowes Reserved Funds
- Four (4) sets of mailing labels with each abutter's name and address
 - 1" x 2 5/8" size, typed labels, are preferred
 - duplicate labels are not necessary if the same owner is listed for more than one abutting property
- Completed application form
- Town Clerk's stamped application (provide 2 copies-one for Town Clerk and one for Planning Board)



April 4, 2016

Mr. Barry Rector, Chair
Nantucket Planning Board
2 Fairgrounds Road
Nantucket, MA 02554

Re: Special Permit Application
2A Massasoit Bridge Road
Map 59 Parcel 14

Dear Mr. Rector:

On behalf of the property owner, Nantucket Islands Land Bank, Nantucket Engineering & Survey, P.C. is submitting this application for a Special Permit to the Nantucket Planning Board for proposed addition to a structure and construction of a garage within the Moorlands Management District at the above referenced property.

Attached for your review are permit drawings, including plans showing a site locus, existing conditions and proposed construction areas. A completed Application for a Special Permit is included along with a check for \$250 to cover the filing fee, and a check for \$26.96 to the Pitney Bowes Reserved Fund for notification of abutting property owners by certified mail. Also attached is the property owner listing that was obtained from the Town of Nantucket Assessor's office, along with four sets of printed labels.

The proposal involves an addition to a single-family dwelling in excess of 800 square-feet, which may be allowed by Special Permit per 139-13.C.1, provided that the special permit granted shall include conditions requiring the siting of structures and uses in a manner which minimizes potentially adverse effects on the moorlands environment and its scenic integrity. As proposed, this project meets said requirements as the overall property area is in excess of 64-acres, with a resultant ground cover ratio of 0.07%. The work is proposed within existing residentially disturbed areas, which will not result in an adverse effect.

The applicant respectfully requests Site Plan Approval per 139-13. D as the proposal meets the performance standards set forth in sections 139-13.D.1 through 139-13.D 4.

I plan to attend the Public Hearings for this application to address any questions, comments or concerns that the Commission may have.

Sincerely,

A handwritten signature in blue ink that reads "Arthur D. Gasbarro". The signature is written in a cursive style.

Arthur D. Gasbarro, PE, PLS, LEED AP

LONG FUND
 EXPIRES 02-28-2010

ZONING CLASSIFICATION

MOORLANDS MANAGEMENT DISTRICT (MMD)
 MIN. LOT AREA = 10 ACRES
 FRONTAGE = 300 FT
 GROUND COVER RATIO = 0.5%
 FRONT SETBACK = 50 FT
 SIDE/REAR SETBACK = 50 FT

OWNERSHIP INFORMATION

NANTUCKET LAND BANK COMMISSION
 CERT. OF TITLE #11986
 L.C.C. 17368-A, LOT E1 REMAINDER
 ASSESSOR'S MAP 59, PARCEL 14
 2A MASSASOIT BRIDGE ROAD

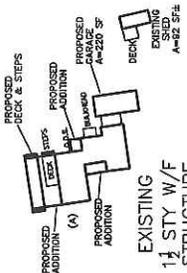
PLAN PREPARED FOR THE TOWN OF NANTUCKET PLANNING BOARD ONLY AND SHOULD NOT BE CONSIDERED A PROPERTY LINE SURVEY. THIS PLAN SHOULD NOT BE USED TO ESTABLISH PROPERTY LINES, FENCES, HEDGES OR ANY ANCILLARY STRUCTURES ON THE PREMISES. THE PROPERTY LINES SHOWN RELY ON CURRENT DEEDS AND PLANS OF RECORD. THIS PLOT PLAN IS NOT A CERTIFICATION AS TO TITLE OR OWNERSHIP OF THE PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE SHOWN ACCORDING TO CURRENT ASSESSOR RECORDS.

BASE MAPPING BY:

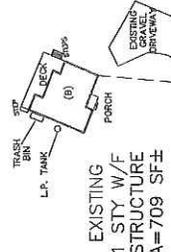
BLACKWELL and ASSOCIATES, Inc.
 Professional Land Surveyors
 20 TEASDALE CIRCLE
 NANTUCKET, MASS. 02554
 (508) 228-9026

LOT AREA=64.2 ACRES±

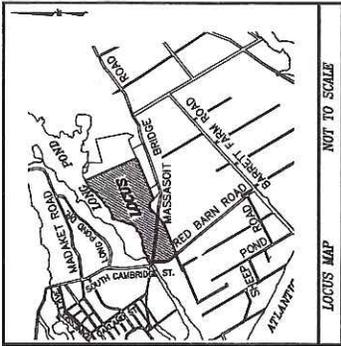
PROPOSED GROUND COVER RATIO = 0.07% ±



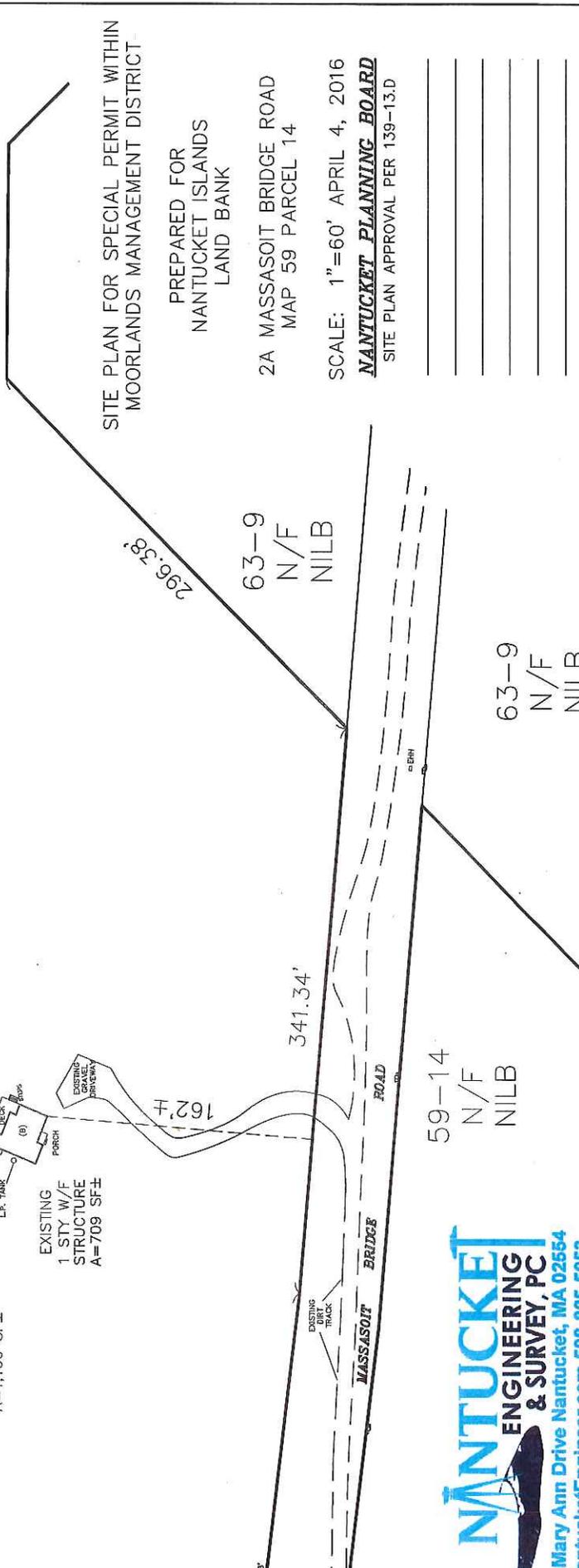
EXISTING 1 STY W/F STRUCTURE A=709 SF±
 PROPOSED A=1,100 SF±



EXISTING 1 STY W/F STRUCTURE A=709 SF±



LOCUS MAP NOT TO SCALE



SITE PLAN FOR SPECIAL PERMIT WITHIN MOORLANDS MANAGEMENT DISTRICT

PREPARED FOR
 NANTUCKET ISLANDS
 LAND BANK

2A MASSASOIT BRIDGE ROAD
 MAP 59 PARCEL 14

SCALE: 1"=60' APRIL 4, 2016
NANTUCKET PLANNING BOARD
 SITE PLAN APPROVAL PER 139-13.D

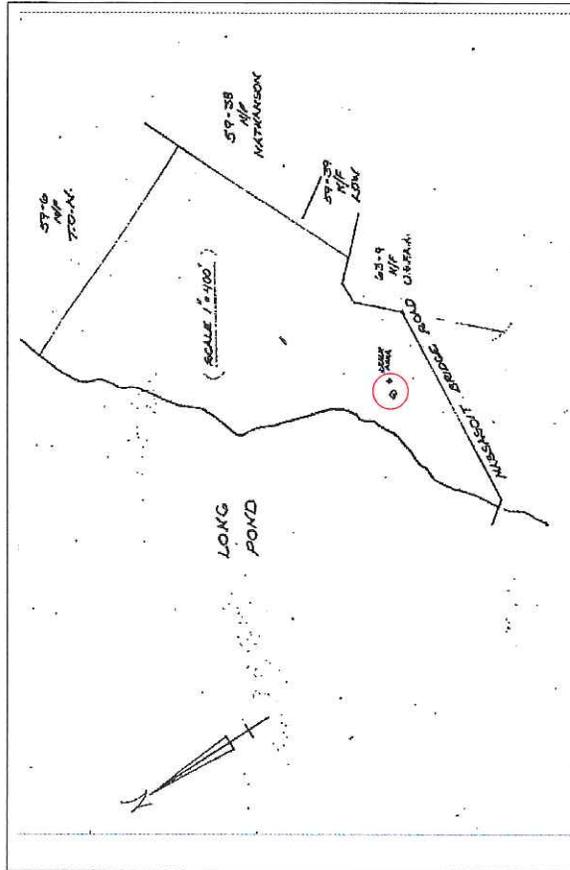
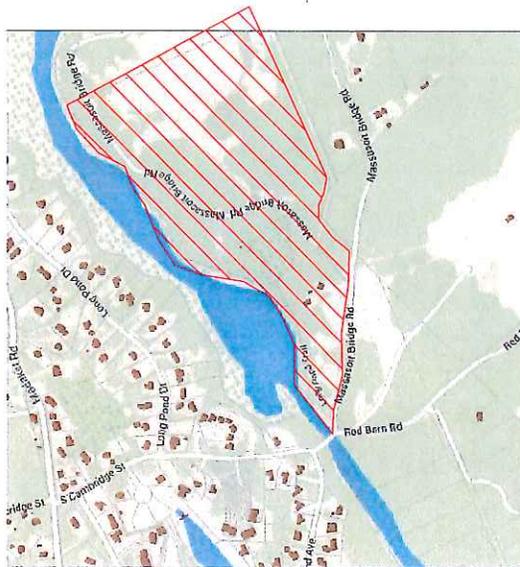
59-14
 N/F
 NILB

63-9
 N/F
 NILB

504.B3

NANTUCKET
 ENGINEERING
 & SURVEY, PC
 20 Mary Ann Drive Nantucket, MA 02554
 NantucketEngineer.com 508-825-5053

THE LAND BANK RESIDENCE 2A MASSAHOIT ROAD NANTUCKET, MA 02554



NOTE: A/FROM PROPERTY OUTLINE
PLEASE CONTACT BLACKWELL AND ASSOC.
FOR EXACT SURVEY INFORMATION

A

NIP: 594 / 20

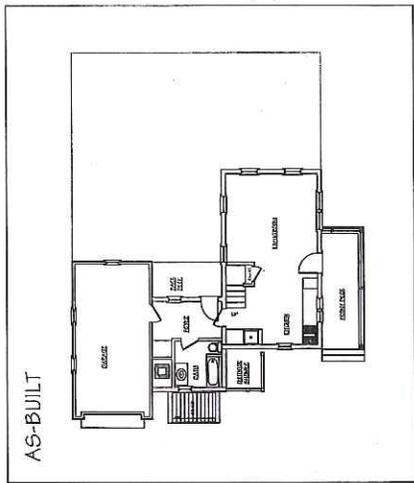
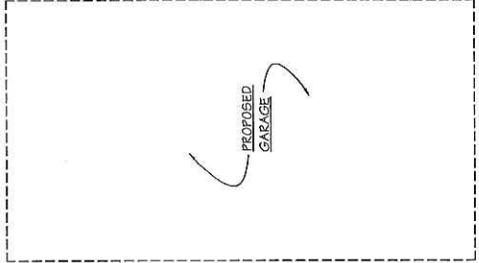
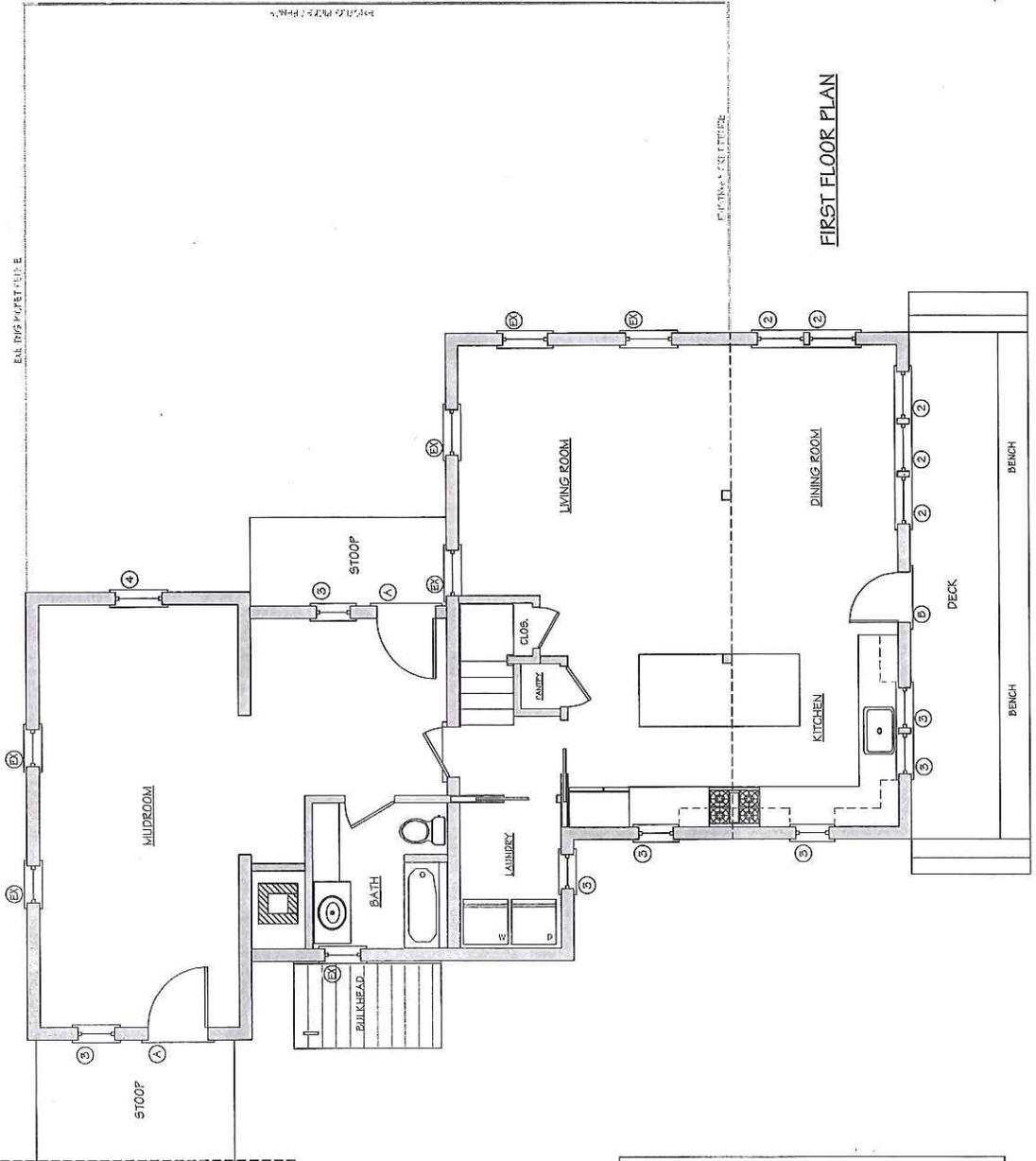
THE LAND BANK
2A Massasoit Road
Nantucket, MA 02554

COVER SHEET
DATE: 01/25/2016
SCALE: AS NOTED

REVISIONS:

MILTON HOWLAND & ASSOCIATES
15 COMMERCIAL WHARF
NANTUCKET, MASSACHUSETTS
508.220.2044

FIRST FLOOR PLAN



NOT FOR CONSTRUCTION

MP 554.00

THE LAND BANK
2A Massasoit Road
Nantucket, MA 02554

SECOND FLOOR PLAN
DATE: 01/25/2016
SCALE: 1/4" = 1'-0"

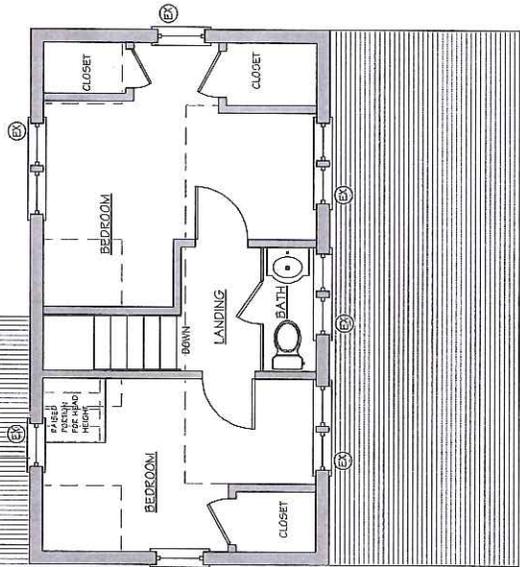
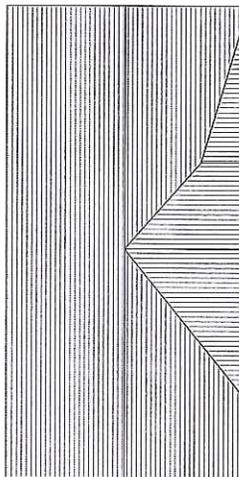
REVISIONS:

MILTON ROWLAND & ASSOCIATES
15 COMMERCIAL WHARF
NANTUCKET, MASSACHUSETTS
508.228.2044

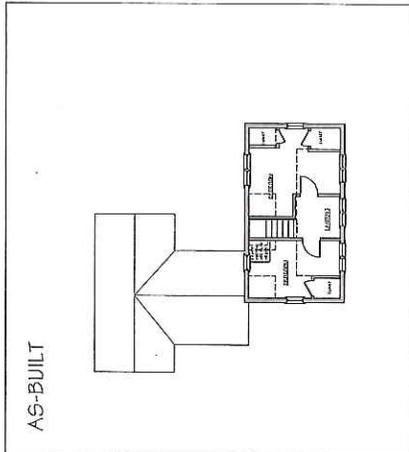
Land Bank Residence

Number	Shape/Unit Size	Enough Opening	Manuf	Type	Units	Comments	Quantity
1	2' 6" x 4' 1"	TBD	Anderson	66 sq foot	Single		2
2	2' 6" x 4' 1"	TBD	Anderson	66 sq foot	Single		2
3	1' 6" x 2' 5"	TBD	Anderson	66 sq foot	Single		2
4	2' 6" x 4' 5"	TBD	Anderson	66 sq foot	Single		2
A	3' 0" x 6' 6"	TBD	TBD	9 light & panel	Single		1
B	2' 8" x 6' 6"	TBD	TBD	15 Light	Single		1
EX	Existing window/door						

Window Notes (unless otherwise noted):
 1. Jamb width to be determined on site before ordering windows.
 2. All window casings shall be installed in accordance with manufacturer's instructions.
 3. All window casings shall be installed in accordance with Building Code 708.04(3)1.2.
 4. All window casings shall have a double hung panel.
 Note:
 Designer is responsible for coordinating window and door sizes and for verifying and updating any inconsistencies.
 Please refer to manufacturer's specifications prior to finalizing window/door.



SECOND FLOOR PLAN



NOT FOR CONSTRUCTION

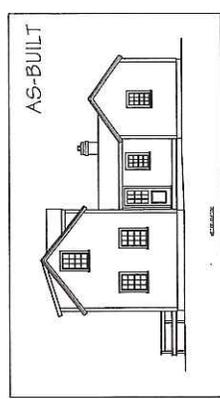
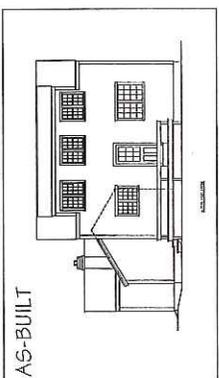
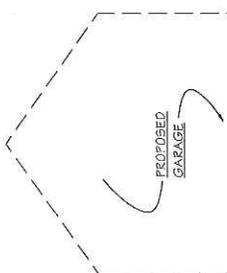
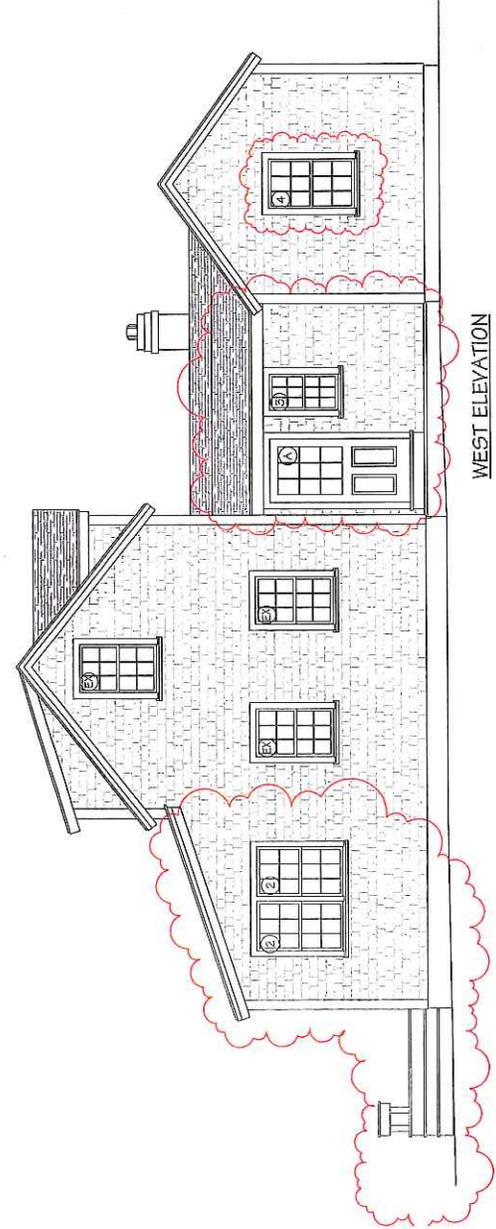
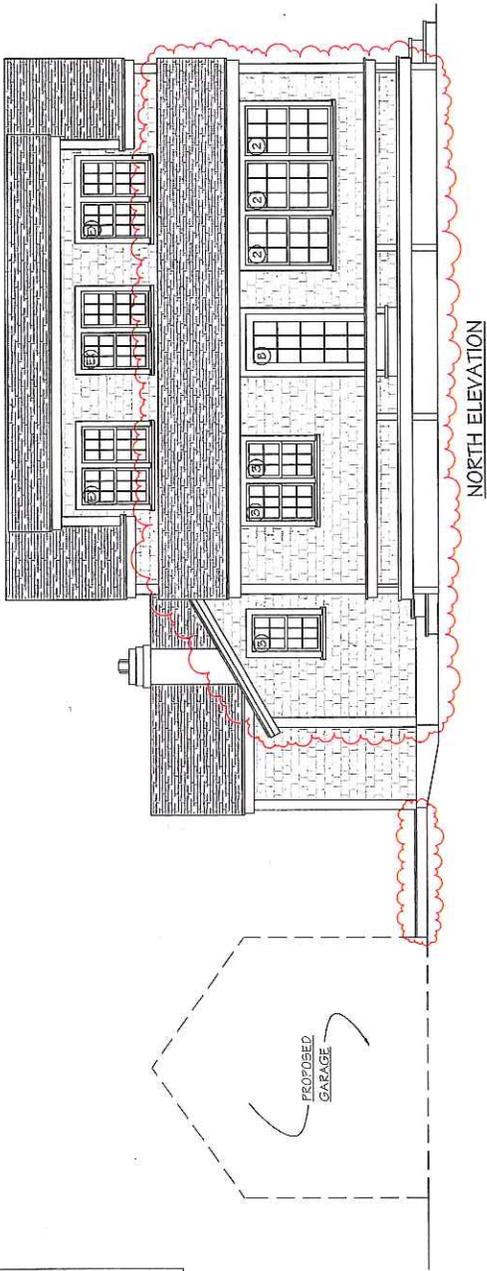
MP:584 / 30

THE LAND BANK
2A Massasoit Road
Nantucket, MA 02554

ELEVATIONS
DATE: 01/25/2016
SCALE: 1/4" = 1'-0"

REVISIONS:

PILTON ROWLAND & ASSOCIATES
15 COMMERCIAL WHARF
NANTUCKET, MASSACHUSETTS
5062282044



NOT FOR CONSTRUCTION

DATE: 01/25/2016

THE LAND BANK
2A Massasoit Road
Nantucket, MA 02554

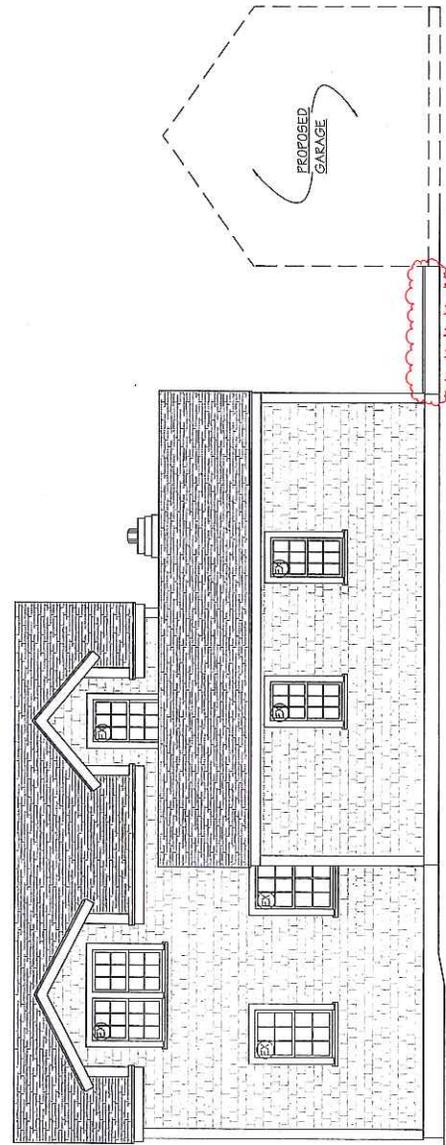
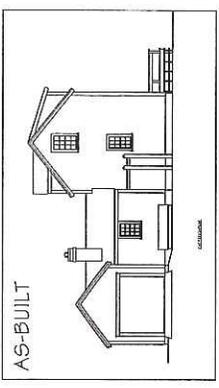
ELEVATIONS
SCALE: 1/4" = 1'-0"

REVISIONS:

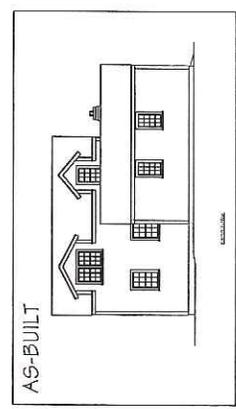
MILTON ROWLAND & ASSOCIATES
15 COMMERCIAL WHARF
NANTUCKET, MASSACHUSETTS
508.228.2044

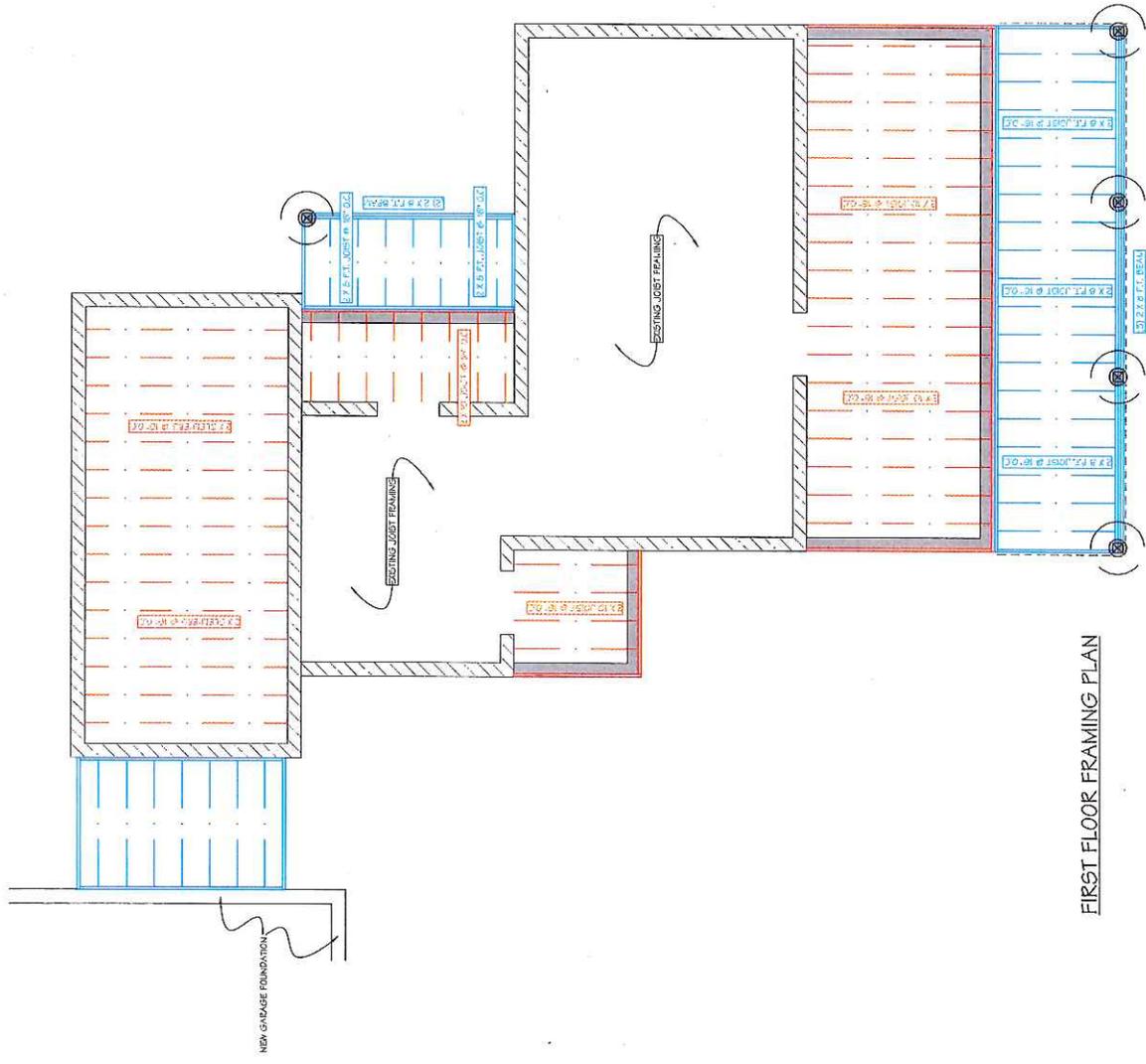


EAST ELEVATION



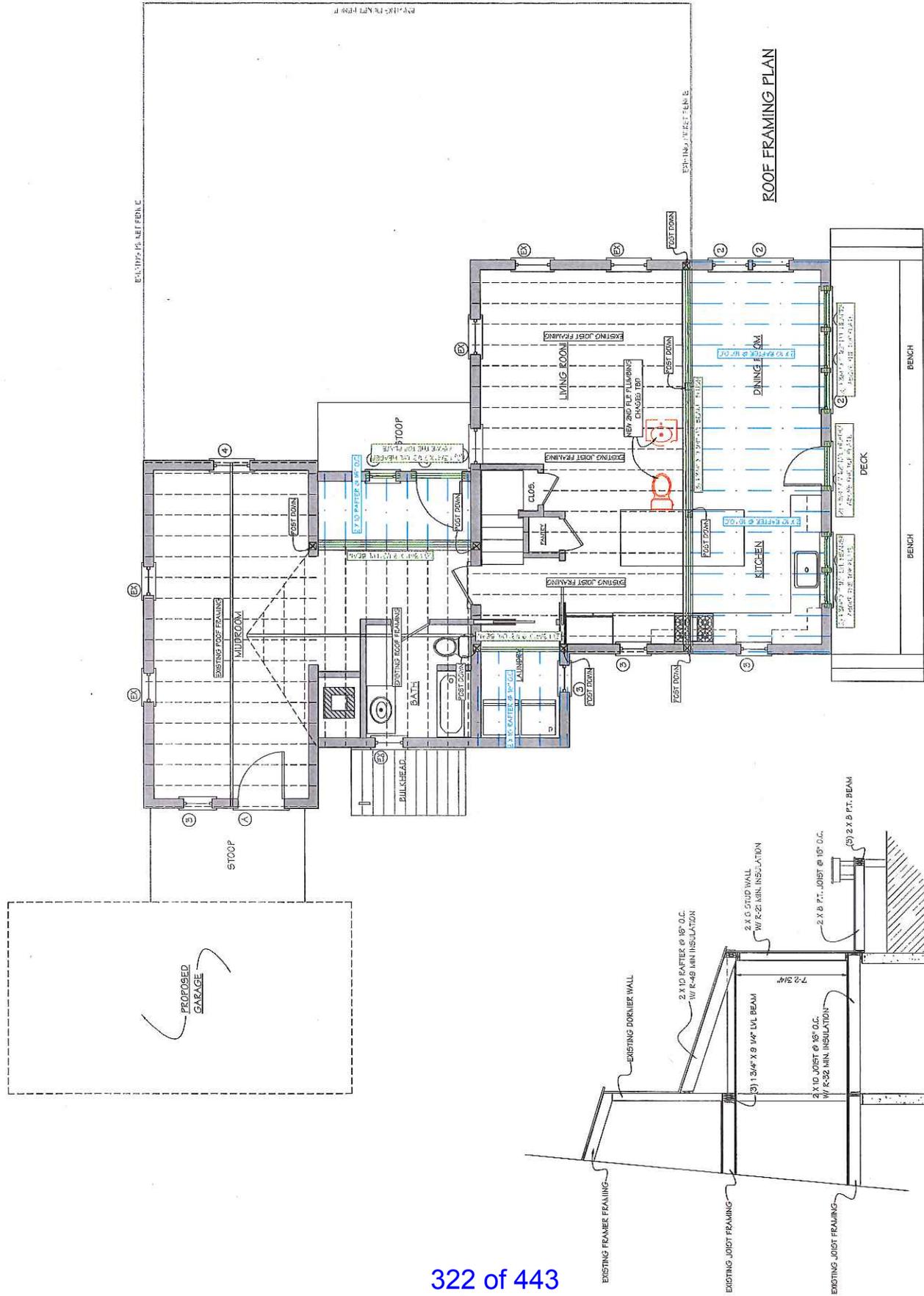
SOUTH ELEVATION





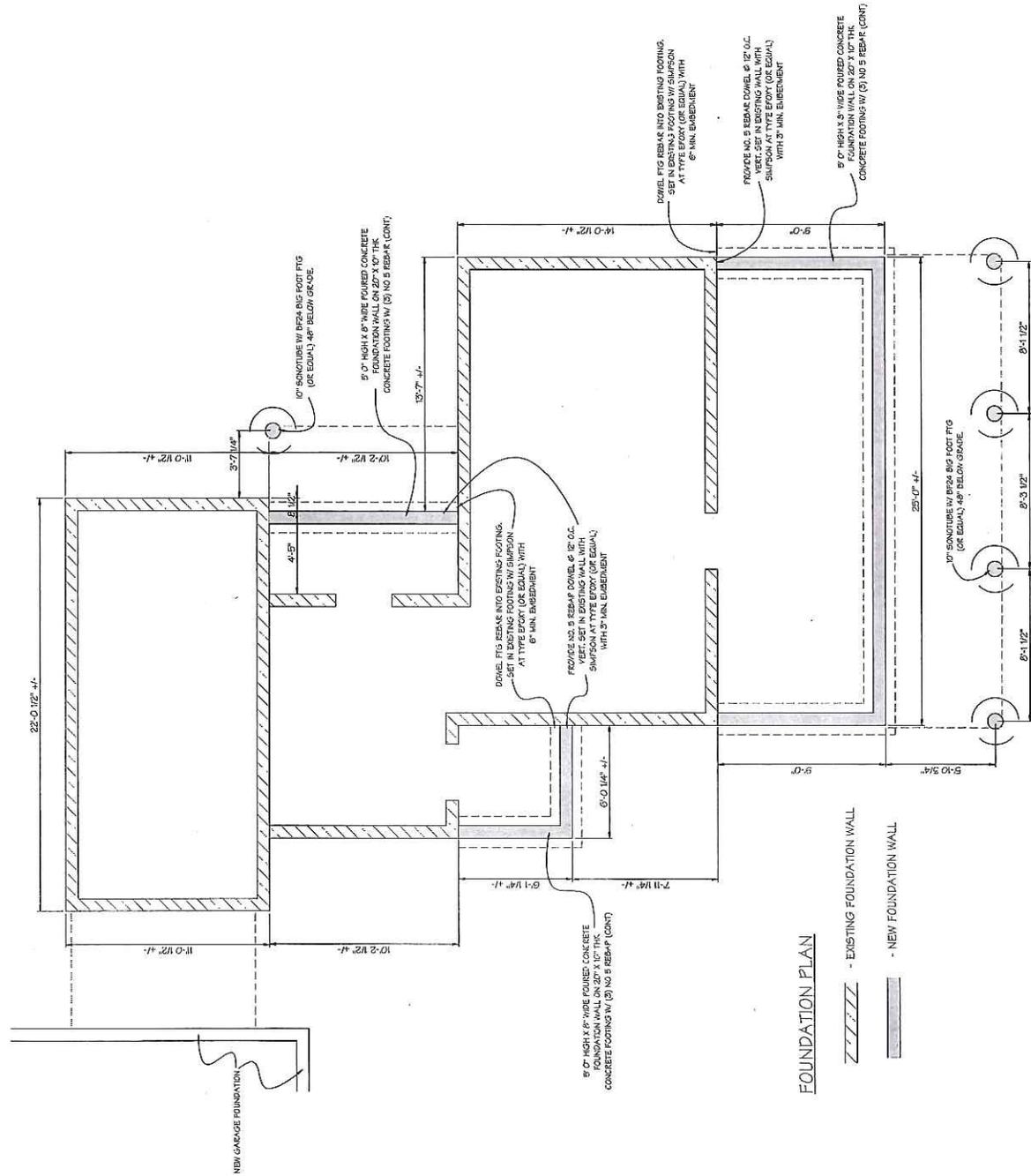
FIRST FLOOR FRAMING PLAN

NOT FOR CONSTRUCTION



ROOF FRAMING PLAN

SECTION AA





#21-16 Special Permit
Glenhurst West Realty Trust
137 Cliff Road & 11 Chase Links Circle
Map 30 Parcel 610 and 615





2016 APR -6 PM 4: 02



TOWN CLERK
Town & County Building
16 Broad St
Nantucket, MA 02554

M310

APR 6 2016 PM2:43

Nantucket Planning Board

Application for a Special Permit

Date: April 6, 2016 File #: 21-16

Name of development: Glenhurst West

Owner(s) name(s): Arthur I. Reade, Jr., as Trustee of Glenhurst West Realty Trust

Mailing address: c/o Reade, Gullicksen, Hanley & Gifford, LLP, 6 Young's Way, Nantucket, MA 02554

Phone number: 508-228-3128 Fax number: 508-228-5630 E-mail: air@readelaw.com

Applicant's name: Same

Mailing address: _____

Phone number: _____ Fax number: _____ E-mail: _____

Engineer / surveyor's name: Blackwell & Associates, Inc.

Mailing address: 20 Teasdale Circle, Nantucket, Mass. 02554

Phone number: 508-228-9026 Fax number: _____ E-mail: _____

Location of lot(s):
 Street address 137 Cliff Road and 11 Chase Links Circle

Tax Assessors Map 30 Parcel 610 and 615

Nantucket Registry of Deeds: ~~Plan Book _____ and Page _____~~ ~~OR~~

~~Plan File # _____~~ ~~OR~~ ~~Land Court Plan # _____~~ at Certificate # 23903

L.C. Plan 11892-F, Lot 10; L.C. Plan 11892-G, Lot 15

Size of parcel: 397,610 sq. ft. Zoning District: Limited Use General - 2

Special Permit sought: (check one)

- Cluster subdivision
- Commercial WECS
- Driveway Access/Curb Cut Special Permit
- Harbor Overlay District (HOD)
- Major Commercial Development (MCD)

Nantucket Planning and Land Use Services ▪ 2 Fairgrounds Road ▪ Nantucket ▪ MA ▪ 02554 ▪ (508) 325-7587

- Multi-family Special Permit
- Moorlands Management District Subdivision or Construction (MMD)
- NEHOD (Neighborhood Employee Housing Overlay District)
- MRD (Major Residential Development)
- MIPOD (Mid-Island Planned Overlay District)
- Other Uses Requiring a Special Permit (specify all uses and *Nantucket Code* sections)

Section	Description
139-2, Definitions:	Tertiary Dwelling: (4)

The applicant also requests tertiary dwelling approval as to access under section 139-2, Tertiary Dwelling, clause (5).

Specify all associated Zoning Code relief sought:

Section	Description
	The applicant requests a Special Permit as provided in clause (4) of the definition of Tertiary Dwelling, to permit a tertiary dwelling exceeding 650 square feet in the second story of the garage building under construction, which has 780 square feet of ground cover. No additional ground cover will result. The tertiary dwelling will be in common ownership with the primary and secondary dwellings upon locus, which will be occupied by the beneficial owners.

Only the zoning relief expressly requested above will be considered as part of this application.

If applying for a Major Commercial Development, specify how the application will comply with Section 139-11 (j) of the *Zoning Code of the Town of Nantucket*, also known as the Town's Affordable Housing Effort:

Planning Board filing fee due: \$ _____

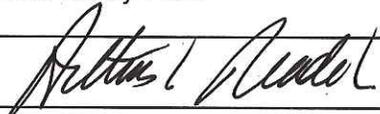
Engineering Inspection Escrow Deposit due: \$ _____

I/ we hereby certify that the applicant(s) cited above have been authorized by me/ us to file a Special Permit application with the Planning Board on property that I/ we own.

Nantucket Planning and Land Use Services ▪ 2 Fairgrounds Road ▪ Nantucket ▪ MA ▪ 02554 ▪ (508) 325-7587

Glenhurst West Realty Trust

By: _____



Owner(s)' Signature(s) Arthur I. Reade, Jr., Trustee

Applicant's Signature

I/we _____, the undersigned, hereby authorize
_____ to act as agent(s) on my/our behalf and to
make any necessary revisions on this filed application as they may be requested by the Board to meet its governing
rules and guidelines.

Owner(s)' signature(s)

Check List:

- Planning Board Special Permit abutters list – to be obtained at the Tax Assessor's office
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- Completed application form
- Town Clerk's stamped application (provide 2 copies-one for Town Clerk and one for Planning Board)

PLANNING BOARD

FILE # 21-16 2016 APR -6 PM 4: 02



Nantucket Planning Board

APPLICATION FOR A TERTIARY (3rd) DWELLING PERMIT

Date Submitted: April 6, 2016 Fee Amount: _____ Number: 7

Applicant: Arthur I. Reade, Jr. as Trustee of Glenhurst West Realty Trust

Mailing address: c/o Reade, Gullicksen, Hanley & Gifford, LLP, 6 Young's Way, Nantucket, MA 02554

Daytime phone number: 508-228-3128 Fax: 508-228-5630

E-mail Address: air@readelaw.com

Owner (if other than applicant): _____

Mailing address: _____

Signature of Property Owner(s) By: Glenhurst West Realty Trust
Arthur I. Reade, Jr.

Location of proposed tertiary (3RD) dwelling: Arthur I. Reade, Jr., Trustee

Street Address: 137 Cliff Road and 11 Chase Links Circle

Assessors Tax Map #: 30 Parcel #: 610 and 615

Size of Parcel: 397,610 Zoning District: Limited Use General - 2

Tertiary Dwelling # of Bedrooms: 1

Secondary Dwelling # of Bedrooms: 4

Primary Dwelling # of Bedrooms: 9

Number of Parking Spaces required (See Chapter 139-18 of the Bylaw): 5

Number of Parking Spaces provided: 5

OCCUPANCY: (Circle which unit will be owner occupied)

Primary

Secondary

Tertiary

OWNERSHIP TITLE REFERENCES:

RECORDED LAND (Registry of Deeds Title References)

~~DEED~~ noted in ~~Book~~ _____, ~~Page~~ _____

~~Lot(s) #~~ _____ ~~shown on Plan~~ _____

REGISTERED LAND (Land Court Title References)

Certificate of Title Number 23903

Lot (s) # 10 shown on Land Court Plan# 11892-F and
Lot 15 shown on Land Court Plan # 11892-G

Please provide a brief description of the proposed third dwelling:

***PLEASE DO NOT WRITE "SEE ATTACHED."**

One bedroom apartment over garage

***Submission Requirements: See attached checklist:

CURRENT ZONING CLASSIFICATION:
LIMITED USE GENERAL 2 (LUG-2)

MIN. LOT SIZE: 80,000 S.F.
MIN. FRONTAGE: 150 FT.
FRONT YARD SETBACK: 35 FT.
REAR & SIDE SETBACK: 15 FT.
GROUND COVER: 4%

Proposed:
289,278 S.F.±
SEE PLAN
SEE PLAN
SEE PLAN
2.8% A

NANTUCKET SOUND

EXISTING SHORELINE 02/13/06

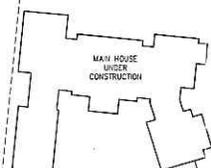
L.C.C. 1892

30-1 N/F
GARY COSAY
L.C.C. 9455-B
CERT. #19657
LOT A1

30-2 thru 7 N/F
GARY COSAY
L.C.C. 9455-C
CERT. #19657
LOTS 1-3, 21-23



LOT 10
289,278 S.F.±



SECONDARY DWELLING UNDER CONSTRUCTION



31-20 N/F
NANTUCKET CONSERVATION FOUNDATION, INC.
L.C.C. 9455-C
CERT. #13414
LOT A2

41-1 N/F
NANTUCKET CONSERVATION FOUNDATION, INC.
L.C.C. 9455-M
CERT. #13413
LOT 28

30-259 N/F
REED POND NOMINEE TRUST

30-614 N/F
REED POND NOMINEE TRUST

LOT 15
108,332 S.F.±



ORIGINAL SIGNED AND STAMPED COPIES OF THIS PLAN MAY BE PHOTOGRAPHED BY THE BOARD OF APPEALS OR THE NANTUCKET REGISTER OF DEEDS FOR RECORDING PURPOSES. IN CASES OF DISCREPANCIES REGARDING INFORMATION CONTAINED HEREON AND UNAUTHORIZED PHOTOCOPIES OF THIS PLAN, ONLY ORIGINALLY STAMPED AND ENDORSED COPIES SHALL BE ACKNOWLEDGED BY THE CERTIFYING LAND SURVEYOR.

THIS INSPECTION PLAN WAS PREPARED TO ACCOMPANY AN APPLICATION TO THE NANTUCKET BOARD OF APPEALS AND IS NOT TO BE CONSIDERED A FULL INSTRUMENT SURVEY. THIS PLAN SHOULD NOT BE USED TO ESTABLISH PROPERTY LINES, FENCES, HEDGES OR ANY AUXILIARY STRUCTURES ON THE PREMISES. THE PROPERTY LINES SHOWN RELY ON CURRENT DEEDS AND PLANS OF RECORD.

THIS INSPECTION PLAN IS NOT A CERTIFICATION AS TO THE TITLE OR OWNERSHIP OF THE PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE SHOWN ACCORDING TO CURRENT TOWN OF NANTUCKET ASSESSOR RECORDS.

THIS PLAN SHALL NOT BE USED FOR ANY OTHER PURPOSE OTHER THAN ITS INTENDED USE STATED ABOVE.

© Blackwell & Associates Inc.

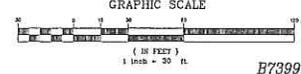


Proposed Conditions
Site Plan to Accompany
Zoning Board of Appeals
Application

Nantucket, Mass.
SCALE: 1" = 30'
DATE: MARCH 31, 2016
ARTHUR I. READE, JR., TRUSTEE
CLENHURST WEST REALTY TRUST
Owners:
L.C.C. 11892-F, LOT 10
Cert. # 23903 Plan: L.C.C. 11892-G, LOT 15
Tax Map-Parcel: 30-610 & 615
Locus: #137 CLIFF ROAD & #11 CHASE LINKS CIRCLE

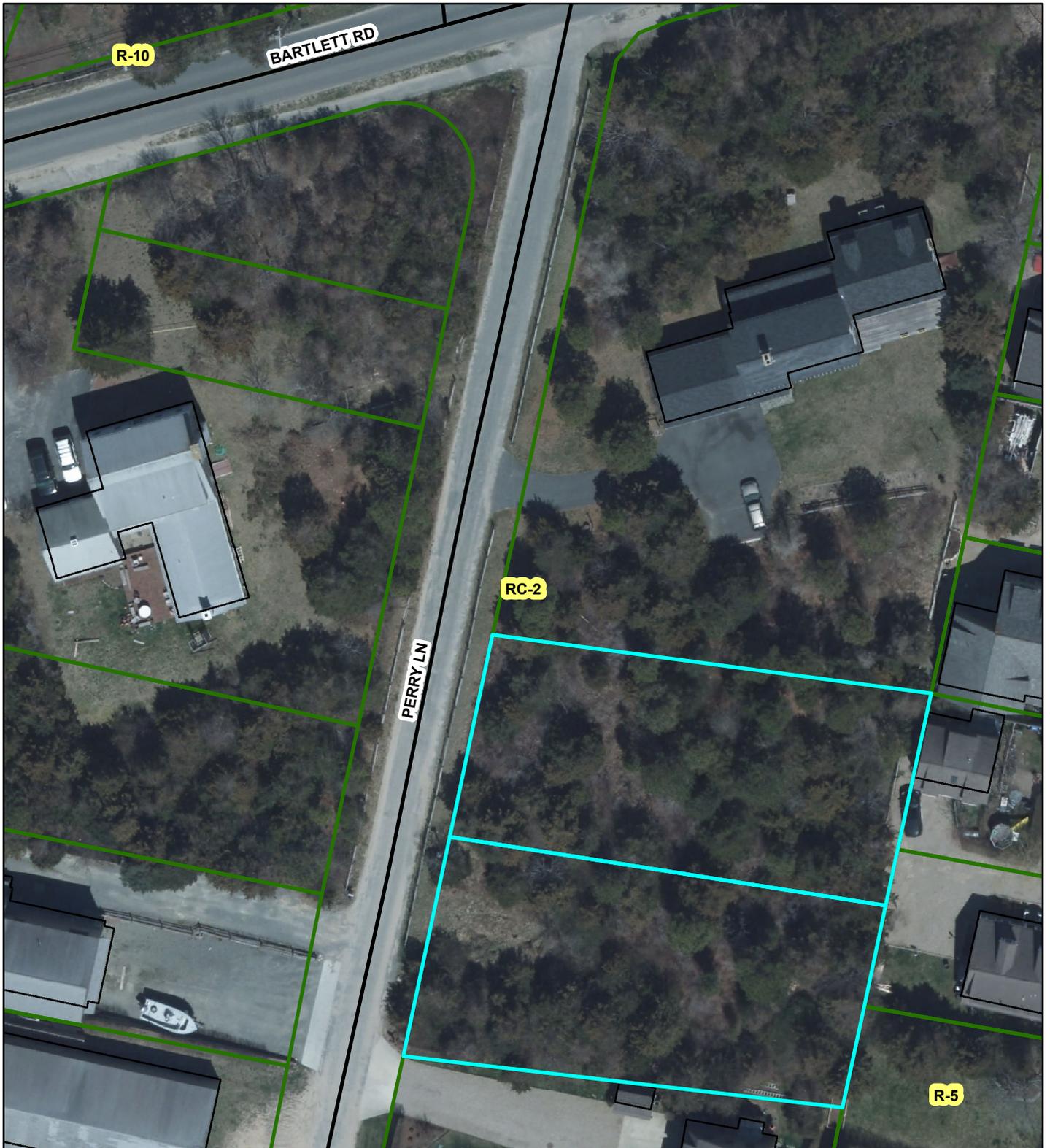
BLACKWELL & ASSOCIATES, Inc.
Professional Land Surveyors
20 TEASDALE CIRCLE
NANTUCKET, MASS. 02554
(508) 228-9026

GRAPHIC SCALE





#22-16 & #23-16 Special Permits
Walter J. Glowacki
4 & 6 Perry Lane
Map 67 Parcels 725.3 & 725.4





Nantucket Planning Board

Town Clerk
Town & County Building
16 Broad St
Nantucket, MA 02554

mt

Application for a Special Permit

Date: March 23, 2016 File #: 22-16

APR 8 2016 AM 11:27

Name of development: _____

Owner(s) name(s): Walter J. Glowacki

Mailing address: 3 Waydale Rd. (office) ; Box 28 ; Nantucket

Phone number: (484)-222-1888 Fax number: _____ E-mail: _____
1888 (cell) 484-222-1888 02554

Applicant's name: Frances Scarcille / frances.scarcille@gmail.com

Mailing address: _____
Phone number: 484-222-1888 Fax number: _____ E-mail: _____

Engineer / surveyor's name: John Spink P.E / MA# 30097

Mailing address: 59 Clay St. ; Middleboro, MA. 02346

Phone number: 774-766-0544 Fax number: _____ E-mail: jspink1@gmail.com

Location of lot(s):
 Street address 4 Perry Lane ; Nantucket, MA. 02554

Tax Assessors Map 67 Parcel 425.4

Nantucket Registry of Deed: Plan Book 1434 and Page 168 OR

Plan File # _____ OR Land Court Plan # _____ at Certificate # _____

Size of parcel: 9,792 sq. ft. Zoning District: RC-2

Special Permit sought: (check one) (for usage)

- Cluster subdivision
- Commercial WECS
- Driveway Access/Curb Cut Special Permit
- Harbor Overlay District (HOD)
- Major Commercial Development (MCD)

* Note: If we must have a local surveyor, (engineer) we will enlist Paul Santos of Nantucket Surveyors.
 332 of 443

Legal Counsel (Peter Kyburg (zoning lawyer))

- Multi-family Special Permit
- Moorlands Management District Subdivision or Construction (MMD)
- NEHOD (Neighborhood Employee Housing Overlay District)
- MRD (Major Residential Development)
- MIPOD (Mid-Island Planned Overlay District)
- Other Uses Requiring a Special Permit (specify all uses and *Nantucket Code* sections)

Section	Description
139-7.A	Personal storage (interior) for personal tools and equipment such as landscaping; mowers; snow-plow; etc. Also: Sports equipment such as jet-skis; boats; boat trailers, etc. (see attached explanation)

Specify all associated Zoning Code relief sought:

Section	Description
Note: Peter Kyburg is currently generating a common Driveway Easement document. He will submit to Marcus Silverstein. Walter Glowacki owns both 4 and 6 Perry Ln. The Driveway Easement is for 4 Perry. (shared with 6 Perry)	
<i>Only the zoning relief expressly requested above will be considered as part of this application.</i>	

If applying for a Major Commercial Development, specify how the application will comply with Section 139-11 (J) of the *Zoning Code of the Town of Nantucket*, also known as the Town's Affordable Housing Effort:

Planning Board filing fee due: \$ 250.00

Engineering Inspection Escrow Deposit due: \$ _____

I/ we hereby certify that the applicant(s) cited above have been authorized by me/ us to file a Special Permit application with the Planning Board on property that I/ we own. (see attached permission document)

Nantucket Planning and Land Use Services ▪ 2 Fairgrounds Road ▪ Nantucket ▪ MA ▪ 02554 ▪ (508) 325-7587

Walter J. Glowacki

Owner(s)' Signature(s)

Frances Scarcille

Applicant's Signature

I/we Walter J. Glowacki, the undersigned, hereby authorize Frances Scarcille (agent) Peter Kyburg (lawyer) to act as agent(s) on my/our behalf and to make any necessary revisions on this filed application as they may be requested by the Board to meet its governing rules and guidelines.

Walter J. Glowacki

Owner(s)' signature(s)

Check List:

- Planning Board Special Permit abutters list – to be obtained at the Tax Assessor's office
- Completed application form entitled "Application to the Planning Board for a Special Permit"
- Application fee of \$250.00 payable to Town of Nantucket
- Abutters fee of \$6.74 per abutters payable to Pitney Bowes Reserved Funds
- Four (4) sets of mailing labels with each abutter's name and address
 - 1" x 2 5/8" size, typed labels, are preferred
 - duplicate labels are not necessary if the same owner is listed for more than one abutting property
- Completed application form
- Town Clerk's stamped application (provide 2 copies-one for Town Clerk and one for Planning Board)

Frances Scarcille (agent) 404-222-1888
Peter Kyburg (legal counsel)
zoning lawyer

I authorize Frances Scarcille to act on my behalf regarding HDC compliance for my property at 4 and 6 Perry Lane.

(Map 67 : Parcel 425.3 / 425.4)
Also includes Planning Board and Bldg. Dept.
(All special permits included.)

Walter J. Glowacki

Walter J. Glowacki

August 28, 2015 / March 2016

* Note: Peter Kyburg (Walter's zoning lawyer) will be handling any special permitting (including Planning Board) (in conjunction with Frances Scarcille)

Letter of Explanation For SPECIAL USAGE PERMIT

Property: 4 Perry Lane
Owner : Walter Glowacki

Walter Glowacki is requesting a Special Usage Permit for his property at 4 Perry Lane. The usage is for personal storage (interior).

This request entails the respectful honoring of the visual impact of the Perry Lane neighborhood, with diligent consideration for the neighboring properties.

Mr. Glowacki has recently sold 100 acres of land, here on Nantucket. Most of the possessions which had been "housed" on this (sold) land will be removed from the island. There are, however, some personal items which are used by Walter (and members of his household). These items include tools and equipment for the maintenance of his personal residential properties, and for the maintenance of his rental and business properties. Included in this list of items, which require (out-of-sight) storage, are lawn mowers; snowplows ; tree spades ; pool / patio furniture, etc..

In addition, Walter Glowacki has a large collection of costly water craft, (and other sports equipment) for his household members. This list includes jet skis and jet ski trailers ; boats and their trailers, etc..

Walter is streamlining his possessions ; however, the above things are items which are used. He is seeking a Special Usage Permit to store these necessary items in a safe, neat, and tidy manner.

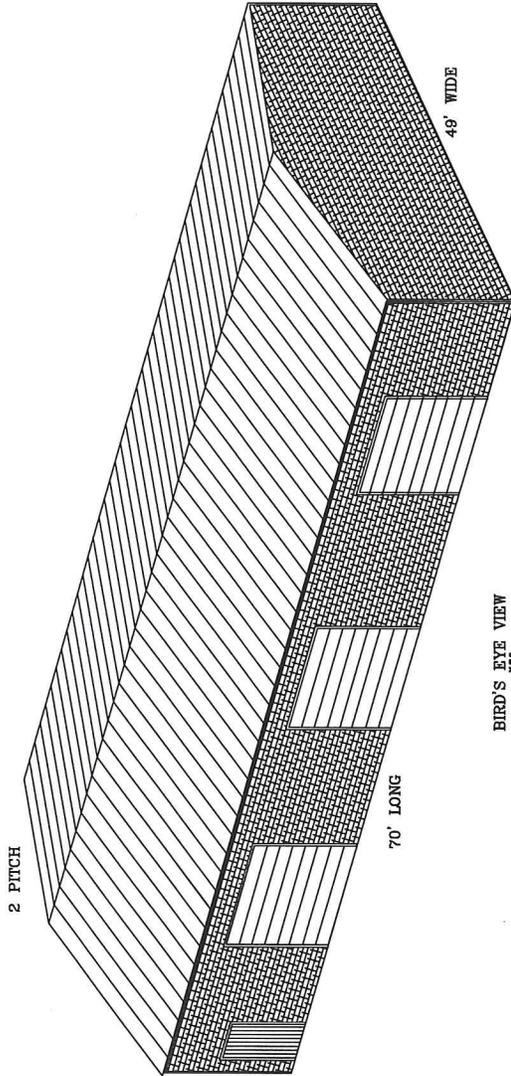
We have enlisted the legal services of Mr. Glowacki's lawyer. Peter Kyburg.

Thank you kindly for your consideration.

Respectfully Submitted,

Frances Scarcille (agent)
(484)-222-1888

2 PITCH

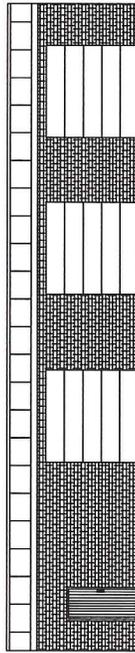


BIRD'S EYE VIEW
LOOKING NORTHWEST

STEEL BUILDING

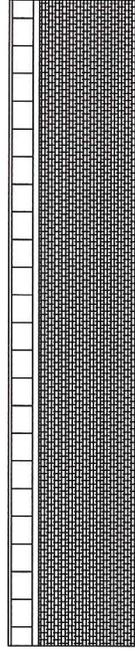
PROJECT: BUILDING INSTALLATION 4 PERRY LANE NANTUCKET, MASSACHUSETTS	SPINK DESIGN 59 CLAY STREET MIDDLEBORO, MASSACHUSETTS 02346-1052 774-766-0544 jphnkt@gmail.com	DATE: 12/14/2015	DRAWN/ CHECK: JCS
		SCALE: N.T.S.	
PLAN SET: BIRD'S EYE VIEW		PREPARED FOR: WALTER J. GLOWACKI NANTUCKET, MASSACHUSETTS	DRAWING: STEEL BUILDING 2 PITCH
			SHEET NO. 1

70' LONG



SOUTH ELEVATION
N.T.S.

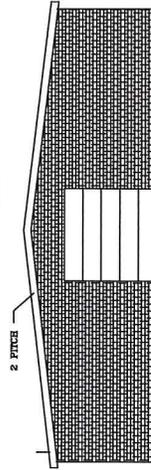
70' LONG



NORTH ELEVATION
N.T.S.

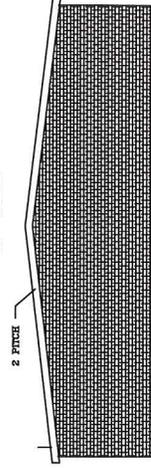
STEEL BUILDING

49' WIDE



WEST ELEVATION
N.T.S.

49' WIDE



EAST ELEVATION
N.T.S.

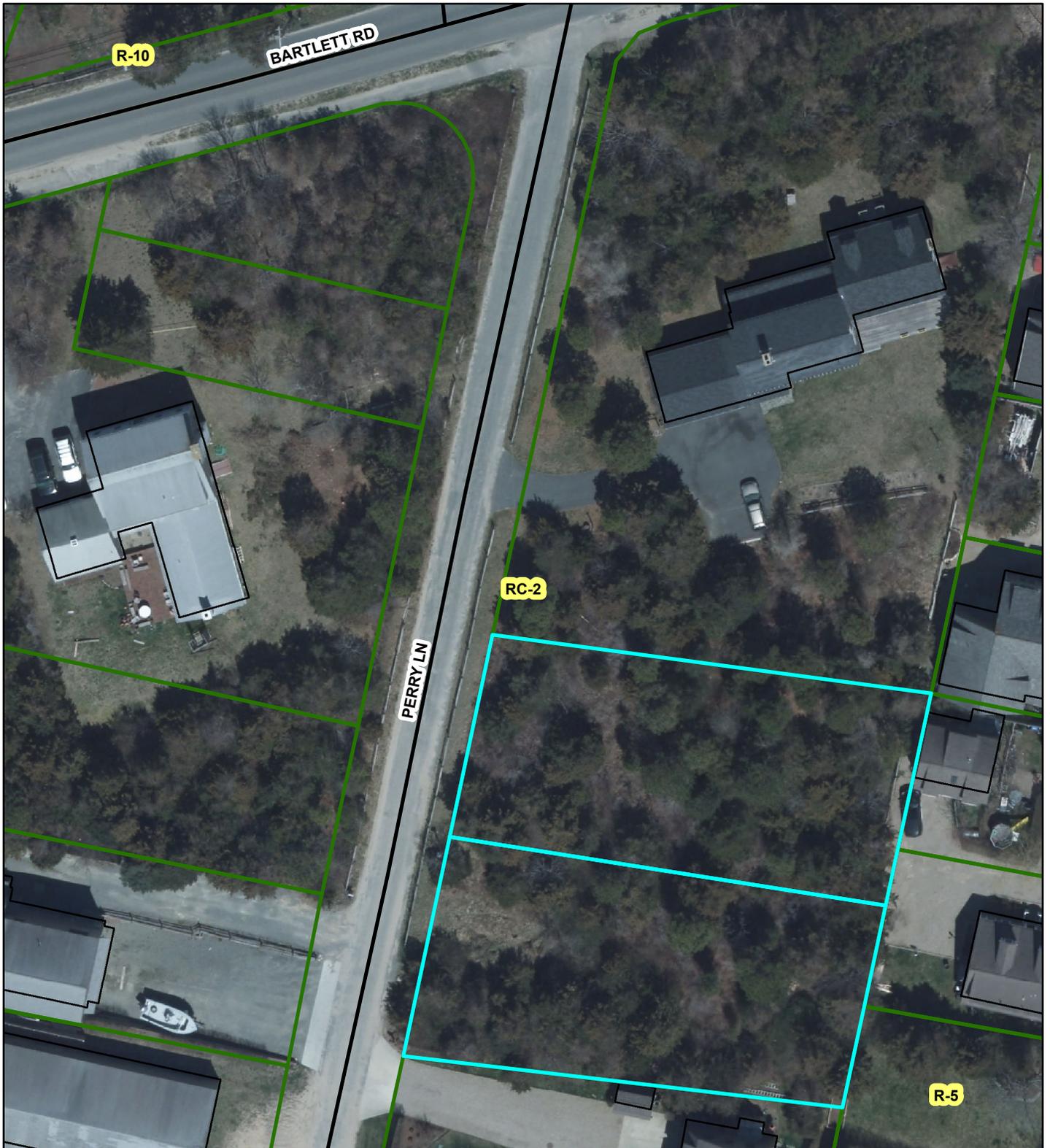
15' HIGH

15' HIGH

PROJECT: LARGE BUILDING 4 PERRY LANE NANTUCKET, MASSACHUSETTS	PLAN SET: ELEVATIONS	SPINK DESIGN 56 CLAY STREET MIDDLEBORO, MASSACHUSETTS 02346-1052 774-766-0544 japlaki@gmail.com	DATE: 12/14/2015
			PREPARED FOR: WALTER J. GLOWACKI NANTUCKET, MASSACHUSETTS
		DRAWING: STEEL BUILDING 2 PITCH	DRYING/ CHECK SCALE N.T.S.
			SHEET NO. 1



#22-16 & #23-16 Special Permits
Walter J. Glowacki
4 & 6 Perry Lane
Map 67 Parcels 725.3 & 725.4





Nantucket Planning Board

Application for a Special Permit

Date: April 8, 2016 File #: 23-16

Name of development: _____

Owner(s) name(s): Walter J. Glowacki

Mailing address: 3 Waydale Road (office); Box 28; Nantucket 02554

Phone number: 484-222-1888 Fax number: _____ E-mail: _____

Applicant's name: Frances Scarville / frances-scarville@gmail.com

Mailing address: _____
Phone number: _____ Fax number: _____ E-mail: _____

Engineer / surveyor's name: John Spink, P.E. / MA # 30097

Mailing address: 59 Clay St.; Middleboro, MA. 02346

Phone number: (774)-766-0544 Fax number: _____ E-mail: jspink1@gmail.com

Location of lot(s): _____

Street address 6 Perry Lane

Tax Assessors Map 67 Parcel 425.3

Nantucket Registry of Deed: Plan Book 1434 and Page 168 OR

Plan File # _____ OR Land Court Plan # _____ at Certificate # _____

Size of parcel: 9,792 s.f. sq. ft. Zoning District: RC-2

Special Permit sought: (check one) (for usage) - storage and warehousing

- Cluster subdivision
- Commercial WECS
- Driveway Access/Curb Cut Special Permit
- Harbor Overlay District (HOD)
- Major Commercial Development (MCD)

* Note: If we must have a local surveyor, we will enlist Paul Santos.

(Legal counsel - Peter Kyburg - zoning lawyer)

Note: Garage will be moved from 20 Day Kim Lane
It is 3475sf (using only 3.62% of allowable coverage)

- Multi-family Special Permit
- Moorlands Management District Subdivision or Construction (MMD)
- NEHOD (Neighborhood Employee Housing Overlay District)
- MRD (Major Residential Development)
- MIPOD (Mid-Island Planned Overlay District)
- Other Uses Requiring a Special Permit (specify all uses and *Nantucket Code* sections)

Section	Description
139-7.A	Special usage permit for the storage of a valuable antique car in a 21' X 16' wood/shingle garage on 6 Perry Lane. This request entails the respectful honoring of the visual impact of the Perry Lane neighborhood with diligent consideration.

Specify all associated Zoning Code relief sought:

Section	Description
	<p>Note: Peter Kyburg is currently generating a common Driveway Easement document. He will submit to Marcus Silverstein. Walter Glowacki owns both 4 and 6 Perry Lane</p>

Only the zoning relief expressly requested above will be considered as part of this application.

If applying for a Major Commercial Development, specify how the application will comply with Section 139-11 (J) of the *Zoning Code of the Town of Nantucket*, also known as the Town's Affordable Housing Effort:

Planning Board filing fee due: \$ 250.00

Engineering Inspection Escrow Deposit due: \$ _____

we hereby certify that the applicant(s) cited above have been authorized by me/ us to file a Special Permit application with the Planning Board on property that I/ we own.

(* see attached permission document)

Nantucket Planning and Land Use Services ▪ 2 Fairgrounds Road ▪ Nantucket ▪ MA ▪ 02554 ▪ (508) 325-7587

Walter J. Glowacki

Owner(s)' Signature(s)

Frances Scarcille

Applicant's Signature

I we Walter J. Glowacki, the undersigned, hereby authorize Frances Scarcille (agent) Peter Kyburg (lawyer) to act as agent(s) on my/our behalf and to make any necessary revisions on this filed application as they may be requested by the Board to meet its governing rules and guidelines.

Walter J. Glowacki

Owner(s)' signature(s)

Check List:

- Planning Board Special Permit abutters list – to be obtained at the Tax Assessor's office
- Completed application form entitled "Application to the Planning Board for a Special Permit"
- Application fee of \$250.00 payable to Town of Nantucket
- Abutters fee of \$6.74 per abutters payable to Pitney Bowes Reserved Funds
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 - 1" x 2 5/8" size, typed labels, are preferred
 - duplicate labels are not necessary if the same owner is listed for more than one abutting property
- Completed application form
- Town Clerk's stamped application (provide 2 copies-one for Town Clerk and one for Planning Board)

Frances Scarcille (agent) 404-222-1888
Peter Kyburg (legal counsel)
zoning lawyer

I authorize Frances Scarcille to act on my behalf regarding HDC compliance for my property at 4 and 6 Perry Lane.

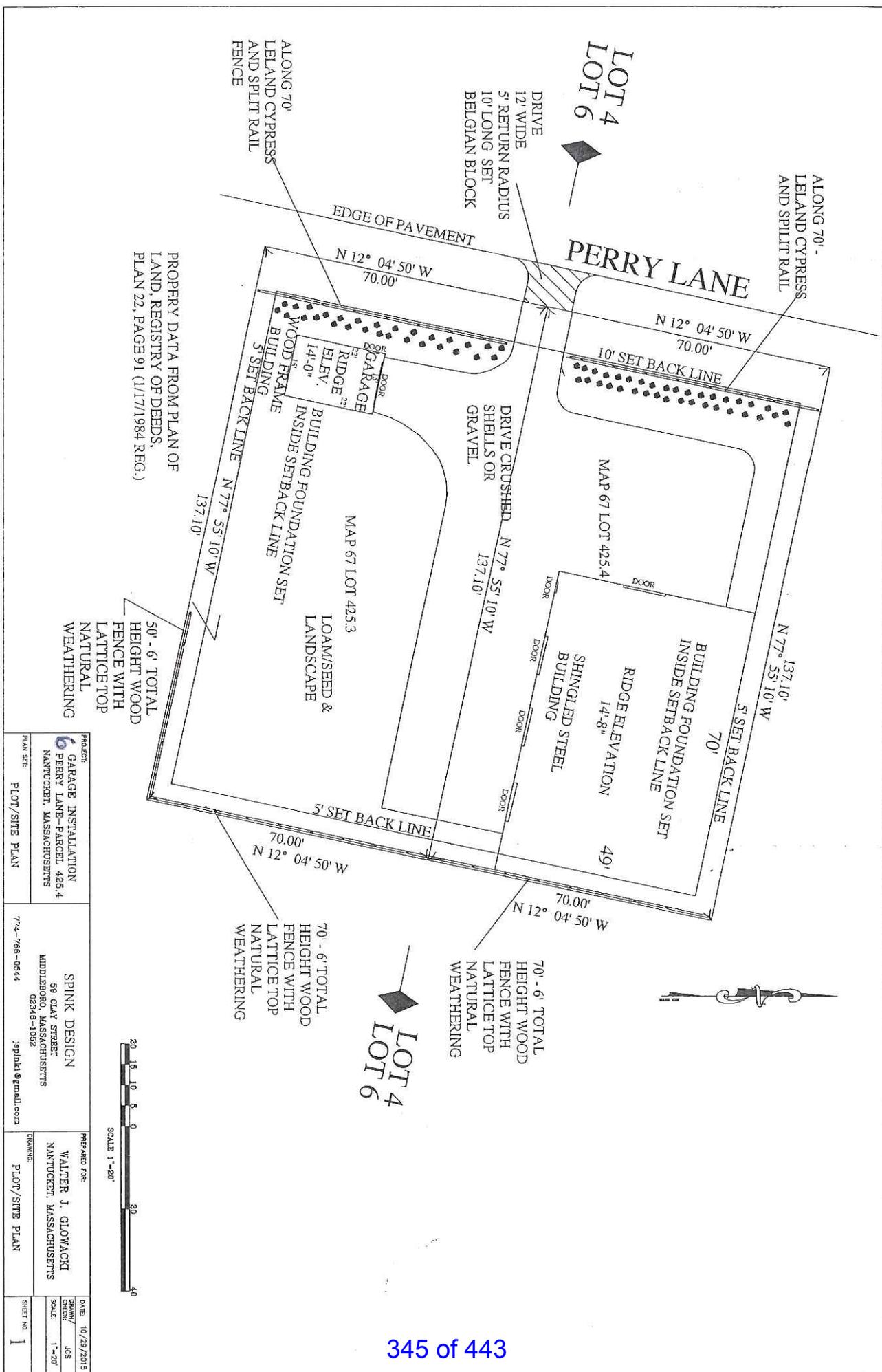
(Map 67 ; Parcel 425.3 / 425.4)
Also includes Planning Board and Bldg. Dept.
(All special permits included.)

Walter J. Glowacki

Walter Glowacki

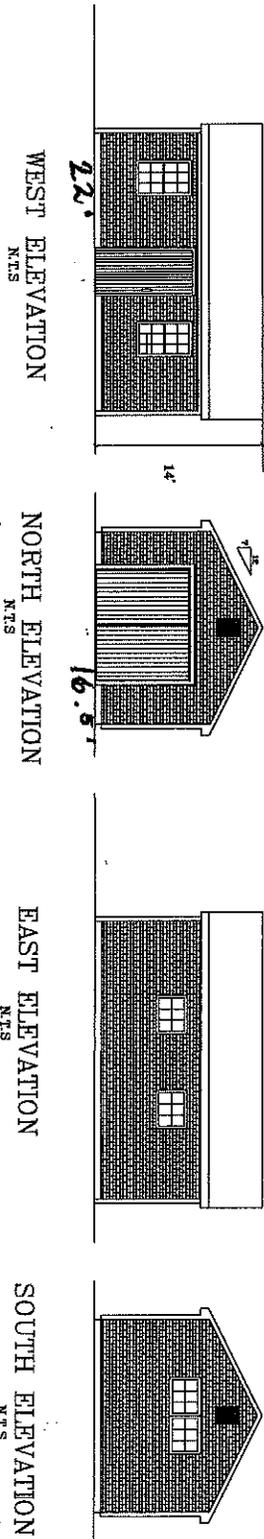
August 28, 2015 / March 2016

* Note : Peter Kyburg (Walter's zoning lawyer) will be handling any special permitting (including Planning Board) (in conjunction with Frances Scarcille)



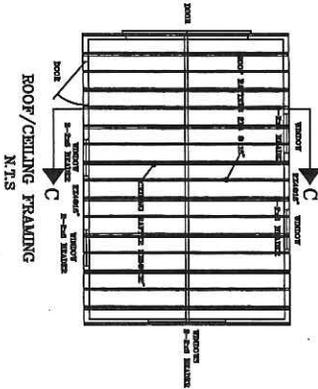
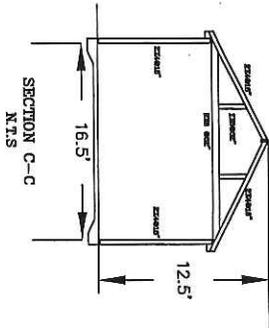
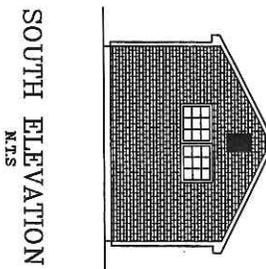
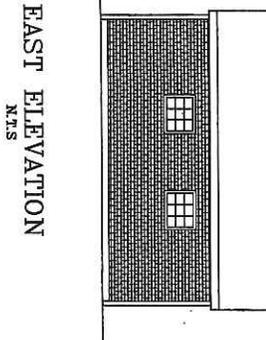
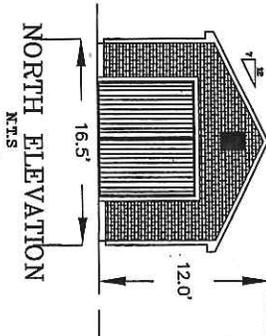
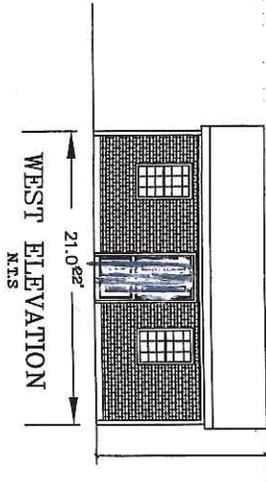
6 Perry Lane

WOOD GARAGE



Product: GARAGE INSTALLATION 6 PERRY LANE NANTUCKET, MASSACHUSETTS		Prepared For: SPINK DESIGN 59 CLAY STREET MIDDLEBORO, MASSACHUSETTS 02346-1062 jspinkd@gmail.com		DATE: 10/29/2015 DESIGNER: JS SCALE: N.T.S.	
Rev. No.: GARAGE INSTALLATION		774-786-0344		PROJECT: GARAGE	
				SHEET NO.: 1	

WOOD GARAGE



PROJECT: GARAGE INSTALLATION 6 PERRY LANE NANTUCKET, MASSACHUSETTS	SPINK DESIGN 58 CLAY STREET NANTUCKET, MASSACHUSETTS 02946-1052 jpsink@gmail.com	PREPARED FOR: WALTER J. GLOWACKI NANTUCKET, MASSACHUSETTS	DATE: 10/27/2011 DRAWN/CHECKED: JCS SCALE: N.T.S.
PLAN SET: GARAGE INSTALLATION	774-786-0544	GARAGE	SHEET NO. 1

CERTIFICATE NO: 69698

DATE ISSUED: 10/27/15

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N^o: 607 PARCEL N^o: 4253/4254
Street & Number of Proposed Work: 6 Perry Lane
Owner of record: Walter J. Glowacki
Mailing Address: PO Box 28, Nantucket, 02554
Walter Glowacki, 6 Perry Lane, Nantucket, MA 02554
Contact Phone #: (441) 222-1800 E-mail: lucass@scawille.com

AGENT INFORMATION (if applicable)

Name: Project Engineer
Mailing Address: John Spink, RE # 30097
100 Main Street, Nantucket, MA 02554
Contact Phone #: _____ E-mail: _____

FOR OFFICE USE ONLY	
Date application received: <u>9-4-2015</u>	Fee Paid: \$ <u>75</u>
Must be acted on by: <u>11-7-2015</u>	
Extended to: _____	
Approved: _____	Disapproved: _____
Chairman: _____	
Member: _____	
Member: _____	
Member: _____	
Member: _____	
Notes - Comments - Restrictions - Conditions	

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District _____) Roof Other _____
Size of Structure or Addition: Length: 21' Sq. Footage 1st floor: 347.5 Decks/Patio: Size: _____ 1st floor 2nd floor
Width: 16' Sq. footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North 3.000 South 3.000 East 3.000 West 3.000
Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks

REVISIONS*

Historic Name: _____
Original Date: _____ (describe)
Original Builder: _____
Is there an HDC survey form for this building attached? Yes N/A

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 8" Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) _____ Other _____
Roof Pitch: Main Mass: 12/12 Secondary Mass: _____/12_____ Dormer: _____/12_____ Other _____
Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____

Fence: Height: _____
Type: _____
Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size): _____

Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____

B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____

Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square _____

Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

Doors* (type and material): TDL SDL Front _____ Rear _____ Side 30" x 80" white

Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways _____ Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

COLORS

Sidewall _____ Clapboard (if applicable) _____ Roof White
Trim _____ Sash _____ Doors White
Deck _____ Foundation _____ Fence _____ Shutters _____

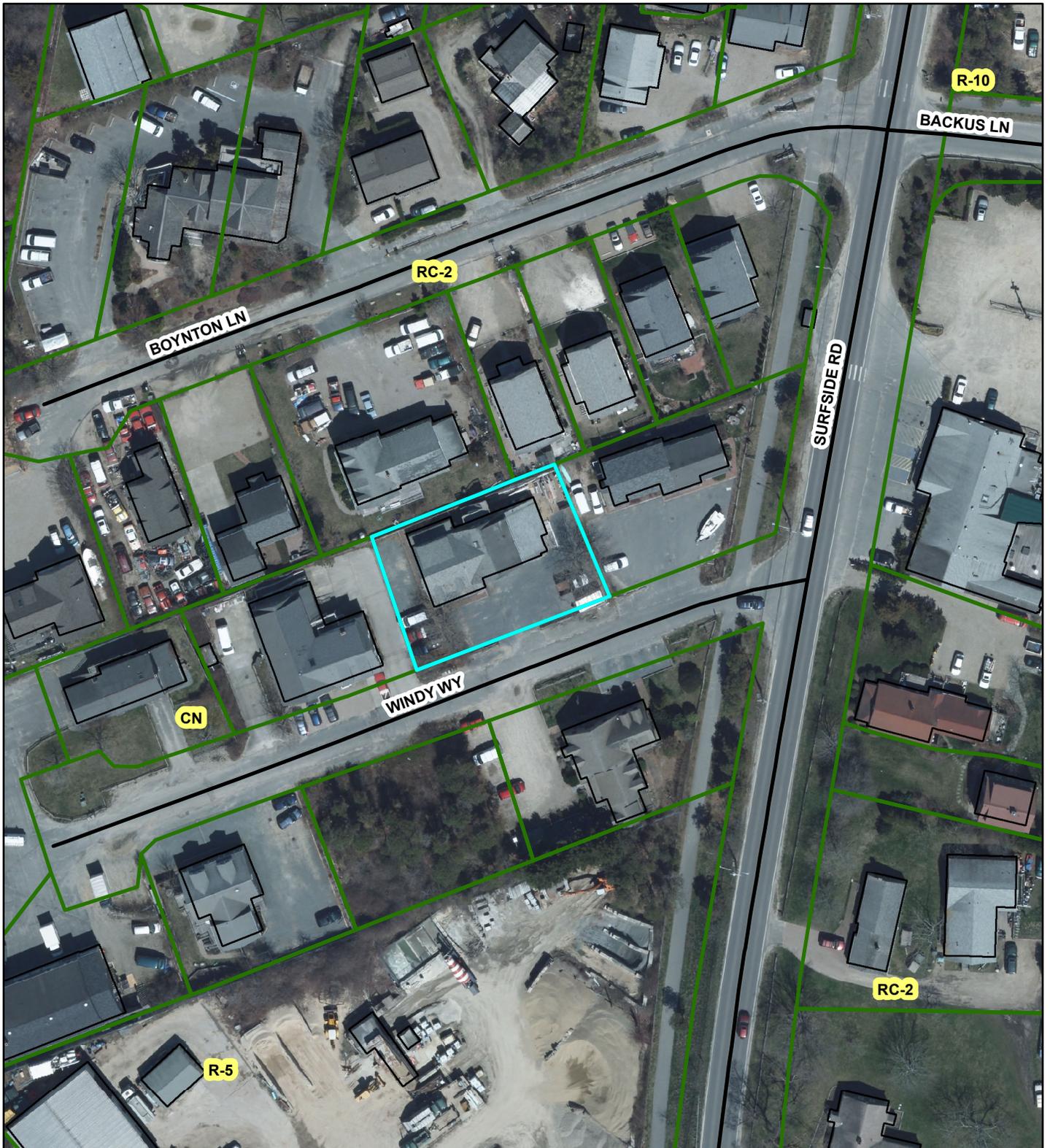
* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date _____ Signature of owner of record _____ Signed under penalties of perjury



#24-16 Special Permit
Michael F. Boylan
3B Windy Way
Map 67 Parcel 451



2016 APR 11 13



Nantucket Planning Board

Application for a Special Permit

Date: 4.7.16

File #: 24-16

Name of development: _____

Owner(s) name(s): MICHAEL F. BOYMAN

Mailing address: 10 WITHERSPOON DRIVE NANTUCKET 02554

Phone number: 508 221 3484 Fax number: 508 325 5755 E-mail: MIKEIFB@AOL.COM

Applicant's name: MICHAEL F. BOYMAN

Mailing address: _____

Phone number: _____ Fax number: _____ E-mail: _____

Engineer / surveyor's name: BOB EMACK

Mailing address: 2 WASHAMAN AVE. NANTUCKET 02554

Phone number: 508 325 0940 Fax number: _____ E-mail: _____

Location of lot(s):

Street address 313 WINDY WAY NANTUCKET

Tax Assessors Map 47 Parcel 451

Nantucket Registry of Deed: Plan Book 20 and Page 65 OR

Plan File # _____ OR Land Court Plan # _____ at Certificate # _____

Size of parcel: _____ sq. ft. Zoning District: _____

Special Permit sought: ~~(check one)~~

- Cluster subdivision
- Commercial WECS
- Driveway Access/Curb Cut Special Permit
- Harbor Overlay District (HOD)
- Major Commercial Development (MCD)

- Multi-family Special Permit
- Moorlands Management District Subdivision or Construction (MMD)
- NEHOD (Neighborhood Employee Housing Overlay District)
- MRD (Major Residential Development)
- MIPOD (Mid-Island Planned Overlay District)
- Other Uses Requiring a Special Permit (specify all uses and *Nantucket Code* sections)

Section	Description
_____	_____
_____	_____
_____	_____
_____	_____

Specify all associated Zoning Code relief sought:

Section	Description
139-18	Off Street Parking - waiver of 1 space
_____	_____
_____	_____
_____	_____
_____	_____

Only the zoning relief expressly requested above will be considered as part of this application.

If applying for a Major Commercial Development, specify how the application will comply with Section 139-11 (j) of the *Zoning Code of the Town of Nantucket*, also known as the Town's Affordable Housing Effort:

n/a

Planning Board filing fee due: \$ _____

Engineering Inspection Escrow Deposit due: \$ Ma

I/ we hereby certify that the applicant(s) cited above have been authorized by me/ us to file a Special Permit application with the Planning Board on property that I/ we own.

Owner(s)' Signature(s)

Applicant's Signature

I/we _____, the undersigned, hereby authorize
_____ to act as agent(s) on my/our behalf and to
make any necessary revisions on this filed application as they may be requested by the Board to meet its governing
rules and guidelines.

Owner(s)' signature(s)

Check List:

- Planning Board Special Permit abutters list – to be obtained at the Tax Assessor's office
- Completed application form entitled "Application to the Planning Board for a Special Permit"
- Application fee of \$250.00 payable to Town of Nantucket
- Abutters fee of \$6.74 per abutters payable to Pitney Bowes Reserved Funds 390.92
- Four (4) sets of mailing labels with each abutter's name and address
 - 1" x 2 5/8" size, typed labels, are preferred
 - duplicate labels are not necessary if the same owner is listed for more than one abutting property
- Completed application form
- Town Clerk's stamped application (provide 2 copies-one for Town Clerk and one for Planning Board)

Michael F. Boylan
10 Witherspoon Drive
Nantucket, MA 02554
Ph:508.325.7783 cell: 508.221.3484
miketfb@aol.com

April 8, 2016

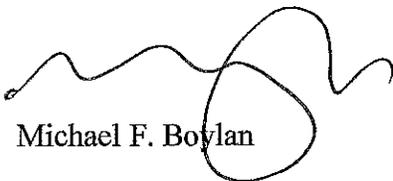
Nantucket Planning Board
Re: 3B Windy Way application

After conducting a successful business as The UPS Store located at 2 Windy Way for 11+ years, I am applying for a waiver of parking by special permit of one (1) parking space, located at the commercial property I own, 3B Windy Way across the street from my current address.

I feel it is very important to note that my customers are conducting business in our store on an average of 5-10 minutes at the most.

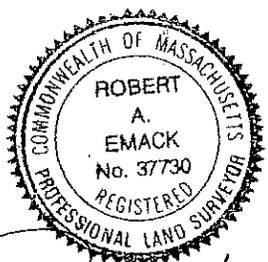
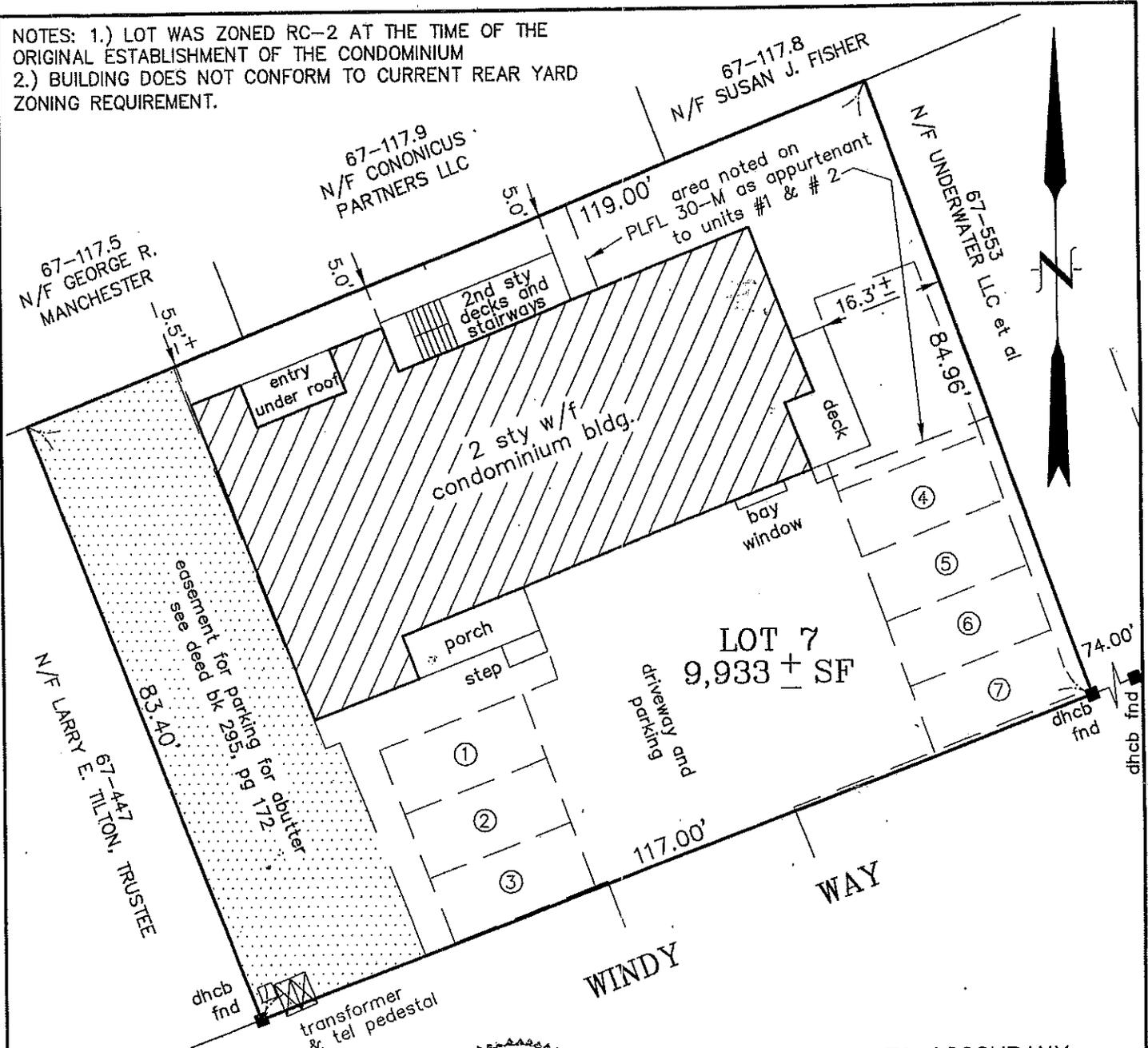
This would be a very desirable move for many reasons, but primarily so my long term customers would have no trouble finding my new location and to minimize my expenses when my current lease expires in August 2017.

I sincerely appreciate your consideration.



Michael F. Boylan

NOTES: 1.) LOT WAS ZONED RC-2 AT THE TIME OF THE ORIGINAL ESTABLISHMENT OF THE CONDOMINIUM
 2.) BUILDING DOES NOT CONFORM TO CURRENT REAR YARD ZONING REQUIREMENT.



CURRENT ZONING: CN
 MINIMUM LOT SIZE: 7,500 SF
 MINIMUM FRONTAGE: 50 FT
 FRONTYARD SETBACK: 10 FT
 SIDE AND REAR SETBACK: 5 FT / 10 FT
 ALLOWABLE G.C.R.: 40%
 EXISTING G.C.R.: 27.9% ±

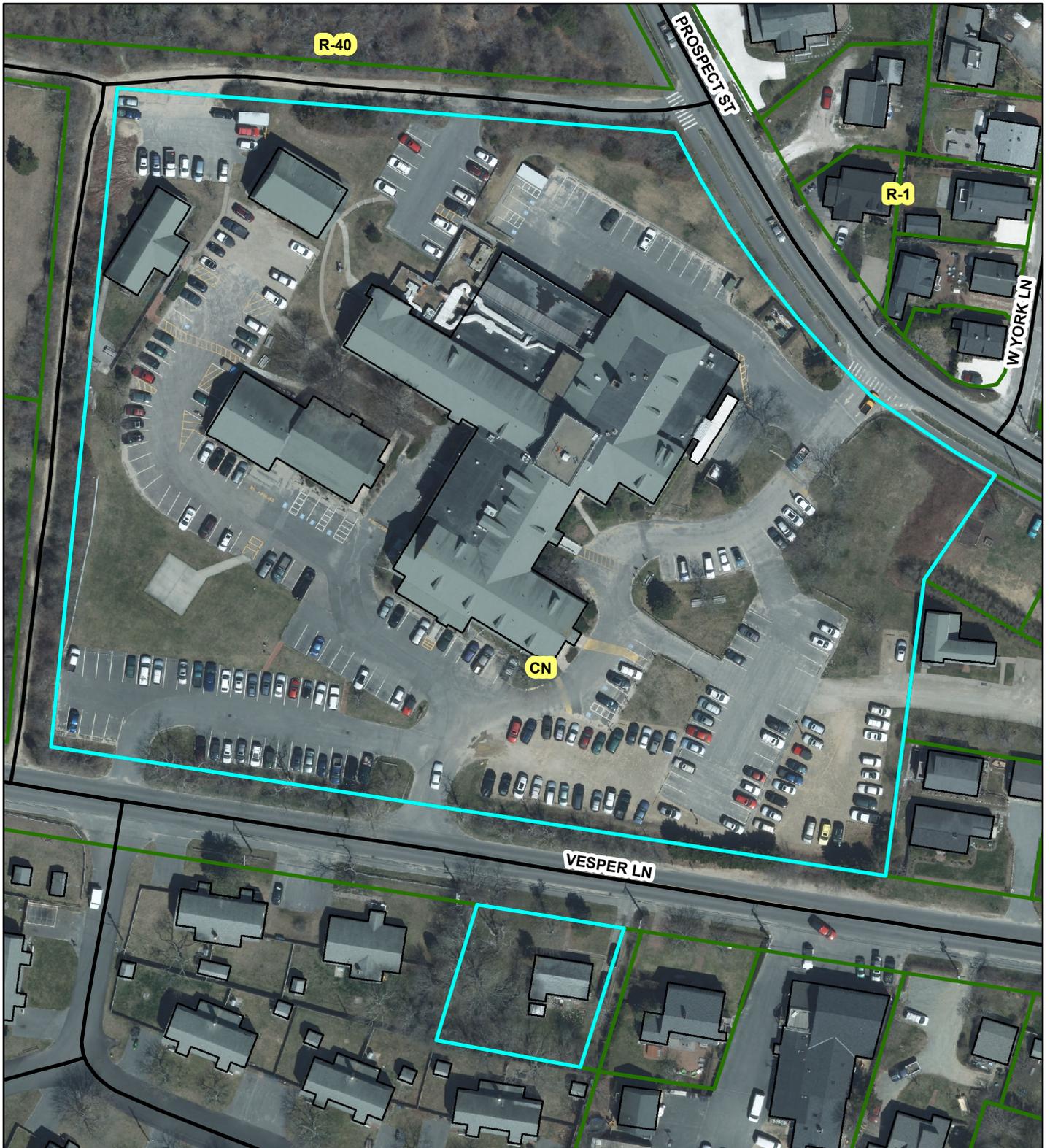
FOR PROPERTY LINE DETERMINATION THIS PLOT PLAN RELIES ON CURRENT DEEDS AND PLANS OF RECORD, VERIFIED BY FIELD MEASUREMENTS AS SHOWN HEREON. THIS PLAN IS NOT REPRESENTED TO BE A TITLE EXAMINATION OR A RECORDABLE SURVEY.

PLOT PLAN TO ACCOMPANY APPLICATION TO THE ZBA IN NANTUCKET, MASSACHUSETTS
 SCALE: 1"=20' DATE: SEP 6, 2013
 DEED REFERENCES: DBK 246 PG 321, DBK 301 PG 88, DBK 495 PG 246
 PLAN REFERENCES: PLBK 20 PG 65, PLFL 30-M, PLFL 48-B
 ASSESSOR'S REFERENCE: MAP: 67 PARCEL: 451
 PREPARED FOR: CHRISTOPHER L. MAURY

EMACK SURVEYING, LLC
 2 WASHAMAN AVENUE
 NANTUCKET, MA. 02554
 (508) 325-0940



#25-16 Site Plan Review
Nantucket Cottage Hospital
57 & 59 South Prospect Street and 10 Vesper Lane
Map 55 Parcel 3, 130, 249 & 805

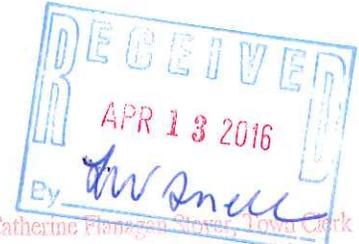


PLANNING BOARD

goulston&storrs
counsellors at law

FILE # 25-16

April 13, 2016



Catherine Flanagan Storrs, Town Clerk
Town of Nantucket - 36 Broad Street
Nantucket, MA 02554 townclerk@nantucket.net
508-228-7217 Fax: 508-325-5313
Home: 508-228-7841

APR 13 2016 AM 9:43

VIA HAND DELIVERY

Nantucket Planning Board
2 Fairgrounds Road
Nantucket, MA 02554

Attn: Andrew V. Vorce, Director of Planning
Leslie Woodson Snell, AICP, LEED AP, Deputy Director of Planning

Re: Application for Site Plan Review Approval from the Nantucket Planning Board (the "Planning Board") Regarding the Nantucket Cottage Hospital Redevelopment Located at 57 and 59 Prospect Street and 10 Vesper Lane

Dear Mr. Vorce and Ms. Snell:

As you know, Nantucket Cottage Hospital (the "Hospital") desires to undertake certain work in connection with the construction of a new hospital at the current Hospital site. Such work includes the construction of a new hospital, demolition and relocation of certain Hospital owned buildings, new hardscaping, landscaping, and drainage improvements, and other associated improvements all as more fully shown on the plans enclosed herewith (the "Work"), at 57 & 59 Prospect Street and 10 Vesper Lane. The Hospital is the only hospital on Nantucket and the Work is necessary for the Hospital to continue to provide quality healthcare services on the island and to accommodate the need to construct a "new" hospital, while maintaining the vital services at the existing hospital. As more fully set forth in a letter from Dr. Margot Hartmann attached hereto, the maintaining of the highest quality medical services for Nantucket is key to all of these efforts.

Based on our discussions with the Town and pursuant to Sections 139-23 of the Town of Nantucket Bylaws, enclosed herewith please find a complete Site Plan Review application seeking Site Plan Review approval of the plans for the Work (the "Application"). As noted above, the enclosed application documentation includes the following:

- a) Application Fee (1 Original) (\$20,000.00)¹;
- b) Site Plan Narrative (2 Originals);
- c) Abutters Lists (2 copies of abutters lists for each of 57 Prospect Street, 59 Prospect Street, and 10 Vesper Lane);

- d) Form of Abutters Notice;
- e) Abutters Notice Fee (\$401.14);
- f) Site Plan Set prepared by RJ O'Connell & Associates, Inc. (unless otherwise noted below) containing the following plans (2 Originals):
 - i. Cover Sheet;
 - ii. Existing Conditions Plan;
 - iii. Demolition and Erosion Control Plan;
 - iv. Grading and Drainage Plan;
 - v. Utility Plan;
 - vi. Parking and Traffic Control Plan;
 - vii. Landscape Plan – prepared by William Fleming & Associates;
 - viii. Aerial Site Plan – prepared by William Fleming & Associates;
 - ix. Building Elevation Plans – prepared by Cannon Design;
 - x. Site Lighting Plan;
 - xi. General Notes;
 - xii. Erosion Control Details;
 - xiii. Drainage Details – I;
 - xiv. Drainage Details – II;
 - xv. Utility Details;
 - xvi. Site Details – I;
 - xvii. Site Details – II; and
 - xviii. Landscape Detail Plans – prepared by William Fleming & Associates;
- g) Stormwater Report prepared by RJ O'Connell & Associates, Inc. (2 Originals);
- h) Traffic Impact Assessment prepared by Vanasse & Associates, Inc. (2 Originals);
- i) Helicopter Approach and Landing Plan; and
- j) Construction Management Plan prepared by Suffolk Construction (2 Originals).

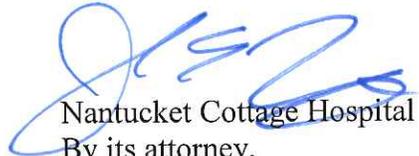
Please note that, in connection with certain ways to be conveyed to the Hospital by the Town, an “Approval Not Required” plan is being filed with the Planning Board under separate cover.

Based on the materials submitted with the Application, and consistent with the requirements of Section 139-23 of the Nantucket Bylaws, we believe that the Hospital has provided all of the information required for the Planning Board to review the Hospital's Application and respectfully request that the Planning Board find that the project proposed in the Application is in compliance with the review objectives and performance standards of Section 139-23 of the Bylaws and grant its approval of the Application.

Please contact me with any questions concerning the above or if the Planning Board would like additional information. I respectfully request that the Planning Board review the Hospital's request for Site Plan Review approval at the Planning Board's May 9, 2016, meeting. We look

forward to working with the Planning Board and its staff and consultants on this exciting project to bring a new hospital to Nantucket to serve current and future generations.

Sincerely,


Nantucket Cottage Hospital
By its attorney,
John E. Twohig

cc:

Frank Kovac

¹ NOTE: The Hospital, as a non-profit public service entity, requests that the Planning Board accept \$20,000.00 in lieu of the Application Fee that would otherwise have been due (\$76,535.84). The enclosed fee will be sufficient for plan review and third party consultants. To the extent additional consultant fees are required, please advise. We respectfully request that, given this is a redevelopment of the existing hospital on the current existing hospital's site and will result in a new hospital of similar size to the existing hospital, the application fee due pursuant to the Major Commercial Development Fee calculation not be assessed.

8720032.6



April 11, 2016

Town of Nantucket
Planning Board
2 Fairgrounds Road
Nantucket, MA 02554

As we consider the present and future health care needs of Nantucket, I'm reminded of the sage words of Nantucket Cottage Hospital co-founder Dr. John S. Grouard in the early 1900s: "It is imperative that the conditions under which medicine and surgery are practiced (here) must be superseded by more modern ones."

Nantucket Cottage Hospital's core mission has never changed. We are striving to improve health care on Nantucket; a new building that will serve the island today and into the future is a critical piece of this puzzle.

Our existing half-century-old building was constructed with an "inpatient" medical model that is no longer in use. It is a patchwork of aging infrastructure in which advanced medical equipment and services rely upon mechanical systems in place while President Dwight Eisenhower was still in the White House. This means the hospital must spend roughly \$1 million every year in maintenance and repair costs simply to maintain the building, rather than investing those funds in enhancing patient care and advancing services.

The antiquated layout of our current building allows for little patient privacy. Patients must often travel through public hallways after donning a hospital gown for an exam, and encounters with friends and neighbors are often unavoidable. On a small island and in our tight-knit community, patients simply do not have the privacy they expect and deserve.

Having just one functioning operating room limits our abilities to care for patients. For instance, when a woman goes into labor, the hospital's only OR must be reserved in the event of a C-section, restricting other surgical services.



In our current building, only one clinical area – our CT scan room – conforms to Department of Public Health (DPH) code. Every remaining area is undersized and grandfathered to allow us to continue operating the hospital under today’s stricter regulatory framework.

Our current hospital building has simply reached the end of its useful life.

We evaluated whether it was prudent to renovate the existing structure or construct a new building to serve the needs of Nantucketers for generations to come. After careful assessment, our conclusion is that a new hospital is the right option for Nantucket.

We have designed a new hospital that will transform the patient experience to enhance privacy and safety, while maintaining the comfort and familiarity of the community hospital we all know so well. This will be a building that honors the architectural heritage of Nantucket, while also reflecting the state-of-the-art care provided inside.

By co-locating 24/7 departments like the Emergency Department and the medical/surgical inpatient beds, and creating multi-function patient rooms, we will have greater flexibility and efficiency to meet fluctuations in demand.

An additional operating room in the new hospital will make it possible for regular surgeries, endoscopies and C-sections to proceed simultaneously.

Clinical space for ambulatory specialties will increase, allowing greater capacity for specialty offerings and the ability to maximize both our on-site and off-site locations with opportunities for further growth in services. Meanwhile, unified primary care, walk-in care and specialty clinic space in the new hospital will increase access to our providers.

New technology will be implemented throughout the building to enhance care, with every room telemedicine capable.



Additionally, all clinical areas within the new hospital will be DPH-licensed space, which will augment our fiscal sustainability.

The new hospital will also allow us to explore new opportunities to serve the island community with alternative medical models, such as a rural health clinic. Furthermore, our ability to recruit and retain key medical staff members in the future will be greatly improved with a new hospital.

Over the past five years we've addressed a number of key challenges by getting a better handle on our finances and reimbursements. The next piece of our puzzle which we must address is our failing building.

The site plan review by the Nantucket Planning Board is a key step toward realizing this goal, and with the expertise and wisdom of your staff and board members, we believe the plan will allow us to maximize the potential for our site at 57 Prospect Street with a new hospital for the island community.

Sincerely,

Margot Hartmann, MD, PhD
President & CEO

TO: Nantucket Planning Board
FROM: Goulston & Storrs PC
DATE: April 13, 2016
REFERENCE: Application for Site Plan Review and Approval
Nantucket Cottage Hospital

BACKGROUND:

This narrative has been prepared in support of the Project’s (described below) site plan review application (the “Site Plan Review Application”), submitted as of the date hereof with the Nantucket Planning Board (the “Planning Board”). The Sections below describe the information provided herewith in accordance with Section 139-23 of the Nantucket Bylaws (the “Bylaws”).

PROJECT DESCRIPTION:

Nantucket Cottage Hospital (“NCH”) proposes to construct an approximately 106,605 square foot new hospital at 57 Prospect Street, which will require the demolition of the existing hospital and associated structures and the construction of certain improvements located on NCH owned properties, all as more fully depicted on the plans included with the Site Plan Review Application (the “Project”). The proposed Project is necessary for NCH to continue to provide quality healthcare services in the Town of Nantucket (the “Town”) and to accommodate the need to construct a “new” hospital while maintaining the vital services at the existing hospital.

SECTION 139-23 OF THE BYLAWS – SITE PLAN:

Pursuant to Section 139-23 of the Bylaws a site plan package titled “Site Plan for New Nantucket Cottage Hospital”, prepared by RJ O’Connell & Associates, Inc. (the “Site Plan Set”) is attached hereto. The following information required by Section 139-23(B)(1)(a)-(r) is included within the Site Plan:

- a) **Name:** Name of the project, locus, boundaries, North arrow, date, and scale of the plan are on each sheet of the Site Plan Set.
- b) **Key Map:** Key Map at a scale of 1” = 500’, depicting the property with reference to surrounding properties, roads, and zoning district lines are shown on the Cover Sheet and C-4 “Parking & Traffic Control Plan” of the Site Plan Set.
- c) **Parties:** Name and address of the owner of record, developer, and professional seal and certification of the certifying professional are on the Cover Sheet of Site Plan Set.

- d) **Abutters:** Names and addresses of all owners of record of all abutting property owners are shown on Sheet EC-1 “Existing Conditions Plan” of the Site Plan Set and an abutters list is included with the Site Plan Review Application.
- e) **Existing Conditions:** Existing lot lines, easements, and rights-of-way are depicted on Sheet EC-1 “Existing Conditions Plan” of the Site Plan Set.
- f) **Dimensions and Use of Structures:** The location, dimensions, and use of all existing and proposed structures within the site are depicted on Sheets C-1 “Demolition and Erosion Control Plan”, C-2 “Grading and Drainage Plan” and EC-1 “Existing Conditions Plan” of the Site Plan Set.
- g) **Dimensions and Use of Improvements:** The location, dimensions, and use of all present and proposed site improvements within the site are depicted on Sheets C-1 “Demolition and Erosion Control Plan”, C-2 “Grading and Drainage Plan” and EC-1 “Existing Conditions Plan” of the Site Plan Set.
- h) **Utilities:** General location and identity of all present and proposed utility systems are shown on Sheet C-3 “Utility Plan” and Sheet C-8 “Utility Details” of the Site Plan Set. The utility systems are more fully explained as follows:

- i. **Water**

A proposed eight-inch (8”) cement lined, ductile iron (CLDI) water main will be installed along the west and north sides of the Project site and will connect to the existing eight-inch (8”) transit water main in Vesper Lane, and a proposed water main planned to be installed by the Wannacomet Water Company in South Prospect Street. This will provide two separate sources of water and a loop around the site. Domestic water service for the proposed new hospital will be provided by a four-inch (4”) CLDI pipe and fire protection will be provided by an eight-inch (8”) CLDI pipe, at the north side of the proposed new hospital building. Additional fire protection will be provided by five (5) new hydrants, two (2) hydrants on the east side of the building, one (1) hydrant at the northwest corner of the site, and two (2) hydrants on the west side of the proposed new hospital building. A two-inch (2”) CLDI line will be installed from the north side of the relocated medical office building and will connect to the water main line in South Prospect Street to provide domestic water service. A four-inch (4”) CLDI line will be installed from the north side of the relocated Founder’s Building and will connect to the existing eight-inch (8”) water main in Vesper Lane to provide domestic water service

and fire protection. A well is proposed on the north side of the site to provide non-potable water for irrigation and emergency use.

The results of a hydrant flow test performed by the Wannacomet Water Company on March 1, 2016 are as follows:

Static Pressure	=	50 psi
Residual Pressure	=	42 psi
Flow Rate	=	2,030 gallons per minute

Based on the results of this test, and preliminary calculations, it appears there is sufficient flow and pressure within the existing water distribution system to accommodate the Project's domestic water and fire flow needs and no fire pump will be required.

The water demand associated with the proposed new hospital was calculated utilizing flow data for the existing hospital facility provided by the Wannacomet Water Company, dated October 7, 2013, which noted the existing hospital's average monthly usage to be approximately 197,000 gallons per month or approximately 6,600 gallons per day ("gpd"). To estimate the proposed new hospital's average water demand, the average flows for the existing hospital were converted to gallons per day per square-foot based on an existing building area of approximately 86,400 square-feet. The existing hospital's average water usage per square-foot is 0.076 gpd per square-foot. Based on this, the proposed new hospital and relocated medical office building are approximately 116,750 square-feet and the estimated average daily water usage is approximately 8,900 gpd. The proposed new hospital will be equipped with state-of-the art low flow plumbing fixtures, which should reduce the anticipated water demand by 20% and result in approximately 7,120 gpd, or an increase of only 520 gpd.

ii. **Sewer**

A six-inch (6") PVC sewer line will be installed on the west side of the Project site, and will connect into an existing sewer manhole on the north side of Vesper Lane, where the sanitary sewer flows eastward in an existing eight-inch (8") sewer main. A six-inch (6") PVC sanitary sewer line will also be installed on the north side of the relocated medical office building and will connect to an existing sewer manhole in South Prospect Street. A (6") PVC sanitary sewer line will also be installed from the north side of the relocated Founder's Building to an existing sewer manhole at the south side of Vesper Lane.

As water demand is estimated to be approximately 110% of sanitary demand, the proposed sanitary sewer flow from the facility is estimated to be approximately 6,470 gpd, or an increase of only 470 gpd.

iii. **Electric/ Telephone**

Electric service for the proposed new hospital will be provided by two (2) 13.2 KV lines installed in subsurface duct banks comprised of two (2) five-inch (5") concrete encased conduits from two (2) new utility poles installed on the north side of Vesper Lane, and will connect to the southwest corner of the Project site. Electric service for the relocated medical office building will be provided by an overhead power line from an existing utility pole on the south side of South Prospect Street and service for the relocated Founder's Building will be provided by an overhead power line from an existing utility pole on the south side of Vesper Lane.

Telephone/data services will be provided from a utility pole on the east side of South Prospect Street installed in two (2) four-inch (4") concrete encased conduits on the north side of the proposed new hospital and from a utility pole on the north side of Vesper Lane through two (2) four-inch (4") concrete encased conduits to the south side of the proposed new hospital.

iv. **Heating**

Heating for the proposed new hospital will be provided by a proposed twelve thousand gallon (12,000 gal) underground diesel fuel tank at the northwest corner of the Project site and a proposed underground eight thousand gallon (8,000 gal) propane tank at the north side of the Project site. Both tanks will be outside of the Public Wellhead Discharge District. The location design and installation of such tanks will be coordinated with the Nantucket Fire Department.

- i) **Erosion:** Erosion and sedimentation control measures are shown on Sheets C-1 "Demolition and Erosion Control Plan" and C-5 "Erosion Control Details" of the Site Plan Set.
- j) **Topography:** Plan showing existing and proposed topography is shown on Sheet C-2 "Grading and Drainage Plan" of the Site Plan Set.

- k) **Flood Hazard:** Information related to the Flood Hazard (Overlay) District boundary, base flood elevation, and existing and proposed lowest floor elevation, pursuant to Section 139-12A of the Bylaws, is not applicable.
- l) **Public Wellhead Recharge District:** The Public Wellhead Recharge District boundary is shown on Sheet EC-1 “Existing Conditions Plan” of the Site Plan Set.
- m) **Wetlands:** A plan showing the location of wetlands regulated pursuant to Section 136 of the Wetlands Code, is not applicable.
- n) **Zoning:** A Zoning Table, demonstrating compliance with the dimensional and bulk requirements of this chapter is shown on Sheet C-4 “Parking and Traffic Control Plan” of the Site Plan Set.
- o) **Abutting Land Uses:** Abutting land uses and the location and use of structures and appurtenant improvements on abutting properties are shown on Sheet EC-1 “Existing Conditions” of the Site Plan Set. As shown on Sheet EC-1, the Project site is abutted by residential uses to the east, Mill Hill Park to the north, and the cemetery and conservation land to the west.
- p) **General Information:** The Site Plan Set generally show the location and identification of all existing and proposed site improvements, including public and private ways, parking areas, driveways, sidewalks, ramps, curbs, including traffic directional arrows and paintstriping; fences and buffers for screening purposes; paths; outdoor lighting fixtures; walls; service areas; refuse, and other waste disposal containers; standard specifications and typical cross-sections, as appropriate.
- q) **Landscaping:** A depiction of the existing natural vegetation, including the identity and location of trees four inches in diameter or greater; the location, size, and type of all existing ornamental vegetation; and the location, size and type of proposed landscaping, conforming to the landscaping and buffering standards of Section 139-23 of the Bylaws is shown on Sheets ASP-1 “Aerial Site Plan”, L-1 “Landscape Plan”, L-3 “Landscape Details”, L-3 “Landscape Details”, and EC-1 “Existing Conditions Plan” of the Site Plan Set. As shown on such sheets the Project site takes advantage of the environment and the unique topographic conditions to provide attractive and aesthetically pleasing views of the Project from adjacent roadways and lands. The southern edge of the Project will have a vegetative buffer including trees and the northeast entrance along Prospect Street will lead to a healing garden. The Project is buffered to the north, east, and west by a park, residences, and the cemetery and conservation land, respectively.

- r) **Building Elevations:** Building elevations and perspective drawings, as submitted or to be submitted to the Historic District Commission (for informational purposes) are shown on Sheets A301, A302, and A303 “Building Elevations” of the Site Plan Set.

In addition, pursuant to Sections 139-12(J) & 139-23(B)(2) of the Bylaws, the following information is included within the Site Plan Set:

- a) **Storm Drainage:** Storm drainage system details, including existing and proposed drainage pipes; drainage swales; detention and/or retention ponds; catch basins, including leaching catch basins and leaching galleries; headwalls, endwalls, and manholes, including top-of-frame and invert elevations and pipe gradients; and associated storm drainage calculations are shown on Sheets C-2 “Grading and Drainage Plan”, C-6 “Drainage Details – I”, and C-7 “Drainage Details – II” and set forth as follows:

The Project site currently includes the three-story Nantucket Cottage Hospital, a one-story medical office building, a one-story building housing office and support services, and a two-story dormitory building. There are approximately two hundred and fifty (250) paved parking spaces for patients, visitors, and staff. Approximately 35% of the site is currently pervious open space and the remaining 65% of the site consists of impervious building roof and paved surfaces. Stormwater runoff along the north and west side of the property is collected in catch basins that discharge either to leaching dry wells or a subsurface infiltration system located in the southwest corner of the site. Runoff from the east side of the site sheet flows overland to a surface retention basin in the eastern corner of the property. Most stormwater runoff is retained on-site.

A stormwater management system has been designed that will improve upon current stormwater runoff conditions, both in terms of peak flow control and water quality. The stormwater system will comply with the requirements of Sections 139-23J(6) and 139-12B(2)(5)[1] of the Bylaws and with the Massachusetts Stormwater Management Policy and all its standards for an undeveloped site. Runoff control, water quality improvement, and groundwater recharge will be accomplished by implementing the following drainage improvements:

- i. Collect storm runoff in catch basins with deep sumps and inverted (hooded) outlets;
- ii. Route storm runoff through hydrodynamic particle separators for additional pollutant removal;
- iii. Construct subsurface infiltration systems to temporarily retain stormwater runoff and slowly infiltrate it into the ground, thereby reducing the peak rates and volume of runoff discharged from the site;

- iv. Implement a Stormwater Pollution Prevention Plan (SWPPP) to control erosion sedimentation and other construction related impacts in accordance with the requirements of the EPA's NPDES Construction General Permit for Discharges from Construction Activities;
- v. Implement a Long Term Pollution Prevention Plan (LTPPP) to prevent illicit discharges to the stormwater management system.

Included within the stormwater management report submitted as part of this application is a post- construction Operations and Maintenance Plan (O&M). The O&M plan outlines the maintenance and inspection activities to be performed for each stormwater BMP to ensure they function as designed and operate at peak efficiency.

The stormwater report prepared by RJ O'Connell & Associates, dated April 11, 2016, and included in the Site Plan Review Application, sets forth a detailed description of the proposed stormwater management system for the Project site.

- b) **Traffic:** Traffic Impact Assessment, dated December 2015, prepared by Vanasse & Associates, Inc.

Vanasse & Associates, Inc., has prepared a comprehensive Transportation Impact Assessment in support of the Project (the December 2015 Transportation Impact Assessment). The assessment was prepared in consultation with the Town of Nantucket and the Massachusetts Department of Transportation ("MassDOT"); was performed in accordance with MassDOT's *Transportation Impact Assessment (TIA) Guidelines* and the requirements of the Nantucket Planning & Economic Development Commission; and was conducted pursuant to the standards of the Traffic Engineering and Transportation Planning professions for the preparation of such reports. Based on this assessment, we have concluded the following with respect to the Project:

- 1. At the completion of the Project, the hospital campus is expected to generate approximately 1,166 vehicle trips on an average weekday (two-way, 24-hour volume), or an increase of 126 vehicle trips over the current volume of traffic generated by the existing hospital, with 180 vehicle trips expected during the weekday morning peak-hour and 158 vehicle trips expected during the weekday evening peak-hour, both of which represent an increase of 23 vehicle trips over the current volume of traffic generated by the existing hospital during the weekday peak hours. Increased visitations during the peak summer months may increase the peak-hour traffic volume projections for the hospital campus by between 40 and 50 vehicle trips over average-month conditions, with the daily traffic volume projection increasing by approximately 320 vehicle trips;

2. The addition of Project-related traffic to the study area intersections was not shown to result in a significant impact on operating conditions (motorist delays or vehicle queuing) at the study intersections over anticipated future conditions without the Project (No-Build average or peak-month conditions). Under average-month traffic conditions, the addition of Project-related traffic was shown to result in a degradation in level-of-service at only one (1) of the six (6) study area intersections; under peak-month traffic conditions, no intersections were shown to experience a degradation in level-of-service as a result of the Project;
3. No apparent safety deficiencies were noted with respect to the motor vehicle crash history at the study intersections; and
4. Lines of sight at the Project site driveway intersections with South Prospect Street and Vesper Lane were found to exceed or could be made to exceed the required minimum sight distance for the appropriate design speed along the intersecting roadways, excepting a slight limitation at the north Project site driveway on South Prospect Street which can be addressed with the installation of an advance warning sign.

Based on the above, it was concluded that the Project can be accommodated within the confines of the existing transportation infrastructure in a safe and efficient manner. The December 2015 Transportation Impact Assessment includes a comprehensive, multi-modal transportation improvement program for the Project, which includes specific measures to encourage the use of public transportation services and pedestrian and bicycle trips in order to further reduce the overall impact of the Project on the transportation infrastructure.

Table 1 below summarizes existing (2015) and projected future (2022) traffic volumes along Vesper Lane and Prospect Street under both average and peak-month conditions, and their relationship to the Project:

Table 1
TRAFFIC VOLUME SUMMARY

Time Period	Two-Way Traffic in Vehicles			
	2015 Existing ^a Average/Peak	2022 No-Build ^b Average/Peak	Project-Generated Traffic ^c Average/Peak	2022 Build ^d Average/Peak
Vesper Lane:				
<i>Average Weekday Daily</i>	3,700/4,225	3,410/4,480	42/42	3,452/4,522
<i>Weekday Morning Peak-Hour</i>	262/289	279/355	9/9	288/364
<i>Weekday Evening Peak-Hour</i>	332/380	307/403	9/9	316/412
South Prospect Street:				

<i>Average Weekday Daily</i>	4,455/5,770	5,300/6,710	84/84	5,384/6,794
<i>Weekday Morning Peak-Hour</i>	410/529	478/605	14/14	492/619
<i>Weekday Evening Peak-Hour</i>	401/519	477/604	14/14	491/618

^aBased on weekday evening peak-hour traffic volumes representing 9 percent of the average weekday traffic volume.
^bIncludes traffic growth at 1 percent per year and development projects by others identified by the Planning Department.
^cBased on data provided by Nantucket Cottage Hospital for the new/expanded services that will be available.
^dBuild condition traffic volumes were developed by adding Project-generated traffic to the 2022 No-Build traffic volumes.

Please note that, as requested by the Planning Board the following materials, separate from the Site Plan Set, are also included with the Site Plan Review Application:

- a) **Helicopter:** Helicopter Approach and Landing Plan prepared by RJ O’Connell & Associates, Inc. As shown on such plan, the helipad is be relocated to the northwest corner of the Project site. The proposed pad and associated appurtenances are designed in accordance with the Federal Aviation Administration’s Advisory Circular for Heliport Design, dated April 24, 2012, and maintain sufficient clearances for the approach and departure surfaces to the west and east. The helipad is currently going through the permitting and licensing process which should be completed within six months.
- b) **Construction Management:** Construction Management Plan prepared by Suffolk Construction.

REQUEST:

Pursuant to Section 139-23(A) of the Bylaws, Site Plan Review is enacted under the authority of M.G.L. c. 40A for the purposes of protecting the health, safety, convenience, and general welfare of the inhabitants of the Town. The driving force behind the Project is to improve the health, safety, convenience, and general welfare of the inhabitants of the Town by modernizing and improving NCH’s facilities and the quality of healthcare available in the Town. NCH, therefore, respectfully requests that the Planning Board find that the Project is in compliance with the review objectives and performance standards of Section 139-23 of the Bylaws and grant its approval of the Site Plan Review Application.

PHASE 1 ACTIVITIES

APPROX. 5 WEEKS

- DEMO AND RELOCATED EXISTING BUILDINGS
- CONSTRUCT APPROX. 100 PARKING SPACES AT #16 VESPER LANE



build smart

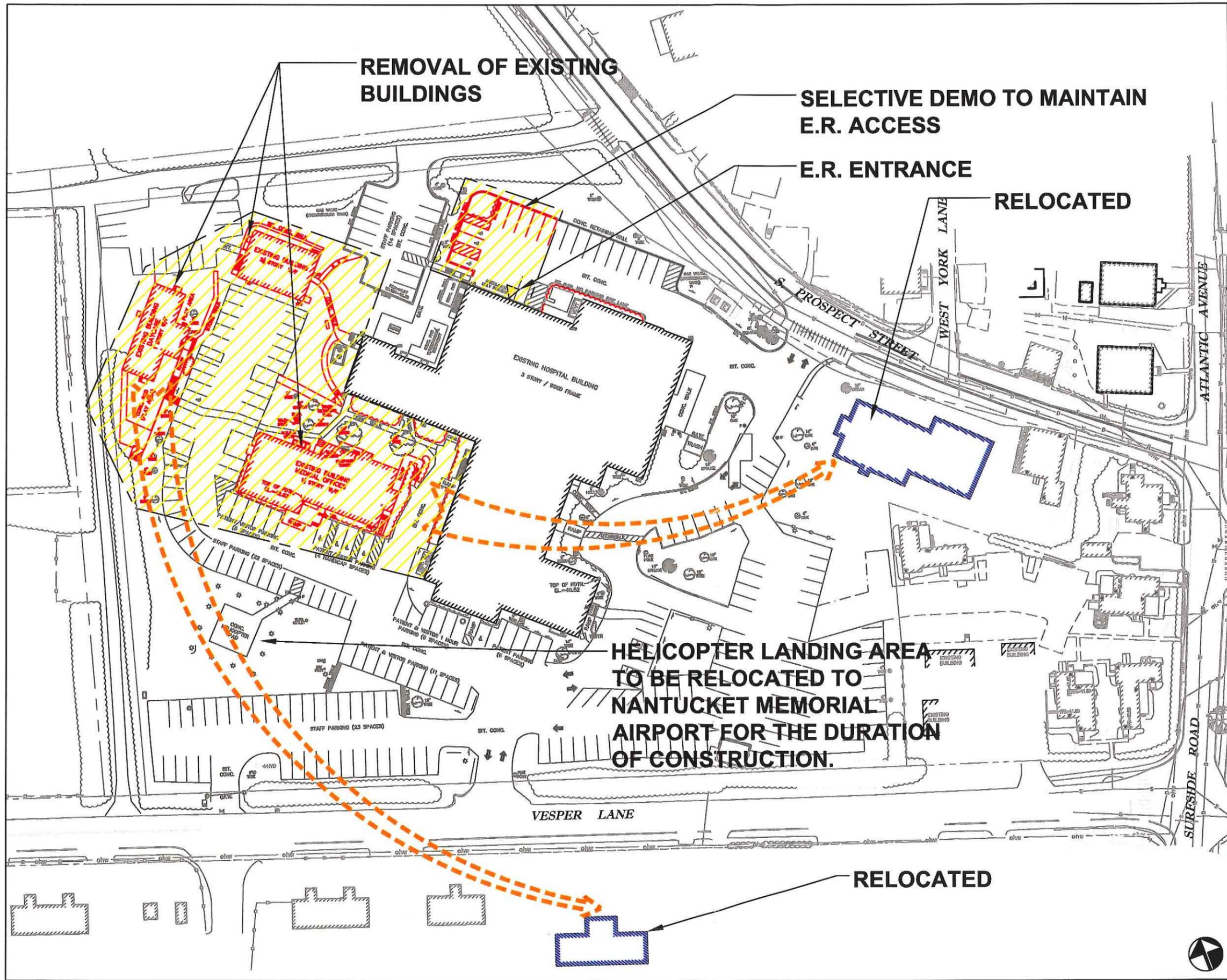
65 ALLERTON ST.
BOSTON MA, 02119
TEL: (617) 517-4500

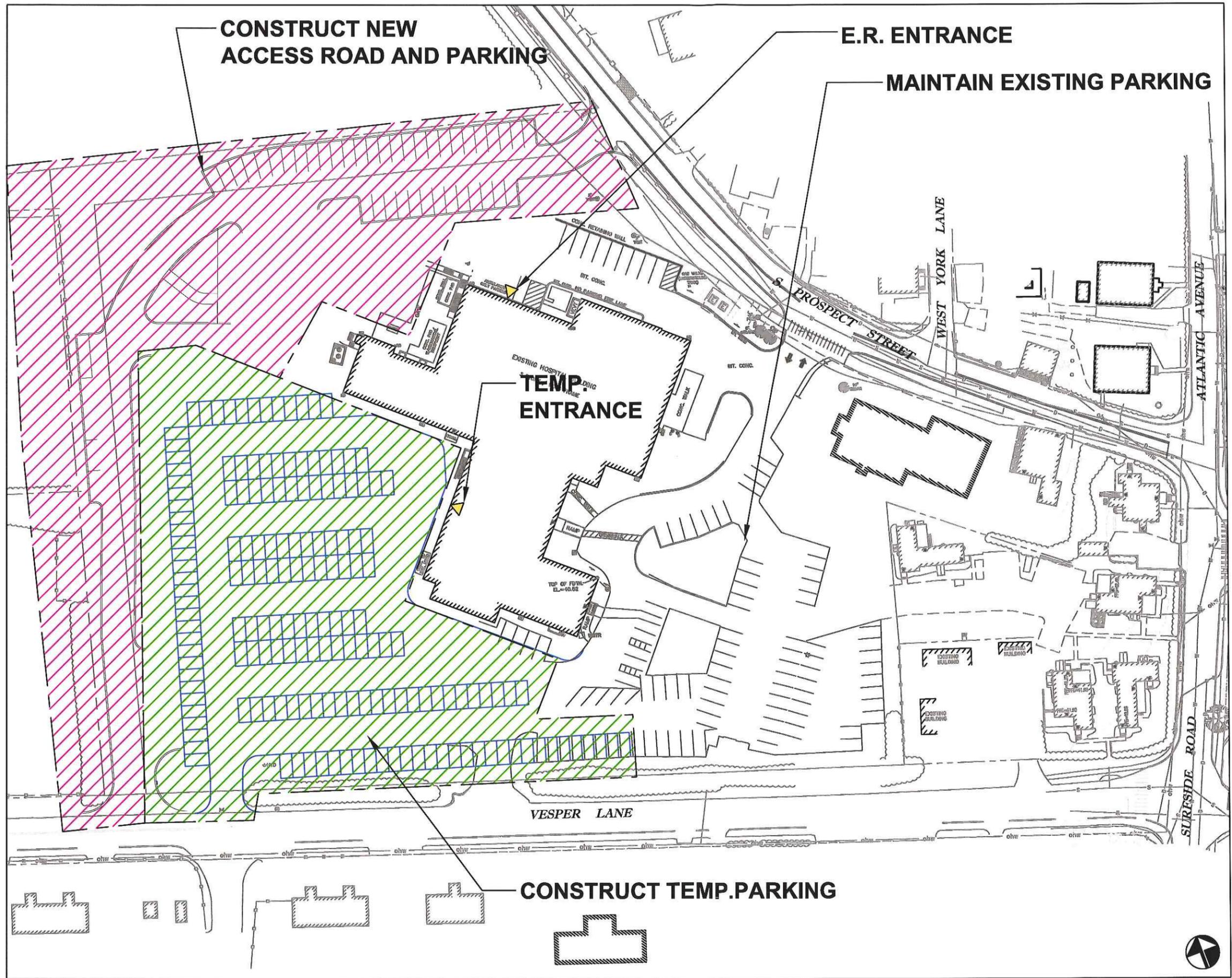
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SCALE: NTS DATE: 04-08-16

PROJECT:
**NANTUCKET COTTAGE HOSPITAL
NEW BUILDING**

TITLE:
CONSTRUCTION MANAGEMENT PLAN

DRAWING NO:
CMP.01





**CONSTRUCT NEW
ACCESS ROAD AND PARKING**

E.R. ENTRANCE

MAINTAIN EXISTING PARKING

**EXISTING HOSPITAL BUILDING
TEMP. ENTRANCE**

CONSTRUCT TEMP. PARKING



PHASE 2 ACTIVITIES

APPROX. 15 WEEKS

- UTILIZE 100 PARKING SPACES AT #16 VESPER LANE
- CONSTRUCT NEW ACCESS ROAD
- CONSTRUCT TEMP PARKING



build smart

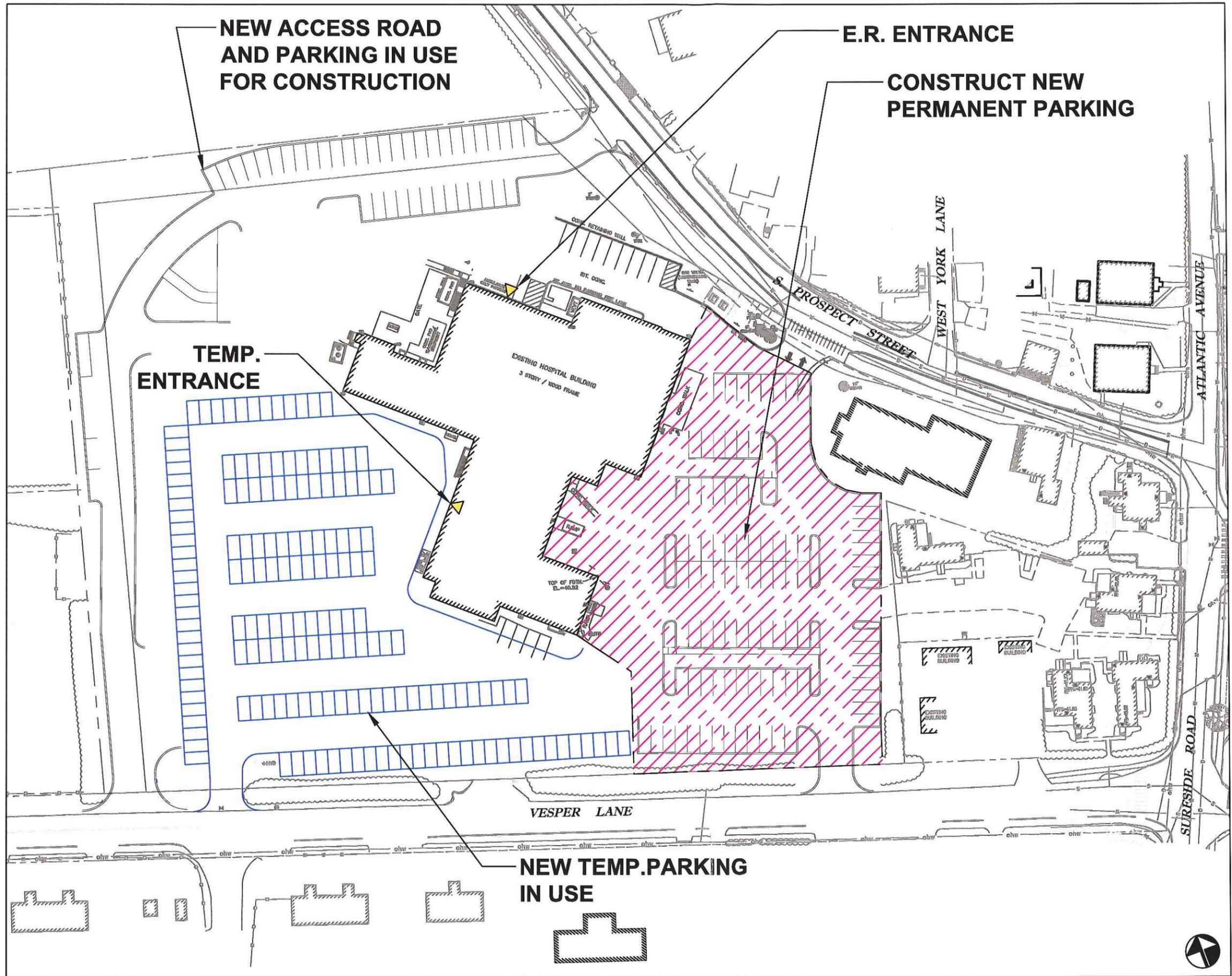
65 ALLERTON ST.
BOSTON MA, 02119
TEL: (617) 517-4500

DRAWN BY: J.W.G. CHECKED BY: A.P.
SCALE: NTS DATE: 04-08-16

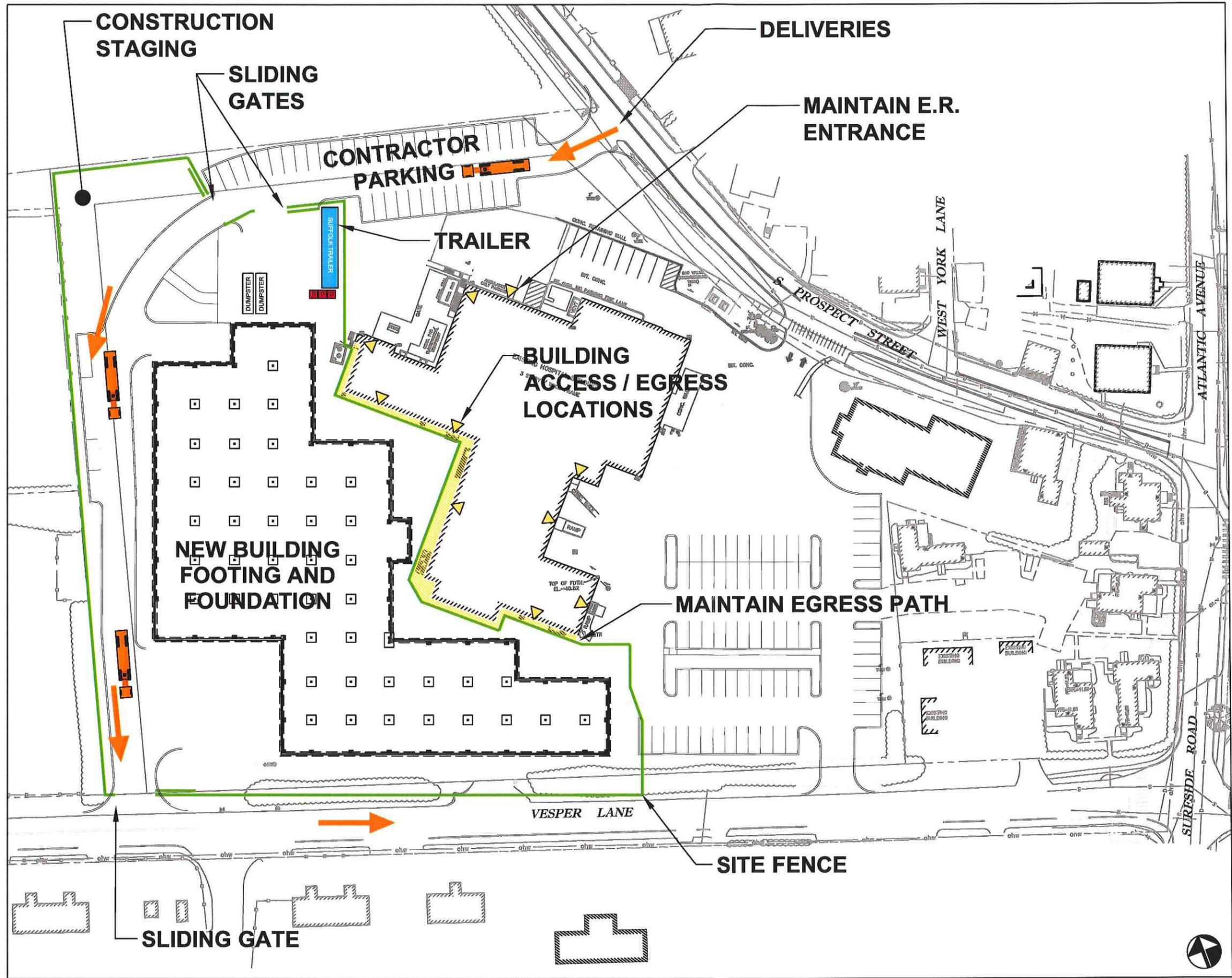
PROJECT:
**NANTUCKET COTTAGE HOSPITAL
NEW BUILDING**

TITLE:
CONSTRUCTION MANAGEMENT PLAN

DRAWING NO:
CMP.02



PHASE 2A ACTIVITIES	
APPROX. 10 WEEKS	
<ul style="list-style-type: none"> ● UTILIZE 100 PARKING SPACES AT #16 VESPER LANE 	
<ul style="list-style-type: none"> ● NEW ACCESS ROAD IN USE 	
<ul style="list-style-type: none"> ● TEMP PARKING IN USE 	
<ul style="list-style-type: none"> ● CONSTRUCT NEW PERMANENT PARKING 	
<p>65 ALLERTON ST. BOSTON MA, 02119 TEL: (617) 517-4500</p>	
DRAWN BY: J.W.G. SCALE: NTS	CHECKED BY: A.P. DATE: 04-08-16
PROJECT: NANTUCKET COTTAGE HOSPITAL NEW BUILDING	
TITLE: CONSTRUCTION MANAGEMENT PLAN	
DRAWING NO: CMP.03	



PHASE 3 ACTIVITIES

APPROX. 61 WEEKS

- UTILIZE 100 PARKING SPACES AT #16 VESPER LANE

- CONSTRUCT NEW BUILDING

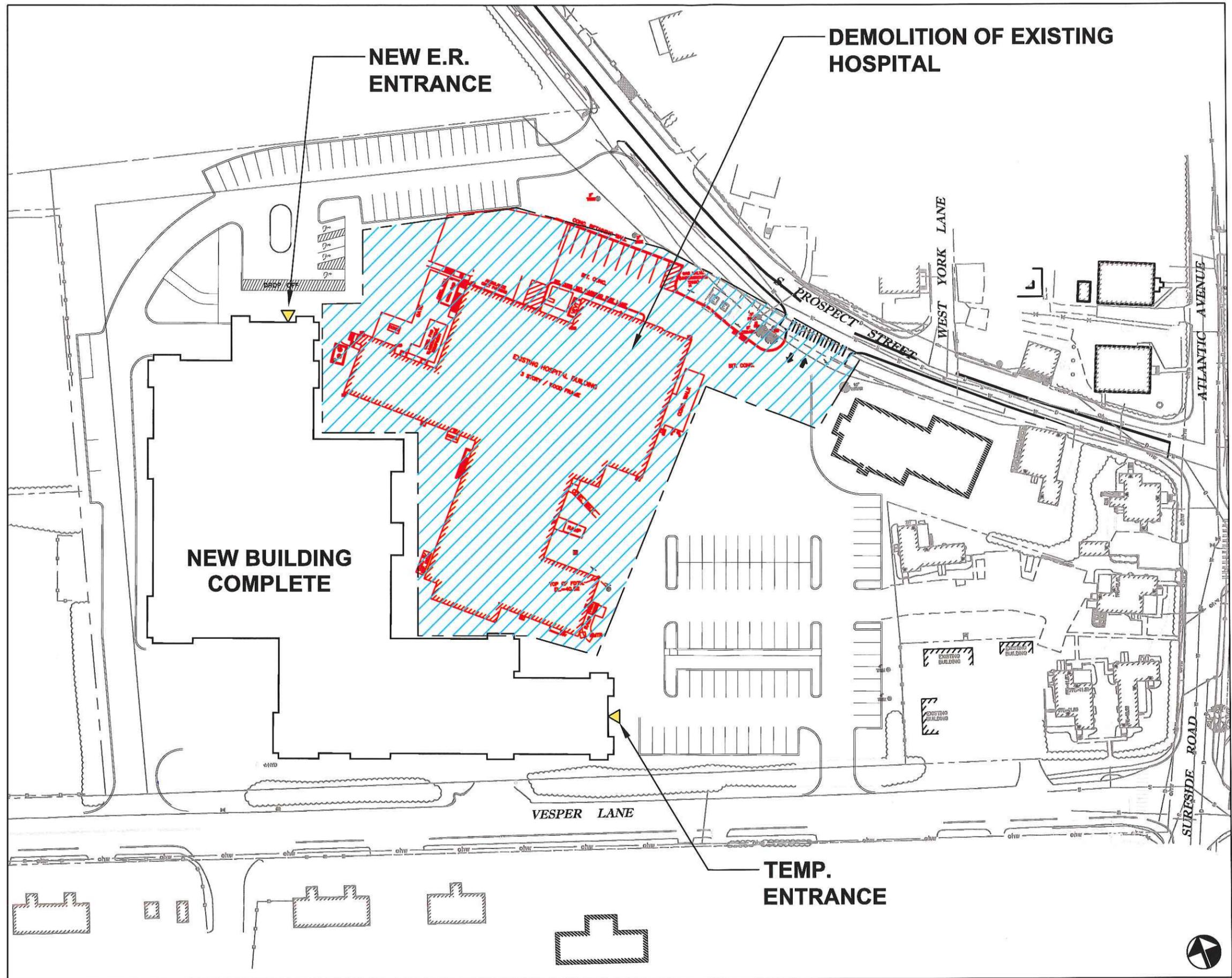
SUFFOLK
build smart
65 ALLERTON ST.
BOSTON MA, 02119
TEL: (617) 517-4500

DRAWN BY: J.W.G. CHECKED BY: A.P.
SCALE: NTS DATE: 04-08-16

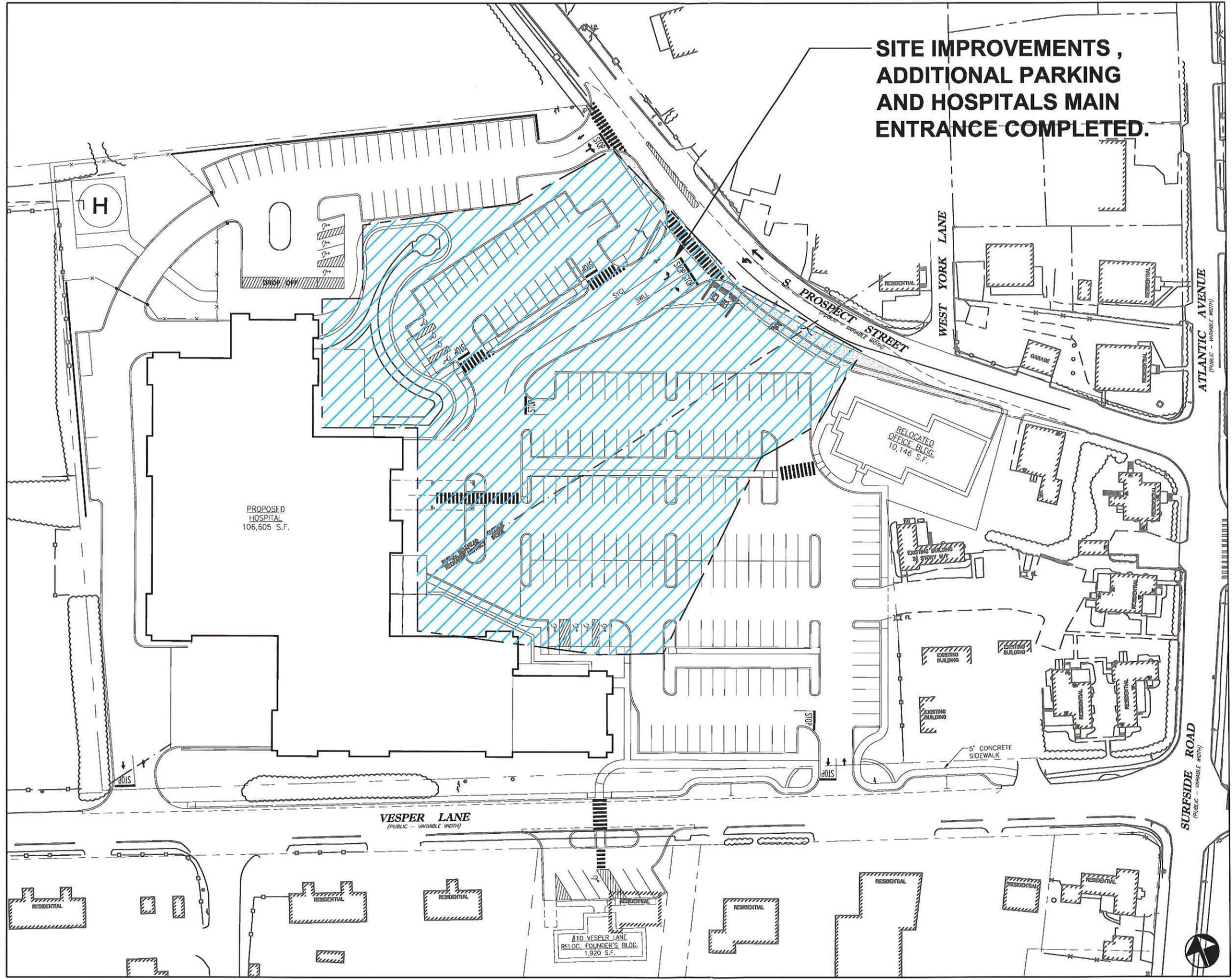
PROJECT:
**NANTUCKET COTTAGE HOSPITAL
NEW BUILDING**

TITLE:
CONSTRUCTION MANAGEMENT PLAN

DRAWING NO:
CMP.04



PHASE 4 ACTIVITIES	
APPROX. 8 WEEKS	
<ul style="list-style-type: none"> ● UTILIZE 100 PARKING SPACES AT #16 VESPER LANE ● DEMO EXISTING HOSPITAL 	
<p>85 ALLERTON ST. BOSTON MA, 02119 TEL: (617) 517-4500</p>	
DRAWN BY: J.W.G. SCALE: NTS	CHECKED BY: A.P. DATE: 04-08-16
PROJECT: NANTUCKET COTTAGE HOSPITAL NEW BUILDING	
TITLE: CONSTRUCTION MANAGEMENT PLAN	
DRAWING NO: CMP.05	



**SITE IMPROVEMENTS,
ADDITIONAL PARKING
AND HOSPITALS MAIN
ENTRANCE COMPLETED.**



PHASE 5 ACTIVITIES

APPROX. 8 WEEKS

- UTILIZE 100 PARKING SPACES AT #16 VESPER LANE
- PART TWO - NEW PERMANENT PARKING
- SITE IMPROVEMENTS



build smart
65 ALLERTON ST.
BOSTON MA, 02119
TEL: (617) 517-4500

DRAWN BY: J.W.G. CHECKED BY: A.P.
SCALE: NTS DATE: 04-08-16

PROJECT:
**NANTUCKET COTTAGE HOSPITAL
NEW BUILDING**

TITLE:
CONSTRUCTION MANAGEMENT PLAN

DRAWING NO:
CMP.06

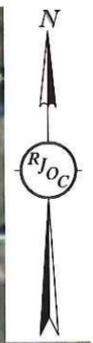
Helicopter:

As shown on the attached plan, the helipad is to be relocated to the northwest corner of the Project site. The proposed pad and associated appurtenances are designed in accordance with the Federal Aviation Administration's Advisory Circular for Heliport Design, dated April 24, 2012, and maintain sufficient clearances for the approach and departure surfaces to the west and east. The helipad is currently going through the permitting and licensing process which should be completed within six months.

Drawing name: G:\MA\Nantucket\NED\Nantucket Cottage Hospital\Engineer\Helicopter Pad\13081_HP-1 HELICOPTER PAD.dwg
Apr 08, 2016 - 15:51pm



NOTE:
1. THE HELIPAD DESIGN IS PROPOSED TO BE SET 1.5' ABOVE THE PROPOSED FINISH FLOOR ELEVATION.
2. TREES NEAR FLIGHT PATH MAY REQUIRE PRUNING OR RELOCATION TO MAINTAIN CLEARANCE.



No.	Revision	Date

Designed by:	SPG
Drawn by:	RJK/SAO
Checked by:	SPG
Scale:	1"=60'
Date:	04/11/2016

Prepared For:
NANTUCKET COTTAGE HOSPITAL
57 SOUTH PROSPECT STREET
NANTUCKET, MA 02554
(508) 825-8100

Prepared By:
RJO'CONNELL & ASSOCIATES, INC.
CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS
80 MONTVALE AVE
STONEHAM, MA 02180
PHONE: 781-278-0180
FAX: 781-278-0173

Project Name:
NEW NANTUCKET COTTAGE HOSPITAL
NANTUCKET, MA

Drawing Name:
HELICOPTER APPROACH AND LANDING PLAN

Drawing No.:
HP-1
Project No.: 13081

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SITE PLAN FOR NEW NANTUCKET COTTAGE HOSPITAL NANTUCKET, MA

GOVERNMENT CONTACTS

TOWN MANAGER:
TOWN HALL
16 BROAD STREET
NANTUCKET, MA 02554
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ATTN: ELIZABETH C. GIBSON

BUILDING DEPARTMENT:
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NANTUCKET, MA 02554
P: 508-325-7587
ATTN: STEPHEN J. BUTLER,
COMMISSIONER

ASSESSOR'S:
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NANTUCKET, MA 02554
P: 508-228-7200
ATTN: DEBORAH DILWORTH

PLANNING AND LAND USE SERVICES:
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NANTUCKET, MA 02554
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ATTN: ANDREW V. VORCE, DIRECTOR

FIRE DEPARTMENT:
131 PLEASANT STREET
NANTUCKET, MA 02554
P: 508-228-2324
ATTN: PAUL RHUDÉ, FIRE CHIEF

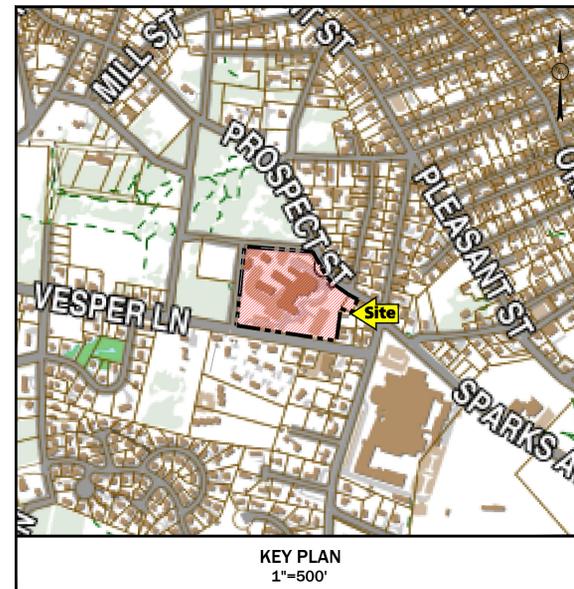
TOWN CLERK:
16 BROAD STREET
NANTUCKET, MA 02554
P: 508-228-7216
ATTN: CATHERINE FLANAGAN STOVER

CONSERVATION COMMISSION:
2 BATHING BEACH ROAD
NANTUCKET, MA 02554
P: 508-228-7230
ATTN: JEFF CARLSON, NATURAL
RESOURCES COORDINATOR

POLICE DEPARTMENT:
4 FAIRGROUNDS ROAD
NANTUCKET, MA 02554
P: 508-228-1212
ATTN: WILLIAM PITTMAN, POLICE CHIEF

ENGINEERING:
188 MADAKET ROAD
NANTUCKET, MA 02554
P: 508-228-7244
ATTN: SILVIO GENAO, P.E.

PUBLIC WORKS DEPARTMENT:
188 MADAKET ROAD
NANTUCKET, MA 02554
P: 508-228-7244
ATTN: KARA BUZANOSKI, DIRECTOR



PREPARED BY:

**RJO'CONNELL
& ASSOCIATES, INC.**

CIVIL ENGINEERS, SURVEYORS &
LAND PLANNERS
80 MONTVALE AVENUE
STONEHAM, MA 02180
PHONE: 781-279-0180
FAX: 781-279-0173

PREPARED FOR:

**NANTUCKET COTTAGE HOSPITAL
57 SOUTH PROSPECT STREET
NANTUCKET, MA 02554**

Drawing Index

Drawing Date	Last Revision	Drawing	Drawing Description
04/11/2016	-	-	COVER SHEET
04/11/2016	-	EC-1	EXISTING CONDITIONS PLAN
04/11/2016	-	SP-1	SITE PLAN
04/11/2016	-	C-1	DEMOLITION AND EROSION CONTROL PLAN
04/11/2016	-	C-2	GRADING AND DRAINAGE PLAN
04/11/2016	-	C-3	UTILITY PLAN
04/11/2016	-	C-4	PARKING AND TRAFFIC CONTROL PLAN
04/11/2016	-	L-1	LANDSCAPE PLAN (BY WILLIAM FLEMING & ASSOCIATES)
04/11/2016	-	ASP-1	AERIAL SITE PLAN (BY WILLIAM FLEMING & ASSOCIATES)
04/11/2016	-	A301	BUILDING ELEVATIONS (BY CANNON DESIGN) (SUBJECT TO HISTORIC DISTRICT COMMISSION (HDC) APPROVAL. SUBMITTED FOR INFORMATION PURPOSES ONLY)
04/11/2016	-	A302	BUILDING ELEVATIONS (BY CANNON DESIGN) (SUBJECT TO HISTORIC DISTRICT COMMISSION (HDC) APPROVAL. SUBMITTED FOR INFORMATION PURPOSES ONLY)
04/11/2016	-	A303	BUILDING ELEVATIONS (BY CANNON DESIGN) (SUBJECT TO HISTORIC DISTRICT COMMISSION (HDC) APPROVAL. SUBMITTED FOR INFORMATION PURPOSES ONLY)
04/11/2016	-	SL-1	SITE LIGHTING PLAN
04/11/2016	-	N-1	GENERAL NOTES
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04/11/2016	-	C-6	DRAINAGE DETAILS - I
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04/11/2016	-	C-9	SITE DETAILS - I
04/11/2016	-	C-10	SITE DETAILS - II
04/11/2016	-	L-2	LANDSCAPE DETAILS (BY WILLIAM FLEMING & ASSOCIATES)
04/11/2016	-	L-3	LANDSCAPE DETAILS (BY WILLIAM FLEMING & ASSOCIATES)

UTILITY CONTACTS

ELECTRIC:
NATIONAL GRID
40 SYLVAN RD, FLOOR E3.726
WALTHAM, MA 02451
P: 781-907-3303

SEWER:
PUBLIC WORKS DEPARTMENT
188 MADAKET ROAD
NANTUCKET, MA 02554
P: 508-228-7244
ATTN: PERRY BUTLER, SPECIALIST

WATER:
WANNACOMET WATER COMPANY
1 MILESTONE ROAD
NANTUCKET, MA 02554
P: 508-228-0022
ATTN: ROBERT L. GARDNER,
GENERAL MANAGER

TELEPHONE:
COMCAST
1 MONOMOY ROAD
NANTUCKET, MA 02554
P: 800-266-2278

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LEGAL COUNSEL:
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400 ATLANTIC AVENUE
BOSTON, MA 02110
617-482-1776 (T)
617-574-4112 (F)

TRAFFIC:
VANASSE & ASSOCIATES, INC.
35 NEW ENGLAND BUSINESS CENTER DR.
SUITE 140
ANDOVER, MA 01810
978-474-8800 (T)
978-688-6508 (F)

ARCHITECT:
CANNONDESIGN
99 SUMMER STREET, SUITE 600
BOSTON, MA 02110
617-742-5440 (T)
617-723-8832 (F)

SURVEY:
BLACKWELL & ASSOCIATES, INC.
20 TEASDALE CIRCLE
NANTUCKET, MA 02554
508-228-9026 (T)
508-228-5292 (F)

LANDSCAPE:
WILLIAM FLEMING & ASSOCIATES
375 MAIN STREET
2ND FLOOR, UNIT 3
STONEHAM, MA 02180
781-438-3088 (T)
781-438-3611 (F)

GEOTECHNICAL:
SANBORN HEAD & ASSOCIATES
ONE TECHNOLOGY PARK DRIVE
WESTFORD, MA 01886
978-392-0900 (T)
978-392-0987 (F)

Planning Board

Chairman _____

Vice Chairman _____

Member _____

Member _____

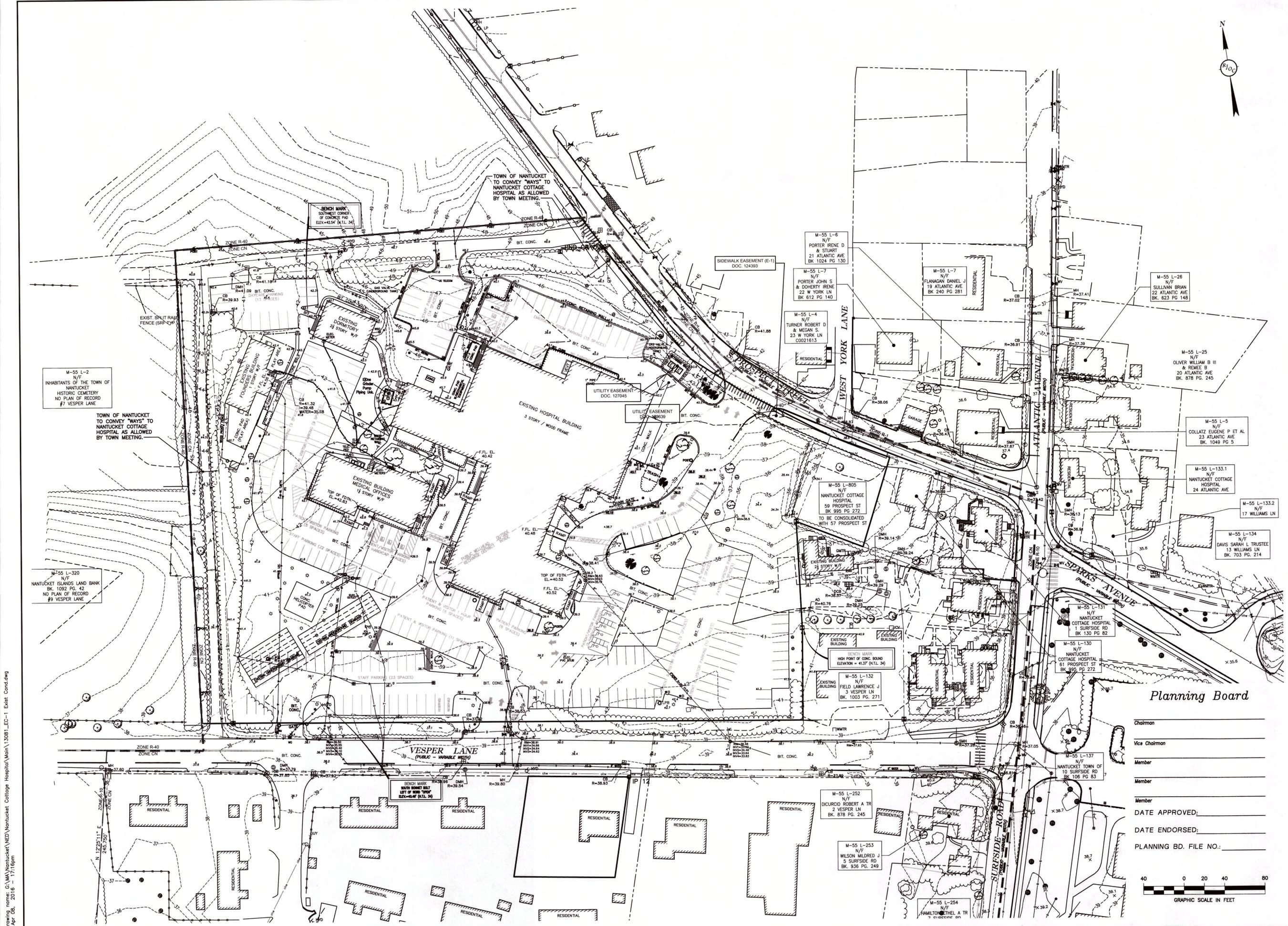
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DATE APPROVED: _____

DATE ENDORSED: _____

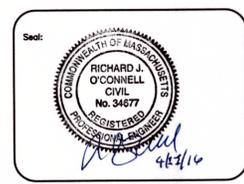
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No.	Revision	Date
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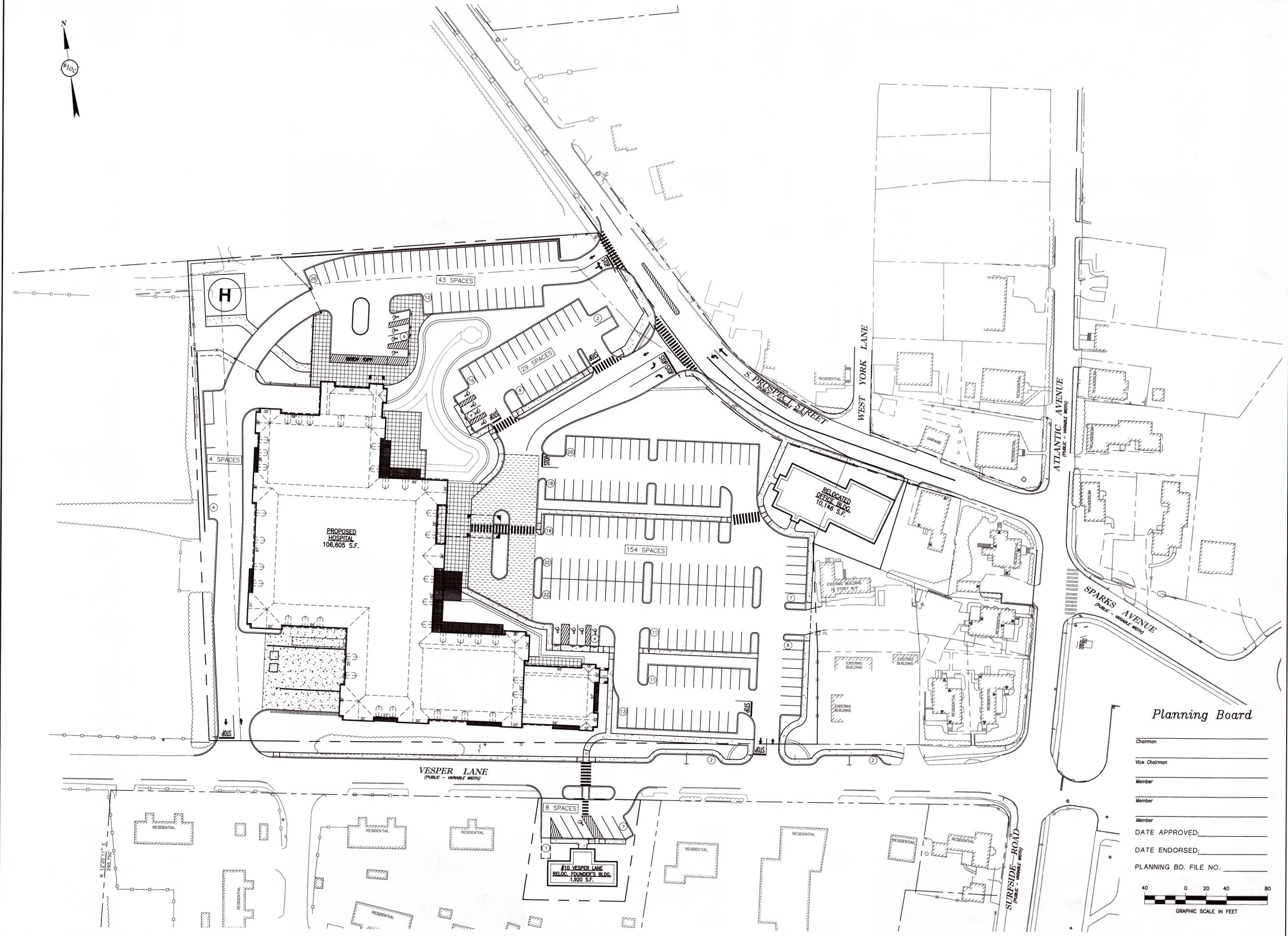
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 Drawn by: WJH
 Checked by: SPG
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 Date: 04/11/2016

Prepared for:
NANTUCKET COTTAGE HOSPITAL
 67 SOUTH PROSPECT STREET
 NANTUCKET, MA 02554
 (508) 825-8100

Prepared by:
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 CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS
 80 MONTVALE AVE
 STONEHAM, MA 02180
 781-279-0180
 FAX: 781-279-0173

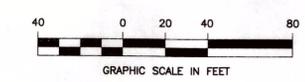
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NEW NANTUCKET COTTAGE HOSPITAL NANTUCKET, MA
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EXISTING CONDITIONS

Drawing No.:
EC-1
 Project No.: 13081

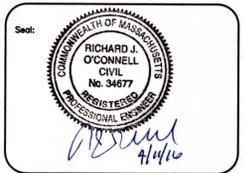


Planning Board

Chairman _____
Vice Chairman _____
Member _____
Member _____
Member _____
DATE APPROVED: _____
DATE ENDORSED: _____
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1.	ISSUED FOR SITE PLAN REVIEW	04/11/2016	No.	Revision	Date
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Designed by: SPG
Drawn by: RJK
Checked by: SPG
Scale: 1"=40'
Date: 04/11/2016

Prepared for:
NANTUCKET COTTAGE HOSPITAL
57 SOUTH PROSPECT STREET
NANTUCKET, MA 02554
(508) 825-8100

Prepared by:
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CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS
80 MONTVALE AVE
STONEHAM, MA 02180
781-279-0180
FAX: 781-279-0173

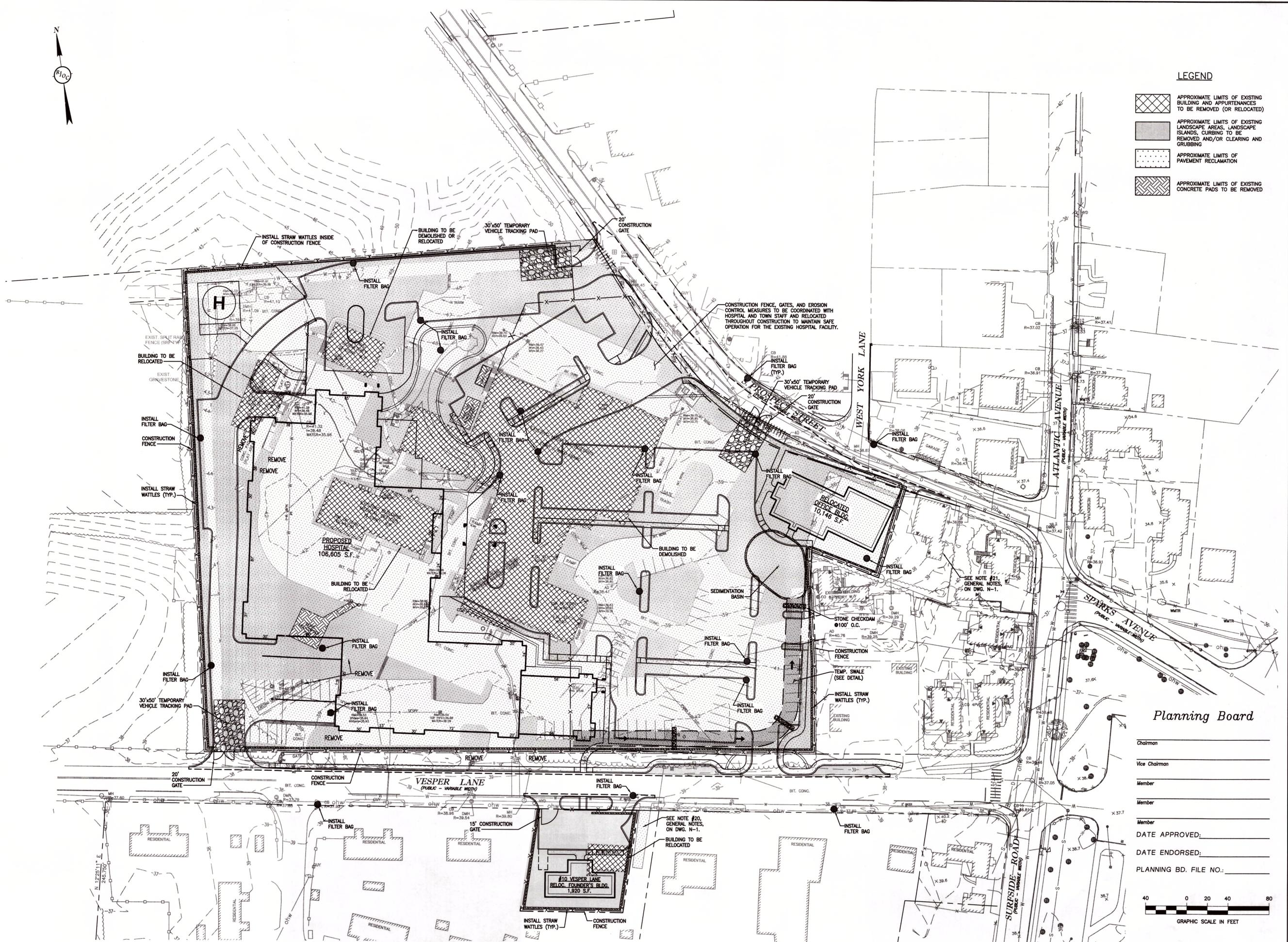
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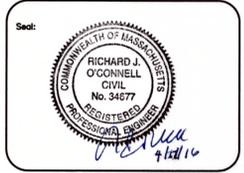


LEGEND

-  APPROXIMATE LIMITS OF EXISTING BUILDING AND APPURTENANCES TO BE REMOVED (OR RELOCATED)
-  APPROXIMATE LIMITS OF EXISTING LANDSCAPE AREAS, LANDSCAPE ISLANDS, CURBING TO BE REMOVED AND/OR CLEARING AND GRUBBING
-  APPROXIMATE LIMITS OF PAVEMENT RECLAMATION
-  APPROXIMATE LIMITS OF EXISTING CONCRETE PADS TO BE REMOVED



1.	04/11/2016	Revision	No.	Date
ISSUED FOR SITE PLAN REVIEW				



Designed by: SPG
 Drawn by: MCR
 Checked by: JJS
 Scale: 1"=40'
 Date: 04/11/2016

Prepared for:
NANTUCKET COTTAGE HOSPITAL
 67 SOUTH PROSPECT STREET
 NANTUCKET, MA 02884
 (508) 826-8100

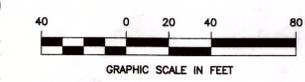
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RJO'CONNELL & ASSOCIATES, INC.
 CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS
 80 MONTVALE AVE
 STONEHAM, MA 02180
 781-279-0180
 FAX: 781-279-0173

Project Name:
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 Drawing Name:
DEMOLITION AND EROSION CONTROL PLAN

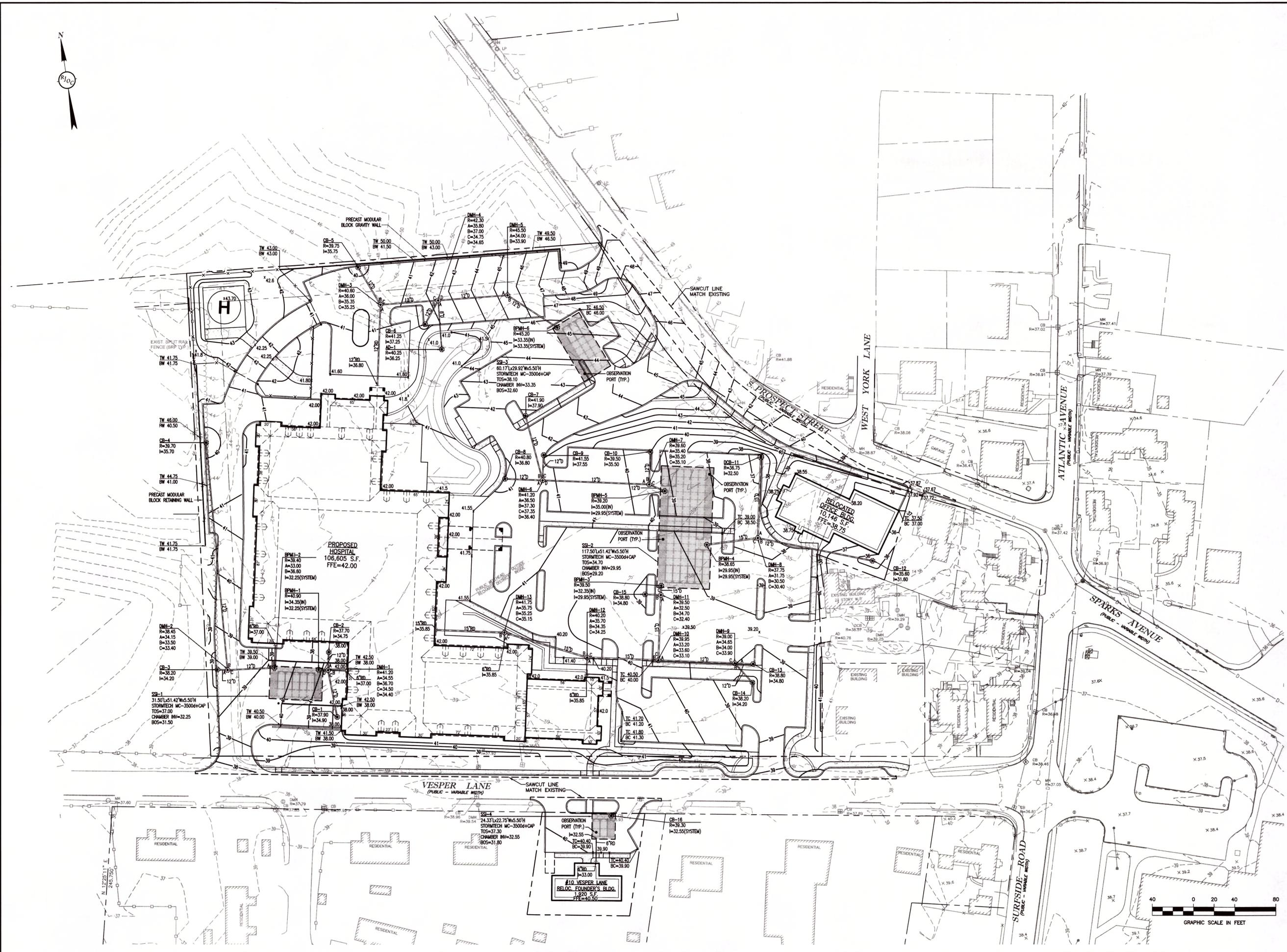
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C-1
 Project No.: 13081

Planning Board

Chairman _____
 Vice Chairman _____
 Member _____
 Member _____
 Member _____
 DATE APPROVED: _____
 DATE ENDORSED: _____
 PLANNING BD. FILE NO.: _____



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Drawing name: G:\MA\Nantucket\NED\Nantucket Cottage Hospital\Main\1081_C-2 Grading and Drainage.dwg
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No.	Date	Revision
1	04/11/2016	ISSUED FOR SITE PLAN REVIEW



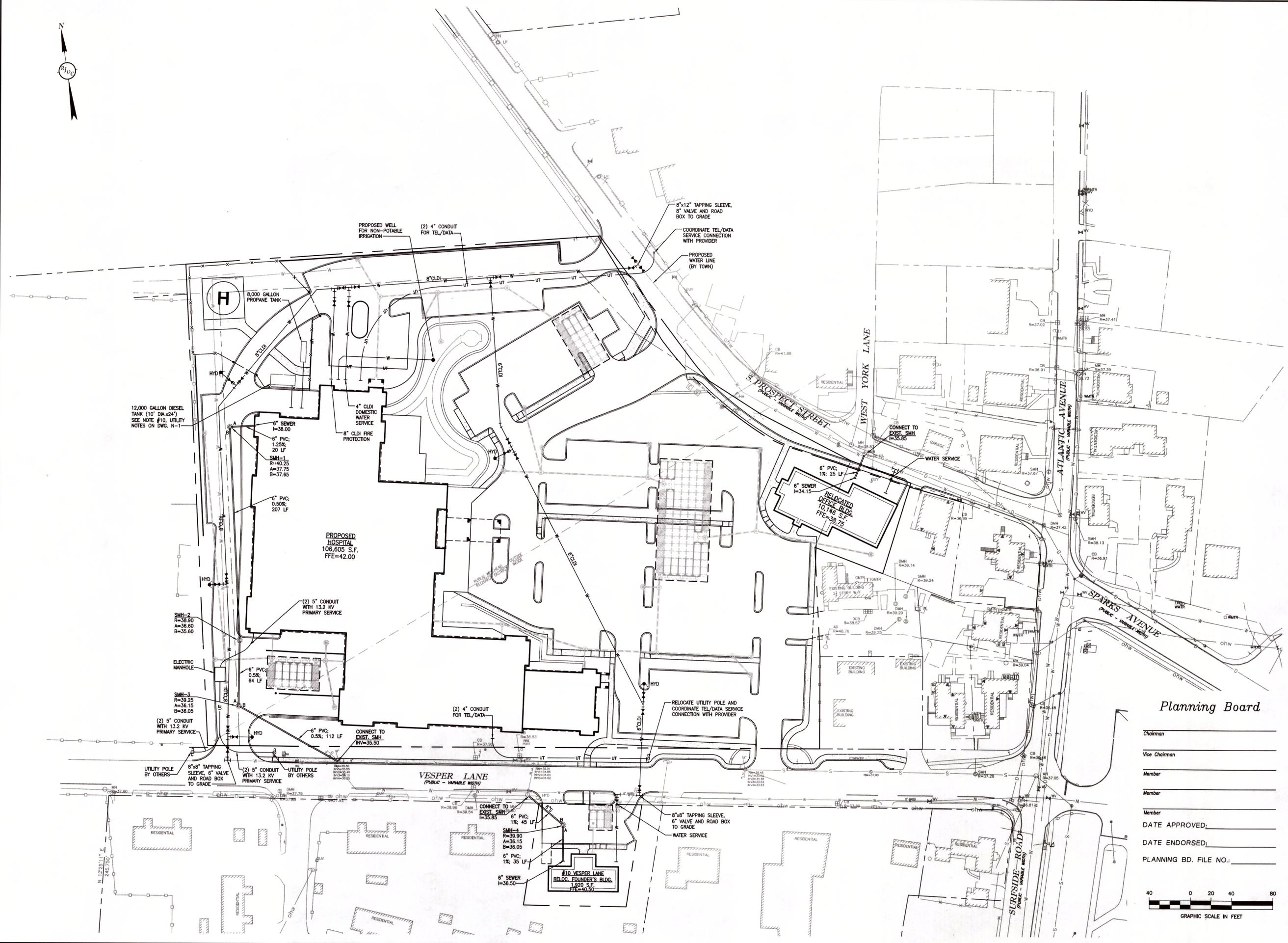
Designed by: SPG
 Drawn by: WJH
 Checked by: JJS
 Scale: 1"=40'
 Date: 04/11/2016

Prepared for:
NANTUCKET COTTAGE HOSPITAL
 67 SOUTH PROSPECT STREET
 NANTUCKET, MA 02554
 (508) 825-8100

Prepared by:
RJO'CONNELL & ASSOCIATES, INC.
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 781-279-0180
 FAX: 781-279-0173

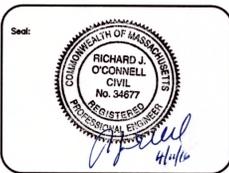
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NEW NANTUCKET COTTAGE HOSPITAL NANTUCKET, MA
 Drawing Name:
GRADING & DRAINAGE PLAN

Drawing No.:
C-2
 Project No.: 13081



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Apr 11, 2016 7:34am

No.	Date	Revision
1.	04/11/2016	ISSUED FOR SITE PLAN REVIEW



Designed by: SPG
 Drawn by: RJK
 Checked by: SPG
 Scale: 1"=40'
 Date: 04/11/2016

Prepared for:
NANTUCKET COTTAGE HOSPITAL
 57 SOUTH PROSPECT STREET
 NANTUCKET, MA 02554
 (508) 825-8100

Prepared by:
RJO'CONNELL & ASSOCIATES, INC.
 CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS
 80 MONTVALE AVE
 STONEHAM, MA 02180
 781-279-0180
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Project Name:
NEW NANTUCKET COTTAGE HOSPITAL NANTUCKET, MA
 Drawing Name:
UTILITY PLAN

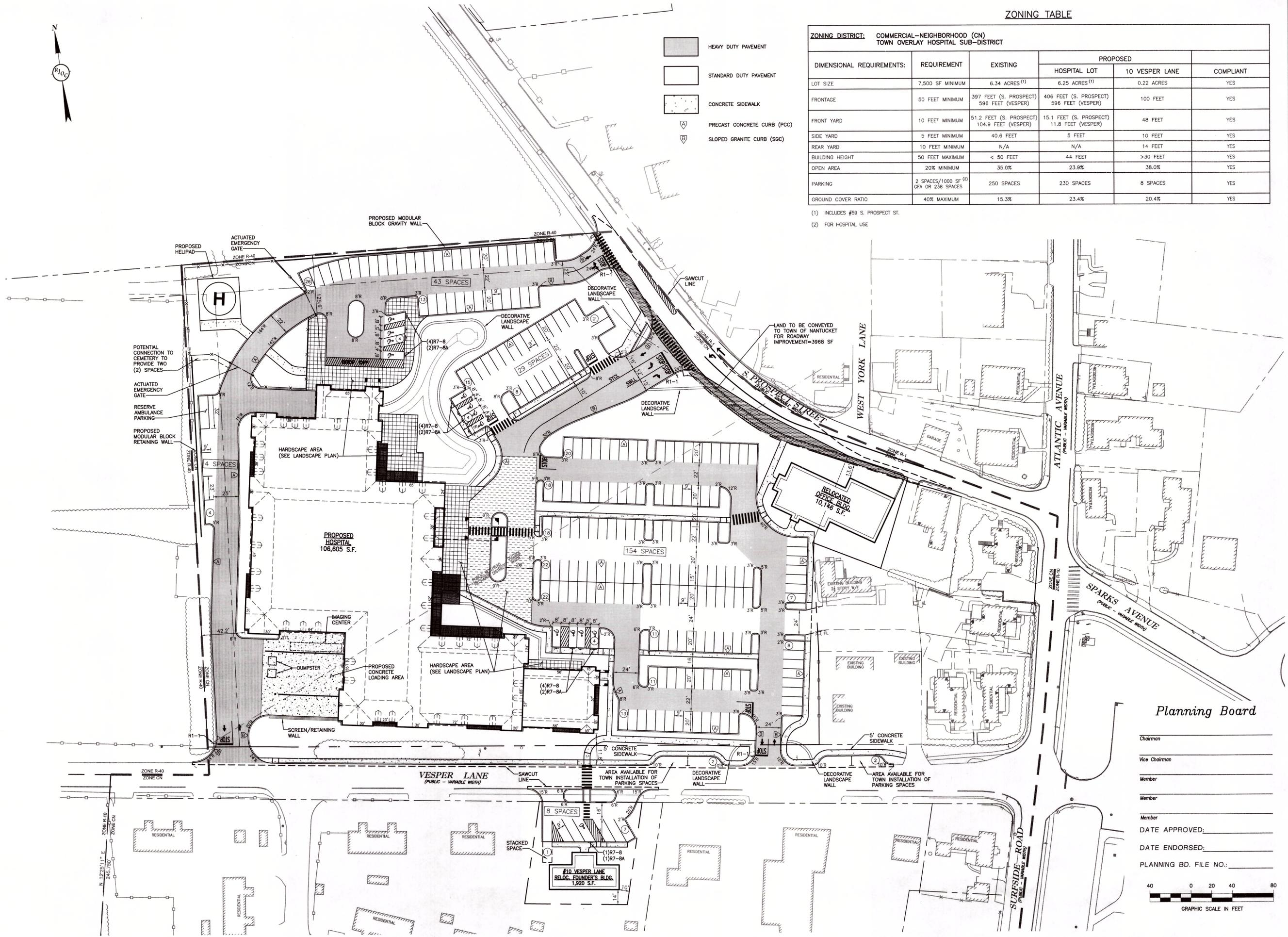
Drawing No.:
C-3
 Project No.: 13081



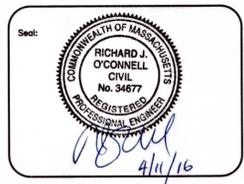
ZONING TABLE

ZONING DISTRICT: COMMERCIAL-NEIGHBORHOOD (CN) TOWN OVERLAY HOSPITAL SUB-DISTRICT					
DIMENSIONAL REQUIREMENTS:	REQUIREMENT	EXISTING	PROPOSED		
			HOSPITAL LOT	10 VESPER LANE	COMPLIANT
LOT SIZE	7,500 SF MINIMUM	6.34 ACRES ⁽¹⁾	6.25 ACRES ⁽¹⁾	0.22 ACRES	YES
FRONTAGE	50 FEET MINIMUM	397 FEET (S. PROSPECT) 596 FEET (VESPER)	406 FEET (S. PROSPECT) 596 FEET (VESPER)	100 FEET	YES
FRONT YARD	10 FEET MINIMUM	51.2 FEET (S. PROSPECT) 104.9 FEET (VESPER)	15.1 FEET (S. PROSPECT) 11.8 FEET (VESPER)	48 FEET	YES
SIDE YARD	5 FEET MINIMUM	40.6 FEET	5 FEET	10 FEET	YES
REAR YARD	10 FEET MINIMUM	N/A	N/A	14 FEET	YES
BUILDING HEIGHT	50 FEET MAXIMUM	< 50 FEET	44 FEET	>30 FEET	YES
OPEN AREA	20% MINIMUM	35.0%	23.9%	38.0%	YES
PARKING	2 SPACES/1000 SF ⁽²⁾ GFA OR 238 SPACES	250 SPACES	230 SPACES	6 SPACES	YES
GROUND COVER RATIO	40% MAXIMUM	15.3%	23.4%	20.4%	YES

(1) INCLUDES #59 S. PROSPECT ST.
(2) FOR HOSPITAL USE



No.	Date	Revision
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Designed by: SPG
 Drawn by: RJK
 Checked by: SPG
 Scale: 1"=40'
 Date: 04/11/2016

Prepared for:
NANTUCKET COTTAGE HOSPITAL
 57 SOUTH PROSPECT STREET
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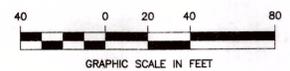
Prepared by:
RJO'CONNELL & ASSOCIATES, INC.
 CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS
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 STONEHAM, MA 02180
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Project Name:
NEW NANTUCKET COTTAGE HOSPITAL NANTUCKET, MA
 Drawing Name:
PARKING AND TRAFFIC CONTROL PLAN

Drawing No.:
C-4
 Project No.: 13081

Planning Board

Chairman _____
 Vice Chairman _____
 Member _____
 Member _____
 Member _____
 DATE APPROVED: _____
 DATE ENDORSED: _____
 PLANNING BD. FILE NO.: _____





04/11/2016	Date
ISSUED FOR SITE PLAN REVIEW	Revision
1.	No.

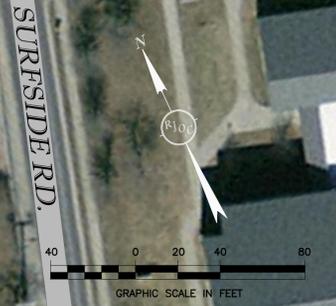
Seal:

Designed by: WJF
 Drawn by: WFF
 Checked by: WJF
 Scale: AS NOTED
 Date: 04/11/2016

Prepared for:
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 & LAND PLANNERS
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 781-279-0180
 FAX: 781-279-0173



Planning Board

Chairman _____

Vice Chairman _____

Member _____

Member _____

Member _____

DATE APPROVED: _____

DATE ENDORSED: _____

PLANNING BD. FILE NO.: _____

Project Name:
NEW NANTUCKET COTTAGE HOSPITAL
 NANTUCKET, MA

Drawing Name:
AERIAL SITE PLAN

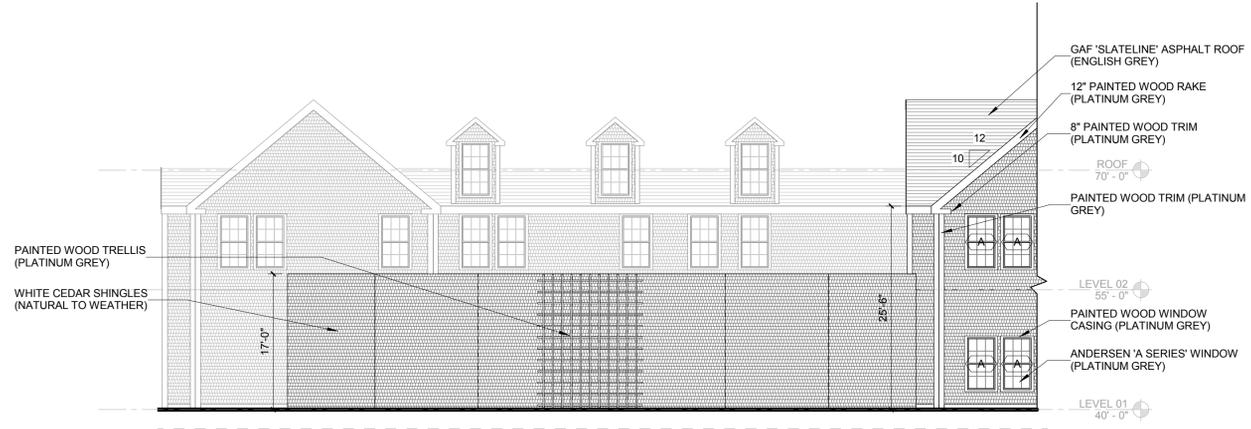
Drawing No.:
ASP-1
 Project No.: 13081



4 EAST ELEVATION A
 3/32" = 1'-0" 0 21'-4"



3 EAST ELEVATION B
 3/32" = 1'-0" 0 21'-4"



2 SOUTH ELEVATION B
 3/32" = 1'-0" 0 21'-4"

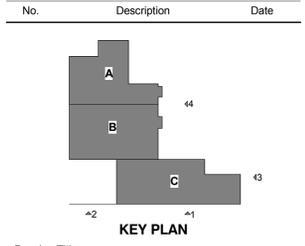


1 SOUTH ELEVATION A
 3/32" = 1'-0" 0 21'-4"

NOT FOR CONSTRUCTION

Subject to Historic District Commission (HDC) Approval
 Submitted for Informational Purposes Only

1	SITE PLAN REVIEW	06 APR 2016
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Drawing Title:

BUILDING ELEVATIONS

Project No.: 004174.00 Checked by: DK

A301

NOT FOR CONSTRUCTION

Subject to Historic District Commission (HDC) Approval
Submitted for Informational Purposes Only



3 SOUTH ELEVATION C
3/32" = 1'-0"
0 21'-4"

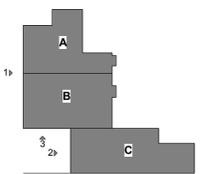


2 WEST ELEVATION A
3/32" = 1'-0"
0 21'-4"



1 WEST ELEVATION B
3/32" = 1'-0"
0 21'-4"

1	SITE PLAN REVIEW	06 APR 2016
No.	Description	Date



KEY PLAN

Drawing Title:

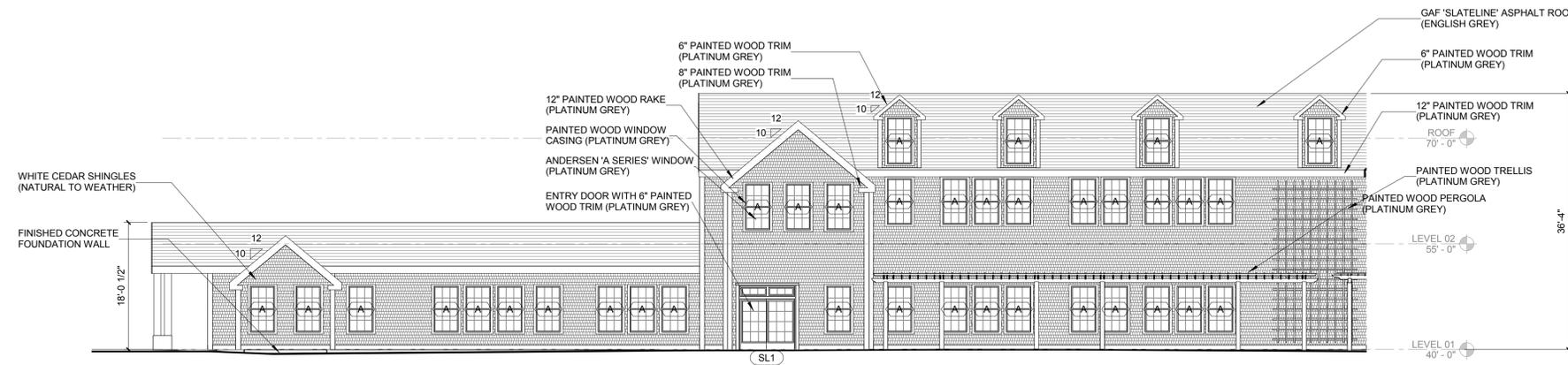
BUILDING ELEVATIONS

Project No.: 004174.00 Checked by: DK

A302

**NOT FOR
CONSTRUCTION**

Subject to Historic District Commission
(HDC) Approval
Submitted for Informational Purposes Only

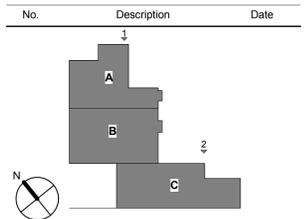


2 NORTH ELEVATION B
3/32" = 1'-0"
0 21'-4"



1 NORTH ELEVATION A
3/32" = 1'-0"
0 21'-4"

1 SITE PLAN REVIEW 06 APR 2016



KEY PLAN

Drawing Title:

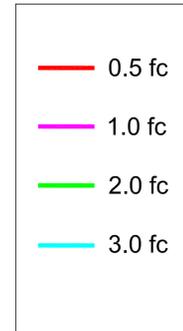
BUILDING ELEVATIONS

Project No.: 004174.00 Checked by: DK

A303

LUMINAIRE SCHEDULE

QTY	IMAGE	PLAN SYMBOL	DESCRIPTION	INSTALLATION METHOD	LIGHT SOURCE	INPUT WATTS	SHIELDING/OPTICS	REFERENCED PRODUCTS
					SPEC			
38			DECORATIVE POST TOP-PEDESTRIAN SCALE	POLE 12'-0"	2040 LM LED 2700K 80+ CRI	30.8	TYPE 3 OPTICS 	STERNBERG - 6590SRLED-PT-1RND-27-T3
12			DECORATIVE POST TOP-PEDESTRIAN SCALE	POLE 12'-0"	2245LM LED 2700K 80+ CRI	31.2	TYPE 5 OPTICS 	STERNBERG - 6590SRLED-PT-1RND-27-T5
67			POST TOP-VEHICULAR SCALE	POLE 21'-0"	5255 LM LED 3000k 75+ CRI	69W	TYPE 3 OPTICS HOUSE SIDE SHIELD AVAILABLE 	KIM LIGHTING - WP9-S-3-P-35-60L-3K-VOLTS
5			POST TOP-VEHICULAR SCALE	POLE 21'-0"	5353 LM LED 3000k 75+ CRI	69W	TYPE 4 OPTICS HOUSE SIDE SHIELD AVAILABLE 	KIM LIGHTING - WP9-S-4-P-35-60L-3K-VOLTS



IES Parking Lot Design Criteria (Enhanced Security):

Min: 0.5 fc
Max: 5.0 fc
Max to Min: 15:1

Designed Calculation Summary:

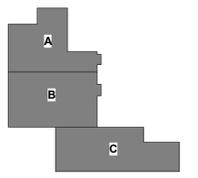
Min: 0.5 fc
Max: 4.1 fc
Max to Min: 10.25:1

NOT FOR CONSTRUCTION

Subject to Historic District Commission (HDC) Approval
Submitted for Informational Purposes Only

1 SITE PLAN REVIEW 06 APR 2016

No.	Description	Date



KEY PLAN

Drawing Title:

SITE LIGHTING PLAN

Project No.: 004174.00 Checked by: DK

SL 1

GENERAL NOTES

- 1. THESE PLANS HAVE BEEN PREPARED FROM THE FOLLOWING:
A. EXISTING CONDITIONS PLAN, NANTUCKET COTTAGE HOSPITAL PREPARED BY BLACKWELL & ASSOCIATES RECEIVED ON 12/10/2014.
B. FIELD SURVEY CONDUCTED NOVEMBER 2015 BY R.J. O'CONNELL & ASSOCIATES, INC., STONEHAM, MA.
2. ELEVATIONS ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM (NAVD) 1988.
3. THE CONTRACTOR IS SPECIFICALLY ADVISED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES ESPECIALLY WHERE NEW WORK CONNECTS TO EXISTING SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIG SAFE" (1-800-344-7233) AT LEAST TWO (2) WEEKS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL HORIZONTAL CONTROL POINTS AND VERTICAL BENCH MARKS NECESSARY FOR THE WORK.
5. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ANY PERMITS AND/OR CONNECTION FEES REQUIRED TO CARRY OUT THE WORK INCLUDING BUT NOT LIMITED TO DEMOLITION.
6. THE LIMIT OF WORK LINE IS THE SAME AS THE LIMIT OF WORK LINE NECESSARY FOR GRADING PURPOSES, (I.E., THE GRADING LIMITS AROUND THE PERIMETER OF THE PROJECT AREA).
7. DISPOSAL OF ALL DEMOLISHED MATERIALS MUST BE OFF-SITE BY THE CONTRACTOR AND IN ACCORDANCE WITH ALL FEDERAL, STATE AND MUNICIPAL REQUIREMENTS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL INFORMATION SHOWN ON THESE PLANS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING IMMEDIATELY OF ANY DISCREPANCIES BETWEEN ACTUAL SITE CONDITIONS AND EXISTING SITE CONDITIONS AS SHOWN ON THESE PLANS.
9. REFER TO THE ARCHITECTURAL PLANS FOR EXACT BUILDING LOCATIONS, BUILDING DIMENSIONS, EXACT UTILITY ENTRANCE LOCATIONS, TRUCK DOCKS, BUILDING SIDEWALKS, AND DOOR LOCATIONS.
10. ALL CONSTRUCTION DUMPSTERS SHALL BE PROPERLY MAINTAINED. ALL DUMPSTERS SHALL BE LOCATED ON A BITUMINOUS CONCRETE OR CONCRETE SURFACE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TRASH DISPOSAL, ON A REGULAR BASIS AND SHALL ENSURE THAT THE DUMPSTER AREAS ARE PROPERLY MAINTAINED.
11. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE GENERAL UPKEEP AND ROUTINE MAINTENANCE OF THE ENTIRE SITE TO ENSURE AN AESTHETICALLY PLEASING APPEARANCE DURING ALL PHASES OF CONSTRUCTION.
12. UNLESS OTHERWISE INDICATED, AREAS DISTURBED BY CONSTRUCTION SHALL HAVE 6-INCHES OF LOAM EVENLY SPREAD AND COMPACTED ON A PREPARED SUBGRADE AND PLANTED WITH LAWN SEED MIX PER THE SPECIFICATIONS.
13. ALL LANDSCAPED AREAS SHALL BE KEPT FREE OF WEEDS AND DEBRIS. ALL VEGETATION WITHIN THE SITE SHALL BE MAINTAINED FREE OF PHYSICAL DAMAGE CAUSED BY CHEMICALS, INSECTS, DISEASES, LACK OF WATER, OR OTHER CAUSES. DAMAGED PLANTS SHALL BE REPLACED WITH THE SAME VEGETATION.
14. THE CONTRACTOR SHALL SUPPLY AND MAINTAIN ALL MATERIAL, EQUIPMENT AND LABOR ASSOCIATED WITH TEMPORARY TRAFFIC DIVERSIONS THROUGHOUT CONSTRUCTION IN ACCORDANCE WITH M.U.T.C.D. STANDARDS AND AS APPROVED BY THE OWNER'S REPRESENTATIVE.
15. THE GENERAL CONTRACTOR AND SUBCONTRACTORS WILL HAVE A COPY OF THE SITE PLAN REVIEW CONDITIONS ON SITE AT ALL TIMES AND WILL BE INCORPORATED INTO ALL CONSTRUCTION CONTRACTS.
16. NO AUTHORITY ACTIVITY SHALL AFFECT ABUTTING PROPERTIES. IF THE APPLICANT MUST WORK ON AN ABUTTING PROPERTY, WRITTEN AUTHORIZATION FROM THE OWNER OF SAID LAND SHALL BE OBTAINED AND PROVIDED TO THE OWNER OR OWNER'S REPRESENTATIVE PRIOR TO THE START OF WORK.
17. THE OWNER'S REPRESENTATIVE AND/OR GENERAL CONTRACTOR MUST CONTACT THE DEPARTMENT OF PUBLIC HEALTH AND THE NANTUCKET FIRE DEPARTMENT IN THE EVENT OF A HAZARDOUS LEAK OR SPILL.
18. ALL TYPES OF FILL MATERIAL IMPORTED TO THE SITE MUST BE CLEAN AND SUITABLE FOR THE USE SPECIFIED. THE GENERAL CONTRACTOR WILL PROVIDE THE OWNER'S GEOTECHNICAL ENGINEER WITH RECORDS INDICATING THE TYPE, QUANTITY, ORIGIN AND SOURCE OF ANY FILL MATERIAL IMPORTED TO THE SITE.
19. THE CONTRACTOR SHALL PROVIDE THE ENGINEER TWO (2) COMPLETE SETS OF AS-BUILT DRAWINGS PREPARED AND STAMPED BY A PROFESSIONAL LAND SURVEYOR LICENSED IN THE COMMONWEALTH OF MASSACHUSETTS SHOWING EXACT DIMENSIONS, LOCATIONS AND ELEVATIONS OF ALL BUILDINGS, UTILITIES, STRUCTURES, PIPES, CURBING, STRIPING, LANDSCAPING, ETC AS INSTALLED. DELIVERABLES ARE TO BE STAMPED REPRODUCIBLE DRAWINGS AND AUTOCAD 2012 OR NEWER ELECTRONIC FILES.
20. EXISTING DRIVEWAY FOR #10 VESPER LANE TO BE REMOVED, LOAMED AND SEEDED IF CONSENTED BY THE COAST GUARD.
21. GREENLIGHT BUILDING TO BE RELOCATED UPON APPROVAL AND FUNDING AS WELL AS FINALIZATION OF BIKE PATH NETWORK AND EASEMENTS.

DEMOLITION NOTES

- 1. THE CONTRACTOR IS RESPONSIBLE FOR DISPOSAL OF DEMOLISHED MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REQUIREMENTS.
2. SUITABLE BUILDING MATERIALS THAT CAN BE REUSED AS ON-SITE FILL, AS DETERMINED BY THE OWNER'S GEOTECHNICAL ENGINEER (I.E. BRICK, BLOCK AND CONCRETE) SHALL BE RECYCLED TO PRODUCE PROCESSED SITE FILL PER THE GRADATION REQUIREMENTS NOTED IN THE SITE WORK SPECIFICATION AND SHALL COMPLY WITH THE DEP'S ASPHALT, BRICK AND CONCRETE (ABC) POLICY. NOTIFY THE LOCAL BOARD OF HEALTH AT LEAST 30 DAYS PRIOR TO THE START OF CRUSHING OPERATIONS.
3. PRIOR TO THE START OF ANY DEMOLITION ACTIVITIES, ON-SITE EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN ON DRAWING C-1 MUST BE INSTALLED AND APPROVED BY THE OWNER'S REPRESENTATIVE.
4. THE CONTRACTOR SHALL PROTECT AND/OR CAP OFF ALL EXISTING ON-SITE UTILITY SERVICES WHETHER DESIGNATED ON THESE DRAWINGS OR DISCOVERED IN THE FIELD. SERVICES SHALL BE CAPPED OFF AT THE PROPERTY IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANY/ENTITY STANDARDS.
5. ALL EXISTING BITUMINOUS CONCRETE PAVEMENT SHALL BE PULVERIZED, STRIPED AND STOCKPILED IN AREAS TO BE DETERMINED BY THE GENERAL CONTRACTOR/CONSTRUCTION MANAGER OWNER'S REPRESENTATIVE AND USED AS RECLAIMED ASPHALT PAVEMENT BORROW MATERIAL IN ACCORDANCE WITH THE SITESPECIFICATIONS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND PROTECTING ALL EXISTING AND NEW DRAINAGE AND UTILITIES TO REMAIN AND/OR BE CONSTRUCTED.
7. DURING ON-SITE DEMOLITION WORK, STORM RUNOFF SHALL BE CONTROLLED AND DIRECTED TOWARD TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES.

EROSION CONTROL NOTES

- 1. ALL PROPOSED SLOPES WILL BE NO STEEPER THAN 2H:1V. ALL 3H:1V SLOPES OR STEEPER WILL BE STABILIZED WITH A CURLEX EROSION CONTROL MATTING BY AMERICAN EXCELSOR COMPANY (OR ENGINEER APPROVED EQUAL) PRIOR TO HYDRO SEEDING AND PROTECTED FROM EROSION.
2. THE CONTRACTOR SHALL MAINTAIN ON SITE AT ALL TIMES ADDITIONAL STRAW WATTLES, MATERIALS FOR CONSTRUCTING WATTLES AND EXTRA SILTATION FENCING FOR INSTALLATION AT THE DIRECTION OF THE ENGINEER AND/OR OWNER'S REPRESENTATIVE TO CORRECT ANY EMERGENCY EROSION OR SILTATION PROBLEMS.
3. THE AREA OR AREAS OF ENTRANCE AND EXIT TO AND FROM THE SITE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO THE PUBLIC RIGHT-OF-WAY. ALL SEDIMENT OR DEBRIS SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS MUST BE REMOVED IMMEDIATELY.
4. SILT SACKS SHALL BE INSTALLED IN ALL EXISTING AND PROPOSED CATCH BASINS LOCATED IN DISTURBED AREAS AND SUBJECT TO STORMWATER RUNOFF FROM THE SITE THROUGHOUT CONSTRUCTION. NO SEDIMENT SHALL BE ALLOWED TO ENTER THE DRAINAGE SYSTEM (ON OR OFF-SITE) AT ANY TIME.
5. CATCH BASINS WHICH SERVE AS TEMPORARY SEDIMENT TRAPS MUST BE INSPECTED EVERY 14 CALENDAR DAYS AND WITHIN 24 HOURS OF A RAIN EVENT OF 0.25 INCHES OR GREATER.
6. UPON COMPLETION OF ALL SITE WORK CONSTRUCTION, THE SITE CONTRACTOR SHALL INSPECT ALL ON-SITE CATCH BASINS AND DRAINAGE STRUCTURES AND REMOVE ALL SEDIMENT, TRASH AND DEBRIS THAT HAS ACCUMULATED WITHIN EACH STRUCTURE DURING THE COURSE OF CONSTRUCTION.
7. ALL CONSTRUCTION SHALL MEET OR EXCEED THE TOWN OF NANTUCKET'S RULES AND REGULATIONS GOVERNING THE SUBDIVISION OF LAND AND CONSTRUCTION SPECIFICATIONS FOR STABILIZED ROAD SURFACES.
8. ALL SLOPES EXCEEDING FIFTEEN (15) PERCENT RESULTING FROM THE SITE GRADING ACTIVITIES SHALL BE EITHER COVERED WITH SIX (6) INCHES OF TOPSOIL AND PLANTED WITH A VEGETATIVE COVER SUFFICIENT TO PREVENT EROSION OR BE STABILIZED BY A RETAINING WALL.
9. PRIOR TO THE START OF ANY AUTHORIZED ACTIVITY THE GENERAL CONTRACTOR SHALL SUBMIT FOR REVIEW AND APPROVAL A DUST CONTROL PLAN TO THE OWNER'S REPRESENTATIVE. THE DUST CONTROL PLAN SHALL BE REVIEWED AND APPROVED BY THE TOWN ENGINEER PRIOR TO THE START OF DEMOLITION AND CONSTRUCTION AND IN ALL TYPES OF WEATHER CONDITIONS. THE APPROVED DUST CONTROL PLAN SHALL BE IMPLEMENTED DURING ALL PHASES OF THE AUTHORIZED ACTIVITIES AND WILL CONTINUE UNTIL THE PROJECT HAS BEEN GRANTED AS-BUILT APPROVAL.
10. THE EROSION CONTROL MEASURES AS SHOWN ON THE DRAWINGS DEPICT THE MINIMUM REQUIRED CONTROL AND ARE REPRESENTATIVE OF A SINGLE STAGE OF CONSTRUCTION FOR EACH PHASE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE Siting, RELOCATION AND AUGMENTATION OF EROSION CONTROL DEVICES AS THE PROJECT PROGRESSES AND SITE DRAINAGE CONDITIONS CHANGE.
11. THE CONTRACTOR SHALL MODIFY EROSION CONTROL MEASURES IF REQUIRED DUE TO WEATHER CONDITIONS, SEASON AND/OR CONSTRUCTION ACTIVITIES.
12. THE CONTRACTOR SHALL MINIMIZE THE AREA OF DISTURBED SOIL. EFFORTS SHALL BE MADE TO LIMIT THE TIME OF EXPOSURE OF DISTURBED AREAS.
13. PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES AT THE SITE, THE CONTRACTOR SHALL ENGAGE AN INDIVIDUAL WITH SPECIFIC PROFESSIONAL TRAINING AND EXPERTISE IN EROSION AND SEDIMENT CONTROL. THE EROSION CONTROL MONITOR SHALL CONDUCT AN INSPECTION BASED ON THE FREQUENCY OUTLINED IN NOTE 5 AND PREPARE AN INSPECTION REPORT WHICH SHALL BE KEPT ON SITE AT ALL TIMES AND SHOWN TO LOCAL, STATE AND FEDERAL AGENCIES UPON REQUEST. THIS REPORT SHALL INDICATE THE STATUS OF THE EROSION CONTROL MEASURES, ANY MAINTENANCE REQUIRED AND PERFORMED. THIS REPORT SHALL CONFORM TO THE REQUIREMENTS OF THE EPA'S NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES.
14. REFER TO THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR DETAILED DESCRIPTIONS OF THE TYPE, INSTALLATION, INSPECTION AND MAINTENANCE PROCEDURES FOR STRUCTURAL AND NON-STRUCTURAL MEASURES REQUIRED TO CONTROL SEDIMENT AND EROSION ON-SITE DURING CONSTRUCTION.
15. WINTER CONSTRUCTION AND STABILIZATION
THE WINTER CONSTRUCTION PERIOD IS FROM NOVEMBER 1 THROUGH APRIL 15
SEDMIMENT BARRIERS: DURING FROZEN CONDITIONS, SEDIMENT BARRIERS MAY CONSIST OF EROSION CONTROL MIX BERMS OR ANY OTHER RECOGNIZED SEDIMENT BARRIERS AS FROZEN SOIL PREVENTS THE PROPER INSTALLATION OF HAY BALES OR SILT FENCES.
MULCHING: ALL AREAS SHALL BE CONSIDERED TO BE DENuded UNtil SEEDED AND MULCHED. HAY AND STRAW MULCH SHALL BE APPLIED AT A RATE OF 150 LB. PER 1000 SF OR 3 TONS/ACRE (TWICE THE NORMAL ACCEPTED RATE) AND SHALL BE PROPERLY ANCHORED. EROSION CONTROL MIX MUST BE APPLIED WITH A MINIMUM 4 INCH THICKNESS. MULCH SHALL NOT BE SPREAD ON TOP OF SNOW, THE SNOW WILL BE REMOVED DOWN TO A 1-INCH DEPTH OR LESS PRIOR TO APPLICATION. AFTER EACH DAY OF FINAL GRADING, THE AREA WILL BE PROPERLY STABILIZED WITH ANCHORED HAY OR STRAW OR EROSION CONTROL MATTING. AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED OR ADEQUATELY ANCHORED SO THAT GROUND SURFACE IS NOT VISIBLE THROUGH THE MULCH. BETWEEN NOVEMBER 1 AND APRIL 15, ALL MULCH SHALL BE ANCHORED BY EITHER MULCH NETTING, ASPHALT EMULSION CHEMICAL, OR WOOD CELLULOSE FIBER. THE COVER WILL BE CONSIDERED SUFFICIENT WHEN THE GROUND SURFACE IS NOT VISIBLE THROUGH THE MULCH. AFTER NOVEMBER 1ST, MULCH AND ANCHORING OF ALL EXPOSED SOIL SHALL OCCUR AT THE END OF EACH WORKDAY DURING FINAL GRADING ACTIVITIES.
SOIL STOCKPILING: STOCKPILES OF SOIL OR SUBSOIL WILL BE MULCHED FOR OVER WINTER PROTECTION WITH HAY OR STRAW AT TWICE THE NORMAL RATE OR WITH A 4-INCH LAYER OF EROSION CONTROL MIX. THIS WILL BE DONE WITHIN 24 HOURS OF STOCKING AND REESTABLISHED PRIOR TO ANY RAINFALL OR SNOWFALL.
SEEDING: BETWEEN THE DATES OF OCTOBER 15 AND APRIL 1, LOAM OR SEED WILL NOT BE REQUIRED. DURING PERIODS ABOVE FREEZING TEMPERATURES FINISHED AREAS SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDED AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS AFTER NOVEMBER 1ST AND IF THE EXPOSED AREA HAS BEEN LOAMED, FINAL GRADING WITH A UNIFORM SURFACE, THEN THE AREA MAY BE DORMANT SEEDED AT A RATE OF 3 TIMES HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED. DORMANT SEEDING MAY BE PLACED PRIOR TO THE PLACEMENT OF MULCH OR EROSION CONTROL BLANKETS. IF DORMANT SEEDING IS USED FOR THE SITE, ALL DISTURBED AREAS SHALL RECEIVE 4" OF LOAM AND SEED AT AN APPLICATION RATE OF 5 LBS/1000 SF. ALL AREAS SEEDED DURING THE WINTER WILL BE INSPECTED IN THE SPRING BY REPLACING LOAM, SEED AND MULCH. IF DORMANT SEEDING IS NOT USED FOR THE SITE, ALL DISTURBED AREAS SHALL BE RE-VEGETATED IN THE SPRING.
WINTER STABILIZATION OF DITCHES AND CHANNELS: ALL STONE-LINED DITCHES AND CHANNELS MUST BE CONSTRUCTED AND STABILIZED BY NOVEMBER 15. ALL GRASS-LINED DITCHES AND CHANNELS MUST BE CONSTRUCTED AND STABILIZED BY SEPTEMBER 1. IF A DITCH OR CHANNEL IS NOT GRASS-LINED BY SEPTEMBER 1, THEN ONE OF THE FOLLOWING ACTIONS MUST BE TAKEN TO STABILIZE THE DITCH:
INSTALL A SOD LINING IN THE DITCH: A DITCH MUST BE LINED WITH PROPERLY INSTALLED SOD BY OCTOBER 1. PROPER INSTALLATION INCLUDES: PINNING THE SOD ONTO THE SOIL WITH WIRE PINS, ROLLING THE SOD TO GUARANTEE CONTACT BETWEEN THE SOD ONTO AND UNDERLYING SOIL, AND WATERING THE SOD TO PROMOTE ROOT GROWTH INTO THE DISTURBED SOIL, AND ANCHORING SOD AT THE BASE OF THE DITCH WITH JUTE OR PLASTIC MESH TO PREVENT THE SOD FROM SLOUGHING DURING FLOW CONDITIONS.
INSTALL A STONE LINING IN THE DITCH: A DITCH MUST BE LINED WITH STONE RIP RAP BY NOVEMBER 15. CONTACT REGISTERED PROFESSIONAL ENGINEER TO DETERMINE THE STONE SIZE AND LINING THICKNESS NEEDED TO WITHSTAND THE ANTICIPATED FLOW VELOCITIES AND FLOW DEPTHS WITHIN THE DITCH.
WINTER STABILIZATION OF DISTURBED SLOPES: ALL STONE-COVERED SLOPES GREATER THAN 15% MUST BE CONSTRUCTED AND STABILIZED BY NOVEMBER 15. AND ALL SLOPES TO BE VEGETATED MUST BE SEEDED AND MULCHED BY SEPTEMBER 1. IF A SLOPE TO BE VEGETATED IS NOT STABILIZED BY SEPTEMBER 1, THEN ONE OF THE FOLLOWING ACTIONS MUST BE TAKEN TO STABILIZE THE SLOPE.
TEMPORARY VEGETATION AND EROSION CONTROL MATS: BY OCTOBER 1 THE DISTURBED SLOPE MUST BE SEEDED WITH WINTER RYE AT A SEEDING RATE OF 3 LBS PER 1000 SF AND THEN INSTALL EROSION CONTROL MATS OR ANCHORED MULCH OVER THE SEEDING. IF THE RYE FAILS TO GROW AT LEAST 3 INCHES OR FAILS TO COVER AT LEAST 75% OF THE SLOPE BY NOVEMBER 15, THEN THE CONTRACTOR WILL COVER THE SLOPE WITH A LAYER OF EROSION CONTROL MIX OR WITH STONE RIP RAP.
SOD: THE DISTURBED SLOPE MUST BE STABILIZED WITH PROPERLY INSTALLED SOD BY OCTOBER 1. PROPER INSTALLATION INCLUDES THE CONTRACTOR PINNING THE SOD ONTO THE SOIL WITH WIRE PINS, ROLLING THE SOD TO GUARANTEE CONTACT BETWEEN THE SOD AND UNDERLYING SOIL, AND WATERING THE SOD TO PROMOTE ROOT GROWTH INTO THE DISTURBED SOIL. THE CONTRACTOR WILL NOT USE LATE-SEASON SOD INSTALLATION TO STABILIZE SLOPES HAVING A GRADE GREATER THAN 33% OR HAVING GROUNDWATER SEEPS ON THE SLOPE FACE.
EROSION CONTROL MIX: EROSION CONTROL MIX MUST BE PROPERLY INSTALLED BY NOVEMBER 15. THE CONTRACTOR WILL NOT USE EROSION CONTROL MIX TO STABILIZE SLOPES HAVING GRADES GREATER THAN 50% OR HAVING GROUNDWATER SEEPS ON THE SLOPE FACE.
STONE RIP RAP: PLACE A LAYER OF STONE RIP RAP ON THE SLOPE BY NOVEMBER 15. CONTACT THE PROFESSIONAL ENGINEER TO DETERMINE THE STONE SIZE NEEDED FOR STABILITY ON THE SLOPE AND TO DESIGN A FILTER LAYER FOR UNDERNEATH THE RIP RAP.
WINTER STABILIZATION OF DISTURBED SOILS: BY SEPTEMBER 15, ALL DISTURBED SOILS ON AREAS HAVING A SLOPE LESS THAN 15% MUST BE SEEDED AND MULCHED. IF THE DISTURBED AREAS ARE NOT STABILIZED BY THIS DATE, THEN ONE OF THE FOLLOWING ACTIONS MUST BE TAKEN.
TEMPORARY VEGETATION: BY OCTOBER 1, SEED THE DISTURBED SOIL WITH WINTER RYE AT A SEEDING RATE OF 3 LBS PER 1000 SF, LIGHTLY MULCH THE SEEDED SOIL WITH HAY OR STRAW AT 75 POUNDS PER 1000 SF, AND ANCHOR THE MULCH WITH PLASTIC NETTING. MONITOR GROWTH OF THE RYE OVER THE NEXT 30 DAYS. IF THE RYE FAILS TO GROW AT LEAST 3 INCHES OR FAILS TO COVER AT LEAST 75% OF THE DISTURBED SOIL BEFORE NOVEMBER 1, THEN MULCH THE AREA FOR WINTER PROTECTION AS DESCRIBED BELOW.
SOD: STABILIZE THE DISTURBED SOIL WITH PROPERLY INSTALLED SOD BY OCTOBER 1. PROPER INSTALLATION INCLUDES PINNING THE SOD ONTO THE SOIL WITH WIRE PINS, ROLLING THE SOD TO GUARANTEE CONTACT BETWEEN THE SOD AND UNDERLYING SOIL, AND WATERING THE SOD TO PROMOTE ROOT GROWTH INTO THE DISTURBED SOIL.
SOD: BY NOVEMBER 15, MULCH THE DISTURBED SOIL BY SPREADING HAY OR STRAW AT A RATE OF AT LEAST 150 LBS PER 1000 SF ON THE AREA SO THAT NO SOIL IS VISIBLE THROUGH THE MULCH. IMMEDIATELY AFTER APPLYING THE MULCH, ANCHOR THE MULCH WITH PLASTIC NETTING TO PREVENT WIND FROM MOVING THE MULCH OFF THE DISTURBED SOIL.
16. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH DEC'S (D.E.P.) EROSION AND SEDIMENT CONTROL GUIDELINES, AUGUST 1983 AND USDA S.C.S. EROSION AND SEDIMENT CONTROL IN SITE DEVELOPMENT, MASSACHUSETTS CONSERVATION GUIDE, SEPTEMBER 1983 AND ALL LOCAL MUNICIPAL REGULATIONS.

- 17. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY SITE WORK, SHALL BE MAINTAINED DURING CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL ALL SITE WORK IS COMPLETE AND GROUND COVER IS ESTABLISHED.
18. STOCKPILES SHALL BE SURROUNDED ON THEIR PERIMETERS WITH STAKED WATTLES AND/OR SILTATION FENCES TO PREVENT AND/OR CONTROL SILTATION AND EROSION.
19. TOPS OF STOCKPILES SHALL BE COVERED IN SUCH A MANNER THAT STORMWATER DOES NOT INFILTRATE THE MATERIALS AND THEREBY RENDER THE SAME UNSUITABLE FOR FILL USE.
20. ALL DISTURBED OR EXPOSED AREAS SUBJECT TO EROSION SHALL BE STABILIZED WITH MULCH OR SEEDED FOR TEMPORARY VEGETATIVE COVER. NO AREA SHALL BE LEFT DISTURBED AND UNSTABILIZED FOR PERIODS LONGER THAN 14 DAYS AFTER SOIL HAS BEEN DISTURBED.
21. ALL EROSION CONTROL MEASURES SHALL BE ROUTINELY INSPECTED, CLEANED AND REPAIRED OR REPLACED AS NECESSARY THROUGHOUT ALL PHASES OF CONSTRUCTION.
22. THE ROWS OF STAKED WATTLES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION IN GOOD WORKING ORDER AND SHALL NOT BE REMOVED UNTIL THE SITE IS PERMANENTLY STABILIZED. UPON COMPLETION OF THE PROJECT, THE WATTLES SHALL BE PROPERLY DISPOSED OF OR RECYCLED.
23. ALL CONSTRUCTION MATERIAL, DEBRIS, FILL AND EXCAVATED MATERIAL SHALL BE STOCKPILED IN AREAS DESIGNATED BY THE OWNER'S REPRESENTATIVE. ALL MATERIAL SHALL BE STABILIZED TO PREVENT EROSION. ALL EXCESS FILL AND EXCAVATED MATERIALS THAT ARE NOT USED IN CONJUNCTION WITH CONSTRUCTION SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH ALL FEDERAL, STATE & LOCAL REGULATIONS. AT NO TIME SHALL ANY DEBRIS OR OTHER CONSTRUCTION RELATED MATERIALS BE BURIED ON-SITE.
DRAINAGE NOTES:
1. CORRUGATED POLYETHYLENE PIPE (CPP) SHALL CONFORM WITH ASTM 2648 AND ASTM F477, SHALL BE MANUFACTURED WITH HIGH DENSITY POLYETHYLENE PLASTIC AND SHALL BE ADS N-12 "MEGA GREEN" PIPE AS MANUFACTURED BY ADVANCE DRAINAGE SYSTEM, INC. OR APPROVED EQUAL UNLESS OTHERWISE NOTED OR DETAILED.
2. ALL RAINWATER ROOF AND CANOPY DRAINS SHALL BE INSTALLED TO A POINT 10 FEET FROM THE BUILDING WALL UNLESS OTHERWISE NOTED OR DETAILED.
3. ALL CATCH BASINS AND OTHER DRAINAGE STRUCTURES TO BE CONSTRUCTED, REPLACED, OR RECONSTRUCTED SHALL CONFORM TO CURRENT MASSACHUSETTS HIGHWAY DEPARTMENT STANDARDS AND DESIGNED AND INSTALLED FOR H2O LOADING. ALL NEW CATCH BASINS SHALL BE EQUIPPED WITH APPROPRIATELY SIZED "TEE" OR ENVIRONMENTAL HODS. FOUR (4) FOOT SUMPS SHALL BE PROVIDED IN ALL NEW CATCH BASINS.
4. ALL MANHOLES, CATCH BASINS AND OIL/PARTICLE SEPARATORS SHALL BE PUMPED AND CLEANED AT THE END OF CONSTRUCTION. SEDIMENT AND OTHER POLLUTANTS SHALL BE REMOVED OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REQUIREMENTS.
5. ALL EXISTING STRUCTURES AND/OR DRAINAGE LINES DESIGNATED AS "TO BE REMOVED" SHALL BE REMOVED IN THEIR ENTIRETY AND DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS. AFFECTED AREAS SHALL BE BACK FILLED WITH SUITABLE FILL MATERIAL AND COMPACTED IN 12" LIFTS TO REACH REQUIRED GRADE.
6. ALL PROPOSED CATCH BASIN FRAMES AND GRATES SHALL BE AS SPECIFIED OR APPROVED EQUAL.
7. ALL PROPOSED DOUBLE CATCH BASIN FRAMES AND GRATES SHALL BE AS SPECIFIED OR APPROVED EQUAL. TWO (2) GRATES PER DOUBLE CATCH BASIN.
8. THE EXISTING UTILITIES SHOWN HEREON SHALL BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION AND CONFIRM WITH TEST FITS PRIOR TO EXCAVATION AND CONSTRUCTION.
9. ALL EXISTING UTILITY SERVICES MAY NOT BE SHOWN ON THE UTILITY PLAN (DRAWING NUMBER C-3). THE SITE CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANY FOR LOCATION AND ELEVATION.
10. ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY-DUTY TRAFFIC (H20) LOADING AND BE INSTALLED ACCORDINGLY.
11. DETECTABLE WARNING TAPE TO BE INSTALLED A MINIMUM ONE (1') FOOT ABOVE DRAINAGE PIPE.
UTILITY NOTES (GENERAL)
1. DUE TO THE SCALE OF THE SITE WORK DRAWINGS, EXACT LOCATION OF UTILITY STUBS FOR BUILDING CONNECTIONS SHALL BE VERIFIED WITH THE BUILDING DRAWINGS. SERVICE STUBS TO THE BUILDINGS SHALL BE INSTALLED TO A POINT 10 FEET (10') FROM THE BUILDING WALL UNLESS OTHERWISE NOTED OR DETAILED AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AT END.
2. ALL REQUIRED UTILITY SERVICE ENCASUREMENTS (CONCRETE) SHALL EXTEND 10 FEET (10') FROM THE CROSSING IN EITHER DIRECTION.
3. ALL EXISTING LIGHT POLE BASES AND CONDUIT THAT ARE TO BE REMOVED WILL BE DISPOSED OF OFF-SITE BY CONTRACTOR. EXISTING CONCRETE LIGHT POLE BASES MAY BE CRUSHED ON-SITE FOR USE IN AREAS THAT REQUIRE PROCESSED SITE FILL.
4. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY THE TOWN OF NANTUCKET AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO FINAL CONNECTION AND BACKFILLING OF SERVICES.
5. ALL REQUIRED UTILITIES SERVICING THE BUILDINGS SHALL BE PROVIDED BY THE SITE CONTRACTOR TO WITHIN TEN (10') FEET OF THE BUILDING AT THE LOCATIONS SHOWN ON THE UTILITY PLANS. ALL REQUIRED CONNECTION FEES FOR THE UTILITIES TO THE BUILDINGS SHALL BE PAID FOR BY THE BUILDING CONTRACTOR. ANY NECESSARY EXTENSIONS, RELOCATIONS OR CONNECTIONS BEYOND TEN FEET (10') OF THE BUILDING TO COMPLETE THE CONNECTION OF UTILITIES SHALL BE MADE BY THE SITE CONTRACTOR.
6. THE SITE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ANY/ALL PERMITS REQUIRED FOR THE INSTALLATION OF ALL SITE UTILITIES.
7. ALL EXISTING UTILITY CASTINGS INDICATED TO REMAIN SHALL BE RESET TO FINISHED GRADE AS REQUIRED.
8. DETECTABLE WARNING TAPE TO BE INSTALLED A MINIMUM ONE (1') FOOT ABOVE UTILITIES AND IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANY REQUIREMENTS.
9. PRIOR TO THE START OF ANY AUTHORIZED ACTIVITY THE SITE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE TOWN OF NANTUCKET AND PROVIDE COPIES TO THE OWNER.
10. APPROXIMATE LOCATION OF UNDERGROUND FUEL TANK SUBJECT TO FIRE DEPARTMENT REVIEW.
SEWER NOTES
1. ALL GRAVITY SEWER PIPE SHALL BE POLYVINYL CHLORIDE PIPE (P.V.C.), S.D.R. 35 AND SHALL CONFORM WITH ASTM-D3034 UNLESS NOTED OTHERWISE.
2. WHERE SANITARY SEWERS CROSS WATER MAINS, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE CROWN OF THE SEWER IS AT LEAST EIGHTEEN INCHES BELOW THE INVERT OF THE WATER MAIN. IF THE ELEVATION OF THE SEWER CANNOT BE VARIED TO MEET THIS REQUIREMENT, THE WATER MAIN SHALL BE RELOCATED TO PROVIDE THIS SEPARATION OR CONSTRUCTED WITH MECHANICAL JOINT PIPE FOR A DISTANCE OF TEN FEET (10') ON EACH SIDE OF THE SEWER. ONE FULL LENGTH OF WATER MAIN SHALL BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. IF MECHANICAL JOINT PIPE IS NOT USED THEN BOTH THE WATER MAIN AND SANITARY SEWER SHALL BE ENCASED IN CONCRETE FOR A MINIMUM DISTANCE OF 10 FEET FROM THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
3. ALL SEWER MAIN APPURTENANCES, MATERIALS, METHODS OF INSTALLATION AND TESTING REQUIREMENTS SHALL MEET OR EXCEED THE TOWN OF NANTUCKET DEPARTMENT OF PUBLIC WORKS STANDARDS.
4. SANITARY SEWER SERVICE TO BUILDING WILL END TEN FEET (10') OUTSIDE THE BUILDING LIMITS AS SHOWN ON THE PLANS AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AT END.
5. ALL SEWER WORK MUST BE INSPECTED BY NANTUCKET DPW PERSONNEL PRIOR TO BACKFILLING. ALLOW AT LEAST 3 BUSINESS DAYS FOR DPW TO SCHEDULE THE INSPECTION.
6. DETECTABLE WARNING TAPE TO BE INSTALLED A MINIMUM ONE (1') FOOT ABOVE SEWER MAIN AND IN ACCORDANCE WITH THE SEWER DEPARTMENT REQUIREMENTS.

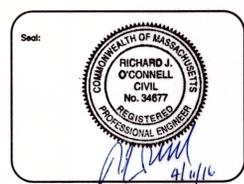
WATER NOTES

- 1. ALL WATER MAINS SHALL BE INSTALLED WITH A MINIMUM OF 5'-0" OF COVER AND MAXIMUM OF 6'-0" OF COVER EXCEPT AS NOTED OR DETAILED OTHERWISE.
2. GENERALLY, WATER MAIN FITTINGS IDENTIFIED ON THIS DRAWING ARE SHOWN FOR INSTALLATION LOCATION PURPOSES. THE CONTRACTOR SHALL NOTE THAT NOT ALL FITTINGS ARE NOTED, SHOWN OR INDICATED.
3. ALL WATER MAIN FITTINGS, TEES ETC. SHALL BE RESTRAINED WITH APPROPRIATELY SIZED THRUST BLOCKS.
4. ALL HYDRANTS SHALL MEET THE WANNACOMET WATER COMPANY AND NANTUCKET FIRE DEPARTMENT REQUIREMENTS AND SHALL BE INSTALLED IN ACCORDANCE WITH THE WANNACOMET WATER COMPANY'S AND FIRE DEPARTMENT'S REQUIREMENTS.
5. A MINIMUM DISTANCE OF 10 FEET CLEAR HORIZONTALLY SHALL BE MAINTAINED BETWEEN SANITARY SEWER MAINS AND WATER MAINS. WHENEVER CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET TO A WATER MAIN, THE WATER MAIN SHALL BE LAID IN A SEPARATE TRENCH AND THE ELEVATION OF THE CROWN OF THE SEWER SHALL BE AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER MAIN.
6. DOMESTIC WATER SERVICES 2-1/2" AND SMALLER SHALL BE TYPE K COPPER TUBING AND SHALL BE INSTALLED WITH APPROPRIATELY SIZED CORPORATION STOP, SADDLE, CURB STOP AND BOX.
7. ALL POTABLE WATER MAINS 3" OR LARGER SHALL BE CEMENT LINED DUCTILE IRON PIPE CLASS 52 AND SHALL BE INSTALLED WITH APPROPRIATELY SIZED FITTINGS AND GATE VALVES. FITTINGS SHALL BE MECHANICAL JOINT WITH DUCTILE IRON CLASS 350 RESTRAINT DEVICE (MEGALUG) AS MANUFACTURED BY EBAA IRON, INC. OR APPROVED EQUAL.
8. FIRE SERVICES SHALL BE INSTALLED WITH APPROPRIATELY SIZED GATE VALVE AND REQUIRED ACCESSORIES. DOMESTIC WATER SERVICES SHALL BE INSTALLED WITH APPROPRIATELY SIZED GATE BOX, AND TEE FITTINGS.
9. WATER METERS AND BACK FLOW PREVENTERS TO BE LOCATED WITHIN THE BUILDING.
10. PRESSURE AND LEAKAGE TEST, DISINFECTION AND FLUSHING SHALL BE IN ACCORDANCE WITH THE WANNACOMET WATER COMPANY STANDARDS AND REQUIREMENTS. IN THE ABSENCE OF STANDARDS, THEY SHALL CONFORM TO THE REQUIREMENTS IN THE SITESPECIFICATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS IN CONNECTION WITH UTILITY TESTS, FLUSHING AND INSPECTIONS AS REQUIRED BY THE AUBURN WATER DISTRICT. COPIES OF TEST RESULTS WILL BE SUBMITTED TO THE WANNACOMET WATER COMPANY FOR APPROVAL.
11. MAINTAIN A MINIMUM SEPARATION OF THREE FEET (3') BETWEEN GAS AND WATER MAINS (MEASURED FROM THE CENTER OF THE PIPE).
12. ALL NEW GATE VALVES INSTALLED FOR THIS PROJECT WILL OPEN IN THE DIRECTION REQUIRED BY THE WANNACOMET WATER COMPANY.
13. ALL WATER MAIN APPURTENANCES, MATERIALS, METHODS OF INSTALLATION AND TESTING REQUIREMENTS SHALL MEET OR EXCEED WANNACOMET WATER COMPANY'S STANDARDS.
14. DETECTABLE WARNING TAPE TO BE INSTALLED A MINIMUM OF SIX(6) INCHES ABOVE THE WATER MAIN AND IN ACCORDANCE WITH THE WATER DEPARTMENT REQUIREMENTS.

LAYOUT & TRAFFIC CONTROL PLAN NOTES:

- 1. HANDICAP ACCESSIBLE PARKING SPACES SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (A.D.A.) ACCESSIBILITY GUIDELINES AND THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD REGULATION, 921 CMR, LATEST EDITIONS UNLESS OTHERWISE NOTED.
2. VAN ACCESSIBLE HANDICAP PARKING SPACES SHALL BE SIGNED AS "VAN ACCESSIBLE" PER 521CMR23.4.7B.
3. ALL PROPOSED CURBING SHALL BE PRECAST CONCRETE CURBING UNLESS OTHERWISE NOTED.
4. ALL PAVEMENT STRIPING SHALL BE PAINTED WITH 2 COATS OF PAINT.
5. PARKING AND TRAFFIC CONTROL PLAN IS SCHEMATIC AND FOR LOCATION OF MARKINGS ONLY. SPECIFIC DETAILS OF PAVEMENT MARKINGS ARE PROVIDED AS PART OF THIS PLAN SET.
6. ALL EXISTING CURBING TO BE REMOVED WILL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS.
7. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL/BUILDING PLANS FOR EXACT BUILDING LOCATIONS, BUILDING DIMENSIONS, EXACT UTILITY ENTRANCE LOCATIONS, TRUCK DOCKS, BUILDING SIDEWALKS AND DOOR LOCATIONS.
8. FOR PAVEMENT SECTION SEE DETAIL SHEET C-10.
9. ALL LIMITS OF PAVEMENT SHALL BE CURBED UNLESS NOTED OR INDICATED OTHERWISE.

Table with 2 columns: No. and Date. Includes revision history for 'ISSUED FOR SITE PLAN REVIEW' and 'REVISION'.



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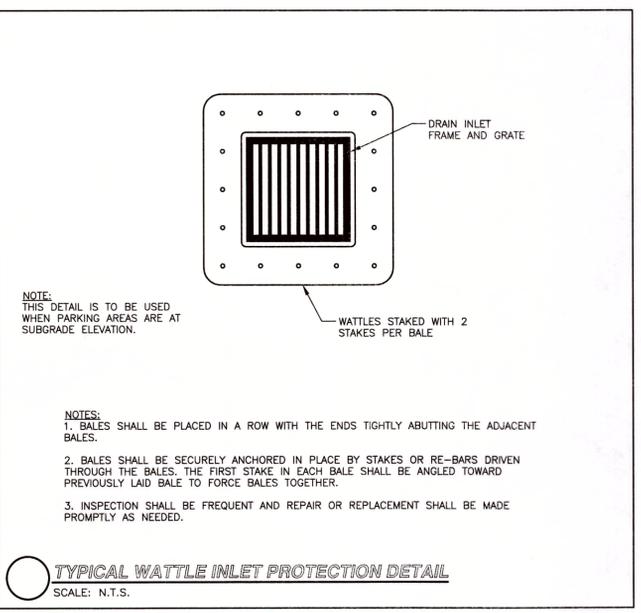
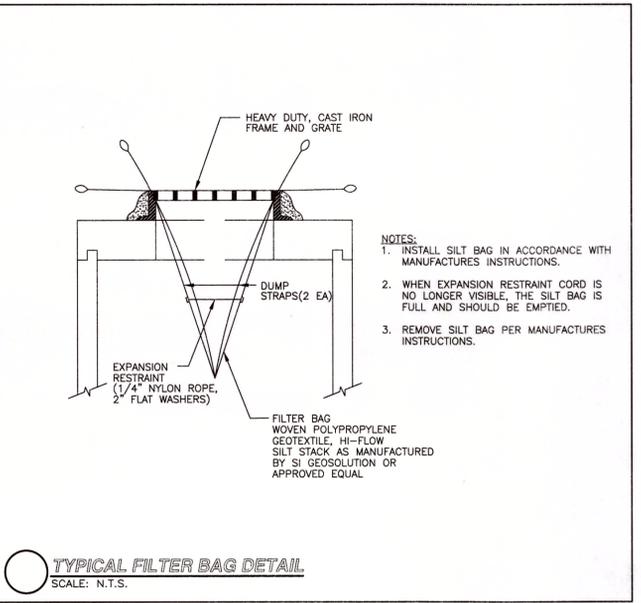
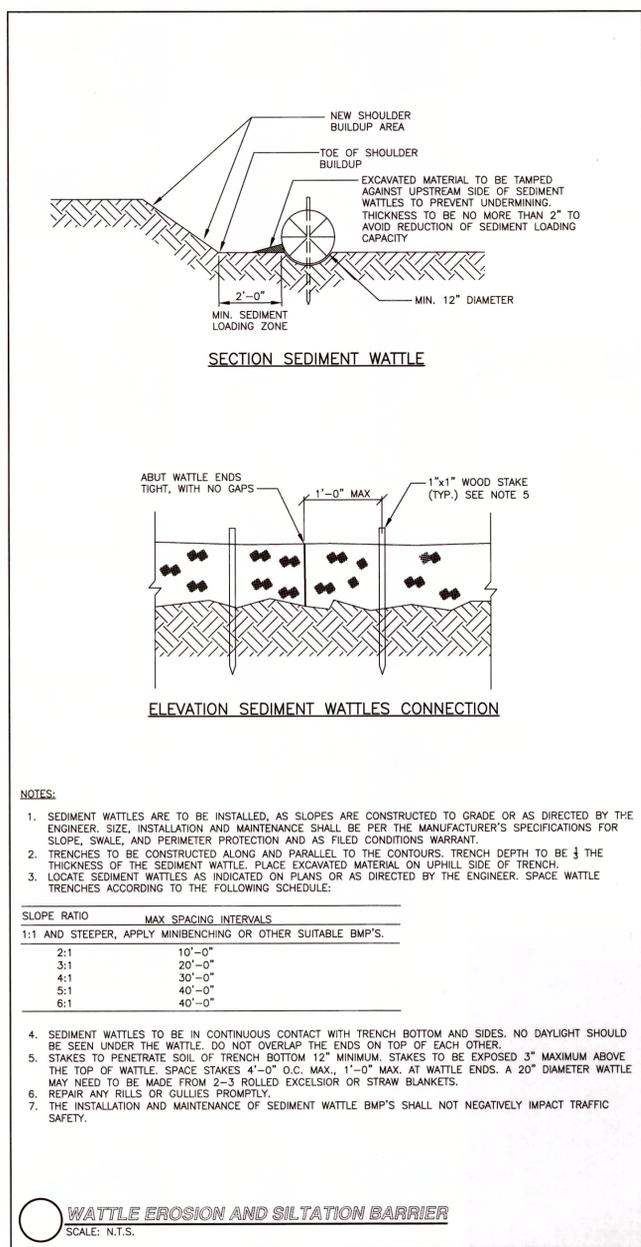
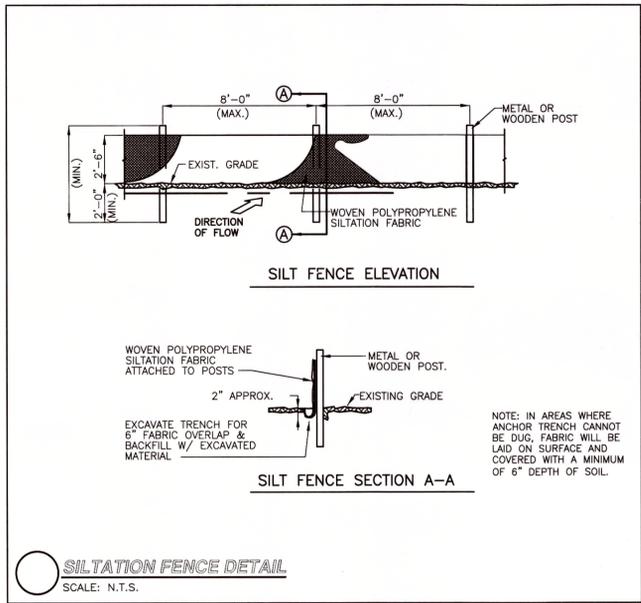
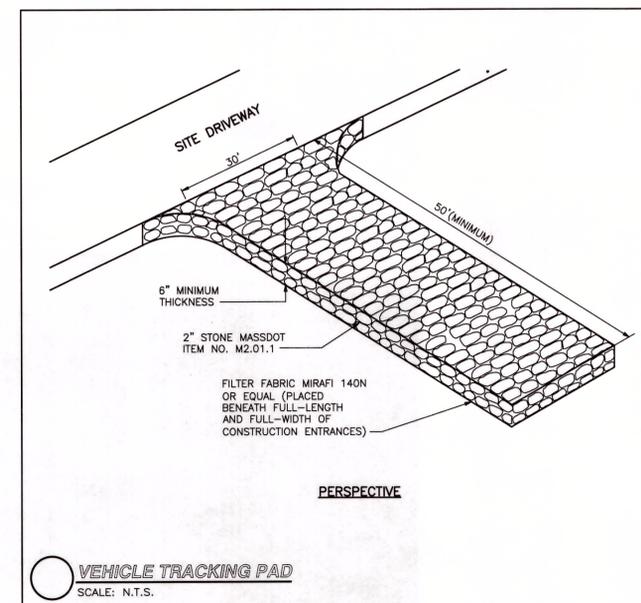
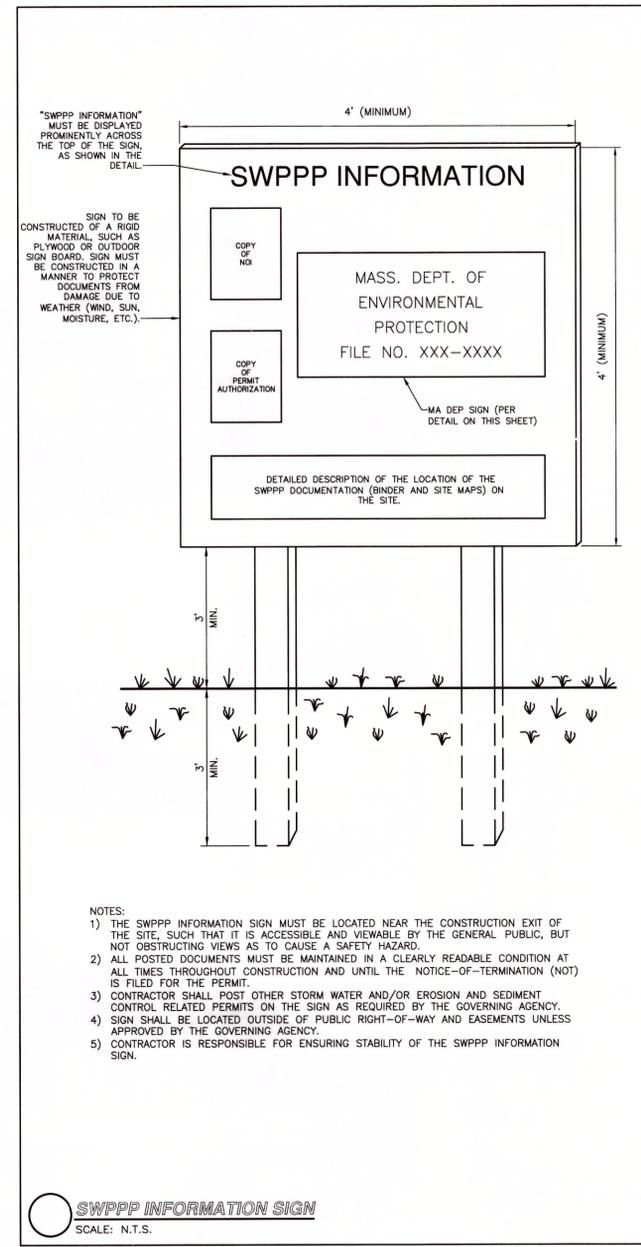
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Project Name:
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NANTUCKET, MA
Drawing Name:
GENERAL NOTES

Drawing No.:
N-1
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13081

Planning Board

Chairman:
Vice Chairman:
Member:
Member:
Member:
DATE APPROVED:
DATE ENDORSED:
PLANNING BD. FILE NO.:



Planning Board

Chairman _____

Vice Chairman _____

Member _____

Member _____

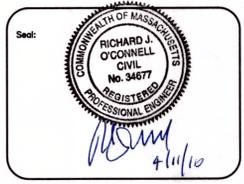
Member _____

DATE APPROVED: _____

DATE ENDORSED: _____

PLANNING BD. FILE NO.: _____

No.	Date	Revision
1.	04/11/2016	ISSUED FOR SITE PLAN REVIEW



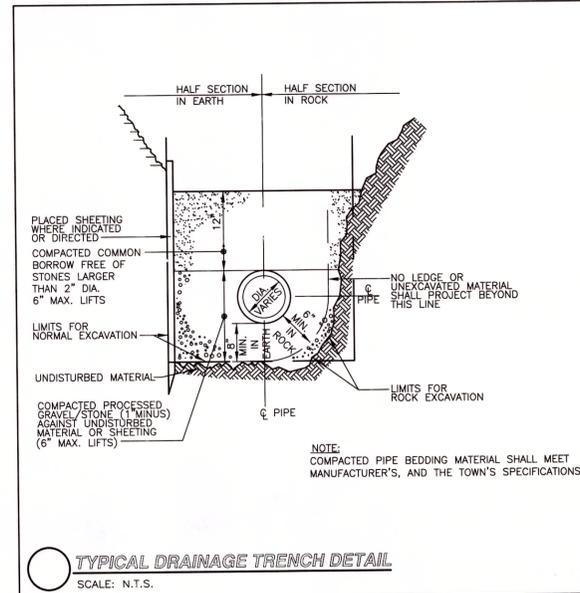
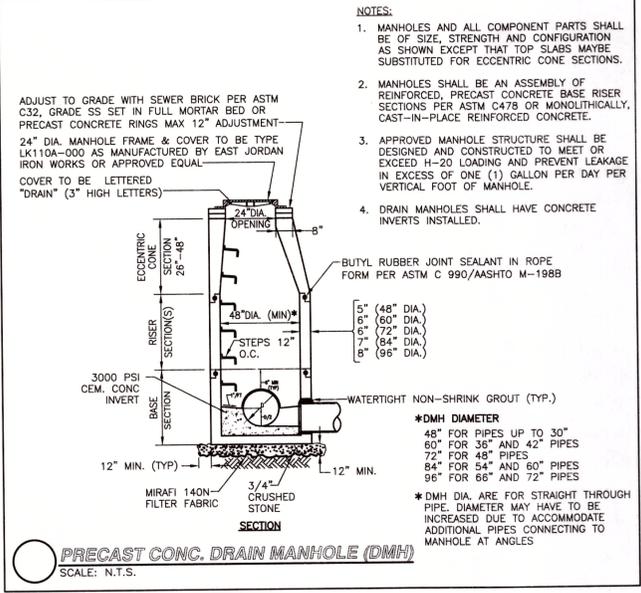
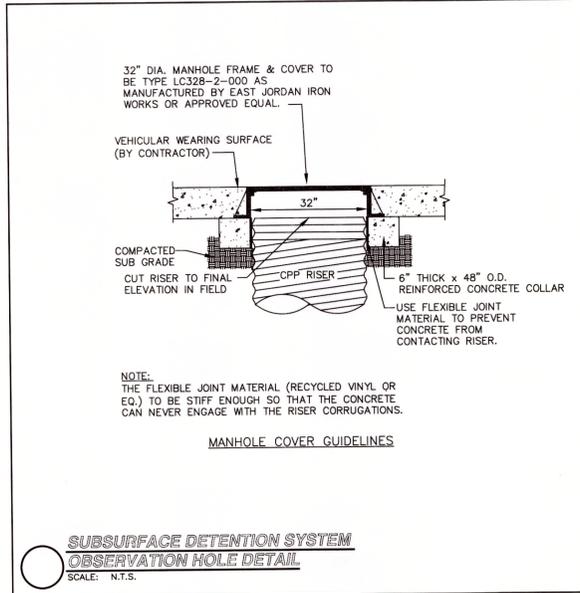
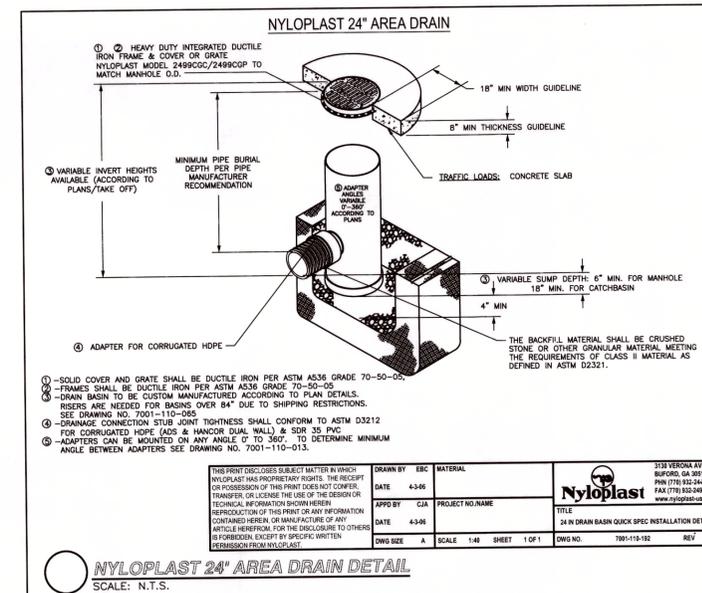
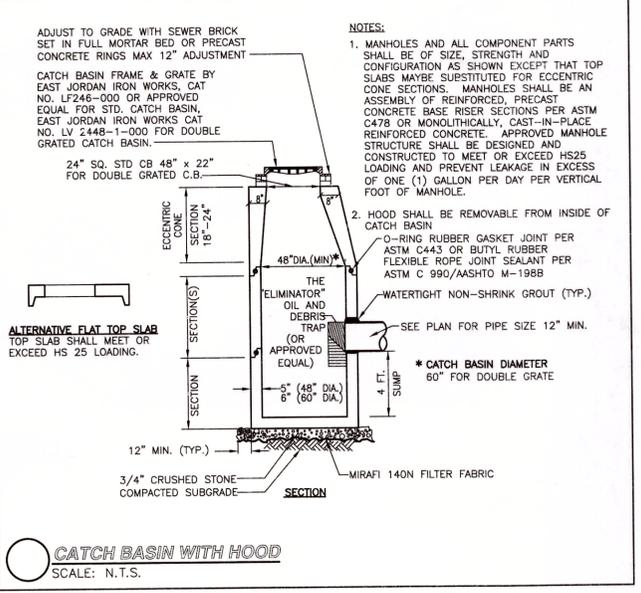
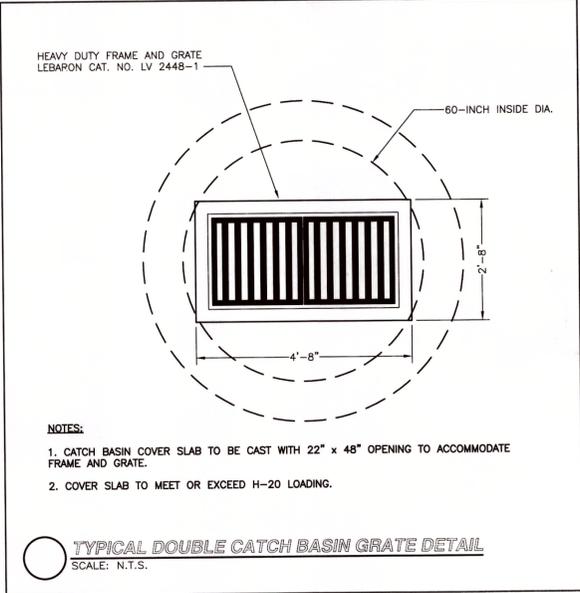
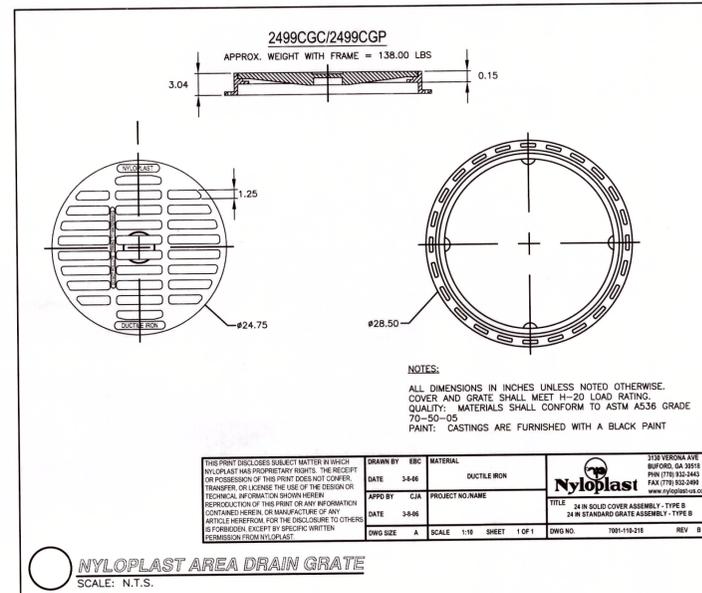
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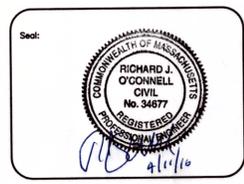
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Project Name:
NEW NANTUCKET COTTAGE HOSPITAL NANTUCKET, MA
 Drawing Name:
EROSION CONTROL DETAILS

Drawing No.:
C-5
 Project No.: 13081



Issue No.	1	Date	04/11/2016
Revision		Date	
Revision		Date	
Revision		Date	



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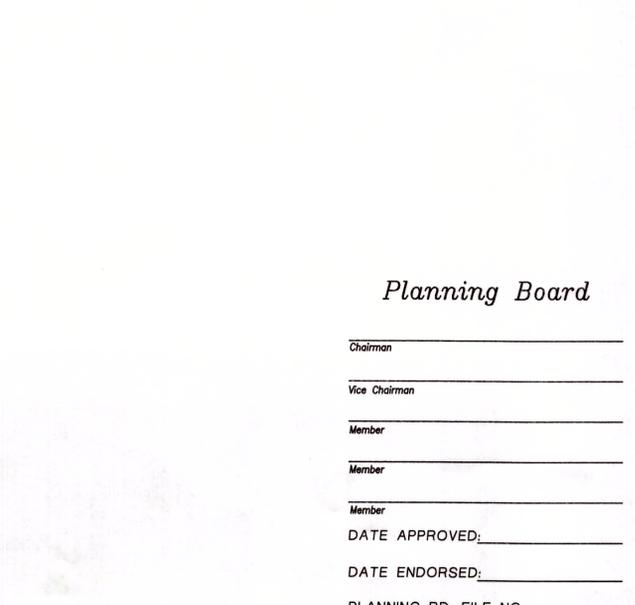
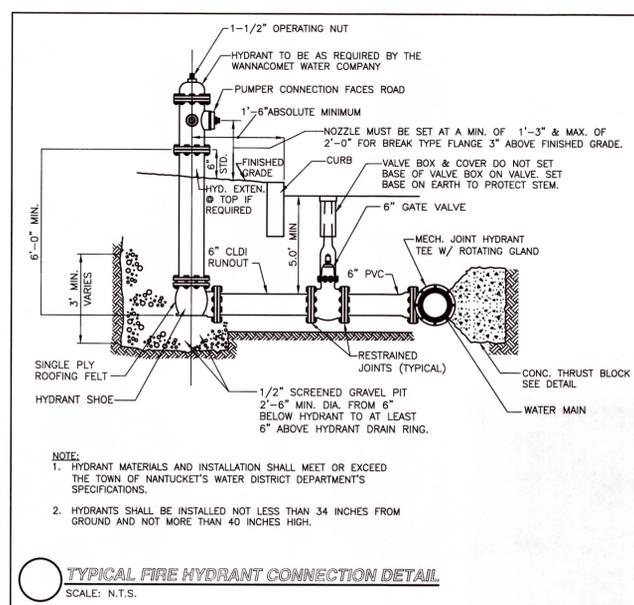
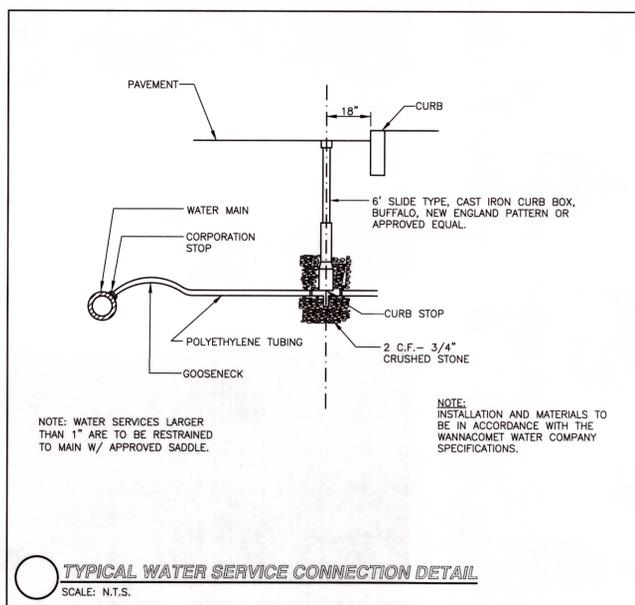
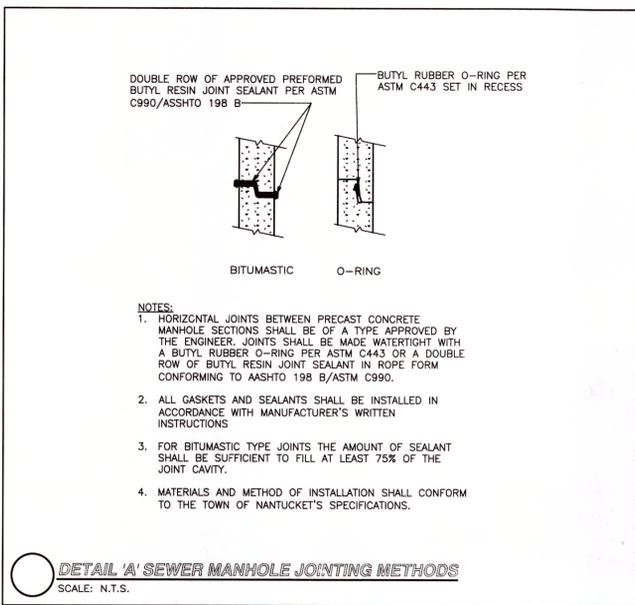
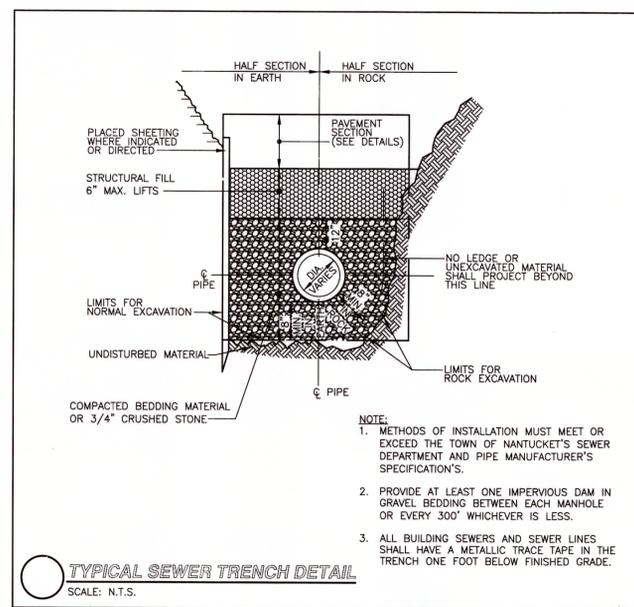
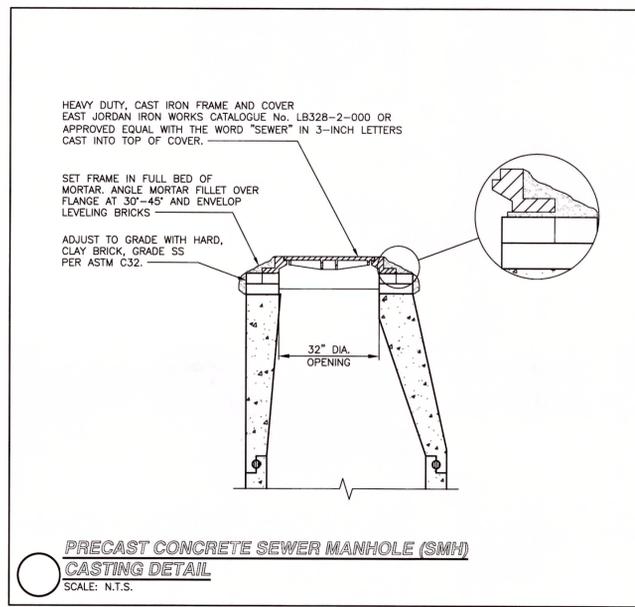
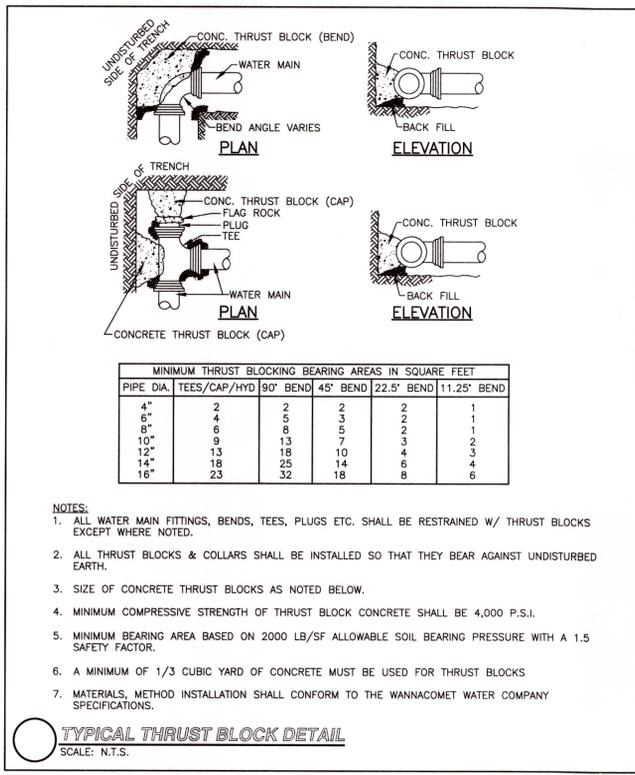
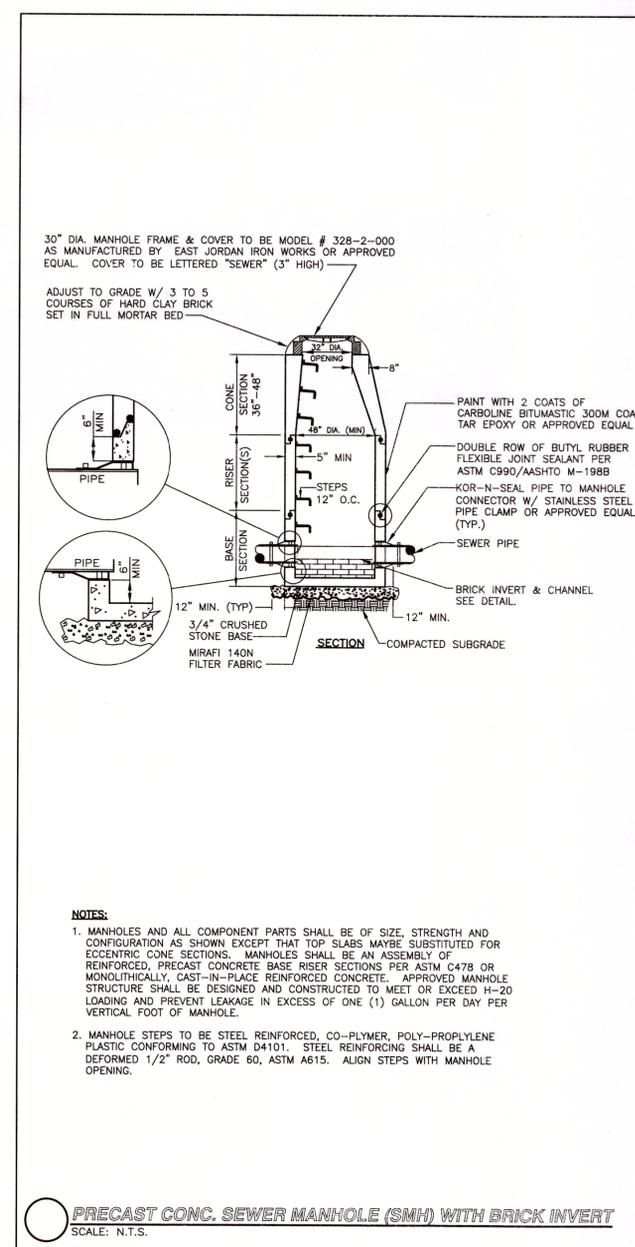
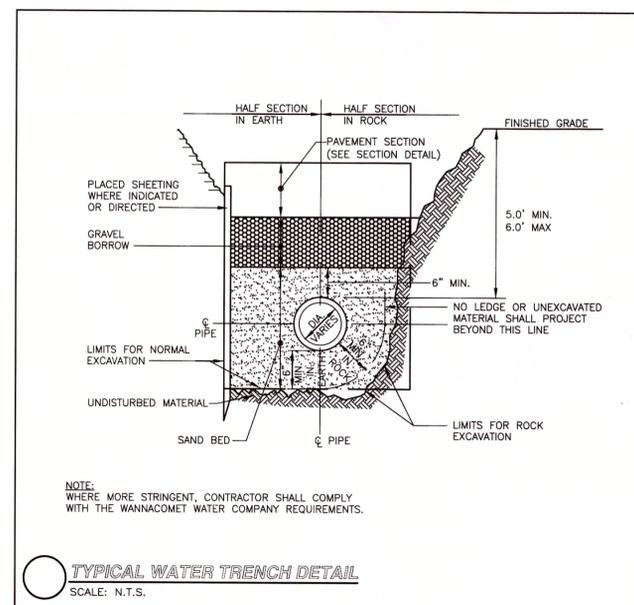
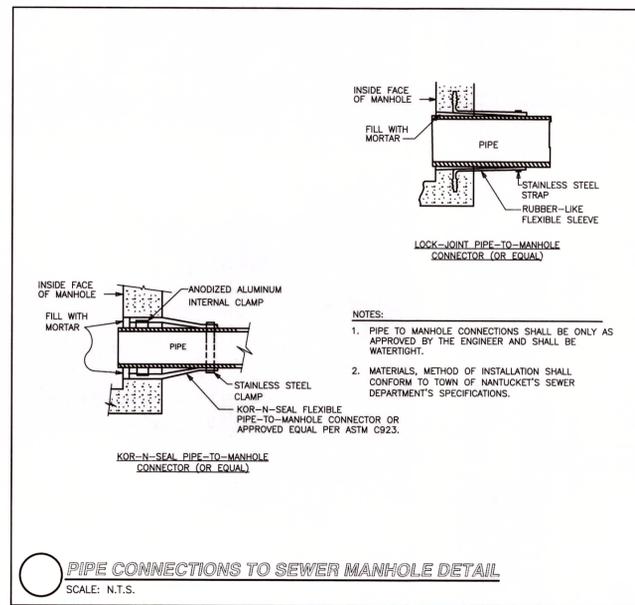
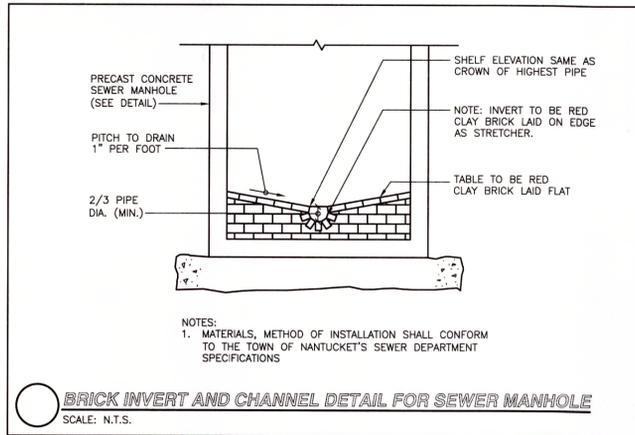
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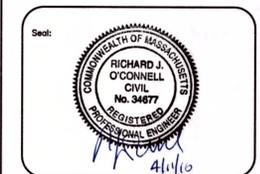
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Drawing Name:
UTILITY DETAILS

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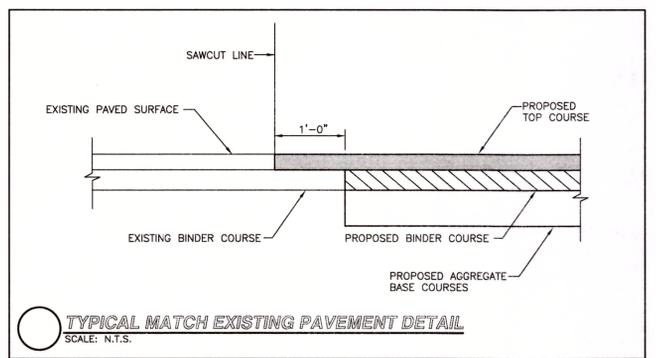
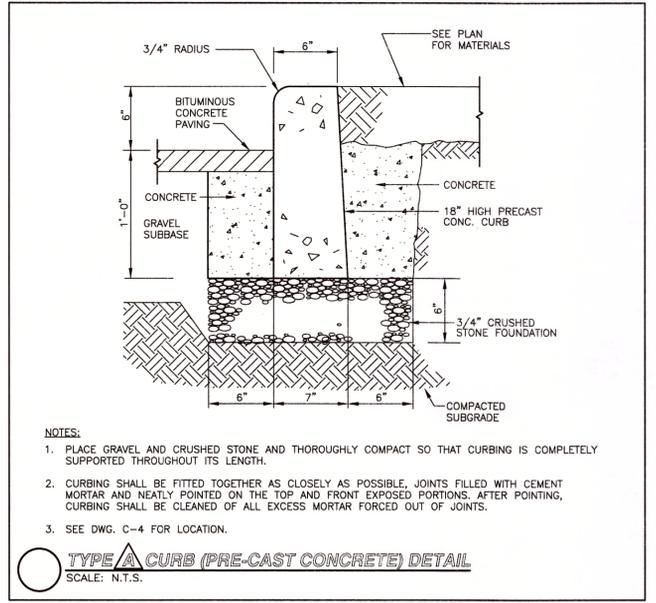
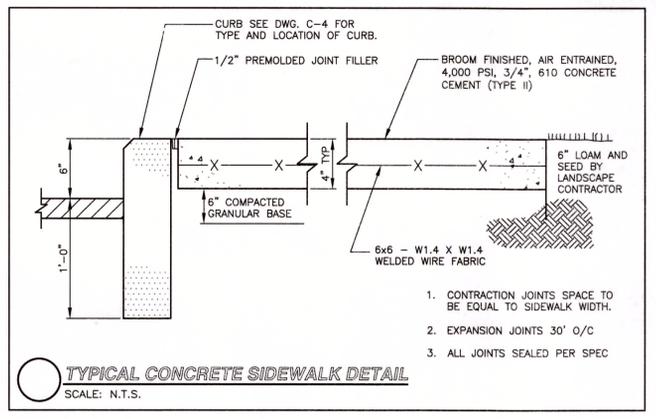
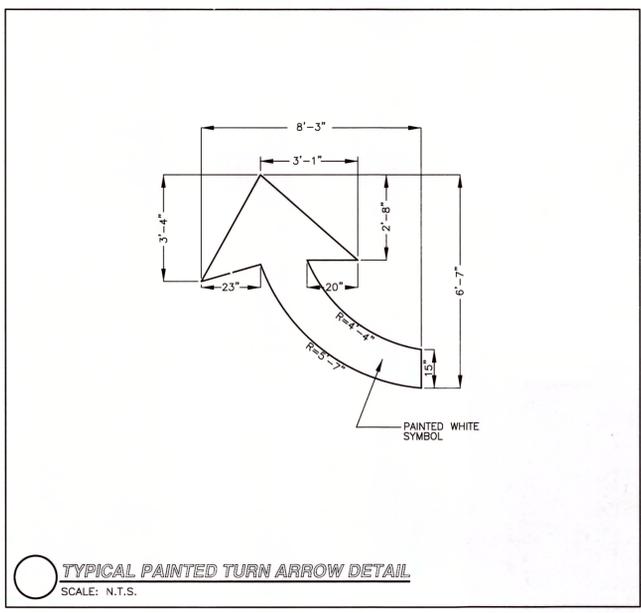
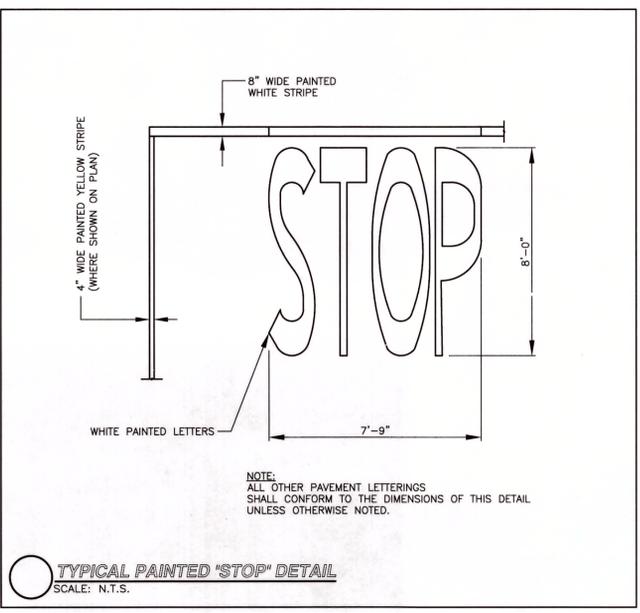
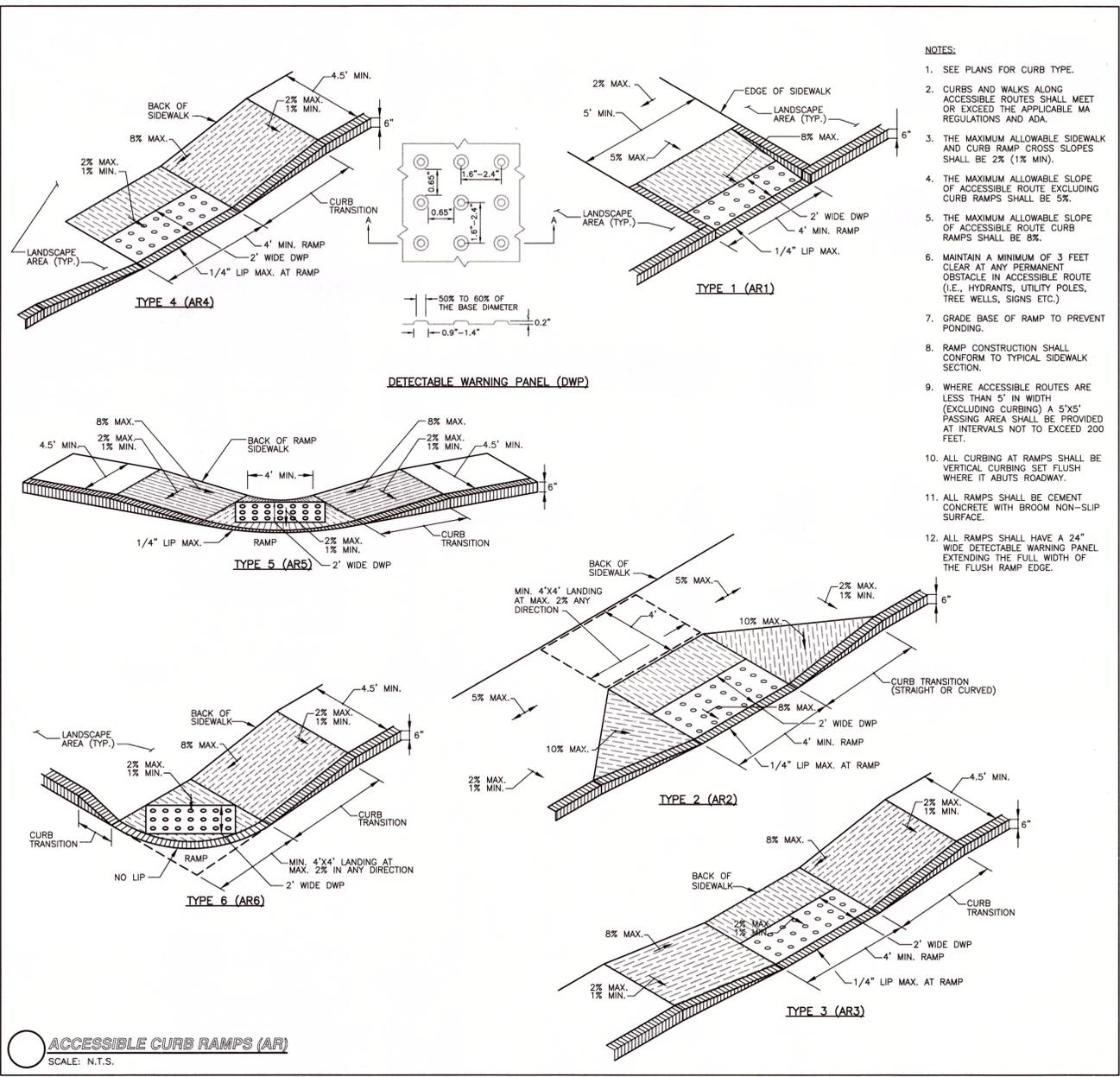
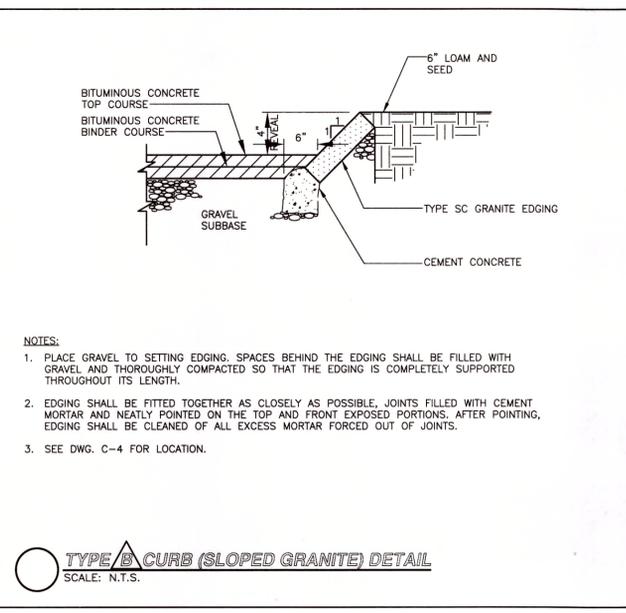
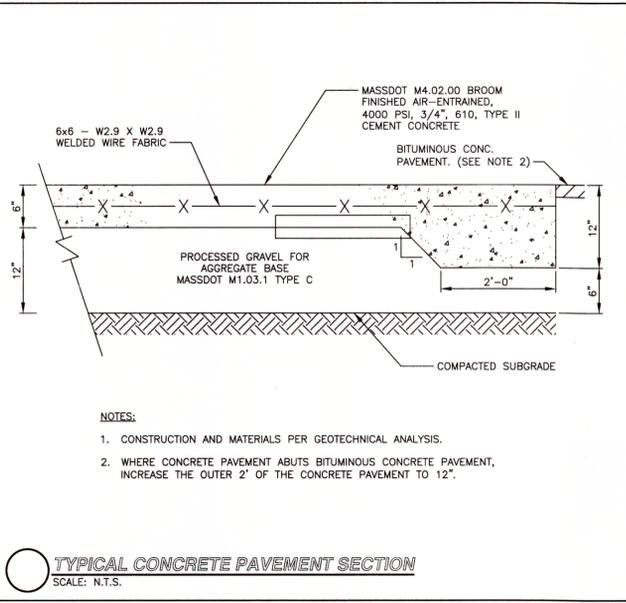
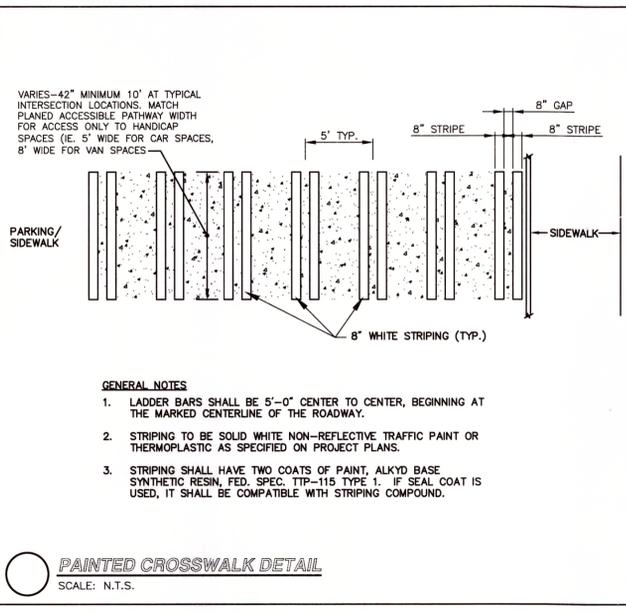
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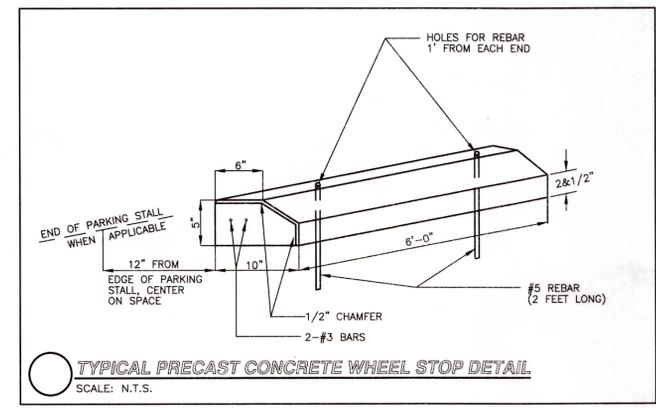
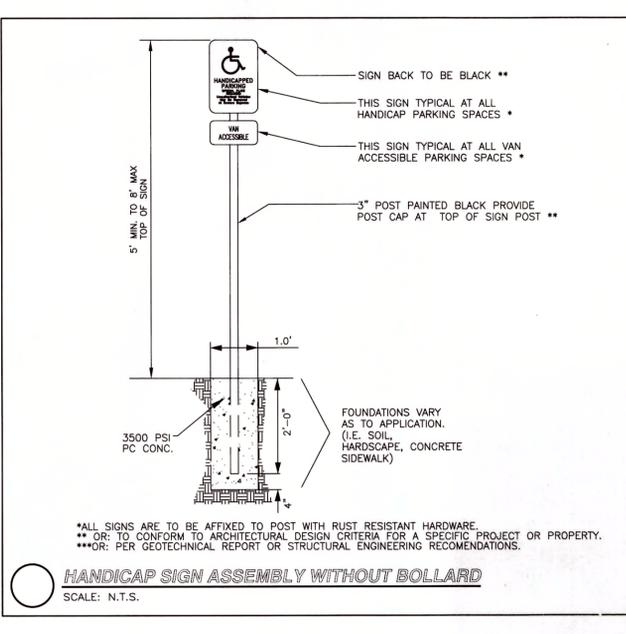
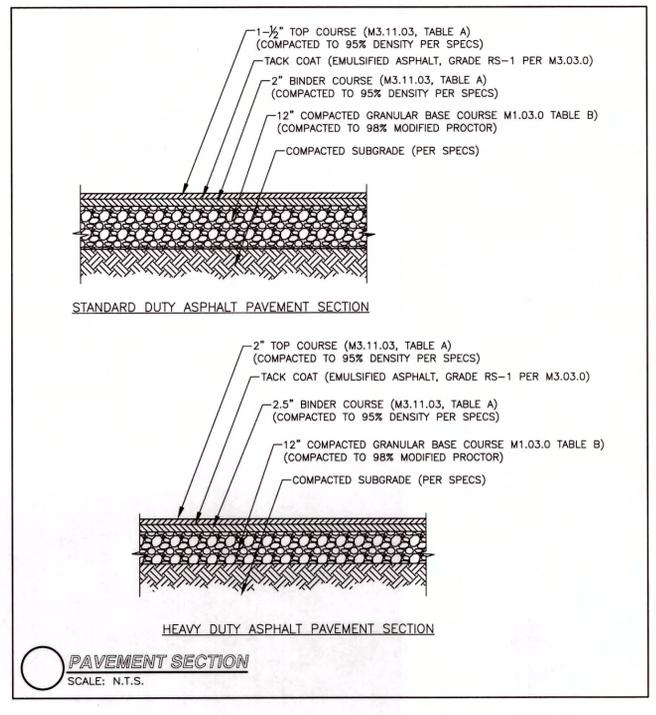
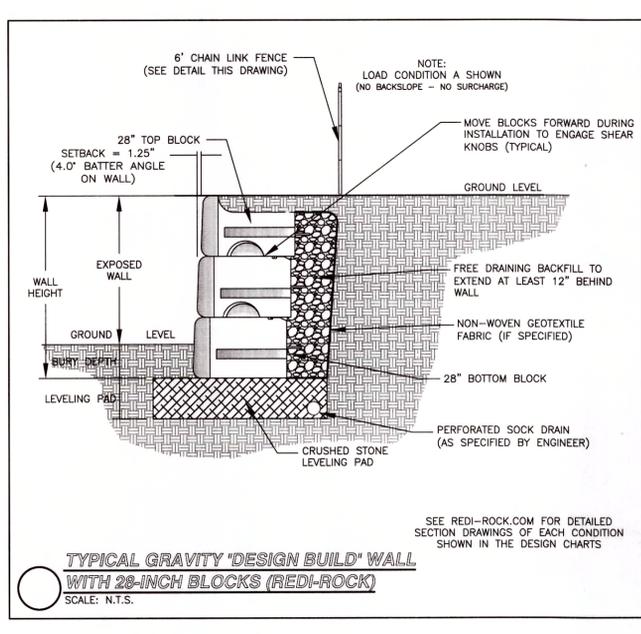
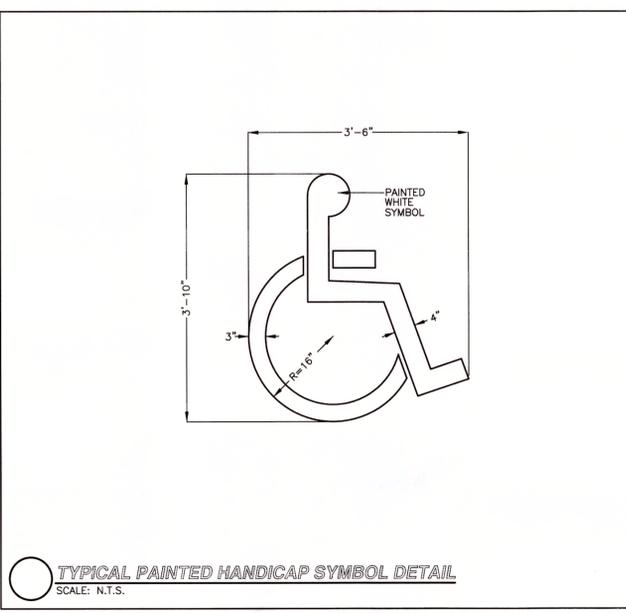
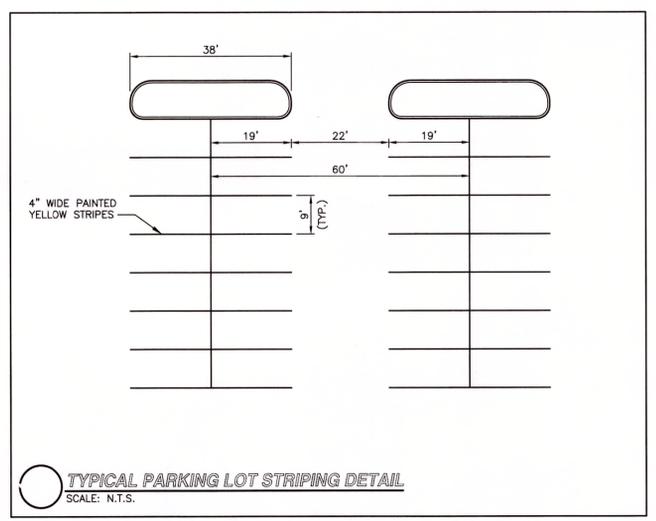
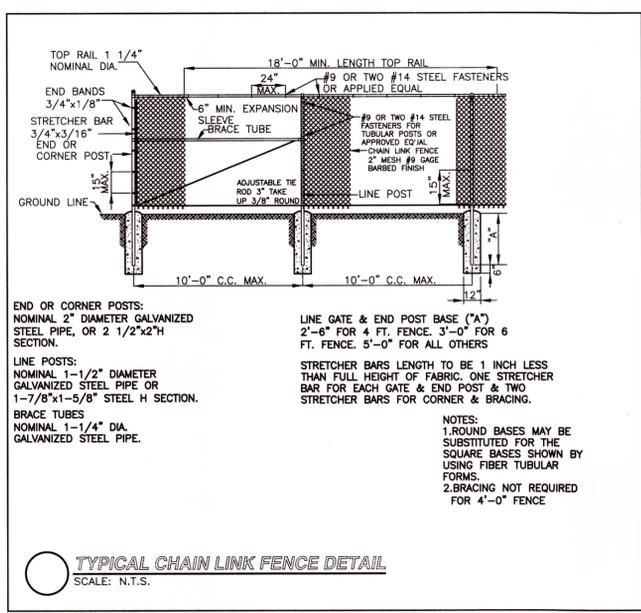
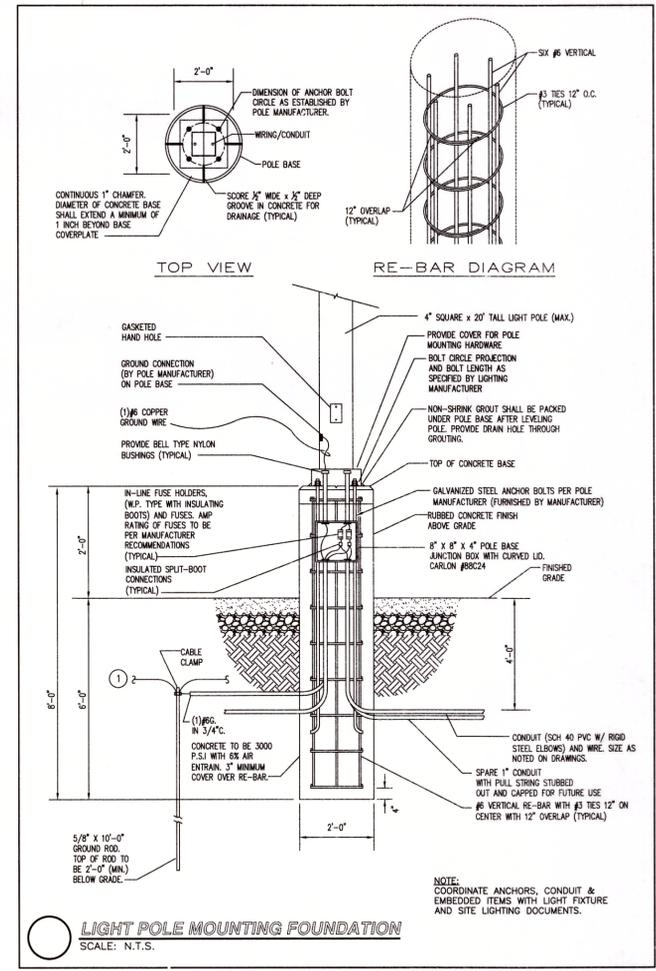
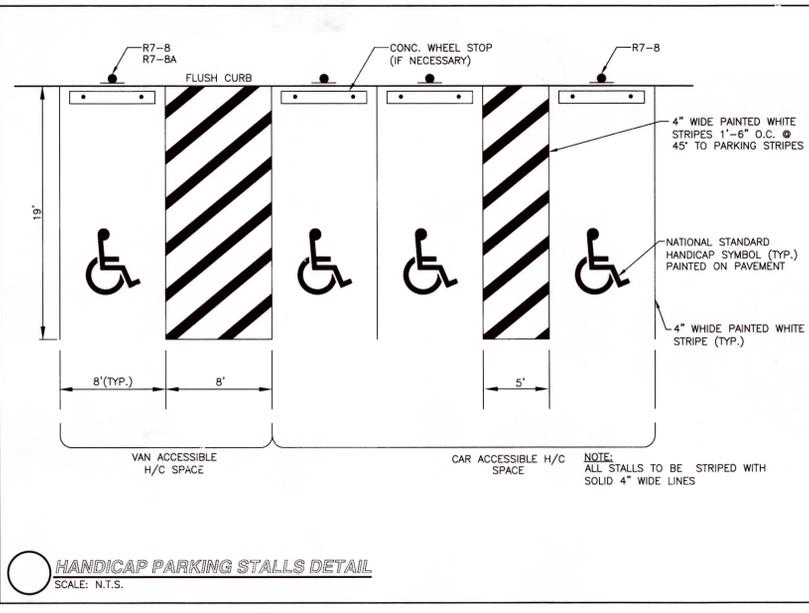
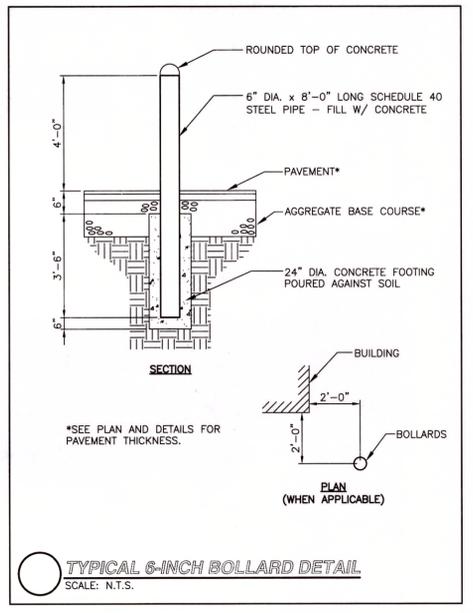
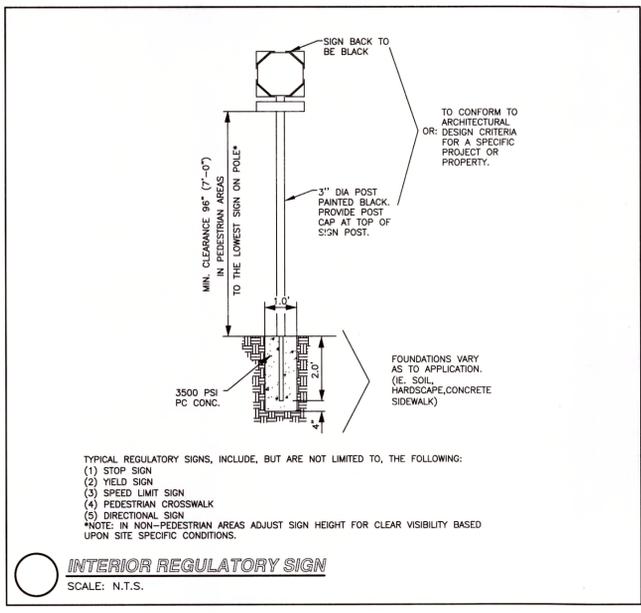
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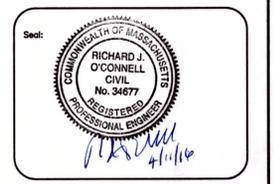
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Drawing Name:
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Project No.: 13081

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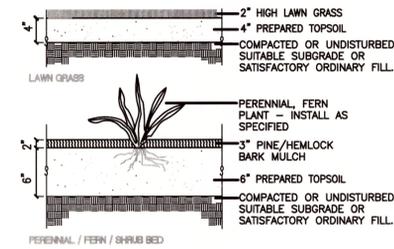
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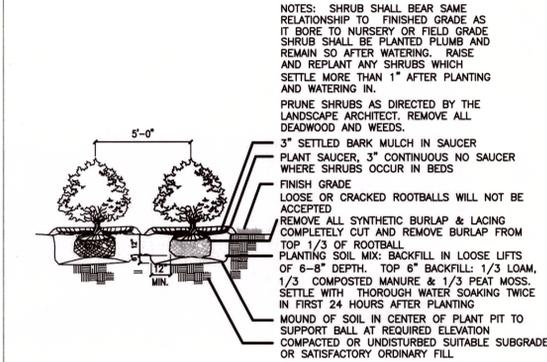
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FOR OVERALL PLANT MATERIAL LIST / INFORMATION SEE SHEET L-1 FOR ADDITIONAL LANDSCAPE DETAILS SEE SHEET L-3



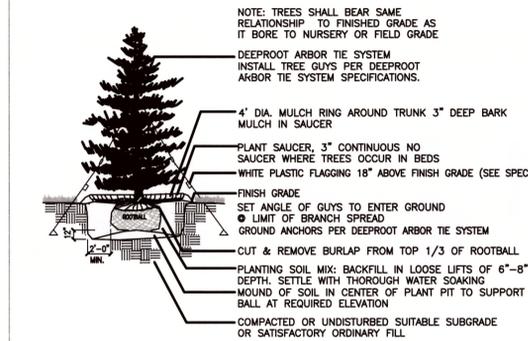
1 PERENNIAL & LAWN GRASS
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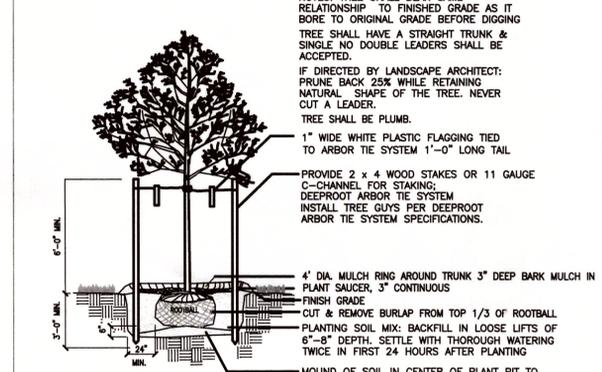
2 TYPICAL SHRUB PLANTING
SCALE: N.T.S.

NOTE: INCORPORATE HYDROGEL (VITERRA GELSCAPE OR APPROVED EQUAL) AND A FERTILIZER (DRY-ROOTS) AND LIMESTONE (SUPERPHOSPHATE) INTO THE PLANTING MIX DURING THE MIXING PROCESS AT A RATE RECOMMENDED BY THE SOILS TESTING LABORATORY & HYDROGEL MANUFACTURER TO INSURE GOOD GROWTH. PLANTING MIX FOR PLANTS SHALL BE USED WHERE SHOWN ON THE DRAWINGS AND HEREIN SPECIFIED (TREES & SHRUBS PH'S).

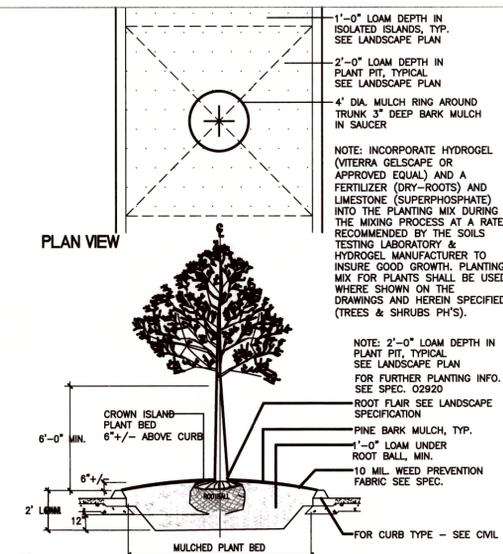


3 EVERGREEN TREE PLANTING
SCALE: N.T.S.

NOTE: INCORPORATE HYDROGEL (VITERRA GELSCAPE OR APPROVED EQUAL) AND A FERTILIZER (DRY-ROOTS) AND LIMESTONE (SUPERPHOSPHATE) INTO THE PLANTING MIX DURING THE MIXING PROCESS AT A RATE RECOMMENDED BY THE SOILS TESTING LABORATORY & HYDROGEL MANUFACTURER TO INSURE GOOD GROWTH. PLANTING MIX FOR PLANTS SHALL BE USED WHERE SHOWN ON THE DRAWINGS AND HEREIN SPECIFIED (TREES & SHRUBS PH'S).

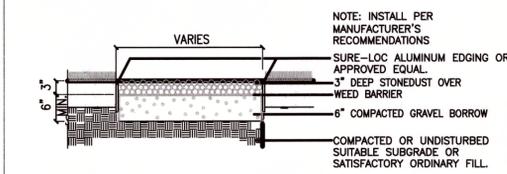


4 DECIDUOUS TREE PLANTING AND STAKING
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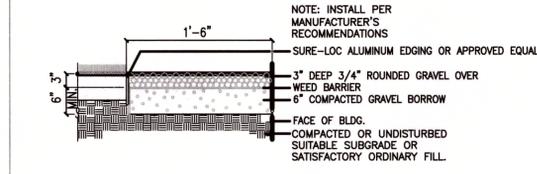
5 TYPICAL ISOLATED LOAM DEPTHS
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NOTE: INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.



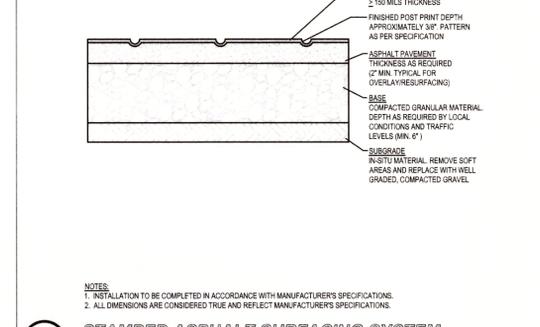
6 STONEDUST WALKWAY W/ ALUMINUM EDGE
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NOTE: INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.



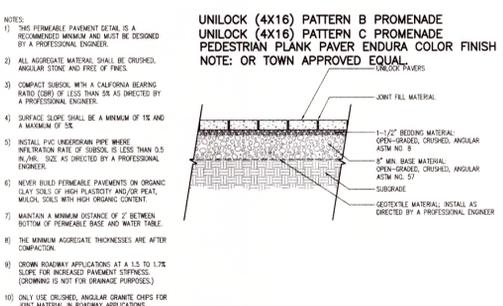
7 ALUMINUM EDGE W/ GRAVEL DRIP STRIP
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NOTE: INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.



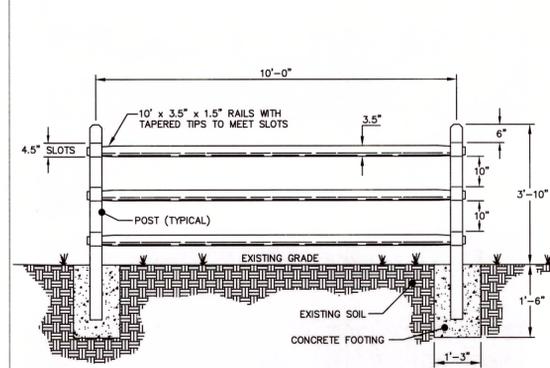
8 STAMPED ASPHALT SURFACING SYSTEM
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NOTE: INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.



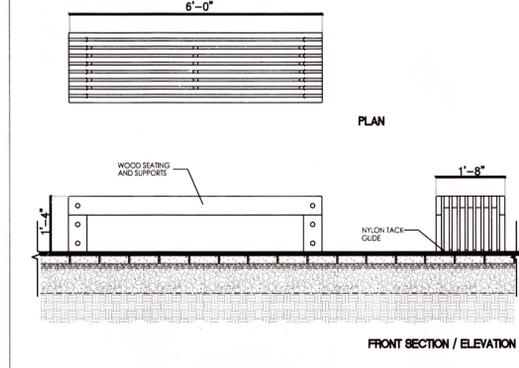
9 PEDESTRIAN PLANK PAVER DETAIL
SCALE: N.T.S.

NOTES: 1) END POST SHALL BE TERMINAL POST. NOTE: FENCE TO BE STAINED W/ BLEACHING OIL TO WEATHER, TYP. 3'-10" NANTUCKET (3) SPLIT RAIL CEDAR FENCE OR TOWN APPROVED EQUAL.



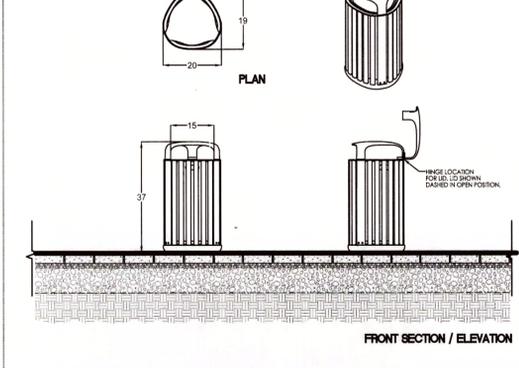
10 NATURAL CEDAR (3) SPLIT RAIL FENCING DETAIL
SCALE: N.T.S.

landscape forms • NOTE: INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. Palisade Bench, 72", Free-standing, Backless NOTE: OR TOWN APPROVED EQUAL.



11 LANDSCAPE FORMS 6'-0" LONG PALISADE BENCH
SCALE: N.T.S.

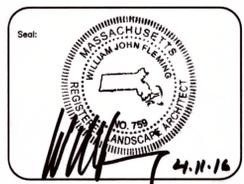
landscape forms • NOTE: INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. FGP Side opening litter receptacle, wood NOTE: OR TOWN APPROVED EQUAL.



12 LANDSCAPE FORMS FGP TRASH RECEPTACLE
SCALE: N.T.S.

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Drawn by: WJF
Checked by: WJF
Scale: AS NOTED
Date: 04/11/2016

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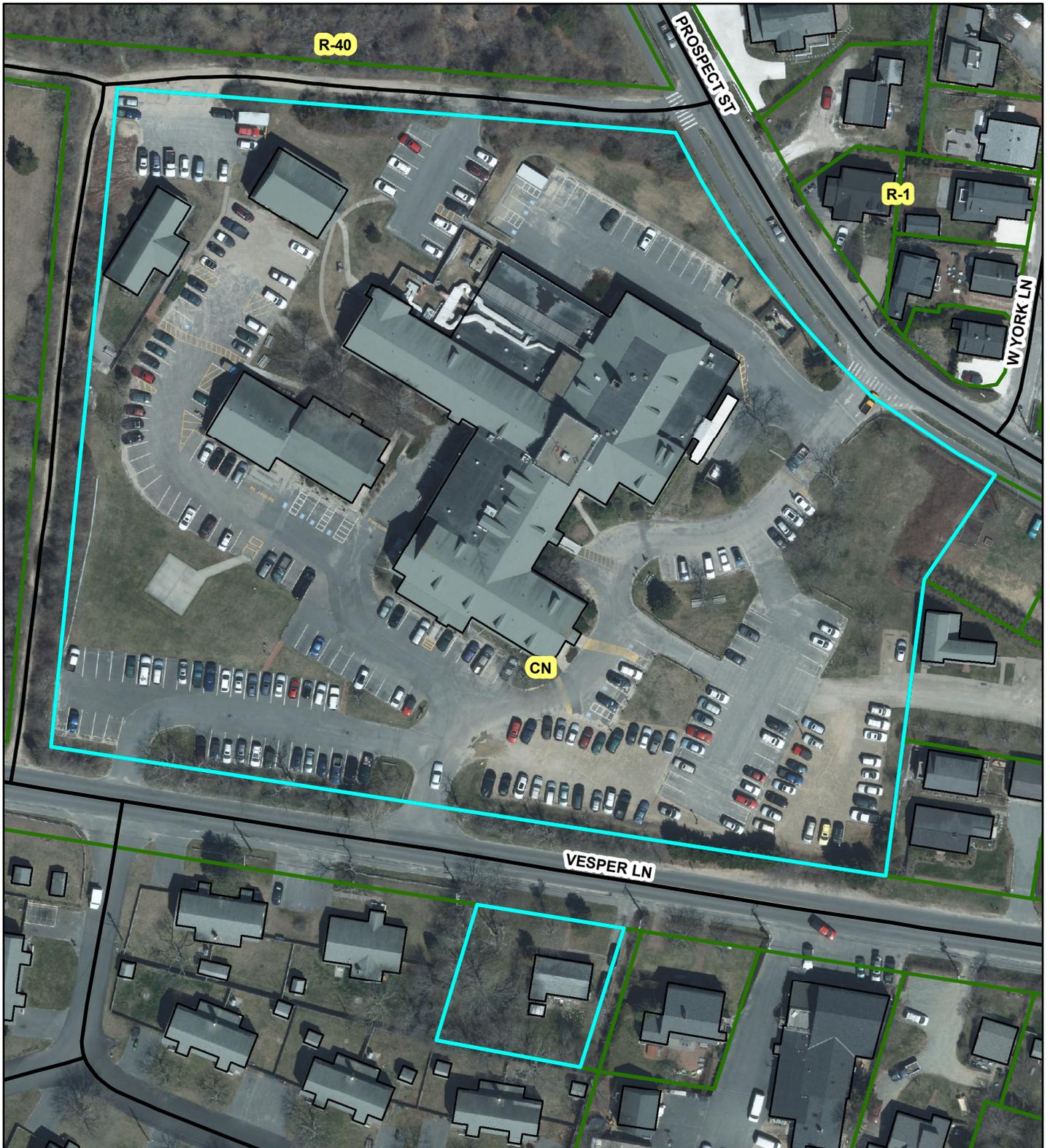
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NEW NANTUCKET COTTAGE HOSPITAL NANTUCKET, MA

Drawing Name:
LANDSCAPE DETAILS

Drawing No.:
L-2
Project No.: 13081



#25-16 Site Plan Review
Nantucket Cottage Hospital
57 & 59 South Prospect Street and 10 Vesper Lane
Map 55 Parcel 3, 130, 249 & 805



Stormwater Report

**Nantucket Cottage Hospital
57 South Prospect Street
Nantucket, MA 02554**

Prepared for:

**Nantucket Cottage Hospital
57 South Prospect Street
Nantucket, MA 02554**

Prepared by:

**R.J. O'Connell & Associates, Inc.
80 Montvale Ave, Suite 201
Stoneham, MA 02180**

Date:

April 11, 2016



Richard J. O'Connell
4/11/16

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I. STORMWATER REPORT NARRATIVE

1.0 Introduction

R.J. O’Connell & Associates, Inc. (RJOC) has prepared this stormwater report on behalf of Nantucket Cottage Hospital for the proposed redevelopment of the Nantucket Cottage Hospital located at 57 South Prospect Street in Nantucket, Massachusetts (refer to Figure 1, “USGS Map”). This study uses the computer program HydroCAD, version 10.00 based on the Natural Resources Conservation Service (NRCS), formerly the Soil Conservation Service (SCS) TR-20 Computer Program for Project Formulation Hydrology, to model existing and proposed hydrologic site conditions. The study presents a comparative analysis of pre-redevelopment hydrologic conditions to post-redevelopment conditions and demonstrates that the proposed condition will be a significant improvement over the existing stormwater management condition.

2.0 Site Location and Description

The proposed project is located on a 6.25 acre parcel of land located at 57 South Prospect Street and 59 South Prospect Street in Nantucket, Massachusetts. The site is bounded by South Prospect Street and Surfside Road on the east, Vesper Lane on the south, an undeveloped parcel and Mill Hill Cemetery on the west, and Mill Hill Park on the north. Currently located on the site is the 3-story Nantucket Cottage Hospital, a 1-story medical office building, a 1-story Founder’s Building, and a 2-story dormitory building. Also located on-site are approximately 250 paved parking spaces for patients, visitors, and staff. Stormwater runoff along the north and west side of the property is collected in catch basins that discharge either to leaching dry wells or a subsurface infiltration system in the southwest corner of the site. Runoff from the east side of the site sheet flows overland to a surface retention basin in the eastern corner of the property. Most stormwater runoff is retained on-site.

The proposed project also includes work to be done on the parcel at 10 Vesper Lane, which is also owned by the Nantucket Cottage Hospital. This parcel is bounded by Vesper Lane on the north, a residential home on the east, and U.S. Coast Guard apartment housing on the south and west. There is currently a 1-story residential building on the site. There are no drainage structures on the parcel, and the stormwater runoff flows into the Town’s drainage system in Vesper Lane.

3.0 Proposed Project

The proposed project consists of the construction of a new 2-story, ±106,605 square foot hospital to replace the existing Nantucket Cottage Hospital. Parking areas will be reconfigured and reconstructed to accommodate approximately 230 vehicles and the existing helipad will be relocated. New utilities, including water, sanitary sewer, electric, and telephone will be provided to serve the proposed facility. South Prospect Street will be widened to accommodate a left hand turn lane into the site, which requires land from the hospital and a reconfiguration of the right-of-way. Construction will be phased to enable the existing hospital building to remain operational during construction of the new hospital. The existing dormitory will be demolished, and the Founder’s Building and medical office buildings will be relocated prior to construction.

The proposed work on 10 Vesper Lane includes the relocation or demolition of the existing building. Once that building has been removed, the 1-story Founder’s Building from 57 South Prospect Street will be relocated to 10 Vesper Lane.

A stormwater management system has been designed that will improve upon current stormwater runoff conditions, both in terms of peak flow control and water quality. The stormwater system is consistent with the objectives of the Massachusetts Stormwater Management Policy and all the standards for an undeveloped site. Runoff control, water quality improvement, and groundwater recharge will be accomplished by implementing the following drainage improvements:

- Collect storm runoff in catch basins with deep sumps and hooded outlets;
- Construct StormTech subsurface infiltration systems designed with Isolator Rows to remove 80% TSS for the 1-inch water quality volume storm event. Runoff exceeding the 1-inch water quality storm is directed to a StormTech chamber system to be temporarily retained and slowly infiltrated into the ground, thereby reducing the peak rates and volume of runoff discharged from the site;
- Implement a Stormwater Pollution Prevention Plan (SWPPP) to control erosion sedimentation and other construction related impacts in accordance with the requirements of the EPA's NPDES Construction General Permit for Discharges from Construction Activities;
- Implement an Operation and Maintenance Plan (O&M) for the proposed stormwater management system that describes the various components of the system, identifies inspection and maintenance tasks, and provides a schedule to follow, which will ensure the proper long-term performance of the system;
- Implement a Long Term Pollution Prevention Plan (LTPPP) to prevent illicit discharges to the stormwater management system.

The proposed stormwater management measures described above will have no adverse impacts to adjacent properties. Runoff quantity will be reduced, water quality enhanced, and existing conditions improved, resulting in an overall benefit to the surrounding area.

4.0 Compliance with MassDEP Stormwater Handbook

This redevelopment program includes a stormwater management system that will collect, pre-treat, treat, and reduce stormwater runoff in conformance with MassDEP's Stormwater Management Policy. According to Standard 7 in the Massachusetts Stormwater Handbook, a redevelopment project is defined as follows:

- *Development, rehabilitation, expansion and phased projects on previously developed sites, provided the redevelopment results in no net increase in impervious area.*

As a redevelopment project, the portion of the site previously developed is required to meet Standards 2 through 6 to the maximum extent practicable, and shall fully comply with Standards 1, 8, 9 and 10. This redevelopment program results in a net increase in impervious area. To that extent, stormwater Best Management Practices (BMPs) have been incorporated into the design so that the entire site complies fully with all the Stormwater Management Standards as if the site was previously undeveloped.

Standard 1: No new stormwater conveyances may discharge untreated stormwater directly to or cause erosion in wetlands or waters of the Commonwealth.

Stormwater runoff from paved surface parking areas will be collected in deep sump catch basins with hooded outlets and directed to StormTech Isolator Rows for treatment of 1-inch of runoff from impervious areas prior to retention and infiltration in the chamber systems. These systems will be designed to hold and infiltrate runoff from the 25-year storm event. No new stormwater conveyances discharging untreated stormwater to wetlands or waters of the Commonwealth are proposed.

Standard 2: Stormwater management systems shall be designed so that post-development peak discharge rates do not exceed pre-development peak discharge rates.

The proposed redevelopment will retain and infiltrate runoff on-site from all storms up to and including the 25-year event, which will result in a net decrease in peak rates of runoff discharged from the site under post-redevelopment conditions compared to pre-redevelopment rates.

Standard 3: Loss of annual recharge to groundwater shall be eliminated or minimized through the use of infiltration measures including environmentally sensitive site design, low impact development techniques, stormwater best management practices, and good operation and maintenance. At a minimum, the annual recharge from the post-development site shall approximate the annual recharge from pre-development conditions based on soil type. This standard is met when the stormwater management system is designed to infiltrate the required recharge volume as determine in accordance with the Massachusetts Stormwater Handbook.

Groundwater recharge will be increased through the use of subsurface infiltration systems sized to retain and infiltrate runoff from roofs and paved surfaces up to and including the 25-year storm event.

Standard 4: Stormwater management systems shall be designed to remove 80% of the average annual post-construction load of Total Suspended Solids (TSS).

A redevelopment project is required to meet the pretreatment requirements of Standard 4 (44% TSS removal). Runoff from paved surface parking areas will be collected in catch basins with deep sumps and hooded outlets, and will be directed to StormTech Isolator Rows designed for 80% TSS removal from the 1-inch of runoff from impervious areas of the post-redeveloped project. Any runoff exceeding 1-inch will bypass the Isolator Rows to be retained and infiltrated by the chamber systems.

Standard 5: For land uses with higher potential pollutant loads, source control and pollution prevention shall be implemented in accordance with the Massachusetts Stormwater Handbook to eliminate or reduce the discharge of stormwater runoff from such land uses to the maximum extent practicable.

The project is classified as a land use with higher pollutant loads (LUHPPL) due to having a parking lot with high intensity use. Stormwater Best Management Practices (BMPs) have been selected that MassDEP has determined suitable for pre-treating and treating runoff from such land uses, including catch basins with deep sumps and hooded outlets and StormTech subsurface

infiltration systems with Isolator Rows. As a result, discharge of stormwater with high pollutant loads will be significantly reduced.

Standard 6: Stormwater discharges within the Zone II or Interim Wellhead Protection Area of a public water supply, and stormwater discharges near or to any other critical area, require the use of the specific source control and pollution prevention measures and the specific structural stormwater best management practices determined by the Department to be suitable for managing discharges to such areas, as provided in the Massachusetts Stormwater Handbook.

A portion of the site is located within a Zone II of a public water supply. Specific structural, stormwater best management practices suitable for managing and treating discharges to this area have been provided.

Standard 7: A redevelopment project is required to meet the following Stormwater Management Standards only to the maximum extent practicable: Standard 2, Standard 3, and the pre-treatment and structural best management practice requirements of Standards 4, 5, and 6. Existing stormwater discharges shall comply with Standard 1 only to the maximum extent practicable. A redevelopment project shall also comply with all other requirements of the Stormwater Management Standards and improve existing conditions.

Most of this project qualifies as a redevelopment project. Although there is an increase in impervious area, stormwater BMPs have been designed so that, not only the increased impervious area, but the entire site complies with all the Stormwater Management Standards.

Standard 8: A plan to control construction-related impacts including erosion, sedimentation and other pollutant sources during construction and land disturbance activities (construction period erosion, sedimentations, and pollution prevention plan) shall be developed and implemented.

A Stormwater Pollution Prevention Plan (SWPPP) to control erosion, sedimentation and other pollutant sources, and prevent erosion and sediment from moving off-site during construction and land disturbance activities has been developed for this project, and can be found in Appendix E. The SWPPP is preliminary, and subject to change. It will be finalized before construction commences. Erosion and Sediment Control Plans are included in the site plan set.

Standard 9: A long-term operation and maintenance plan shall be developed and implemented to ensure that stormwater management systems function as designed.

An Operation and Maintenance Plan (O&M) has been developed and can be found in Appendix F. It will be implemented to ensure the long term, post-construction operation of the stormwater management system.

Standard 10: All illicit discharges to the stormwater management system are prohibited.

An illicit discharge compliance statement is included in the Operation and Maintenance Plan (O&M; refer to Appendix F).

TRANSPORTATION IMPACT ASSESSMENT

NANTUCKET COTTAGE HOSPITAL MODERNIZATION NANTUCKET, MASSACHUSETTS

Prepared for:



December 2015

Prepared by:

VANASSE & ASSOCIATES, INC.
35 New England Business Center Drive, Suite 140
Andover, MA 01810
(978) 474-8800
www.rdva.com



35 New England Business Center
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Suite 140
Andover, MA 01810-1066
Office 978-474-8800
Fax 978-688-6508
Web: www.rdva.com

Dear Reviewer:

This letter shall certify that this *Transportation Impact Assessment* has been prepared under my direct supervision and responsible charge. I am a Registered Professional Engineer (P.E.) in the Commonwealth of Massachusetts (Massachusetts P.E. No. 38871, Civil) and hold Certification as a Professional Traffic Operations Engineer (PTOE) from the Transportation Professional Certification Board, Inc. of the Institute of Transportation Engineers (ITE) (PTOE Certificate No. 993). I am also a Fellow of the Institute of Transportation Engineers (FITE).

Sincerely,

VANASSE & ASSOCIATES, INC.

Jeffrey S. Dirk, P.E., PTOE, FITE
Principal

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2	Nantucket Cottage Hospital Modernization Project Traffic Volume Summary
3	Peak-Hour Traffic-Volume Increases
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EXECUTIVE SUMMARY

Vanasse & Associates, Inc. (VAI) has conducted a Transportation Impact Assessment (TIA) in order to determine the potential impacts on the transportation infrastructure associated with the proposed reconstruction and modernization of the Nantucket Cottage Hospital located at 57 South Prospect Street in Nantucket, Massachusetts (hereafter referred to as the “Project”). This study was prepared in consultation with the Town of Nantucket and the Massachusetts Department of Transportation (MassDOT); was performed in accordance with MassDOT’s *Transportation Impact Assessment (TIA) Guidelines* and the requirements of the Nantucket Planning & Economic Development Commission; and was conducted pursuant to the standards of the Traffic Engineering and Transportation Planning professions for the preparation of such reports. Based on this assessment, we have concluded the following with respect to the Project:

1. At the completion of the Project, the hospital campus is expected to generate approximately 1,166 vehicle trips on an average weekday (two-way, 24-hour volume), or an increase of 126 vehicle trips over the current volume of traffic generated by the hospital, with 180 vehicle trips expected during the weekday morning peak-hour and 158 vehicle trips expected during the weekday evening peak-hour, both of which represent an increase of 23 vehicle trips over the current volume of traffic generated by the hospital during the weekday peak hours. Increased visitations during the peak summer months may increase the peak-hour traffic volume projections for the hospital campus by between 40 and 50 vehicle trips over average-month conditions, with the daily traffic volume projection increasing by approximately 320 vehicle trips;
2. The addition of Project-related traffic to the study area intersections was not shown to result in a significant impact on operating conditions (motorist delays or vehicle queuing) at the study intersections over anticipated future conditions without the Project (No-Build average or peak-month conditions). Under average-month traffic conditions, the addition of Project-related traffic was shown to result in a degradation in level-of-service at only one (1) of the six (6) study area intersections; under peak-month traffic conditions, no intersections were shown to experience a degradation in level-of-service as a result of the Project;
3. No apparent safety deficiencies were noted with respect to the motor vehicle crash history at the study intersections; and
4. Lines of sight at the Project site driveway intersections with South Prospect Street and Vesper Lane were found to exceed or could be made to exceed the required minimum sight distance for the appropriate design speed along the intersecting roadways, excepting a slight

limitation at the north Project site driveway on South Prospect Street which can be addressed with the installation of an advance warning sign (discussion follows).

Based on the above, we have concluded that the Project can be accommodated within the confines of the existing transportation infrastructure in a safe and efficient manner with implementation of the recommendations that follow.

RECOMMENDATIONS

A detailed transportation improvement program has been developed that is designed to provide safe and efficient access to the Project site and address any deficiencies identified at off-site locations evaluated in conjunction with this study. The following improvements have been recommended as a part of this evaluation and, where applicable, will be completed in conjunction with the Project subject to receipt of all necessary rights, permits, and approvals.

Project Access

Access to the Project site will be provided by way of four (4) driveways as follows: two (2) driveways that will intersect the north side of Vesper Lane consisting of an east driveway that will be located approximately 240 feet west of Surfside Road and will serve the primary parking field for the Project, and a west driveway that will be situated parallel to the west property line at the location of an existing gravel road and will serve the loading area for the reconstructed hospital building and as a connection to the northern access road within the campus; two (2) driveways that will intersect the west side of South Prospect Street consisting of a south driveway that will be located approximately 160 feet north of West York Lane and will serve as the primary entrance to the campus, and a north driveway that will be situated parallel to the north property line at the location of an existing gravel road and will serve the patient drop-off/pick-up area and the emergency room, with continuing access to the loading area and the west access to Vesper Lane. The existing driveways that serve the campus will be closed or modified as described above in conjunction with the Project. The following recommendations are offered with respect to affording safe and efficient access to the Project site:

- The primary access to the Project site will be from the South Prospect Street south driveway which should provide two (2) exiting travel lanes (separate left and right-turn lanes) and a single entering travel lane separated by a double-yellow centerline or raised median, with a left-turn lane provided on the South Prospect Street northbound approach. Vehicles exiting the primary Project site driveway should be placed under STOP-sign control with a marked STOP-line provided.
- The remaining Project site driveways should be 24-feet in width and accommodate one entering and one exiting travel lane, with vehicles exiting the Project site placed under STOP-sign control with a marked STOP-line provided.
- The South Prospect Street Project site driveways should be designed to incorporate the multi-use path crossing of the driveways in a safe manner, ensuring that clear sight lines are provided to and from the path for motorists, pedestrians and bicyclists (additional recommendations follow).
- All signs and pavement markings to be installed within the Project site shall conform to the applicable standards of the *Manual on Uniform Traffic Control Devices (MUTCD)*.¹

¹*Manual on Uniform Traffic Control Devices (MUTCD)*; Federal Highway Administration; Washington, D.C.; 2009.

- Sidewalks and crossings compliant with the Americans with Disabilities Act (ADA) should be provided within the Project site linking the proposed buildings and other amenities to the existing sidewalk infrastructure along Vesper Lane and South Prospect Street.
- Signs and landscaping along the roadways internal to the Project site and at the Project site driveway intersections with Vesper Lane and South Prospect Street should be designed and maintained so as not to restrict lines of sight.
- The existing split-rail fence along the Project site frontage on South Prospect Street should be relocated within the site so as to afford the required sight lines along South Prospect Street to and from the Project site driveways. In addition, a sign indicating “Hospital Entrance Ahead” should be installed on South Prospect Street approximately 100 feet south of the north Project site driveway.
- Existing vegetation located along the north side of Vesper Lane and adjacent to the Project site driveways should be trimmed and/or removed in order to provide the required lines of sight along Vesper Lane to and from the Project site driveways.

Off-Site Improvement Measures

Sparks Avenue at Surfside Road, Atlantic Avenue and South Prospect Street (a.k.a. Four Corners)

One or more approaches to this off-set, four-legged, unsignalized intersection were shown to be operating at an overall level-of-service (LOS) “D” during the peak hours under 2015 Existing peak-month traffic volume conditions, conditions that, absent improvements, are expected to degrade in the future independent of the Project. Recognizing these deficiencies, the Town undertook a detailed analysis of improvement strategies for the intersection that included: three (3) roundabout alternatives; installation of the traffic control signal; all-way STOP-sign control; and realignment of the approaches to the intersection. As a result of this evaluation, it was recommended that the intersection be reconstructed as a modern roundabout with a 100-foot diameter center island, and that a right-turn slip-ramp be provided for motorists travelling between Surfside Road northbound and Sparks Avenue eastbound. These improvements were included in the *Draft Nantucket Regional Transportation Plan 2016-2040*.² It was identified that the implementation of these improvements would require the acquisition of private property by the Town and the relocation or modification of one or more structures. With the reconstruction of the intersection as a modern roundabout as defined above, the improved intersection was shown to operate at LOS “A” under both average and peak-month conditions with no movement operating below LOS “C”.

Recognizing the importance of this intersection in providing access to the Project and the residences and businesses in the area, and the relatively minor impact of the Project on overall operating conditions at the intersection, the Project proponent will work with the Town to advance the design and reconstruction of the Four Corners intersection as a modern roundabout. This effort will include the preparation of design plans for the improvements, up to and including the MassDOT 100 Percent Design/Project Specifications and Estimate (PS&E) design level, and all required supporting documentation for the Town to apply for State funding for the reconstruction of the intersection.

²*Draft Nantucket Regional Transportation Plan 2016 – 2040*; Nantucket Planning and Economic Development Commission; 2015.

Surfside Road at Vesper Lane and the Nantucket High School Driveway

All movements from the Vesper Lane approach to Surfside Road were shown to be operating at or over capacity (defined as LOS “E” or “F”, respectively) during the peak hours under 2015 Existing peak-month traffic volume conditions. Absent improvements, these operating conditions are predicted to further degrade in the future independent of the Project. A review of the motor vehicle crash history at the intersection did not indicate an inherent safety deficiency. Given the proximity of this intersection to the Four Corners intersection, it is expected that the aforementioned improvements that are contemplated at Four Corners will extend to and include improvements at the Surfside Road/Vesper Lane/Nantucket High School Driveway intersection. The improvements at Four Corners will provide operational benefits at the Surfside Road/Vesper Lane/Nantucket High School Driveway intersection by: i) reducing vehicle travel speeds approaching the intersection along Surfside Road; and ii) providing additional gaps in the flow of traffic approaching the intersection. In consideration of the Four Corners improvements and the relatively minor impact of the Project at this intersection, no improvements appear to be required to accommodate the relatively minor increase in traffic that is expected as a result of the Project (six (6) additional vehicles during the peak hours).

Pedestrian and Bicycle Improvements

The following pedestrian and bicycle improvements are recommended to provide safe and efficient pedestrian and bicycle access to the Project site:

- The South Prospect Street Project-site driveways and the associated multi-use path crossings will be constructed to provide enhanced safety for pedestrians and bicyclists crossing the driveways. These measures include: i) ensuring that sight lines are sufficient to and from the crossing; ii) providing warning signs for both motorists, pedestrians and bicyclists at and in advance of the crossing; and iii) installing pavement markings or using a textured surface to delineate the crossing from the driveway.
- Work with the Town to improve pedestrian and bicycle crossings along South Prospect Street, Vesper Lane and Surfside Road.
- In consultation with the Town, identify an appropriate location to construct a crosswalk across Vesper Lane to link the sidewalks that are to be constructed within the Project site to the sidewalk along the south side of Vesper Lane.

Transportation Demand Management Measures

At present, the Nantucket Regional Transit Authority (NRTA) does not provide bus service to the Project site; however, the NRTA *Mid-Island Loop* and *Miacomet Loop* bus lines travel along Surfside Road and South Prospect Street, respectively, proximate to the hospital. In addition, the Project will be connected to existing and proposed pedestrian and bicycle facilities in the area. These amenities provide opportunities to reduce automobile trips associated with the Project. In an effort to reduce the overall number of automobile trips in the area and to integrate the Project into the available transportation resources, the following Transportation Demand Management (TDM) measures will be implemented as a part of the Project:

- Assign a full-time, on-site Transportation Coordinator which coordinator may have other duties and responsibilities at the Project;

- Post information regarding public transportation services, maps, schedules and fare information in a central location;
- Provide a “commuting alternatives packet” to employees of the Project detailing available public transportation services, bicycle and walking alternatives, and commuter options available through MassRIDES’ and their NuRide program which rewards individuals that choose to walk, bicycle, carpool, vanpool or that use public transportation to travel to and from work;
- Include pedestrian and bicycle accommodations within the Project site including sidewalks and paths linking buildings and on-site parking to sidewalks and bicycle paths along South Prospect Street and Vesper Lane (sidewalks only);
- Work with the Town and the NRTA to construct an NRTA bus stop with shelter within the Project site or along South Prospect Street to accommodate bus service to the Project site;
- Provide preferential parking for alternatively fueled vehicles and for car/vanpools;
- Provide electric vehicle (EV) charging stations in reserved parking spaces, and incorporate infrastructure to allow for future expansion of EV charging stations as demand increases;
- Offer direct deposit for employee paychecks;
- Provide a shower, changing room and locker facility for employees;
- Provide a kitchen facility with a refrigerator and microwave oven for employees;
- To the extent feasible, coordinate employee schedules to be consistent with public transportation schedules;
- Provide a “guaranteed-ride-home” to employees that car/vanpool, use public transportation or that walk/bicycle to work for use in the event of unplanned emergencies that may occur during the workday; and
- Provide secure bicycle parking throughout the hospital campus, including both exterior bicycle racks adjacent to building entrances and weather protected bicycle parking in a secure area.

Traffic Monitoring and Reporting Program

The Project proponent will conduct a post-development traffic monitoring and employee survey program in order to evaluate the success, and to refine the elements, of the TDM program, and to validate the trip projections for the Project. The monitoring program will include:

- i) Obtaining traffic volume information over a continuous seven day, weeklong period at the driveways serving the Project site;
- ii) Performing manual turning movement and vehicle classification counts at the Project site driveway intersections with South Prospect Street and Vesper Lane during the weekday morning (6:00 to 9:00 AM) and evening (3:00 to 6:00 PM) peak hours;
- iii) Evaluating motor vehicle crash data at the Project site driveway intersections with South Prospect Street and Vesper Lane;
- iv) Observing parking occupancy and utilization of car/vanpool spaces, alternatively fueled vehicle spaces and electric vehicle charging stations within the Project site;

- v) Documenting bicycle parking demands for both outside and inside bicycle parking facilities; and
- vi) Conducting an employee survey of commuting modes.

The monitoring program will commence six (6) months after issuance of the first Certificate of Occupancy for the Project and will continue on an annual basis for a period of 2-years thereafter. The results of the monitoring program will be summarized in a report to be provided to the NP&EDC within 2-months after the completion of the data collection effort. The report will document the traffic volumes associated with the Project as occupied at the time that the traffic counts are completed, and use of public transportation resources and alternative modes of transportation to single-occupant vehicles. If the measured traffic volumes exceed the traffic volume projections that form the basis of this assessment by more than 10 percent on a regular and sustained basis during the monitoring period, the Project proponent will identify and undertake corrective measures in conjunction with the appropriate parties and subject to receipt of all necessary rights permits and approvals. These measures may include without limitation:

- Sign and pavement marking installation
- Expansion of the TDM program to provide additional measures and inducements to reduce traffic and parking demands
- Increasing the amount of bicycle parking
- Expanding the number of electric vehicle charging stations, car/vanpool parking spaces and alternatively fueled vehicles if demands equal or exceed the supply provided
- Providing additional on-site amenities to encourage use of public transportation

The identified corrective measures, if any, will be documented in the transportation monitoring and reporting program report, and will identify the appropriate parties responsible for implementation, required approvals, and the timeline for implementation. The status of implementation of the identified improvement measure will be documented in the subsequent monitoring report.

With implementation of the above recommendations, safe and efficient access will be provided to the Project site and the Project can be accommodated within the confines of the existing and improved transportation system.



#26-16 Modification to MCD #3-94
Merlos Landscaping
8B Greklen Ave
Map 68 Parcel 179.1





PLANNING BOARD

FILE # 26-16

Nantucket Planning Board

AMENDMENT TO A PREVIOUSLY GRANTED Application for a Special Permit

Date: 4/19/2016 File #: _____

Name of development: Merlos Landscaping LLC

Owner(s) name(s): Francisco N Merlos

Mailing address: 2 GREGG AVE #391 NANTUCKET MA 02554

Phone number: (508) 246-5297 Fax number: _____ E-mail: _____

Applicant's name: Merlos Landscaping LLC

Mailing address: 29 reglen ave #391 nantucket mas 02554

Phone number: 508-246-5297 Fax number: _____ E-mail: Merloslandscaping@gmail.com

Engineer / surveyor's name: DAN MULLOY

Mailing address: 11 ~~MA~~ CUSHMAN ST MIDDLEBORO MA 02346

Phone number: (508) 967-0673 Fax number: _____ E-mail: dmulloy@site-designeng.com

Location of lot(s):
 Street address 86 Gregglen ave nantucket mas 02554

Tax Assessors Map 68 Parcel 179.1

Nantucket Registry of Deed: Plan Book _____ and Page _____ OR
Plan File # _____ OR Land Court Plan # _____ at Certificate # _____

Size of parcel: _____ sq. ft. Zoning District: _____

- Special Permit sought: (check one)
- Cluster subdivision
 - Commercial WECS
 - Driveway Access/Curb Cut Special Permit
 - Harbor Overlay District (HOD)
 - Major Commercial Development (MCD)



- Multi-family Special Permit
- Moorlands Management District Subdivision or Construction (MMD)
- NEHOD (Neighborhood Employee Housing Overlay District)
- MRD (Major Residential Development)
- MIPOD (Mid-Island Planned Overlay District)
- Other Uses Requiring a Special Permit (specify all uses and *Nantucket Code* sections)

Section	Description
_____	_____
_____	_____
_____	_____
_____	_____

Specify all associated Zoning Code relief sought:

Section	Description
---------	-------------

	MODIFICATION TO PREVIOUSLY GRANTED MCD # 3-94
_____	_____
_____	_____
_____	_____

HEB

Only the zoning relief expressly requested above will be considered as part of this application.

If applying for a Major Commercial Development, specify how the application will comply with Section 139-11 (j) of the *Zoning Code of the Town of Nantucket*, also known as the Town's Affordable Housing Effort:

Planning Board filing fee due: \$ 250

Engineering Inspection Escrow Deposit due: \$ _____

I/ we hereby certify that the applicant(s) cited above have been authorized by me/ us to file a Special Permit application with the Planning Board on property that I/ we own.


Owner(s)' Signature(s)


Applicant's Signature

I/we FRANCISCO MERLOS, the undersigned, hereby authorize
GEOFF SMITH to act as agent(s) on my/our behalf and to
make any necessary revisions on this filed application as they may be requested by the Board to meet its governing
rules and guidelines.


Owner(s)' signature(s)

Check List:

- Planning Board Special Permit abutters list – to be obtained at the Tax Assessor's office
- Completed application form entitled "Application to the Planning Board for a Special Permit"
- Application fee of \$250.00 payable to Town of Nantucket
- Abutters fee of \$6.74 per abutters payable to Pitney Bowes Reserved Funds \$101.10
- Four (4) sets of mailing labels with each abutter's name and address
 - 1" x 2 5/8" size, typed labels, are preferred
 - duplicate labels are not necessary if the same owner is listed for more than one abutting property
- Completed application form
- Town Clerk's stamped application (provide 2 copies-one for Town Clerk and one for Planning Board)



2015 00148749

Cert: 25698 Doc: DD

Registered: 07/30/2015 03:54 PM

Spelled as "Merlosc"
on GIS

Should be corrected to "Merlos"

QUITCLAIM DEED

Richmond Great Point Development, LLC, a Delaware Limited Liability Company, having a principal place of business at 23 Concord Street, Wilmington, MA 01887, for consideration paid and in full consideration of Five Hundred Thousand and NO/100 (\$500,000.00) Dollars, grants to Merlos Landscaping LLC, a Massachusetts Limited Liability Company, of 2 Greglen Avenue, PMB 391, Nantucket, MA 02554, with quitclaim covenants:

That certain parcel of land with all improvements thereon known and numbered as 8B Greglen Avenue, Nantucket Town and County Massachusetts, bounded and described as follows:

Lot 839, on plan titled, "Subdivision Plan of Land in Nantucket", drawn by Hayes Engineering, Inc., Surveyors, dated August 27, 2014, numbered 16514-93 and filed with Certificate of Title No. 7778 at the Registry District of the Land Court of Nantucket County.

This conveyance is made subject to the following encumbrances:

1. Easement in favor of Nantucket Electric Company, dated November 7, 1974, registered as Document No. 15706, at the Nantucket Registry District for the Land Court;
2. Covenant with the Nantucket Planning Board dated March 25, 1985, registered as Document No. 16117 at the Nantucket District for the Land Court, as affected by Form J. Release dated April 1, 1996, registered as Document No. 71641.
3. Provisions of a Special Permit issued by the Nantucket Board of Appeals in Case No. 018-75, dated August 1, 1975 and registered as Document No. 16377 at said Registry District;
4. Easement in favor of New England Telephone and Telegraph Company, dated March 9, 1976 and registered as Document No. 16956 at said Registry District;
5. Easement in favor of Nantucket Electric Company, dated August 18, 1977 and registered as Document No. 18452 at said Registry District;
6. Provisions of a Special Permit issued by the Nantucket Planning Board in File No. 3-94 on August 17, 1995, registered as Document No. 91088 at Nantucket Registry District, as affected by Minor Modification issued on April 26, 1999, registered as Document No. 91119 at Nantucket Registry District, as affected by a Minor Modification issued on September 28, 2001, registered as Document No. 94694 at Nantucket Registry District, and as affected by a Modification issued on August 13, 2012, registered as Document No. 138281 at Nantucket Registry District.
7. Declaration of Restrictions and Covenants dated October 9, 2014, registered as Document No. 145956 at said Registry District.
8. Real estate taxes assessed by the Town of Nantucket for the fiscal year 2016, commencing on July 1, 2015.

The grantor hereby certifies that it has not elected to be treated as a corporation for federal tax

South Valley Industrial Park MCD
Special Permit #3-94
August 17, 1995

9

junk cars, construction materials etc.) shall be removed from these buffer areas prior to the issuance of any new building permits or certificates of occupancy for lots covered by the MCD Special Permit. This requirement shall not apply to lots developed solely for residential use.

3. The lots which are along Greglen Avenue, Assessor's Map 68 Parcels 131, 141, 177, 178, 179, 180, 181, 182, 183, 184, shall maintain a densely vegetated buffer with a minimum depth of 30 feet from Greglen Avenue (excluding driveway access) in order to protect the residential properties across the street. This requirement shall not apply to lots developed solely for residential use.

4. Amendments and Modifications to this Special Permit:
Any proposed change to the approved site plan shall be presented to the Planning Board for a determination as to whether the change should be reviewed as a modification or an amendment. Upon submission of a site plan for new uses proposed, the Planning Board may approve both "by right" commercial uses and special permit commercial uses under §139-9B(2) without requiring a public hearing if they find that the proposed modification does not change the findings that the original decision was based upon and that no major infrastructure improvements would be needed to service the proposed use. The site plans shall include such information as deemed necessary, by the Board, in order to make a decision.

Lots covered by this MCD Special Permit proposed to be developed for residential uses only shall not require modification of the approved plan.

5. An access easement across Map 68 Parcels 157 and 206 shall be recorded along with this decision granting rights to all lots within this Major Commercial Development Special Permit. A recorded copy shall be provided to the Planning Board prior to issuance of any new building permits or certificates of occupancy for lots covered by the MCD Special Permit.

6. No open storage or display of merchandise shall be permitted on the lots with frontage along Old South Road (Map 68, Parcels 156, 157, 158) unless this special permit is modified or amended.

7. All open storage areas shall be delineated on the above referenced plan including appropriate screening by means of landscaping and/or fencing.

8. The five dwelling units located on Assessor's Map 68, Parcels 59, 64, and 140 shall be rented to employees of the businesses subject to this MCD Special Permit. The applicant shall submit an annual report documenting compliance with this condition each year on the anniversary of the date of this approval.

9. No new building permits or certificates of occupancy shall be issued until the Planning Board has endorsed an acceptable site plan with revisions including but not limited to:

SECTION I. OVER THE ROAD PERMIT APPLICATION

THE PROPOSED MOVE DATE MUST BE ASSIGNED BY THE TOWN ADMINISTRATION OFFICE

Town Administration Pre-Approval: _____
(Town Administration Signature and Date)

Date & Time of Move: APRIL 28 2016 8:30
Month, Day, Year, Time

Rain Date: Month, Day, Year, Time

From: 13 Folger Avenue
(Address of current location)

To: 83 Greolen Avenue
(Address of intended location)

Dimensions of Trailered Structure/Vehicle/Equipment/Boat
Height: 23' Width: 24' Length: 28'

Number of Trailered Pieces: #1 of 2

The dimensions of the item as loaded or trailered must be exact, as measured from the pavement, and as confirmed by the Building Official (structures) or Police Department (vehicles, equipment, boats).
If trailered item(s) is 11'6" or under wide and 13'6" or under high, this permit is not required.

Applicant: Structures UNLTD structuresunltd@gmail.com
(Name, address, and local telephone number) (Email)

Owner: FRANCISCO MERLAS, 83 Greolen Ave, 508-246-5297
(Name, address, and local telephone number)

Hauler/Mover: Structures UNLTD, 2 Greolen Ave, Pmb64 508-228-0689
(Name, address, and local telephone number)

SECTION II. TERMS OF PERMIT

- The moving of the trailered item shall be done promptly and in a skillful manner with no unnecessary inconvenience to the traveling public.
- Proper warning signs and lights must be set up to guard public safety and such police presence provided as may be required by the Police Chief.
- Town approval is provided upon the express condition that the Town shall be held harmless by the applicant against all liability, statutory or otherwise, for personal injury or property damage arising out of the moving of the structure.
- If, after issuance of the permit, the applicant is no longer in compliance with any of the criteria contained herein, the permit is thereby rendered null and void.
- Applicant must notify gas/fuel oil delivery companies, School and NRTA of the move.
- In the event of an emergency, the Town has the right to postpone or stop the move, if necessary.
- Moves may be restricted to emergency situations only. Restrictions may be imposed during inclement weather.
- This permit is issued in accordance with MGL c. 90 §19.
- Pursuant to Chapter 19 §13 – 18 of the Code of the Town of Nantucket, this permit will not be issued if either the applicant, owner, or hauler have overdue, unpaid taxes, fees, assessments, betterment or other municipal charge with the Town of Nantucket. All overdue taxes and fees must be paid before this permit is issued.

Hauler/Mover: Structures UNLTD Move from/to: 13 Folger Ave, to 83 Greolen Ave

TOWN OF NANTUCKET

BUILDING DEPARTMENT

Fee \$1100.00

No. 434-16

Office of the Building Inspector

March 28, 2016

BUILDING PERMIT

THIS PERMIT CERTIFIES THAT MERLOS LANDSCAPING LLC HAS

430 of 43

PERMISSION TO "MOVE ON" A DWELLING FROM 80/157 13 FOLGER AVE

LOCATED ON 8B GREGLEN AVE

PROVIDED

THAT THE PERSON ACCEPTING THIS PERMIT SHALL CONFORM TO THE TERMS OF THE APPLICATION ON FILE IN THE BUILDING DEPARTMENT AND TO THE PROVISIONS OF THE STATUTES AND THE ORDINANCES RELATING TO THE CONSTRUCTION, MAINTENANCE AND INSPECTION OF BUILDINGS IN THE TOWN OF NANTUCKET, AND THE MASSACHUSETTS STATE BUILDING CODE 780 CMR 8th EDITION.

A CERTIFICATE OF OCCUPANCY WILL BE ISSUED UPON RETURN OF THIS PERMIT ONLY AFTER ALL THE REQUIRED INSPECTIONS HAVE BEEN SIGNED AND DATED BY THE APPROPRIATE INSPECTOR.

THIS PERMIT SHALL BECOME INVALID SIX MONTHS FROM THE DATE OF ISSUE IF THE WORK PERMITTED HAS NOT COMMENCED OR IS NOT PROGRESSING CONTINUOUSLY TO COMPLETION AS FAR AS REASONABLY PRACTICABLE.

PERSONS CONTRACTING WITH UNREGISTERED CONTRACTORS DO NOT HAVE ACCESS TO THE GUARANTY FUND
M.G.L. c142A

THIS CARD MUST BE DISPLAYED IN A CONSPICUOUS PLACE ON THE PREMISES



10. Sanford, Edward	12 Doc Ryder Drive	New dwelling	66-216	Botticelli & Pohl
Sitting	Williams, Coombs, McLaughlin, Glazer, Kuhnert			
Alternates	Camp, Oliver			
Recused	Pohl			
Documentation	Associated site and elevation plans, photos, correspondence, and required historical documentation.			
Representing	Lisa Botticelli, Botticelli & Pohl – This was designed for Huntingdon Homes to build.			
Public	None			
Concerns (7:13)	<p>Williams – North elevation, the door needs to be a standard front door. The chimney doesn't meet code.</p> <p>Glazer – All the "A" windows are ganged. Needs a proper front door. The chimney is too big.</p> <p>Kuhnert – Agrees with comments made. West elevation, this doesn't engage with the street and has no sense of entry. The south elevation is over fenestrated.</p> <p>Coombs – The "A" windows are out of proportion. East elevation, There is a lot of roof and eave lines but on the right there are no windows at all in that wall; it needs windows. Agrees the chimney is too wide. The south elevation is over fenestrated. The front door needs beefing up. South elevation, the pergola is a concern.</p> <p>McLaughlin – North elevation, the left awning window should be a fixed window. South elevation, the meeting rails should align in the shed dormer. Believes this design relates to the neighborhood. West elevation, the 2nd-floor deck is 10 feet deep; needs to be pulled in to 8 feet.</p> <p>Williams – Does not agree that the design relates to the neighborhood. West elevation, the left wall needs windows; the roof shouldn't be hipped and the window has no relation to those above; breaking the right roof makes no sense; the right ganged "A" windows are not appropriate. North elevation, there is no reason for the hipped roof; the gable in the middle of the run is not appropriate; the eaves are all the same height; something is wrong with the "A" windows; the "B" windows don't work; the "E" windows don't relate to anything; the break on the left makes no sense; the chimney is not working at all. East elevation, the gables running into each other don't make sense; same on the west and south; there are too many ganged windows. The "A" windows are all different sizes. South elevation, the right gable is not additive; the shed dormer is not appropriate at all; nothing on the south works and it is visible from the golf course. West elevation, the massive top rail on the deck is not approvable; it's not drawn as a shingled rail on the other side.</p>			
Motion	Motion to Hold for revisions. (Glazer)			
Vote	Carried unanimously	Certificate #		
11. Merlos Landscaping	8B Greglen Avenue	New metal commercial bldg.	66-179.1	Concept Design
Sitting	Williams, Coombs, Pohl, Glazer, Camp			
Alternates	(McLaughlin stepped out)			
Recused	None			
Documentation	Associated site and elevation plans, photos, correspondence, and required historical documentation.			
Representing	TJ Waterson, Concept Design – Reviewed changes made per previous concerns. Can do all grey with sandtone sash. There are two underground garage, one on South Pasture Lane and one on Surfside Road.			
Public	None			
Concerns (7:28)	<p>Williams – Should not do white. The piping for guardrail to the garage ramp is too much of a departure from the norm. Discussion about the fixing the rail</p> <p>Camp – She's concerned about setting a precedent.</p> <p>Pohl – He could bury a fence inside vegetation.</p>			
Motion	Motion to Approve through staff with corrected drawings showing the inset with 42" fence of black vinyl in vegetation as a guardrail for the ramp, the roof to be gun-metal gray, the walls to be fox grey, and no white. (Pohl)			
Vote	Carried	Certificate #	64932	

WANNACOMET WATER COMPANY

COPY



Nantucket Water Commission

Nelson K. Eldridge
Allen Reinhard
Noreen Slavitz

1 Milestone Road
Nantucket, MA 02554

April 1, 2016

Telephone (508) 228-0022
Facsimile (508) 325-5344
www.wannacomet.org

Robert L. Gardner
General Manager

Ms. Holly Backus
Land Use Specialist
Nantucket PLUS
2 Fairgrounds Road
Nantucket, MA 02554

Via E-mail

RE: Certificate of Water Quality Compliance: 8B Greglen Avenue

Dear Holly,

I have been informed by Mr. Dan Mulloy, PE of Site Design Engineering, LLC that the owner of 8B Greglen Avenue will be asking the Planning Board to modify an existing MCD permit that includes this property and has provided me an engineering plan of the proposed work. I have reviewed the stormwater collection, treatment and recharge design for the above referenced project and as shown on a plan entitled *Sewer Connection Plan, 8B Greglen Avenue, Nantucket, Massachusetts, sheet 1 of 1*, as prepared by Site Design Engineering, LLC, dated February 12, 2016 with revisions dated March 23, 2016. As a result of my review I offer the following.

1. The stormwater collection, treatment and recharge system as designed is acceptable to the Wannacomet Water Company and the details of the various structural components including materials and installation are also acceptable.
2. Additionally, I have reviewed the location of the proposed water connection to the existing water main and that is acceptable to Wannacomet Water Co.

Summary

The Wannacomet Water Company finds that the stormwater collection, treatment and recharge system designed for this project meets the requirements of §139-12 of the *Town of Nantucket Zoning By-laws*. Therefore the Wannacomet Water Company issues a Certificate of Water Quality Compliance in accordance with §139-12B(3)(a) of the *Town of Nantucket Zoning By-laws*.

Sincerely,
WANNACOMET WATER COMPANY


Robert L. Gardner
General Manager

Cc: Mr. Daniel C. Mulloy, PE; Site Design Engineering, LLC, Via E-mail



2014 00145956

Cert: 24872 Doc: DECL OF
Registered: 10/10/2014 01:42 PM**DECLARATION OF RESTRICTIONS AND COVENANTS**

This Declaration of Restrictions and Covenants is made as of this 9th day of October, 2014 by Richmond Great Point Development, LLC, as the present Owner of the Land herein described.

ARTICLE ONE
Definitions

1.01. Intentionally Omitted.

1.02. "Developer". Richmond Great Point Development, LLC, the present Owner of the Land, or such other person or entity as shall hold the rights of the Developer hereunder by express written and registered instrument of assignment executed by the Development or THEIR successor as the Developer.

1.03. "Land". The land in Nantucket, Nantucket County, Massachusetts, listed on Exhibit A attached hereto.

1.04. "Lot". Any properly and legally subdivided legal lot within the Land.

1.05. "Owner". The person or persons or other entity, considered collectively, who are, from time to time, the owners of any Lot, according to the records at such time at the Nantucket Registry District.

1.06. "Roadway". The following roads: Nancy Anne Lane, Davekim Lane and Greglen Avenue.

1.07. "County". The County of Nantucket, Massachusetts.

ARTICLE TWO
Recital of Purposes

2.01. General Purpose. The general purpose of this instrument is to restrict the use of the Land, and of each Lot, so that the development of the Land is done in conformity with the conditions contained hereof. Furthermore, it is the purpose of this instrument to establish restrictions and rules to enable the utilization of the Land in an appropriate manner.

ARTICLE THREE
Restrictions

3.01. General. The Land shall be subject to the following Restrictions, as set forth in this Article Three.

3.02. Restrictions Upon Use. The following uses and activities shall be prohibited upon all portions of the Land:

(a) Exterior laundry drying facilities, unless screened from view.

(b) Scallop shanties.

(c) Keeping of animals upon any portion of the Land, except for customary domestic pets, which shall be kept on a leash or in an enclosure at all times.

(d) No parking of any vehicles by any Owner nor shall any owner allow any of agents, employees, invitees, or customers to park any vehicle of any kind on or along any Roadway near or abutting such Owner's Lot.

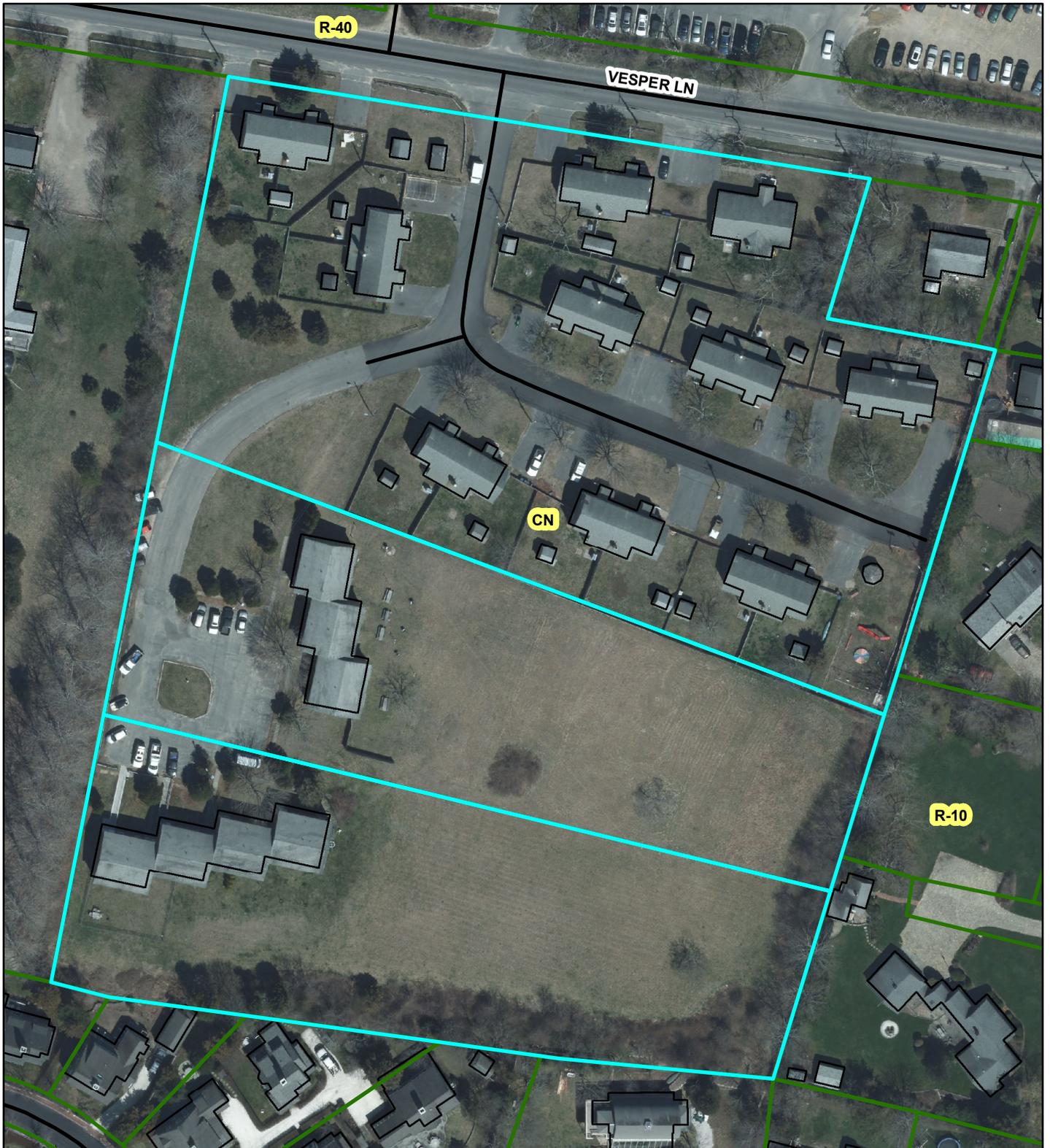
(e) No truck deliveries may occur to any Lot between the hours of 10:00 p.m. and 7:00 a.m. any time.

(f) After the sale of any Lot by Developer, each Lot shall contain either a 10' vegetated buffer along any roadway which such Lot has frontage or a privet hedge of a minimum height of 5' creating a 10' buffer along any roadway which such Lot has frontage.

3.03. Restrictions For Lot Maintenance. The exterior of each of the Lots, including the exterior of all structures, plantings, fences, walls and other features visible from any other Lot, any street or any position outside the Land, and all drainage structures upon any of the Lots, shall be maintained in



Nantucket Cottage Hospital - Gouin Village
Preliminary Subdivision Plan
Vesper Lane
Map 55 Parcels 247, 247.1 & 248



RJ O'CONNELL & ASSOCIATES, INC.
CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS

80 Montvale Ave., Suite 201 Stoneham, MA 02180
phone 781-279-0180 fax 781-279-0173

CMAA# 19921

April 27, 2016

Mr. Andrew Vorce, AICP - Director of Planning
Ms. Leslie Snell, AICP, LEED AP, Deputy Director of Planning
Town of Nantucket Planning & Land Use Services
2 Fairgrounds Road
Nantucket, MA 02554

Regarding: Gouin Village
Preliminary Subdivision

Dear Mr. Vorce:

On behalf of our client, Nantucket Cottage Hospital ("the Applicant"), R.J. O'Connell & Associates (RJOC) is pleased to submit the enclosed preliminary subdivision plan for the Gouin Village properties located at 16, 18 & 20 Vesper Lane for your review.

Currently, the two properties at 16 & 18 Vesper Lane do not have frontage. They have legal access from Vesper Lane via a private way through 20 Vesper Lane (Gouin Village Way). The three properties are bordered on the north by Vesper Lane and, on the south, east and west by residential properties. 16 Vesper Lane is a +/-1.70 acre property (one two-story, wood building currently occupied by hospital uses). 18 Vesper Lane is a +/- 1.71 acre property currently occupied by Umass researcher housing (one two-story, wood building). 20 Vesper Lane is a +/- 3.39 acre parcel currently occupied by US Coast Guard housing (ten two-story, wood buildings and associated garages).

The proposed way is a 29 ft. wide paved access road within a 44 ft. wide right-of-way which will convey two-way traffic through the proposed subdivision from Vesper Lane using a tear-drop cul-de-sac layout. The proposed cul-de-sac will be located where a turn-around area exists today on 16 & 18 Vesper Lane. 9 ft. wide street parking will be provided within the paved road area. A 4 ft. sidewalk will be provided on the east side of the proposed way.

The following waivers will be requested for the proposed subdivision:

- No Bicycle Path is proposed and therefore requires a waiver.
- Only one sidewalk is proposed and two are required and therefore requires a waiver.
- No soil testing has been completed. The applicant would agree to have soil testing occur and be approved by a peer reviewer prior to the start of construction.
- Portions of existing parking will exist in the cul-de-sac area of the right of way.
- Full build of the cul-de-sac.

We have reviewed the Town of Nantucket's Rules and Regulations Governing the Subdivision of Land (the "**Rules**"). Pursuant to Section 2.05(b) of the Rules, enclosed please find the Applicant's complete and duly executed preliminary subdivision plan filing for the Gouin Village properties. The following are enclosed for your review:

- One (1) original duly executed Preliminary Plan Application (Form C), and twelve (12) copies of the same, as required under Section 2.05(b) of the Rules;
- Twelve (12) contact prints of the plan entitled "Preliminary Plan for the Subdivision of Land, Proposed Way, Gouin Village - Nantucket, MA," dated April 27, 2016 and prepared in accordance with Section 2.05(a) of the Rules (the "**Preliminary Plan**");
- One (1) compact disk containing PDFs of the Preliminary Plan; and
- A check covering the filing fee of One Hundred Dollars (\$100.00), as required under Section 2.05(b) of the Rules.

Following this submission, we will submit the requisite materials to the Board of Health, and file a written notice with the Town Clerk, as required under Section 2.05(b) of the Rules, certifying that the Preliminary Plan was filed on the date of this letter.

Please do not hesitate to contact me if you require any further documentation or information regarding this submission.

Sincerely,

RJ O'CONNELL & ASSOCIATES



Stephen Glowacki
Associate Principal

cc: Frank Kovac – Nantucket Cottage Hospital
John Twohig – Goulston & Storrs
Joseph Sheridan - Goulston & Storrs
Rich O'Connell – RJ O'Connell & Associates



Nantucket Planning Board

Form C Preliminary Plan Application

File one completed form with the Planning Board and one copy with the Town Clerk.

Date: 04/27/16

To the Planning Board of Nantucket:

I (We) the undersigned, hereby submit in accordance with Chapter 41, Section 81-S, an application for a preliminary plan subdivision shown on a plan entitled Preliminary Subdivision Plan - PS-1, designed by RJO'Connell & Associates, Inc. dated 04/27/16.

The proposed preliminary plan subdivision is located on Vesper Lane, the total number of lots proposed is: 3 (buildable: 3), and the total acreage of the tract is +/- 6.80 Acres.

The tract is also identified as Nantucket Assessor's Map # 55, Parcel(s) 247, 247.1 & 248.

Residential subdivision Non-residential subdivision

Name of owner(s) (to include all the names and addresses of the principals of the owner entity such as principal officers of the corporation, trustees of a trust or partners of a partnership):

Nantucket Cottage Hospital - Frank Kovac

Address of owner(s):

57 Prospect Street, Nantucket, MA 02554

Phone number: 508-825-1088 Fax number: _____ E-mail:

fkovac@partners.org

Name of applicant (if other than owner):

Nantucket Cottage Hospital - Frank Kovac

Address of applicant:

57 Prospect Street, Nantucket, MA 02554

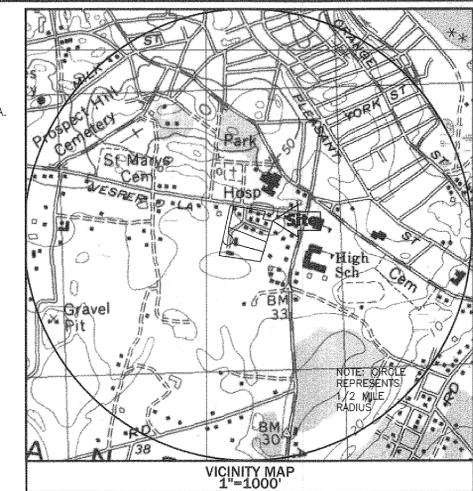
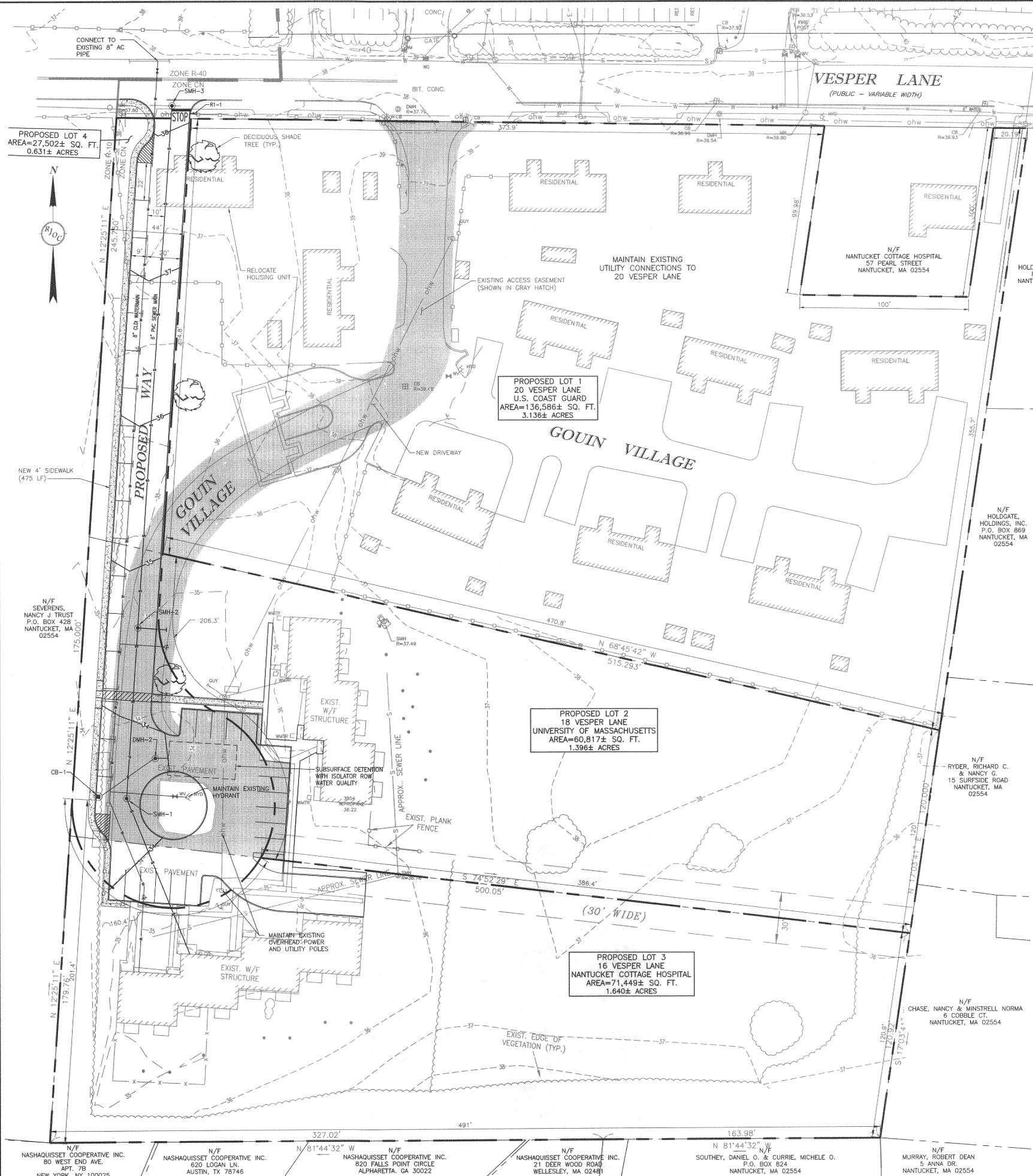
Phone number: 508-825-1088 Fax number: _____ E-mail:

fkovac@partners.org

I hereby certify that the applicant(s) listed above have been authorized by me to file a preliminary subdivision plan with the Nantucket Planning Board on property that I own.


Owner's signature _____
for NCH

Planning Board File#: _____
Town Clerk's stamp: _____



LEGEND

EXISTING FEATURES

CB / CB	CATCHBASIN	☉	TELEPHONE MANHOLE	SGC	SLOPED GRANITE CURB
⊕HYD	HYDRANT	⊕	BOLLARD	VGC	VERTICAL GRANITE CURB
⊕W	WATER VALVE	⊕	POST	BCC	BITUMINOUS CONCRETE CURB
⊕GV	GAS VALVE	○ SPR	SPRINKLER CONNECTION	CC	CONCRETE CURB
UP-CL / → GUY	UTILITY POLE / GUY WIRE	⊕	TREE	EOP	EDGE OF PAVEMENT
SMH	SEWER LINE/MANHOLE	⊕	DOOR	DNB	DO NOT BLOCK INTERSECTION/DRIVEWAY
DMH	DRAIN LINE/MANHOLE	⊕	FINISHED FLOOR ELEVATION	PRIV	PRIVATE DRIVEWAY
W	WATER LINE	OH	OVERHEAD DOOR	DE	DEAD END
ohw	OVERHEAD WIRES	FND	FOUND	MILE	MILE MARKER
G	GAS LINE	SB	STONE BOUND	NATW	NOT A THRU WAY
E	UNDERGROUND ELECTRIC/MANHOLE	DH	IRON PIPE	RFP	RESERVED FOR PATIENTS
HH	HAND HOLE	BCE	DRILL HOLE	SL	SPEED LIMIT
ICV	IRRIGATION CONTROL VALVE	PIL	BACK CENTER EDGE	STREET	STREET SIGN
OR	ORNAMENTAL FENCE	REC	PIN IN LEAD	Y	YIELD
ST	STOCKADE FENCE	CON	RECORD	OW	ONE WAY
CL	CHAIN LINK FENCE	LS	CONCRETE	NATW	NOT A THRU WAY
MG	METAL GUARDRAIL	RCP	LANDSCAPED AREA	DYCL	DOUBLE YELLOW CENTER LINE
IC	INDEX CONTOUR	PVC	REINFORCED CONCRETE PIPE	SWL	SINGLE WHITE LINE
SP	SPOT ELEVATION	CPP	POLYVINYL CHLORIDE	SYL	SINGLE WHITE LINE
TL	TREELINE	COR	CORRUGATED PLASTIC PIPE	BIWL	BROKEN WHITE LINE
SW	STONE WALL	C.I.	CAST IRON		
		D.I.	DUCTILE IRON		

PROPOSED FEATURES

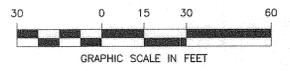
---	LOT LINES
---	SEWER LINE
---	WATER LINE
---	DRAIN LINE
SMH	SEWER MANHOLE
DMH	DRAIN MANHOLE
OCS	OUTLET CONTROL STRUCTURE
CB	CATCH BASIN
⊕	WATER VALVE

ZONING TABLE

ZONING DISTRICT - COMMERCIAL-NEIGHBORHOOD (CN)
TOWN OVERLAY HOSPITAL SUB-DISTRICT

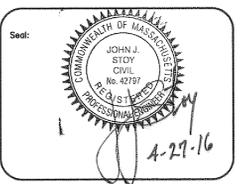
	REQUIRED
MIN. FRONTAGE	50'
MIN. FRONT YARD	10'
MIN. SIDE YARD	5'
MIN. REAR YARD	10'
GROUND COVER RATIO	40% MAX. ⁽¹⁾
MAX. BLDG. HEIGHT	50'
L.C. OPEN AREA	20% MIN.
MIN. LOT SIZE	7,500 SF

(1) 50% ALLOWED IN THE HOSPITAL SUB-DISTRICT WITH A MAJOR SITE PLAN.



OWNERS OF RECORD: U.S. COASTGUARD, UNIVERSITY OF MASSACHUSETTS & NANTUCKET COTTAGE HOSPITAL
ENGINEER OF RECORD: R.J. O'CONNELL & ASSOCIATES, INC.
SURVEYOR OF RECORD: BLACKWELL & ASSOCIATES, INC.

No.	Date	Revision



Designed by: JTA
Drawn by: RJK/SAO
Checked by: SPG
Scale: 1"=30'
Date: 04/27/2016

Prepared for:
NANTUCKET COTTAGE HOSPITAL
57 SOUTH PROSPECT STREET
NANTUCKET, MA 02554
(508) 825-8100

Prepared by:
RJO'CONNELL & ASSOCIATES, INC.
CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS
80 MONTVALE AVE
STONEHAM, MA 02180
781-279-0180
FAX: 781-279-0173

Project Name:
NEW NANTUCKET COTTAGE HOSPITAL NANTUCKET, MA

Drawing Name:
PRELIMINARY SUBDIVISION PLAN FOR THE GOUIN VILLAGE PROPERTIES LOCATED AT 18, 19 & 20 VESPER LANE

Drawing No.:
PS-1
Project No.: 13081