

1. Viewpack

Documents: [2 N. BEACH ST..PDF](#), [5 SOUTH CAMBRIDGE ST..PDF](#), [11 LILY ST..PDF](#), [19 N. WATER ST..PDF](#)

2. No Meeting Agenda

There is no agenda available for this meeting. Please view the minutes.

GIS



Property Information

Property ID 42.4.1 64
Location 2 N BEACH ST
Owner MEYER THOMAS MICHAEL



**MAP FOR REFERENCE ONLY
 NOT A LEGAL DOCUMENT**

Town and County of Nantucket, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Parcels updated December, 2014
 Properties updated January, 2015

2016 APR 27 AM 9:22

50 m Terms of Use



NORTH ELEVATION (EXISTING)



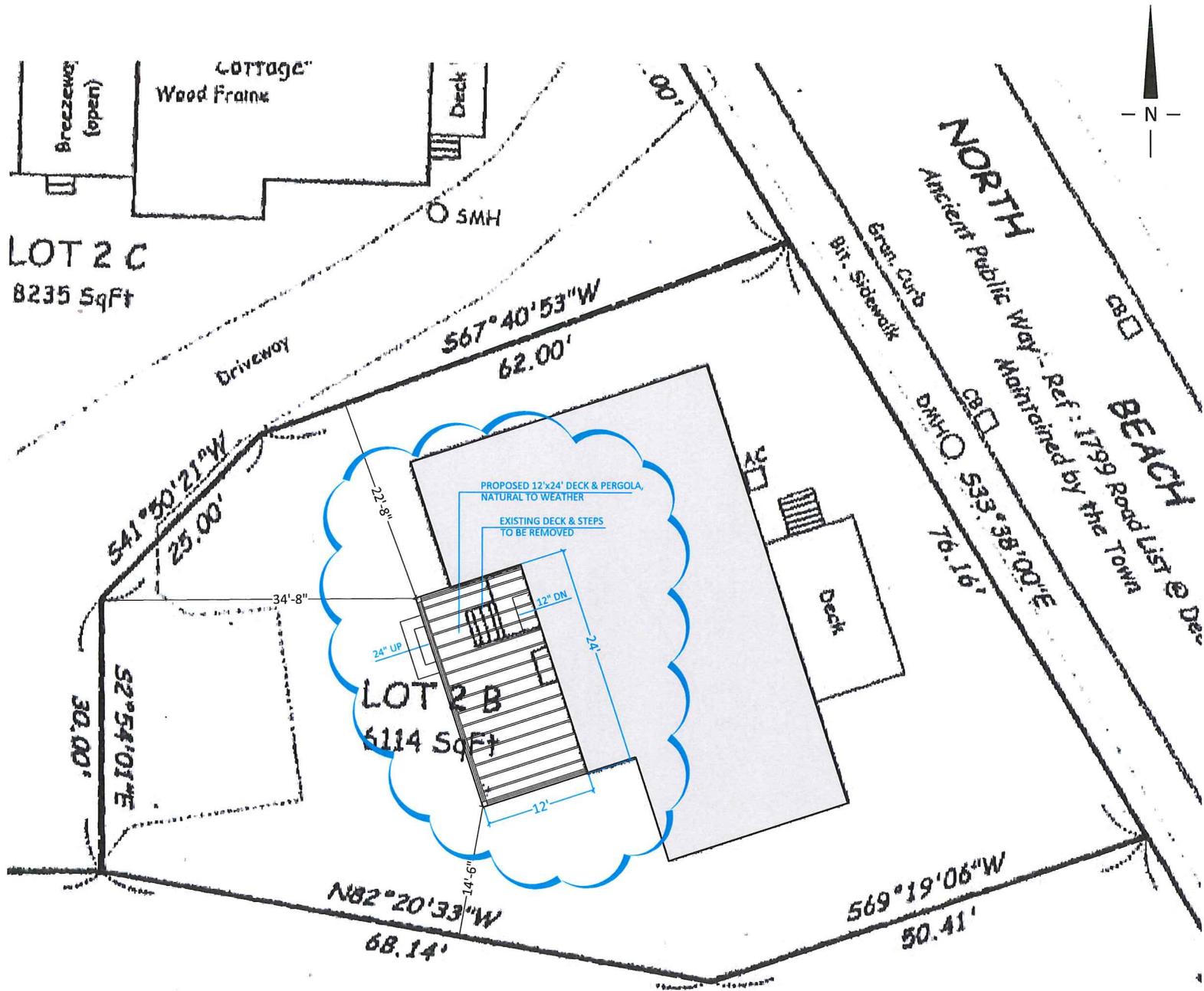
EAST ELEVATION (EXISTING)



WEST ELEVATION (EXISTING)



SOUTH ELEVATION (EXISTING)



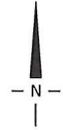
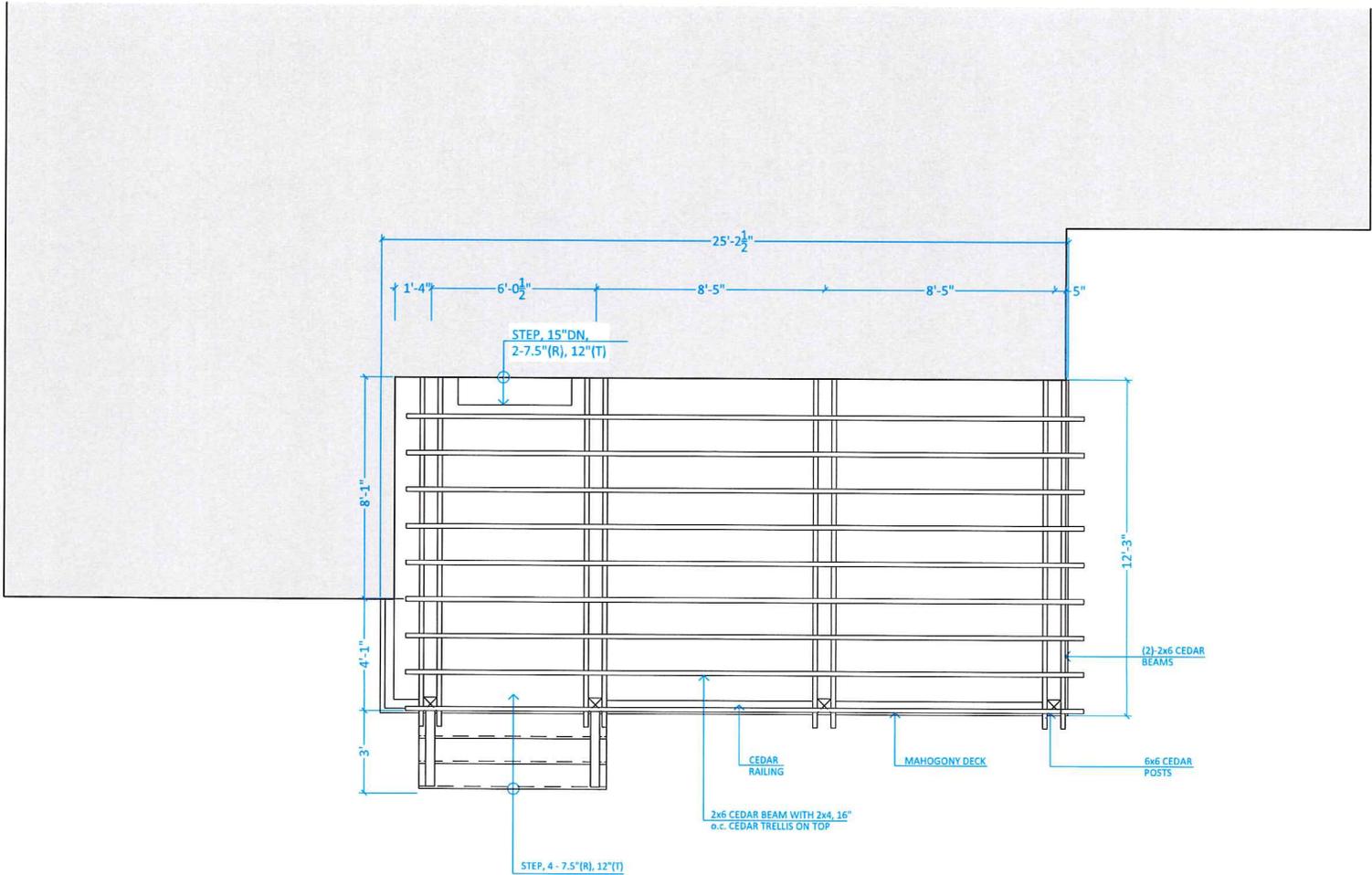
PROJECT
2 N BEACH ST
RESIDENCE
 2 NORTH BEACH STREET NANTUCKET MA 02554

HDC SUBMISSION

PERGOLA & DECK

DRAWING INFO

PLOT PLAN	
DATE	MARCH 1ST 2016
SCALE	1/16" = 1' - 0"



PROJECT
2 N BEACH ST
RESIDENCE
 2 NORTH BEACH STREET NANTUCKET MA 02554

HDC SUBMISSION

PERGOLA & DECK

DRAWING INFO
 PROPOSED PLAN
 DATE: APRIL 26, 2016
 REVISED: APRIL 26, 2016
 SCALE: 1/4" = 1'-0"

1 PROPOSED PERGOLA PLAN
 Scale: 1/4" = 1'-0"

2016 APR 27 AM 9: 22

AHERN LLC
LANDSCAPE DESIGN STUDIO
PO Box 2213, Nantucket MA 02554
T (508) 333-5138 F (508) 333-4616
design@ahern-llc.com

PROJECT
2 N BEACH ST
RESIDENCE
2 NORTH BEACH STREET NANTUCKET MA 02554



1 PROPOSED SOUTH ELEVATION
Scale: 1/4" = 1'-0"

HDC SUBMISSION

PERGOLA & DECK

DRAWING INFO

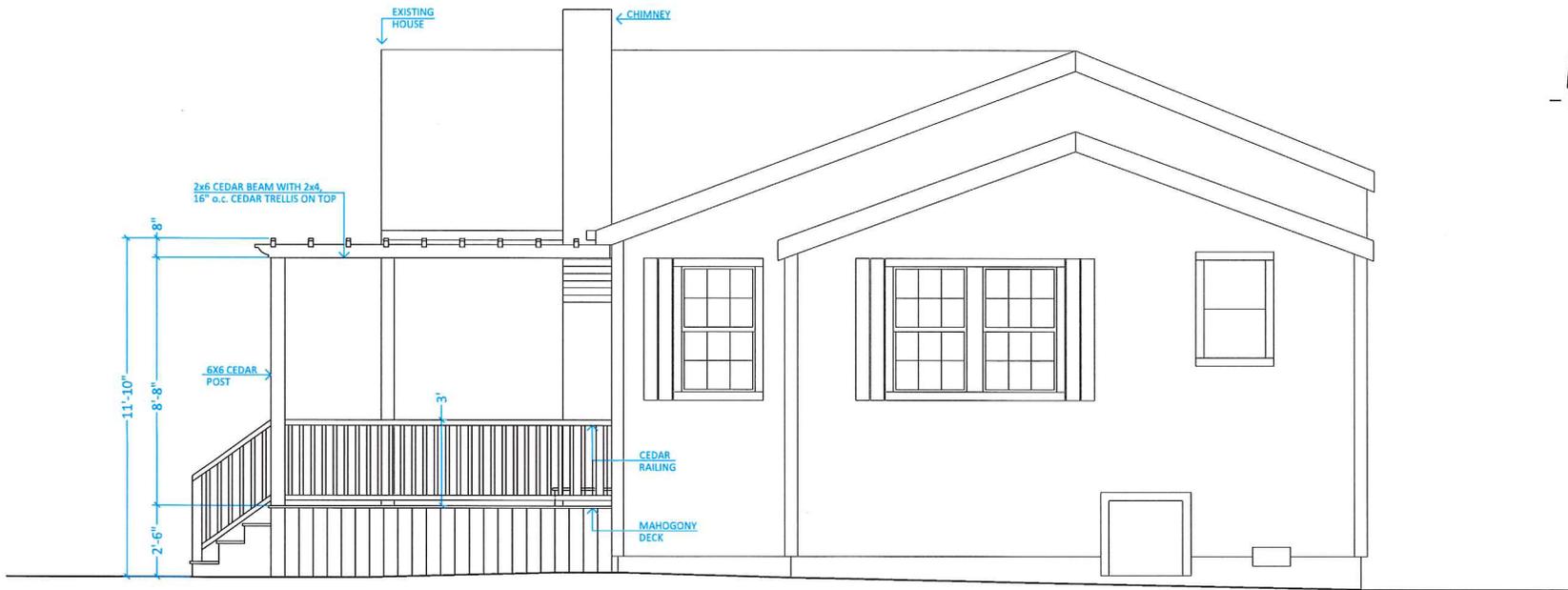
PROPOSED SOUTH ELEVATION
DATE: _____ REVISED: APRIL 26, 2016
SCALE: 1/4" = 1'-0"

L.03

2016 APR 27 AM 9: 22



PROJECT
2 N BEACH ST
RESIDENCE
2 NORTH BEACH STREET NANTUCKET MA 02554



1 PROPOSED EAST ELEVATION
Scale: 1/4" = 1'-0"

HDC SUBMISSION

**PERGOLA
& DECK**

DRAWING INFO

PROPOSED EAST ELEVATION
DATE: _____ REVISION: APRIL 26, 2016
SCALE: 1/4" = 1'-0"

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a
CERTIFICATE OF APPROPRIATENESS

for structural work.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, Building with Nantucket in Mind, prior to submittal of application.
Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference. The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 59.4 PARCEL N°: 133
Street & Number of Proposed Work: 5 S. CAMBRIDGE ST / COVE
Owner of record: JOHN & NANCY BARRY
Mailing Address: 45 SUMMER ST
NO. EASTON, MA 02356
Contact Phone #: 508-942-9833 E-mail: Cap29@verizon.net

AGENT INFORMATION (if applicable)

Name: VAL OUNEL
Mailing Address: PO BOX 3057
NANTUCKET, MA 01904
Contact Phone #: 508-326-4319 E-mail: VAL@VALOUNEL.COM

FOR OFFICE USE ONLY
Date application received: _____ Fee Paid: \$ _____
Must be acted on by: _____
Extended to: _____
Approved: _____ Disapproved: _____
Chairman: _____
Member: _____
Member: _____
Member: _____
Member: _____
Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
- Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
- Pool (Zoning District _____) Roof Other _____

Size of Structure or Addition: Length: 50' Sq. Footage 1st floor: 1452 Decks/Patio: Size: 17x12 1st floor 2nd floor
Width: 10 Sq. Footage 2nd floor: 950 Size: _____ 1st floor 2nd floor
Sq. Footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
Height of ridge above final finish grade: North 26" South 26" East 26" West 25"

Additional Remarks

Historic Name: _____ **REVISIONS*** 1. East Elevation
Original Date: _____ (describe) 2. South Elevation
Original Builder: _____ 3. West Elevation
Is there an HDC survey form for this building attached? Yes N/A 4. North Elevation

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 8" Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) _____ Other _____
Roof Pitch: Main Mass 10/12 Secondary Mass 10/12 Dormer 4/12 Other _____
Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____

Fence: Height: _____
Type: _____
Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____
Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size): _____
Sidewall: White cedar shingles Clapboard (exposure: _____ inches) Front Side

Trim: A. Wood Pine Redwood Cedar Other _____
B. Treatment Paint Natural to weather Other _____
C. Dimensions: Fascia 6" Rake 1x2 Soffit (Overhang) 12"=8" Corner boards 1x4 Frieze _____
Window Casing 1x4 Door Frame 1x4 Columns/Posts: Round _____ Square 8"

Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer ANDERSON 400

Doors* (type and material): TDL SDL Front 2 LIGHT Rear FRANCH Side 4 LIGHT
Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways UNDEVELOPED Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

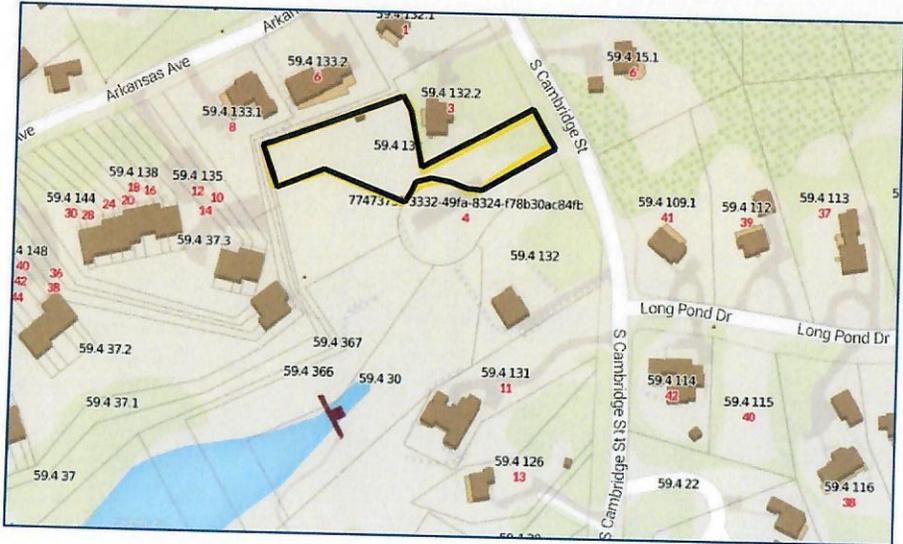
COLORS

Sidewall NATURAL Clapboard (if applicable) _____ Roof BLACK/RED ASPHALT
Trim NATURAL Sash SMOKE/IVORY Doors NATURAL MISTOGANY
Deck NATURAL Foundation GRAY Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 4/29/14 Signature of owner of record [Signature] Nancy Barry Signed under penalties of perjury

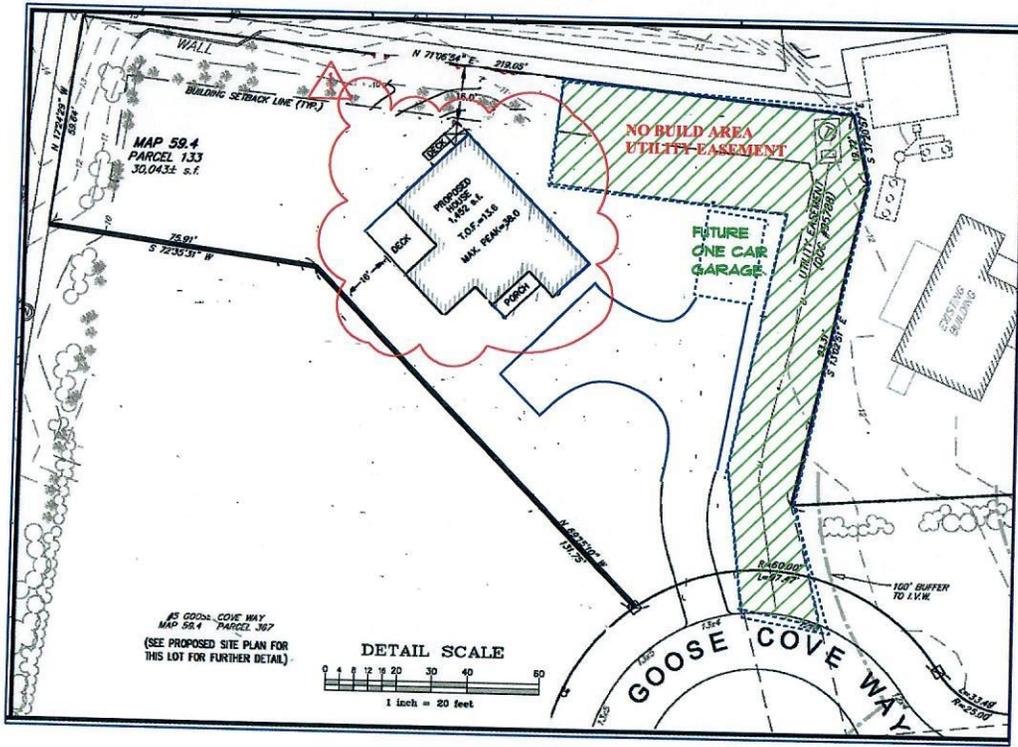


LOCUS MAP

MAP 59.4 PARCEL 133



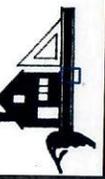
AERIAL MAP 2014



SCALE: 1/4"=1'
DRAWN BY: VO
DATE: 4-26-16 REV

JACK AND NANCY BARRY
5 S CAMBRIDGE/ GOOSE POND
NEW DWELLING

VAL OLIVER DESIGN
PO BOX 3057
NANTUCKET, MA 02584



NATURAL TO WEATHER TRIM
 SANDTONE WINDOW SASH
 MAHOGANY DOORS
 BLACK ARCH ASPHALT ROOF

FRONT- EAST ELEVATION
 FACING CUL DE SAC



LEFT- SOUTH ELEVATION



SCALE: 1/4"=1'
 DRAWN BY: VO
 DATE: 4-26-16 REV

JACK AND NANCY BARRY
 6 GOOSE POND
 NEW DWELLING

VAL OLIVER DESIGN
 PO BOX 3057
 NANTUCKET, MA 02584





REAR- WEST ELEVATION
FACING YARD



RIGHT- NORTH ELEVATION

SCALE: 1/8"=1'

DRAWN BY: VO

DATE: 4-26-16 REV

JACK AND NANCY BARRY
6 GOOSE POND
NEW DWELLING

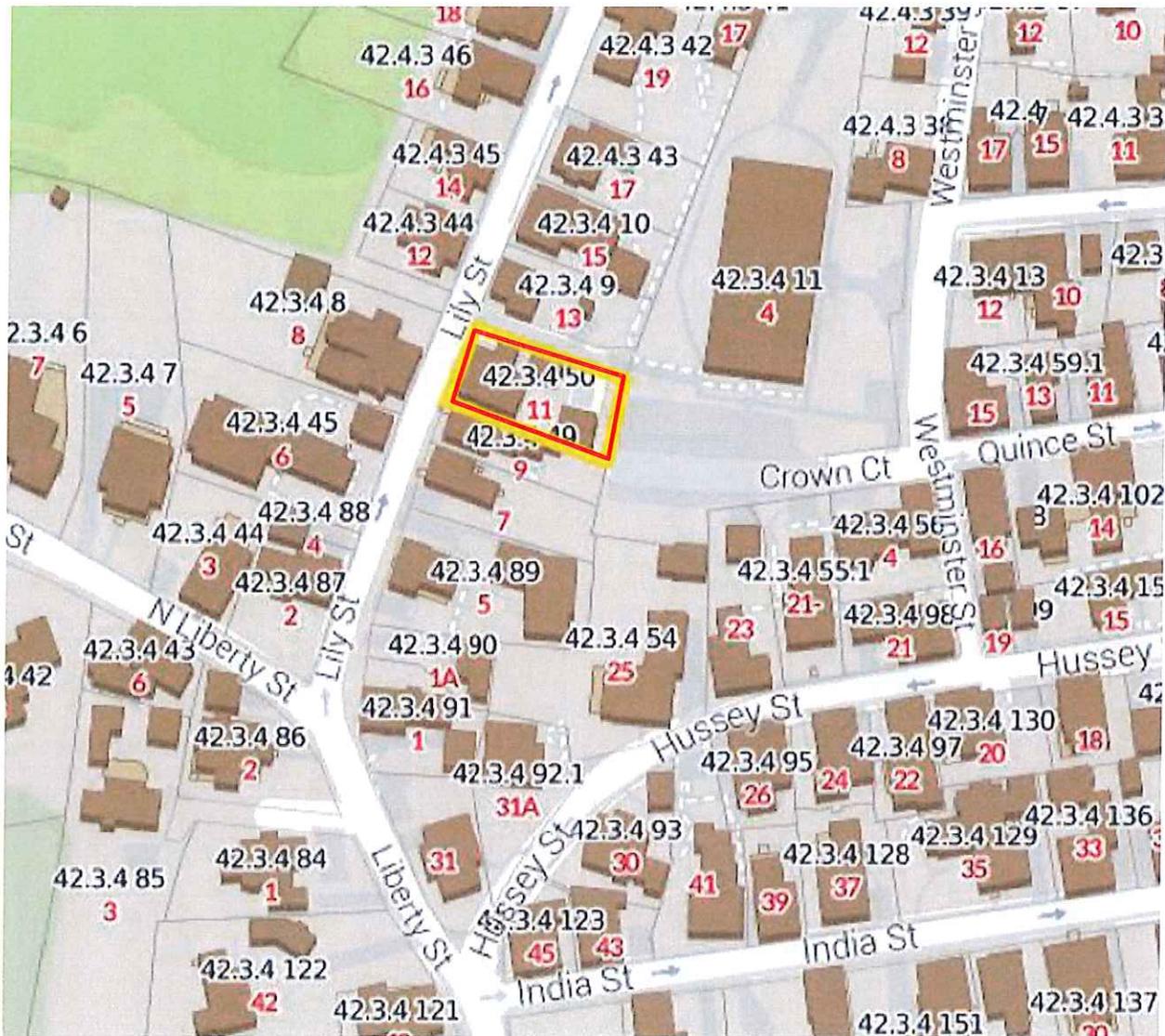
VAL OLIVER DESIGN
PO BOX 3057
NANTUCKET, MA 02584

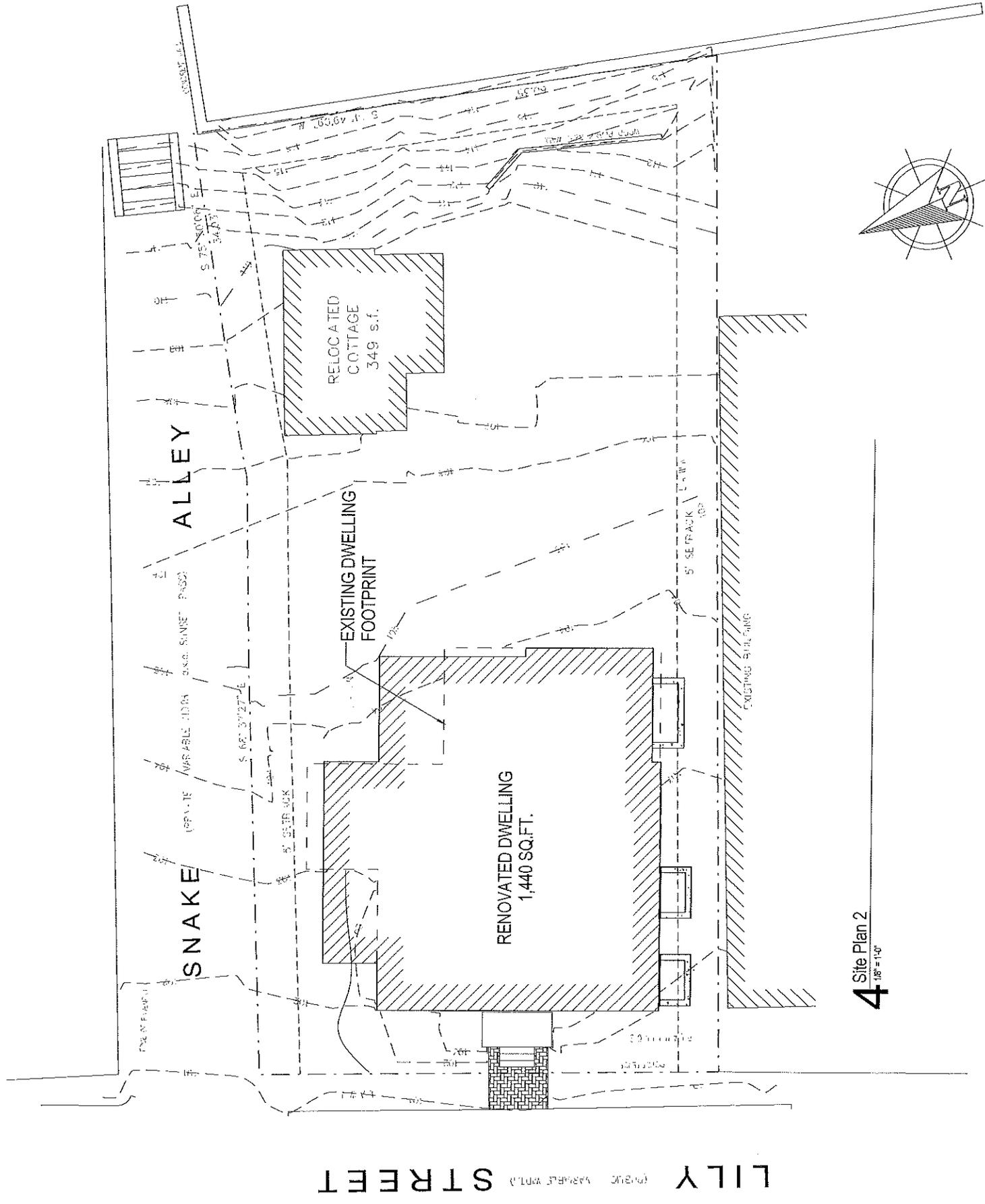


Bloom Residence

11 Lily Street

Nantucket, MA 02554





LILY STREET

ALLEY

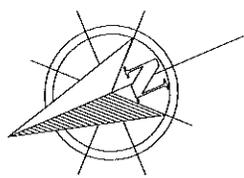
SNAKE

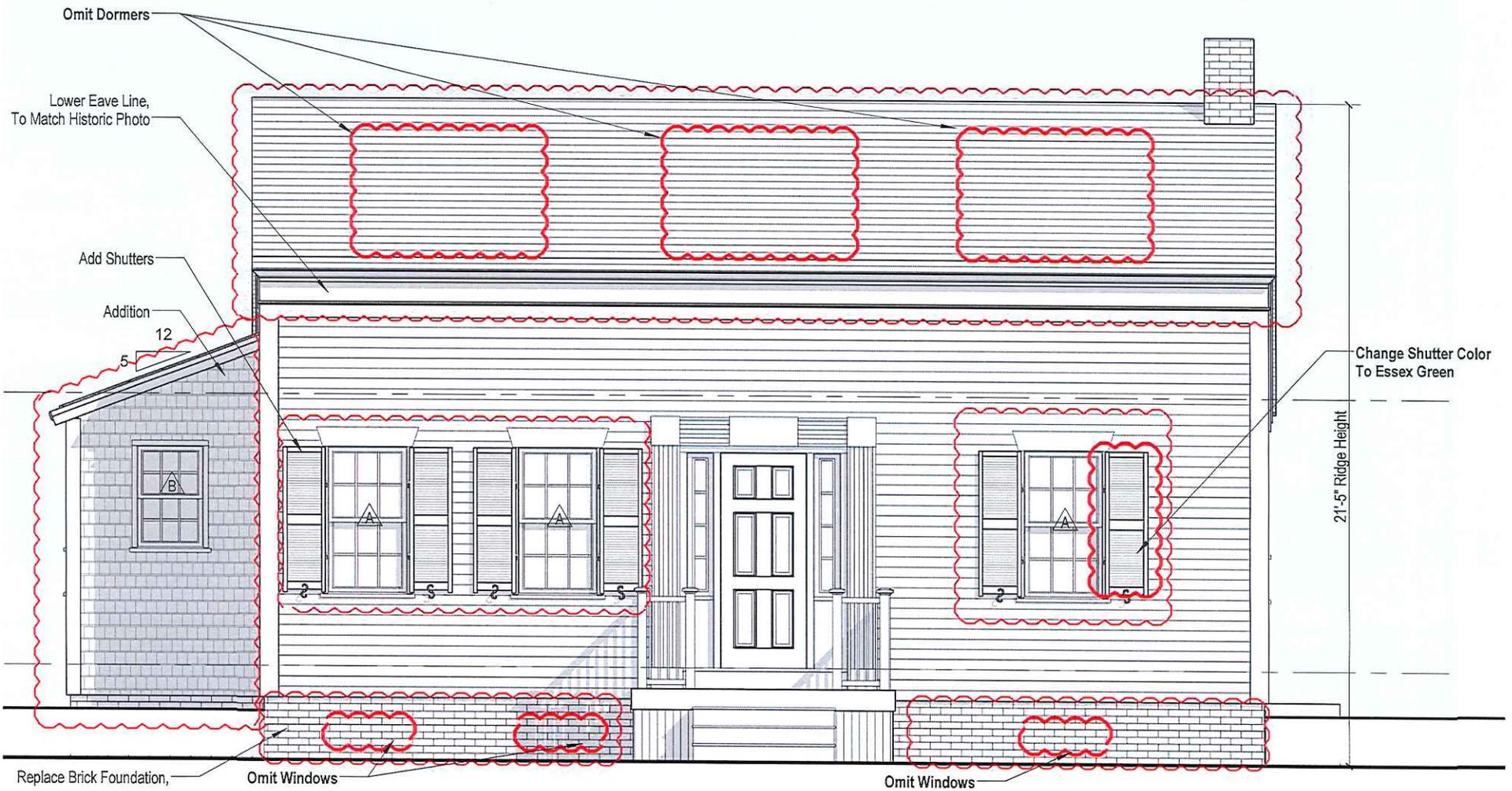
RELOCATED COTTAGE
349 s.f.

EXISTING DWELLING
FOOTPRINT

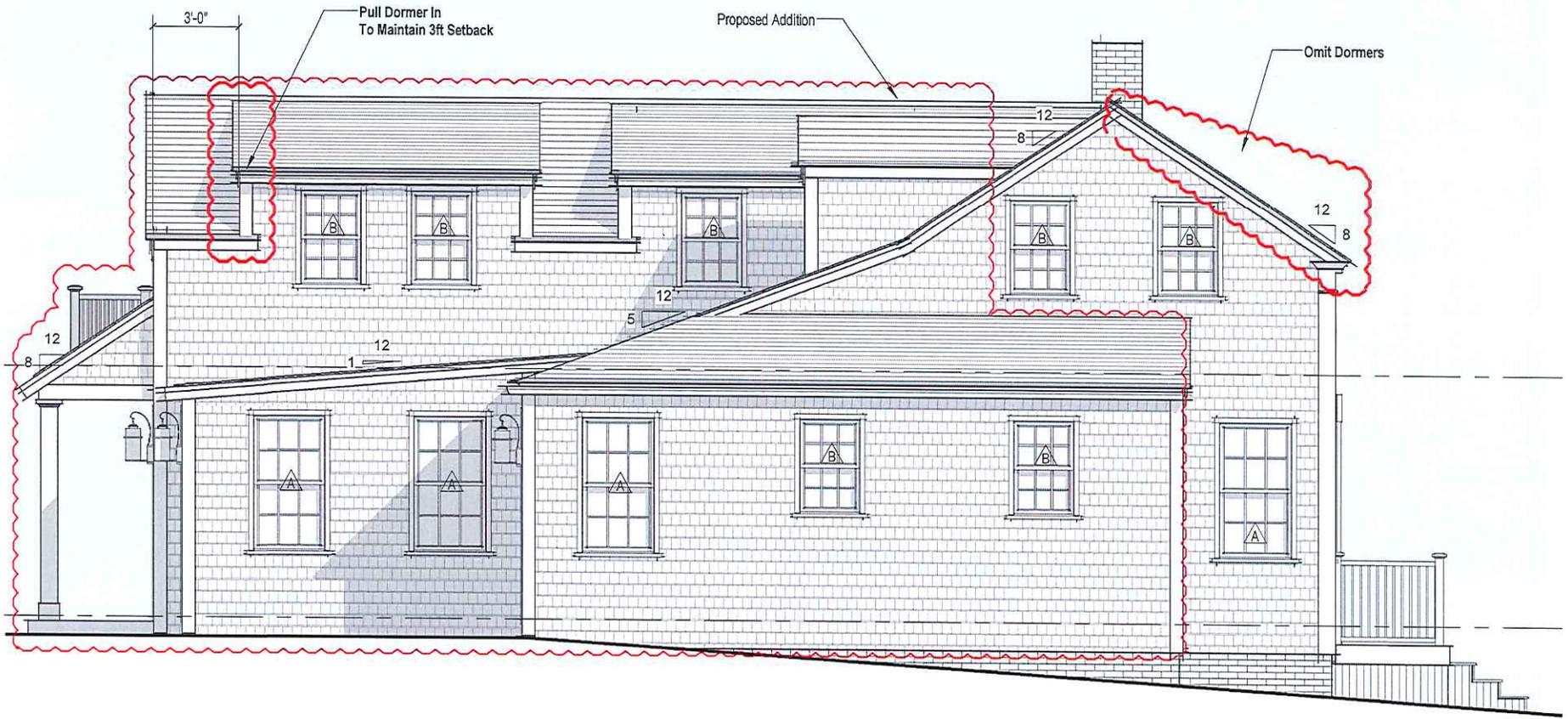
RENOVATED DWELLING
1,440 SQ.FT.

4 Site Plan 2
1/8" = 1'-0"





1 Proposed West Elevation
 1/4" = 1'-0"

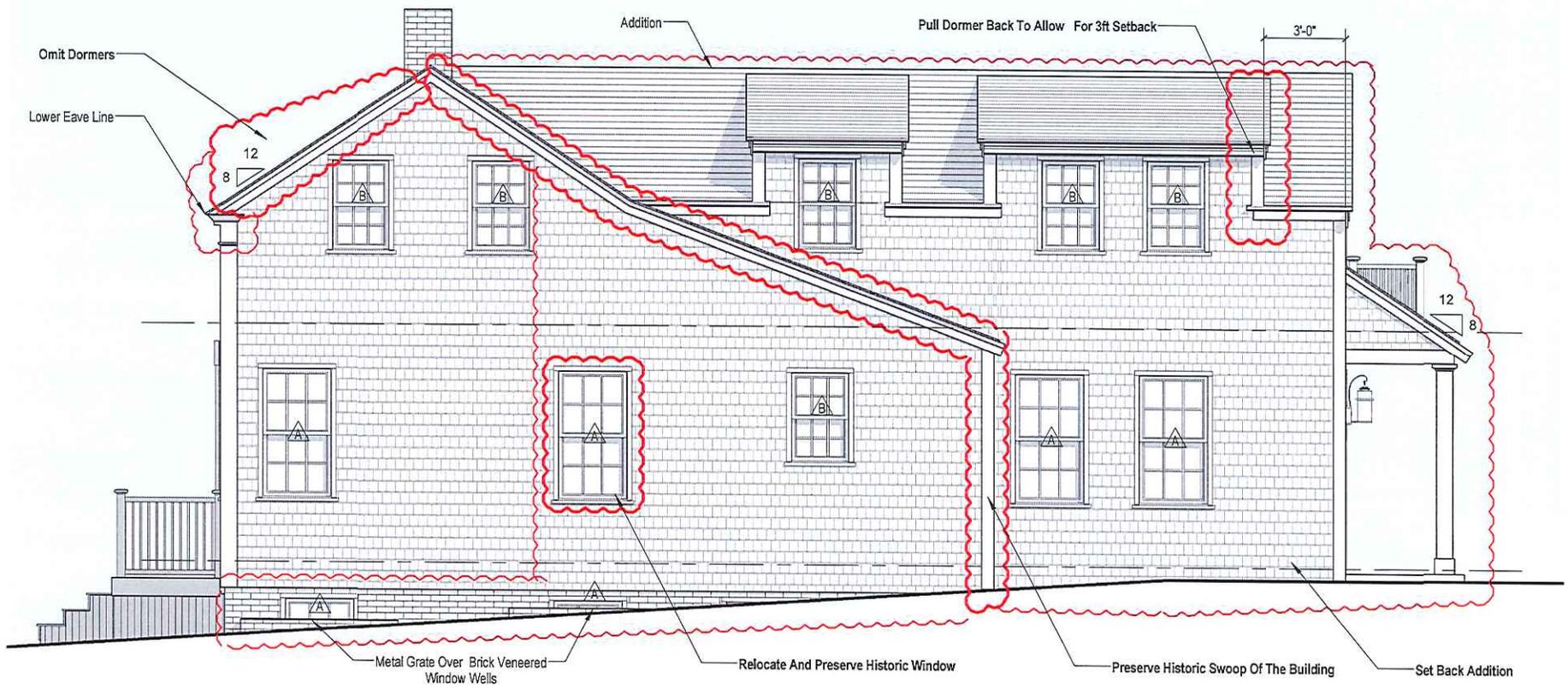


2 Proposed North Elevation
1/4" = 1'-0"

Set Back Addition
To Allow For Historic "Swoop"



1 Proposed East Elevation
1/4" = 1'-0"



2 Proposed South Elevation

1/4" = 1'-0"

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.
NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

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The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 42.4.2 PARCEL N°: 3
Street & Number of Proposed Work: 19 N. WATER ST
Owner of record: NIA, LLC
Mailing Address: NED, 75 PARK PLAZA
BOSTON, MA 02116
Contact Phone #: 617.243.7847 E-mail: skelley@neddevelopment.com

AGENT INFORMATION (if applicable)

Name: SCOTT KEULEY
Mailing Address: NED, 75 PARK PLAZA
BOSTON, MA 02116
Contact Phone #: 617.243.7847 E-mail: skelley@neddevelopment.com

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
Must be acted on by: _____
Extended to: _____
Approved: _____ Disapproved: _____
Chairman: _____
Member: _____
Member: _____
Member: _____
Member: _____
Member: _____

Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. 64813
 Pool (Zoning District _____) Roof Other TRASH SHED REVISIONS
Size of Structure or Addition: Length: 22' Sq. Footage 1st floor: 47-325 Decks/Patio: Size: _____ 1st floor 2nd floor
Width: 14'8" Sq. footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks

Historic Name: _____
Original Date: _____
Original Builder: _____
Is there an HDC survey form for this building attached? Yes N/A

- REVISIONS:**
1. East Elevation DOOR RELOCATED, DOUBLE LEAF - STORAGE
 2. South Elevation DOUBLE LEAF DOOR - TRASH
 3. West Elevation A/C COMPRESSOR
 4. North Elevation ELIMINATE DOOR

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 7'8" Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) _____ Other _____
Roof Pitch: Main Mass _____/12 Secondary Mass _____/12 Dormer _____/12 Other _____
Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____

Fence: Height: _____
Type: _____
Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size): _____

Sidewall: White cedar shingles Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____

B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____

Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square _____

Windows*: Double Hung Casement All Wood Other _____

True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____

Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways _____ Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

COLORS

Sidewall NATURAL Clapboard (if applicable) _____ Roof TO MATCH
Trim WHITE Sash WHITE Doors WHITE
Deck _____ Foundation _____ Fence _____ Shutters _____

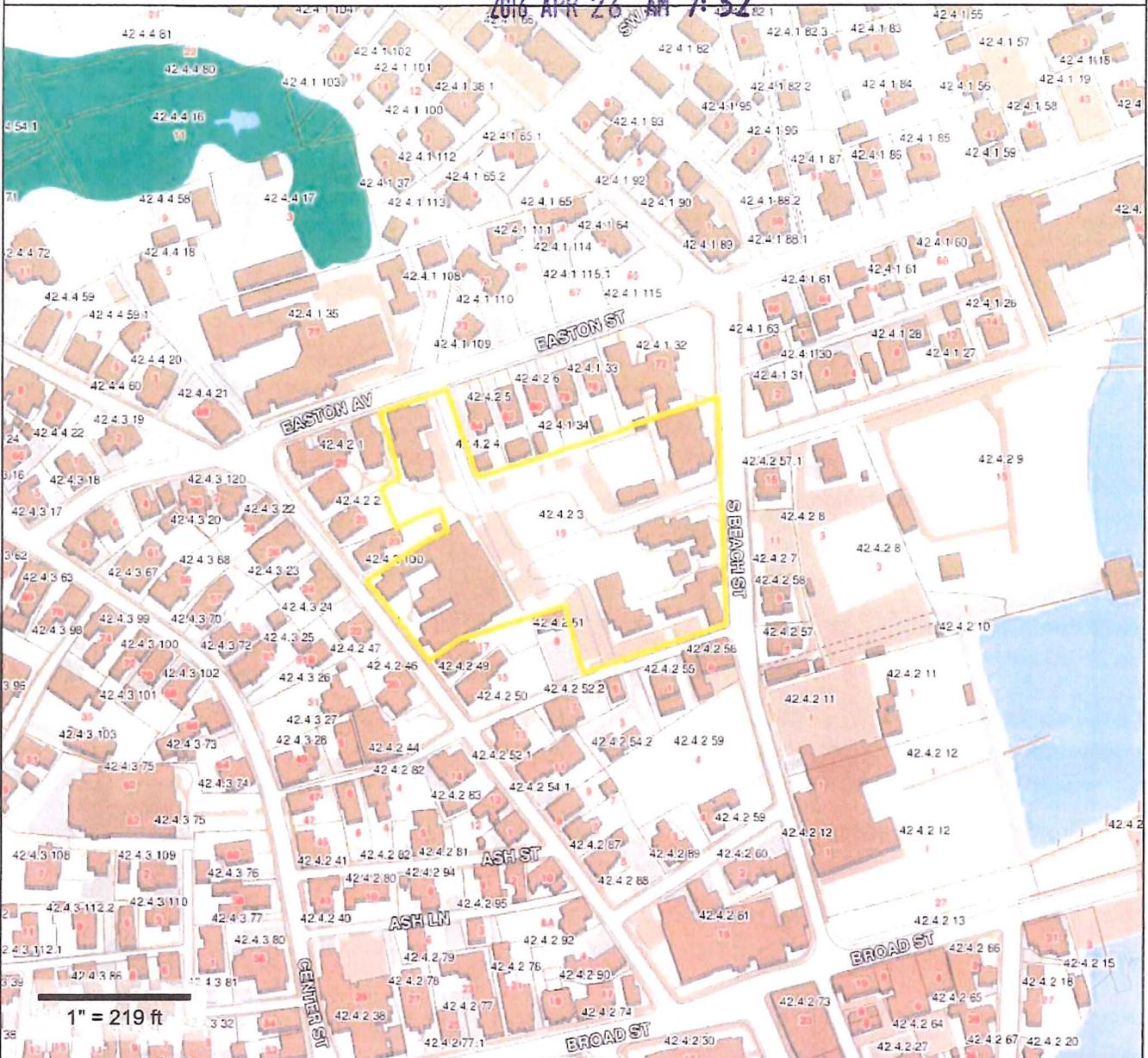
* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 4.22.16 Signature of owner of record _____ Signed under penalties of perjury

2016 APR 26 AM 7:52

2016 APR 26 AM 7:52



Property Information
Property ID 42.4.2.3
Location 19 N WATER ST
Owner NANTUCKET ISLAND RESORTS
 C/O NEW ENGLAND DEVELOP-A



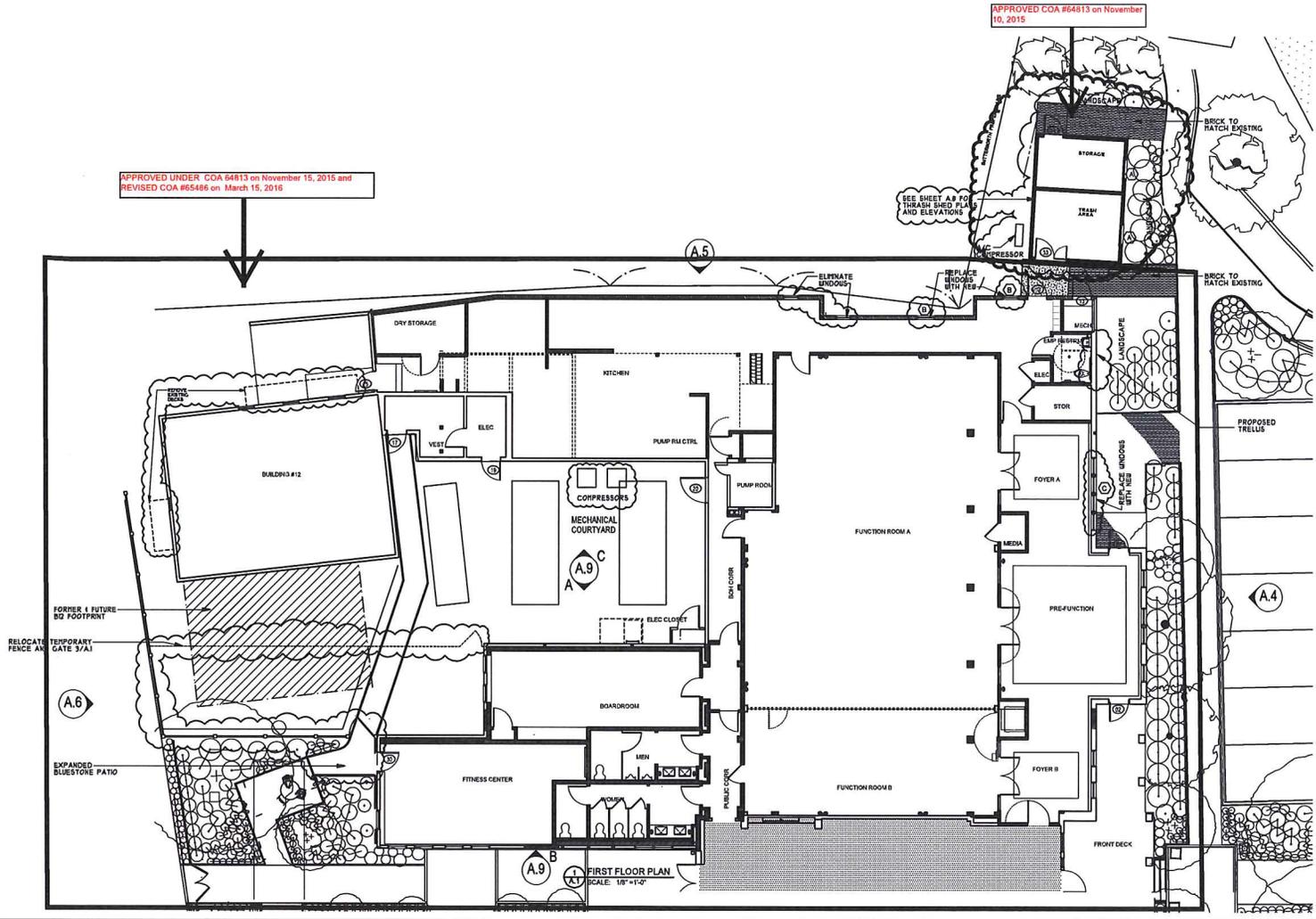
**MAP FOR REFERENCE ONLY
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Parcels updated December, 2014



12:08 PM 9/7/2016 C:\31625 White Elephant Building CAD3D (3) \31625-101-1025-101-1025-0-Base Floor Plan - 101c.rvt



319 Littleton Road
 Suite 10
 Shelburne, MA 01824
 P: 978-250-1882
 F: 978-250-1889

Signature
 Architects
 Incorporated

DO NOT SCALE THE DRAWING. SEE ALL DIMENSIONS SHOWN. VERIFY ALL DIMENSIONS ON-SITE. SEE ALL CITY ARCHITECT OF ART ORDINANCES.

Date: 02/24/16
 Revises: HDC Refinement

White Elephant Village
Building 1.1 - Build Out
 19 North Water Street
 Nantucket, Massachusetts

OVERALL PLAN & HARDSCAPE

Date:	Feb 08, 2016
Project No.:	21525
Scale:	3/16"=1'-0"
Drawn:	MM - 0207
Drawing No.:	

A.1

