

1. Viewpack #2

Documents: [39 WASHAMAN AVE.PDF](#), [50 CLIFF ROAD.PDF](#), [50 DUKES ROAD, ADDITION.PDF](#), [50 DUKES ROAD, STAIRS.PDF](#), [57 EEL POINT ROAD.PDF](#), [58 GOLDFINCH RD, HARDSCAPE.PDF](#), [68 MONOMOY RD..PDF](#), [72 MONOMOY RD, MAIN DWELLING.PDF](#), [72 MONOMOY ROAD, GARAGE.PDF](#), [78 WAUWINET ROAD, BARN.PDF](#), [78 WAUWINET ROAD, NEW DWELLING.PDF](#), [94 QUIDNET ROAD, ADDITION.PDF](#), [94 QUIDNET ROAD, COTTAGE.PDF](#), [94 QUIDNET ROAD, DEMO GARAGE.PDF](#), [286 POLPIS ROAD.PDF](#)

2. No Meeting Agenda

There is no agenda available for this meeting. Please view the minutes.

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 55 PARCEL N°: 587
Street & Number of Proposed Work: 39 Washaman Av.
Owner of record: Ryan D. Gordon
Mailing Address: 2024 West Lane Drive
Houston, TX 77027
Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: JBS studio
Mailing Address: PO Box 3741
Nantucket, MA 02584
Contact Phone #: 508 332 9654 E-mail: juraj@thjbsstudio.com

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
Must be acted on by: _____
Extended to: _____
Approved: _____ Disapproved: _____
Chairman: _____
Member: _____
Member: _____
Member: _____
Member: _____
Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District _____) Roof Other _____
Size of Structure or Addition: Length: 10'3" Sq. Footage 1st floor: 52 Decks/Patio: Size: _____ 1st floor 2nd floor
Width: 6'4" Sq. Footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
Sq. Footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North No change South _____ East _____ West _____
Height of ridge above final finish grade: North No change South _____ East _____ West _____

Additional Remarks

Historic Name: _____ REVISIONS: 1. East Elevation
Original Date: _____ (describe) 2. South Elevation
Original Builder: _____ 3. West Elevation Enclose W part of covered porch
Is there an HDC survey form for this building attached? Yes N/A 4. North Elevation with walls/windows, Add screens
to covered porch

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 10" Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) _____ Other _____
Roof Pitch: Main Mass 9/12 Secondary Mass 1/12 Dormer 1/12 Other 4/12 No change
Roofing material: Asphalt 3-Tab Architectural No change
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.)

Fence: Height: _____
Type: _____
Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size): _____

Sidewall: White cedar shingles Clapboard (exposure: _____ inches) Front Side

Trim: A. Wood Pine Redwood Cedar Other _____

B. Treatment Paint Natural to weather Other white

C. Dimensions: Fascia 1x8 Rake 1x8 Soffit (Overhang) 5" Corner boards 1x6 Frieze _____

Window Casing 1x4 Door Frame _____ Columns/Posts: Round _____ Square _____

Windows: Double Hung Casement All Wood Other Match existing

True Divided Lights(muntins), single pane SDL's (Simulated Divided Lights) Manufacturer: Match existing

Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____

Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways _____ Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

COLORS

Sidewall NTU Clapboard (if applicable) _____ Roof No change
Trim white Sash white Doors _____
Deck NTU Foundation NTU Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 5/10/16 Signature of owner of record Ryan Gordon Signed under penalties of perjury

N



CATO LN

WASHAMAN AV



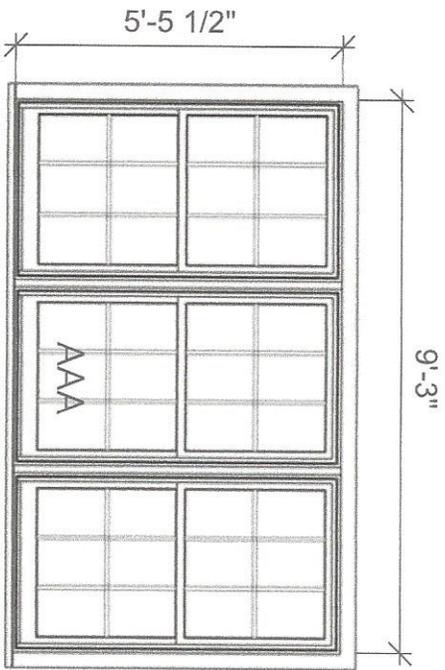
Property Information
 Property ID 55 587
 Location 36 WASHAMAN AV
 Owner NASHAQUISSET COOPERATIVE
 C/O GORDON RYAN D



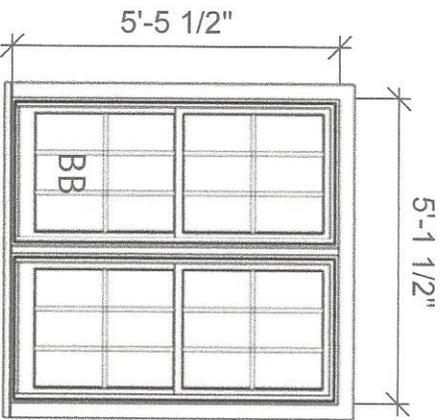
MAP FOR REFERENCE ONLY
 NOT A LEGAL DOCUMENT

The Town makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.
 Parcels updated December, 2014





6 over 6
 Double Hung, Tripple Ganged
 Match Existing Finish



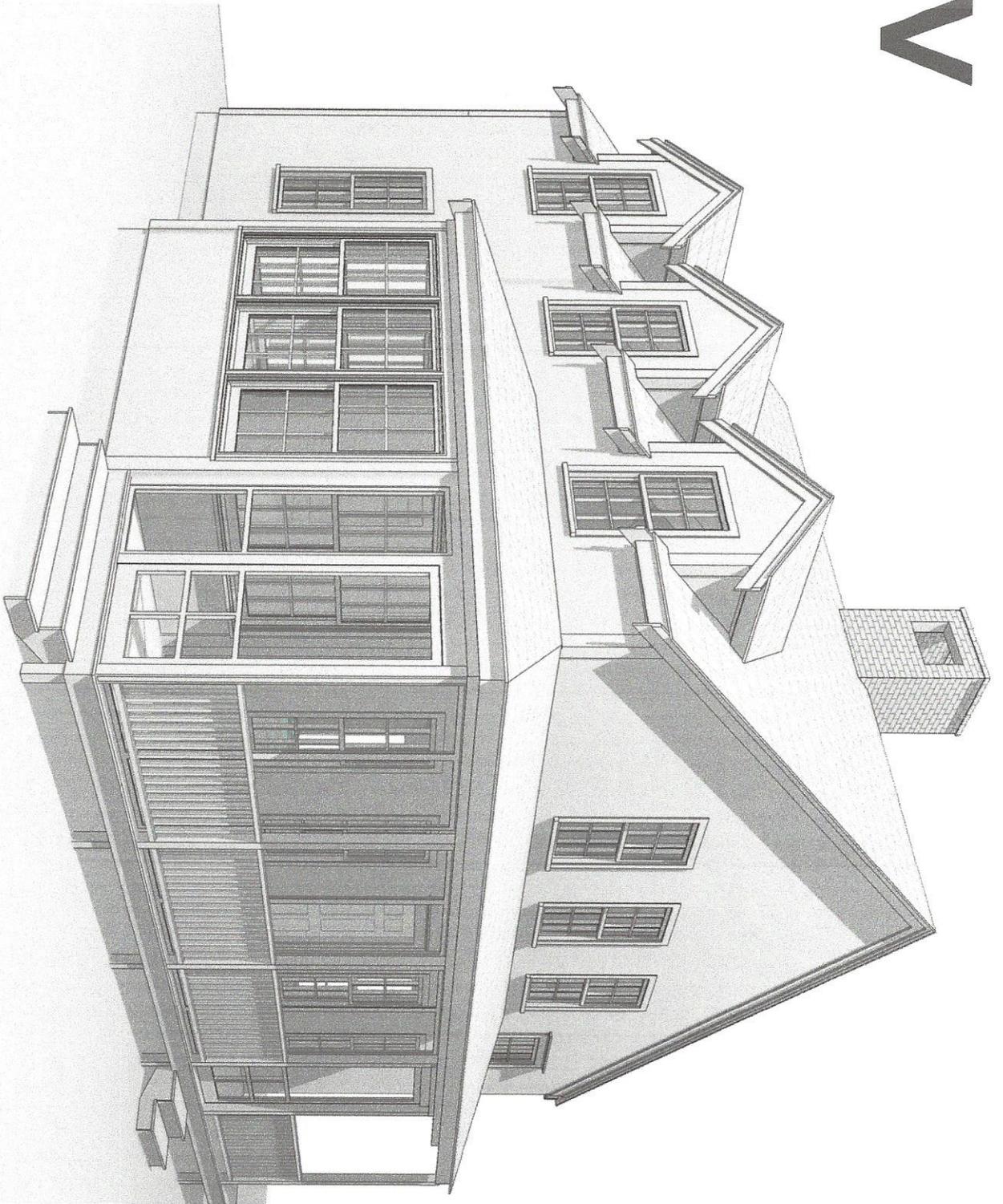
6 over 6
 Double Hung, Double Ganged
 Match Existing Finish



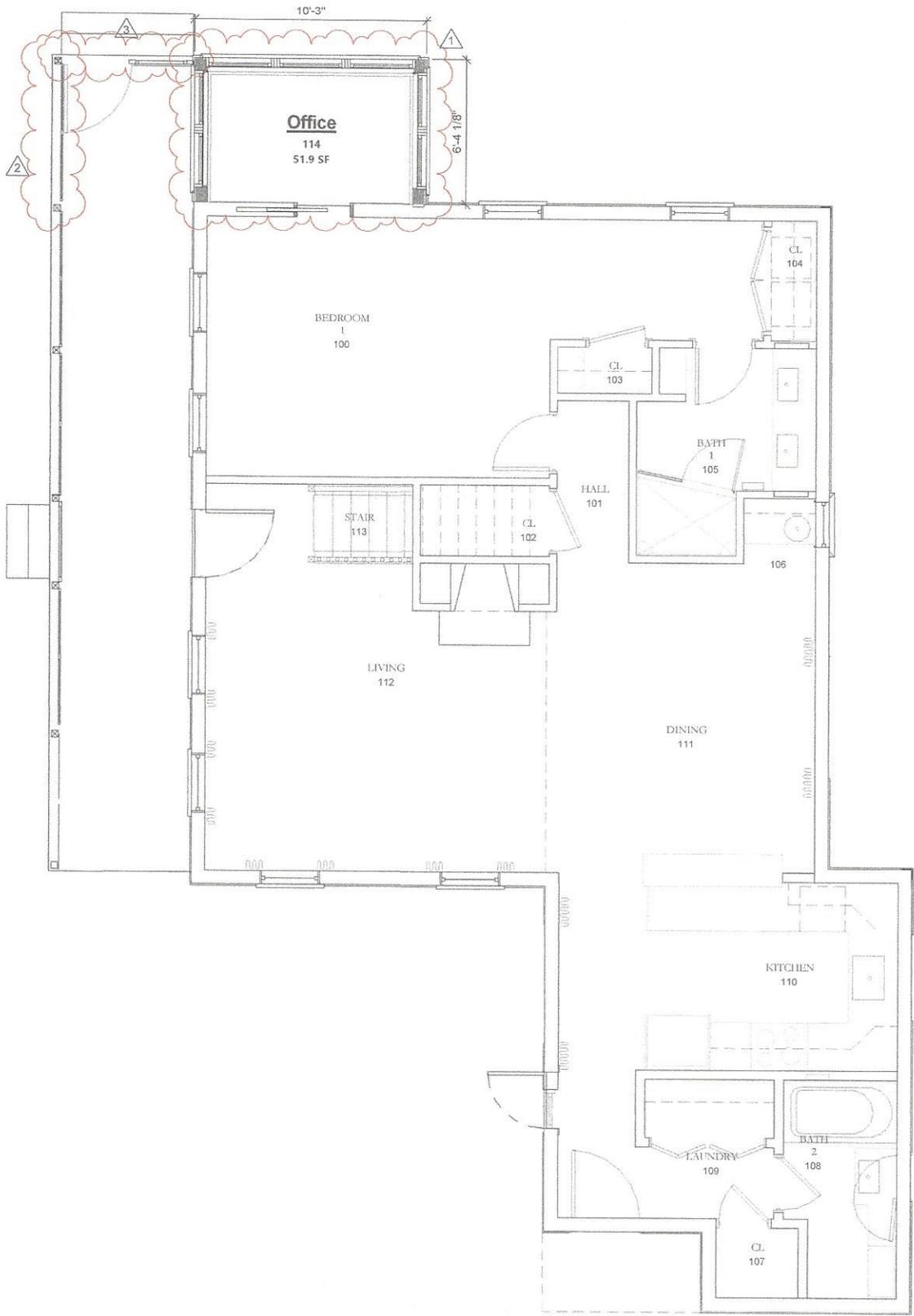
Window/Door Schedule

1/4" = 1'-0"

1V

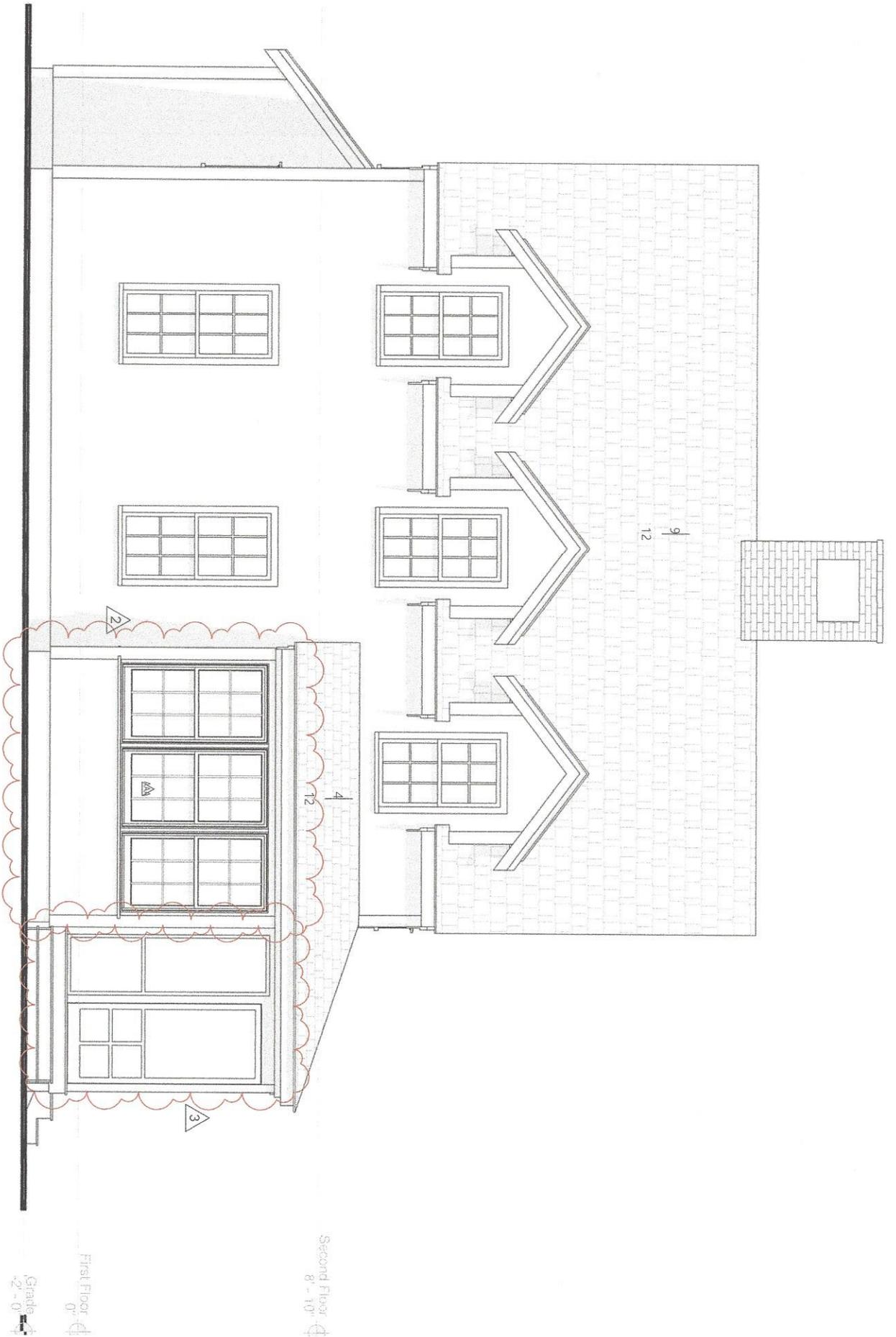


2 SW View



1 Proposed First Floor

1/4" = 1'-0"



Grade
-2'-0"

First Floor
0"

Second Floor
8'-10"

4

Proposed West Elevation
1/4" = 1'-0"



5 Proposed South Elevation
 1/4" = 1'-0"



6 Proposed North Elevation
 1/4" = 1'-0"









| No. | Description | Date |
|-----|---|----------|
| 1 | Close Covered Porch With Walls, Add Windows | 05.09.16 |
| 2 | Add Screen to Extend Screened-in Porch | 05.09.16 |
| 3 | Add Screen Door and Screen | 05.09.16 |



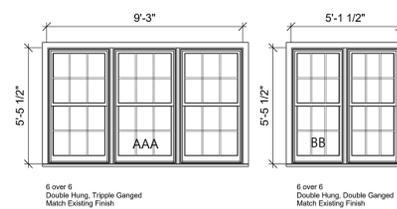
Locus Map
NTS



1 Site Plan
1" = 10'-0"

Property Info:

| | | | |
|---------------------|--------------|---------------------------------|---------------|
| Map & Parcel: | 55/587 | Lot Size: | 5,662 sq. ft. |
| District/Zoning: | RC | Allowable Ground Coverage: | 2,831 sq. ft. |
| Minimum Lot Size: | 5,000 sq.ft. | Existing Ground Coverage: | 1,228 sq. ft. |
| Frontage: | 50 ft. | Proposed Ground Coverage: | 52 sq. ft. |
| Ground Cover Ratio: | 50% | Total Proposed Ground Coverage: | 1,280 sq. ft. |
| Front Setback: | 10 ft. | | |
| Side/Rear Setback: | 5 ft. | | |



Window/Door Schedule
1/4" = 1'-0"



2 SW View

SHEET INDEX

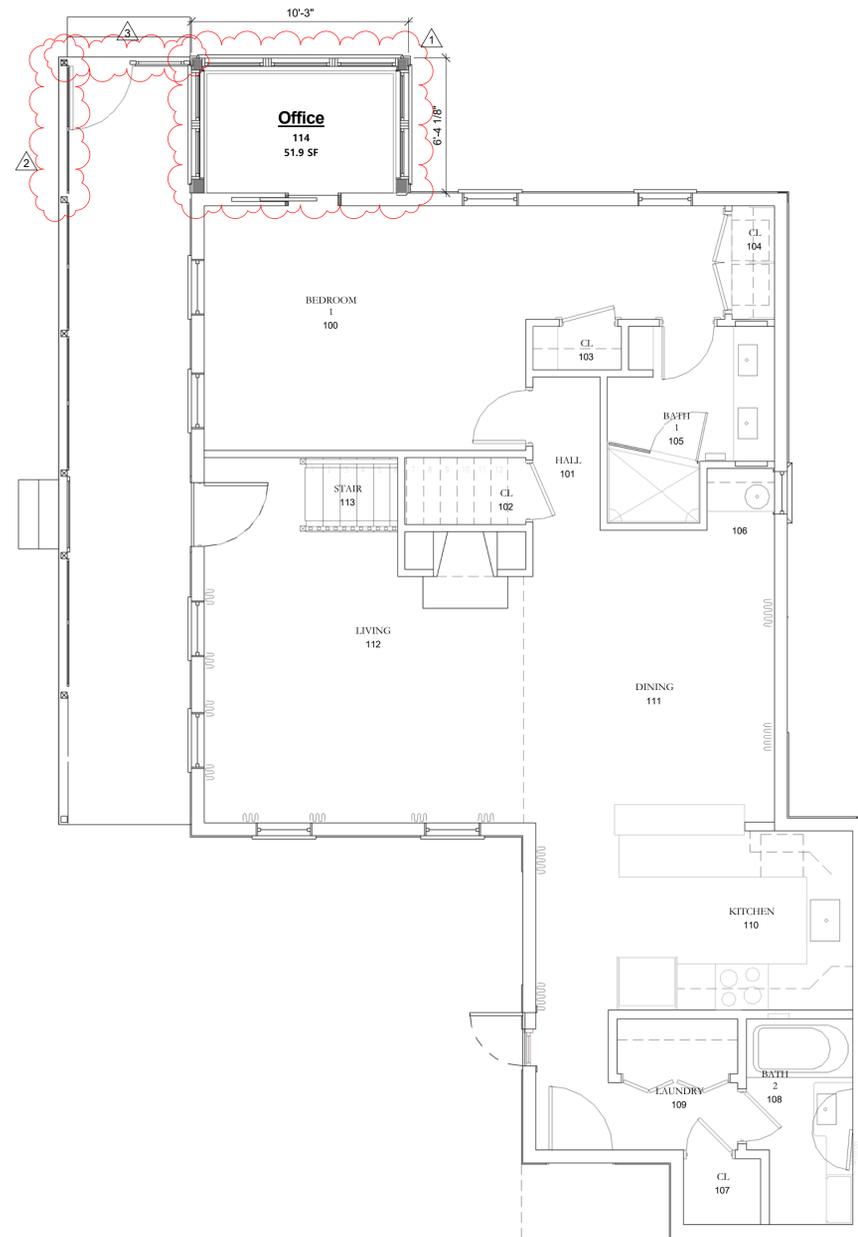
- C.101 SITE PLAN
- A.101 First Floor Plan
- A.201 Exterior Elevations
- Grand total: 3

05.09.16

Revisions

| No. | Description | Date |
|-----|---|----------|
| 1 | Close Covered Porch With Walls, Add Windows | 05.09.16 |
| 2 | Add Screen to Extend Screened-in Porch | 05.09.16 |
| 3 | Add Screen Door and Screen | 05.09.16 |
| | | |
| | | |

A.101



1 Proposed First Floor
1/4" = 1'-0"

SHEET INDEX

| | |
|----------------|---------------------|
| C.101 | SITE PLAN |
| A.101 | First Floor Plan |
| A.201 | Exterior Elevations |
| Grand total: 3 | |

05.09.16

Revisions

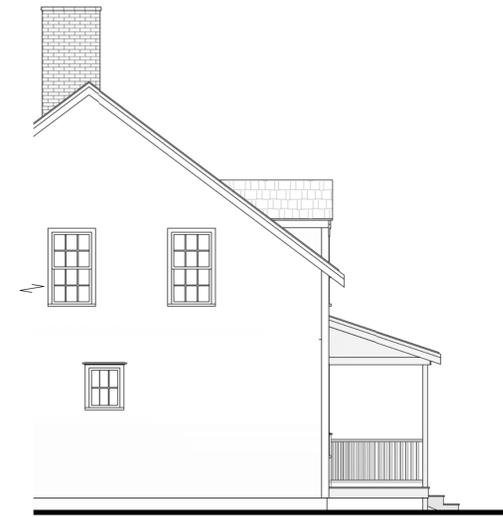
| No. | Description | Date |
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| 1 | Close Covered Porch With Walls, Add Windows | 05.09.16 |
| 2 | Add Screen to Extend Screened-in Porch | 05.09.16 |
| 3 | Add Screen Door and Screen | 05.09.16 |



1 Existing West Elevation
3/16" = 1'-0"



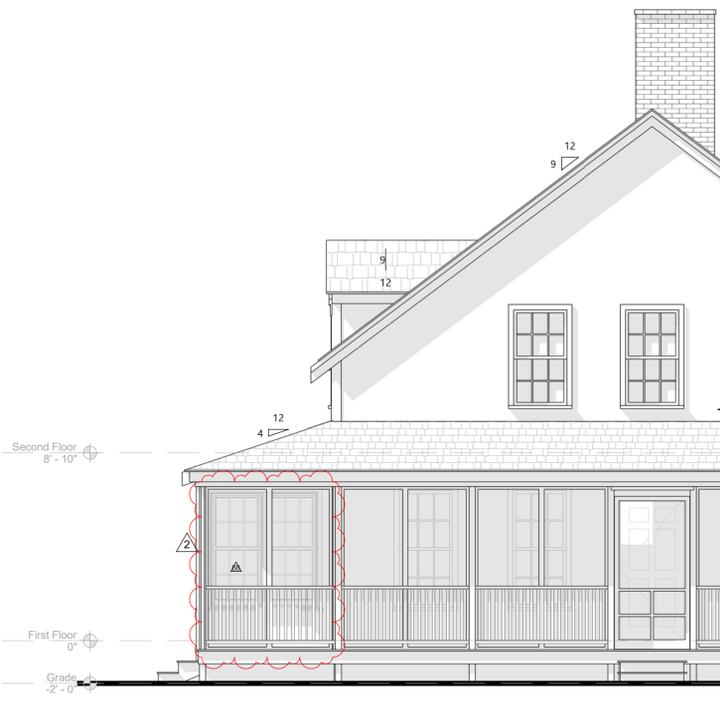
2 Existing South Elevation
3/16" = 1'-0"



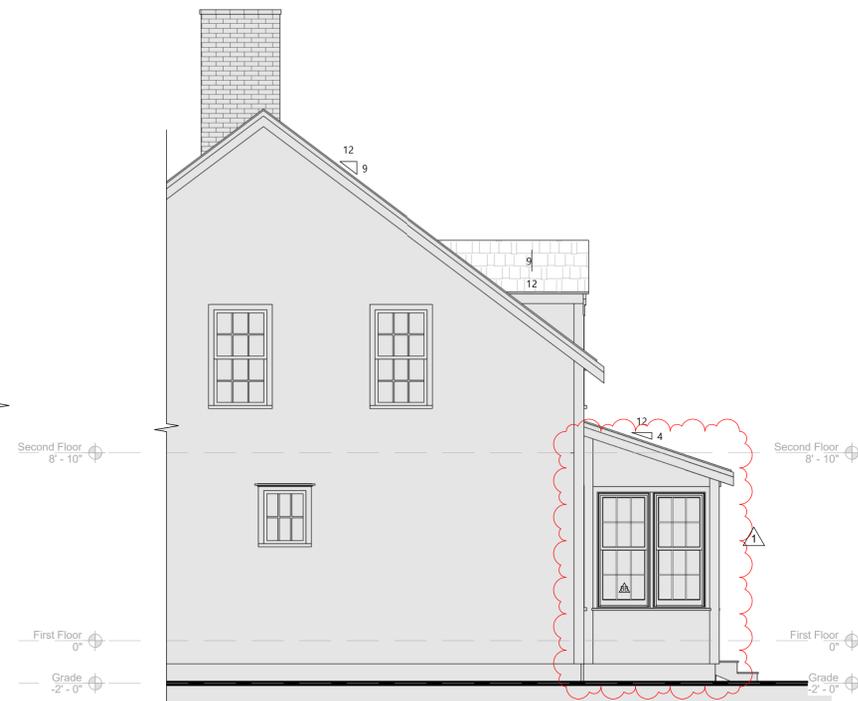
3 Existing North Elevation
3/16" = 1'-0"



4 Proposed West Elevation
1/4" = 1'-0"



5 Proposed South Elevation
1/4" = 1'-0"



6 Proposed North Elevation
1/4" = 1'-0"

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

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PROPERTY DESCRIPTION

TAX MAP N^o: 42 PARCEL N^o: 28
Street & Number of Proposed Work: 50 Cliff Road
Owner of record: Something Inc
Mailing Address: C/O MATTHEW FEE
50 CLIFF RD, NANTUCKET MA
Contact Phone #: 774-236-1174 E-mail: snatural@nantucket.net

AGENT INFORMATION (if applicable)

Name: ZACHARY DUSSEAU
Mailing Address: 2 GREGLEN AVE #15
NANTUCKET, MA 02554
Contact Phone #: 508-257-1866 E-mail: zach@acksmart.com

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
Must be acted on by: _____
Extended to: _____
Approved: _____ Disapproved: _____
Chairman: _____
Member: _____
Member: _____
Member: _____
Member: _____
Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 - Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No
 - Pool (Zoning District _____) Roof Other Solar Roof Mounted Installation Solar Array
- Size of Structure or Addition: Length: _____ Sq. Footage 1st floor: _____ Decks/Patio: Size: _____ 1st floor 2nd floor
Width: _____ Sq. Footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
Sq. Footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks

Historic Name: _____

Original Date: _____

Original Builder: _____

Is there an HDC survey form for this building attached? Yes N/A

- REVISIONS:**
1. East Elevation PV Panel Profile
 2. South Elevation Array Plane
 3. West Elevation PV Panel Profile
 4. North Elevation N/A

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers

Masonry Chimney: Block Parged Brick (type) _____ Other _____

Roof Pitch: Main Mass _____/12 Secondary Mass _____/12 Dormer _____/12 Other _____

Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____

Fence: Height: _____
Type: _____
Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size): _____

Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____
B. Treatment Paint Natural to weather Other _____
C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____
Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square _____

Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights(muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____
Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways _____ Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

COLORS

Sidewall _____ Clapboard (if applicable) _____ Roof _____
Trim _____ Sash _____ Doors _____
Deck _____ Foundation _____ Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 5-4-16 Signature of owner of record M Fee Signed under penalties of perjury

Town and County of Nantucket, MA



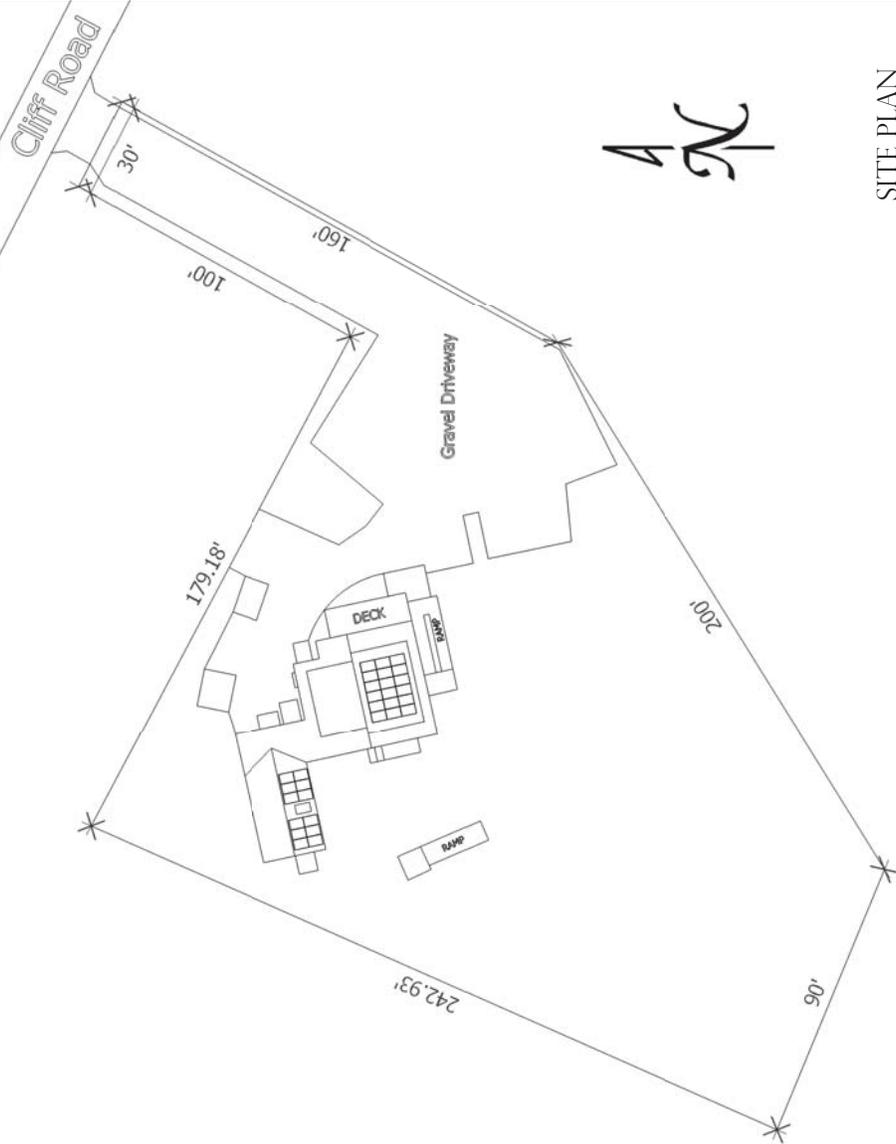
Property Information
 Property ID: 41 26
 Location: 50 CLIFF RD
 Owner: SOMETHING INC

**MAP FOR REFERENCE ONLY
 NOT A LEGAL DOCUMENT**

Town and County of Nantucket, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Parcel update frequency: 2015
 Prepared/updated January, 2015

ZONING CLASS: R-OH
 FRONT SETBACK: NONE
 REAR/SIDE SETBACK: 5' 0"



SITE PLAN
 SCALE: 1" = 40'

IO Ad

| REVISIONS | | REMARKS |
|-----------|------------|--------------------------|
| NO. | DATE | |
| 1 | 05/11/2016 | SUBMITTED FOR HDC REVIEW |
| 2 | | |
| 3 | | |
| 4 | | |
| 5 | | |

GIS & SITE PLAN

SOMETHING NATURAL ROOF MOUNT SOLAR

50 CLIFF ROAD
 NANTUCKET, MA 02554
 MAP: 41 PARCEL: 28



LG NeON2 Black

Electrical Properties

| | |
|---|------------|
| Model | NeON2-540L |
| Power (P _{max}) | 540 W |
| Voltage (V _{oc}) | 48.2 V |
| Voltage (V _{mp}) | 41.8 V |
| Current (I _{sc}) | 11.21 A |
| Current (I _{mp}) | 12.92 A |
| Temperature Coefficient (P _{max}) | -0.43 %/°C |
| Temperature Coefficient (V _{oc}) | -0.23 %/°C |
| Temperature Coefficient (I _{sc}) | 0.05 %/°C |

Dimensions

3' 3 3/8" x 5' 4 9/16"

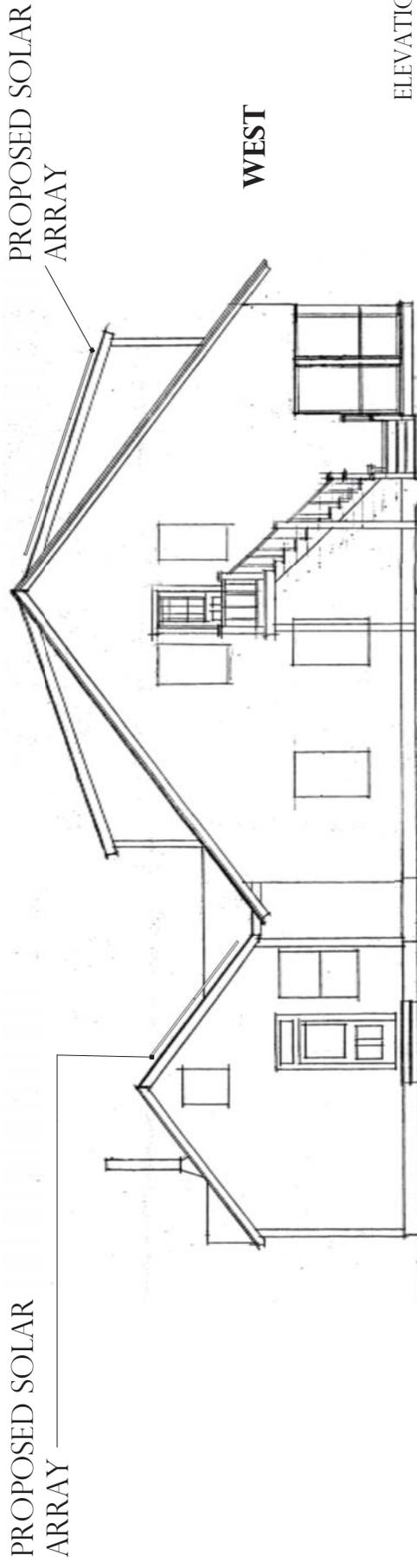
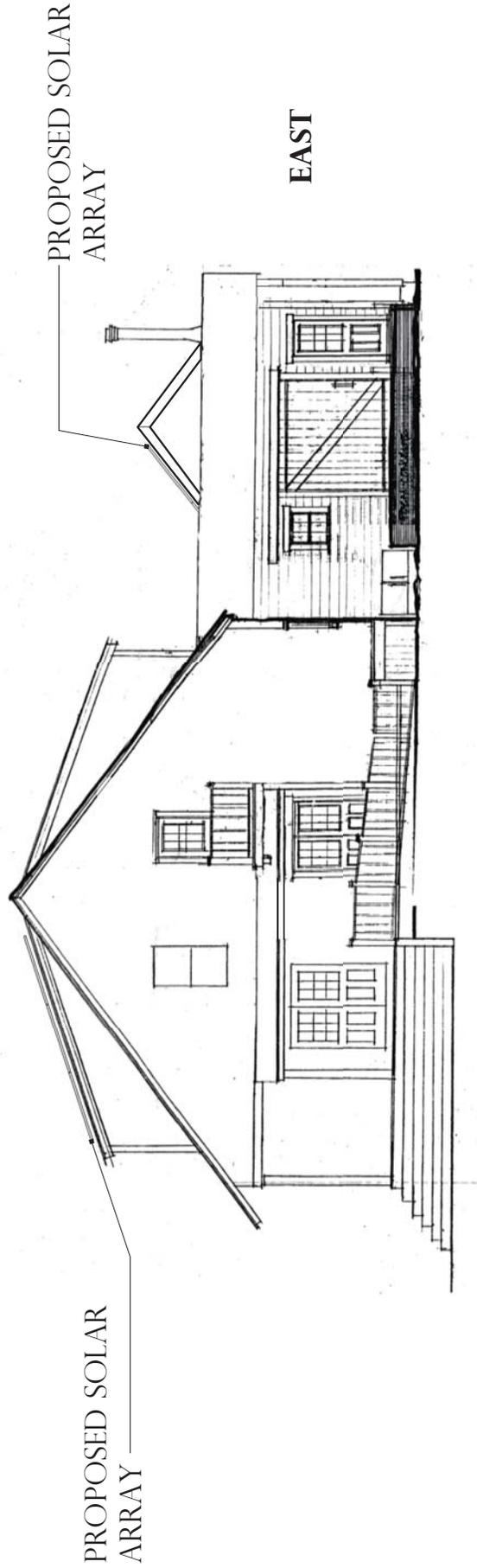
QR Code

PROPOSED SOLAR ARRAY

SOUTH

ELEVATIONS
SCALE: 1/8" = 1' 0"

| | 50 CLIFF ROAD NANTUCKET, MA 02554 MAP: 41 PARCEL: 28 | | PV MODULE & SOUTH ELEVATION | | REVISIONS <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>05/11/2016</td> <td>SUBMITTED FOR HDC REVIEW</td> </tr> <tr> <td>2</td> <td></td> <td></td> </tr> <tr> <td>3</td> <td></td> <td></td> </tr> <tr> <td>4</td> <td></td> <td></td> </tr> <tr> <td>5</td> <td></td> <td></td> </tr> </tbody> </table> | NO. | DATE | DESCRIPTION | 1 | 05/11/2016 | SUBMITTED FOR HDC REVIEW | 2 | | | 3 | | | 4 | | | 5 | | |
|------------------------------------|---|-----------------------------|--|---------|--|-----|------|-------------|---|------------|--------------------------|---|--|--|---|--|--|---|--|--|---|--|--|
| | NO. | DATE | DESCRIPTION | | | | | | | | | | | | | | | | | | | | |
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| 2 | | | | | | | | | | | | | | | | | | | | | | | |
| 3 | | | | | | | | | | | | | | | | | | | | | | | |
| 4 | | | | | | | | | | | | | | | | | | | | | | | |
| 5 | | | | | | | | | | | | | | | | | | | | | | | |
| SOMETHING NATURAL ROOF MOUNT SOLAR | | PV MODULE & SOUTH ELEVATION | | REMARKS | | | | | | | | | | | | | | | | | | | |



ELEVATIONS
SCALE: 1/8" = 1' 0"



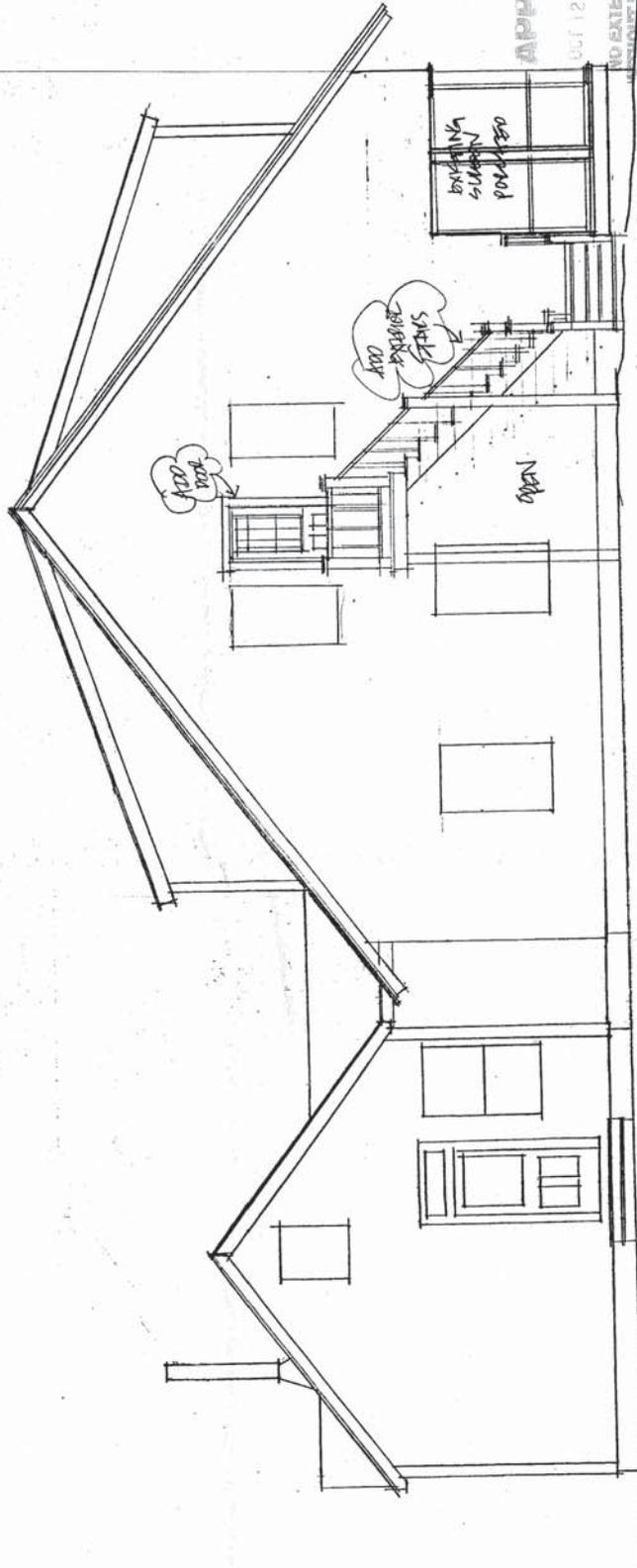
50 CLIFF ROAD
NANTUCKET, MA 02554
MAP: 41 PARCEL: 28

EAST & WEST ELEVATIONS

SOMETHING NATURAL ROOF MOUNT SOLAR

| NO. | DATE | REVISIONS |
|-----|------------|--------------------------|
| 1 | 05/11/2016 | SUBMITTED FOR HDC REVIEW |
| 2 | | |
| 3 | | |
| 4 | | |
| 5 | | |

EXISTING ELEVATIONS



APPROVED

APR 12 '04 44731

APPROVED

APR 12 '06 39706

NO EXTERIOR CHANGES WITHOUT H.D.C. APPROVAL

APR 04

SOMETHING NATURE - ADORNMENTS (HANGING)

| | | | |
|---------------------|----------------|--------------------------|-----------------------|
| SCALE: 1/4" = 1'-0" | DATE: 11/10/04 | DESIGNED BY: [Signature] | DRAWN BY: [Signature] |
| PROJECT: 41212 | | DRAWING NUMBER: [Blank] | |



EXISTING ELEVATIONS



NO EXTERIOR MATERIALS ADDED
 WITHOUT H.D.C. APPROVAL
 OCT 12 04 4 47 31
 TENSION TO

REVISION
 5706

APR 19

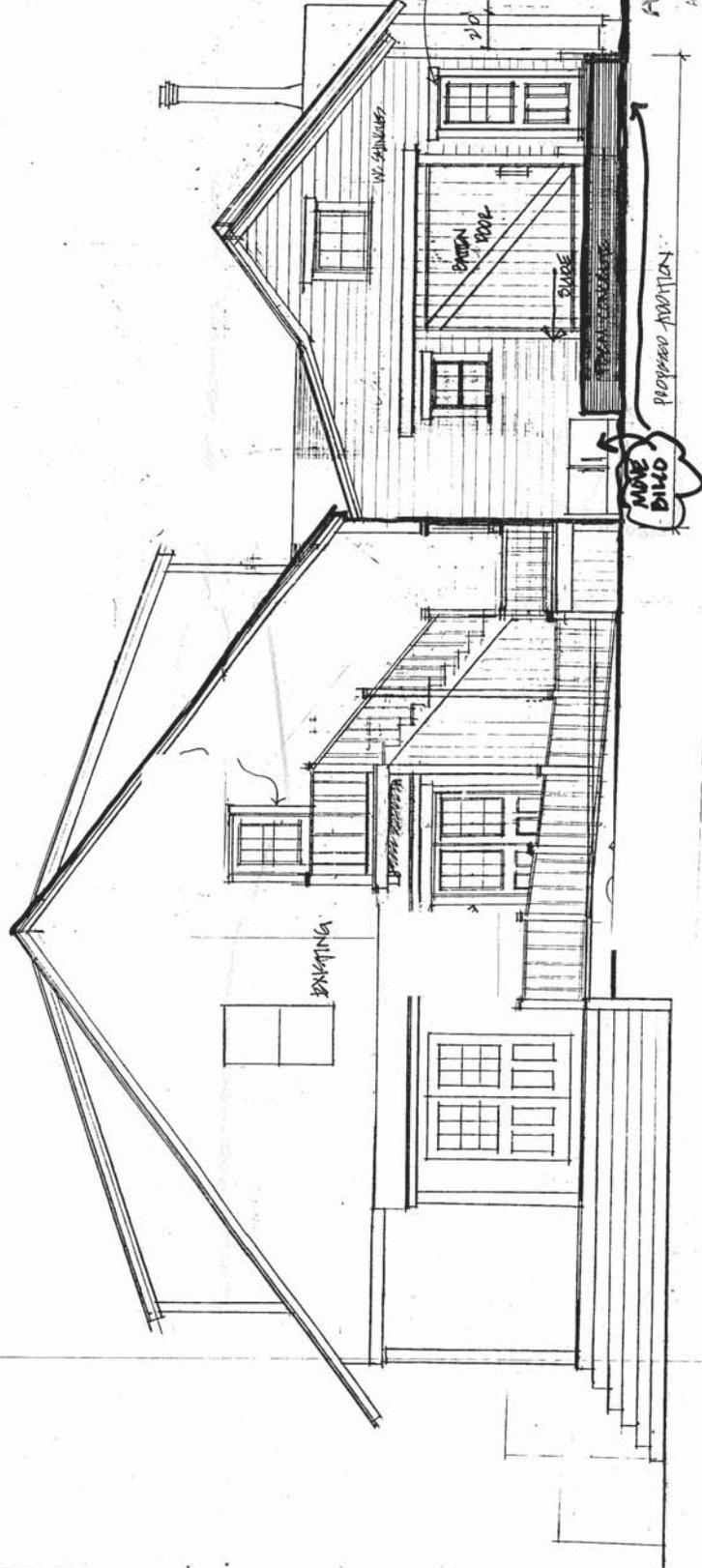
SOMETHING NATURAL - ADDITION (REVISED)



Valerie Oliver
 Nantucket

| | | | |
|-------|--------------|-------------|------------|
| SCALE | 1/4" = 1'-0" | APPROVED BY | |
| DATE | 11/17/01 | PROJECT | 112101 |
| | | DATE | 9/20/04 |
| | | DESIGNER | SD WPT KMD |
| | | ISSUE NO. | 1 |

EXISTING ELEVATIONS



APPROVED

01 12 04 44731

NO EXTERIOR ALTERATIONS WITHOUT D.C. APPROVAL

APPROVED

REVIS 7 06

NO EXTERIOR CHANGES WITHOUT D.C. APPROVAL

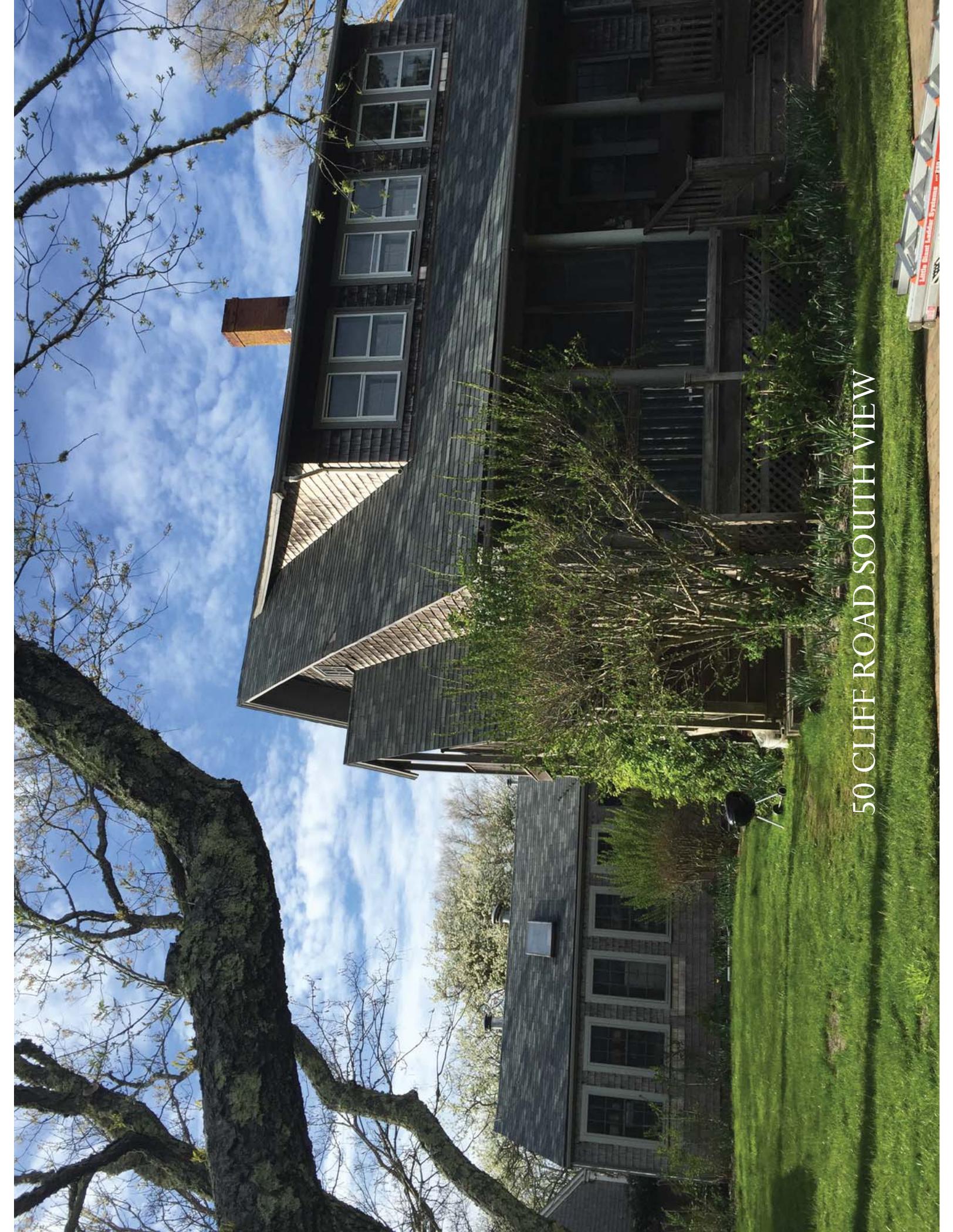
REVISIONS TO BE MADE

NORTH



SOMETHING NATURAL - APPROVAL (REVIS)

| | | | |
|--------------|----------|-------------|---------|
| SCALE | DATE | APPROVED BY | DATE |
| 1/4" = 1'-0" | 11/15/01 | | 4/18/02 |
| 50 MITT ROAD | | | 9/20/04 |



50 CLIFF ROAD SOUTH VIEW

CERTIFICATE NO: _____

DATE ISSUED: _____

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PROPERTY DESCRIPTION

TAX MAP N°: 58 PARCEL N°: 245
Street & Number of Proposed Work: 50 DUKES RD
Owner of record: GREG & COURTNEY McKECHNIE
Mailing Address: 50 DUKES RD
NANTUCKET
Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: THORNEWELL DESIGN, LLC
Mailing Address: 48 DUKES RD
NANTUCKET MA
Contact Phone #: 228 9161 E-mail: _____

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
Must be acted on by: _____
Extended to: _____
Approved: _____ Disapproved: _____
Chairman: _____
Member: _____
Member: _____
Member: _____
Member: _____
Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
- Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
- Pool (Zoning District _____) Roof Other _____

Size of Structure or Addition: Length: 20 Sq. Footage 1st floor: 360 SF Decks/Patio: Size: _____ 1st floor 2nd floor
Width: 18 Sq. footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
Height of ridge above final finish grade: North _____ South 14'-6" East _____ West _____

Additional Remarks

Historic Name: _____ REVISIONS: 1. East Elevation
Original Date: _____ (describe) 2. South Elevation ADD 3 SEASON ROOM AND SHED
Original Builder: _____ 3. West Elevation DORMER
Is there an HDC survey form for this building attached? Yes N/A 4. North Elevation
*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 8" Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) WATER STONE Other _____
Roof Pitch: Main Mass 12 Secondary Mass 12 Dormer 5.5/12 Other 3 SEASON ROOM 5.5/12

Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____
Fence: Height: _____
Type: _____
Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) COPPER BOXED - CEDAR

Leaders (material and size): 2" COPPER - 4" BOX (CEDAR)

Sidewall: White cedar shingles Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____
B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia 1x8 Rake 1x8 Soffit (Overhang) 6" Corner boards _____ Frieze 1x6
Window Casing 1x4 Door Frame 1x4 Columns/Posts: Round _____ Square 8x8

Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer ANDERSEN

Doors* (type and material): TDL SDL Front _____ Rear _____ Side 6 LIGHT PRECUT TO MATCH
Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways _____ Walkways _____ Walls PARGED CONCRETE

* Note: Complete door and window schedules are required.

COLORS

Sidewall WHITE CEDAR Clapboard (if applicable) _____ Roof DRK GREY TO MATCH
Trim NATURAL TO WEATHER Sash FOREST GREEN TO MATCH Doors FOREST GREEN TO MATCH
Deck _____ Foundation NAT. CONC Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 5/1/2016 Signature of owner of record COURTNEY McKECHNIE Signed under penalties of perjury

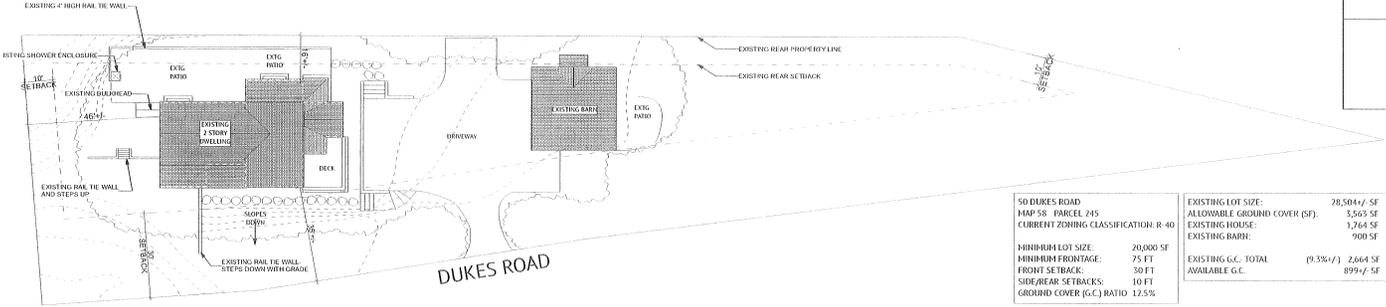
McKECHNIE RESIDENCE

50 DUKES ROAD
NANTUCKET, MA

| ISSUES/REVISION | DATE |
|-----------------|---------|
| AS BUILT | 3/29/16 |
| SD | 4/6/16 |
| DD | 4/21/16 |
| DD | 4/28/16 |

DRAWING LIST

| COVER | SITE PLANS, LOCUS MAP |
|-------|-------------------------|
| A 1.1 | FIRST FLOOR PLAN |
| A 1.2 | SECOND FLOOR PLAN |
| A 2.1 | NORTH & EAST ELEVATIONS |
| A 2.2 | SOUTH & WEST ELEVATIONS |

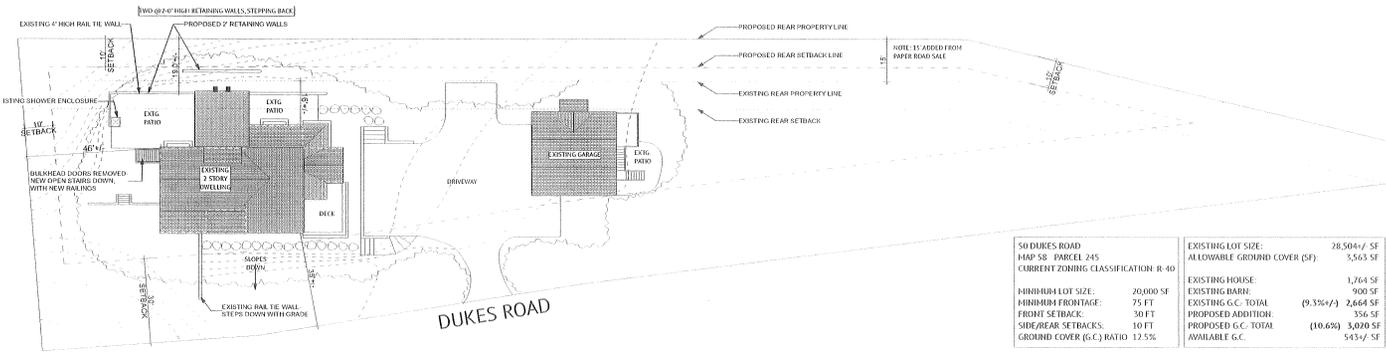


50 DUKES ROAD
MAP 58, PARCEL 245
CURRENT ZONING CLASSIFICATION: R-40
MINIMUM LOT SIZE: 20,000 SF
MINIMUM FRONTAGE: 75 FT
FRONT SETBACK: 30 FT
SIDE/REAR SETBACKS: 10 FT
GROUND COVER (G.C.) RATIO: 12.5%

EXISTING LOT SIZE: 28,504.7 SF
ALLOWABLE GROUND COVER (AG): 3,563 SF
EXISTING HOUSE: 1,764 SF
EXISTING BARN: 900 SF
EXISTING G.C. TOTAL (9.3%): 2,664 SF
AVAILABLE G.C.: 899.7 SF

2 EXISTING SITE PLAN

SCALE: 1" = 20'

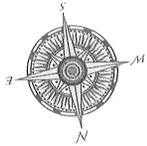
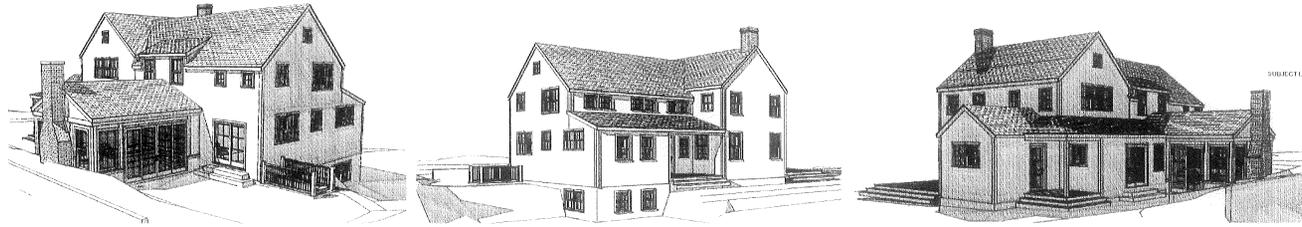


50 DUKES ROAD
MAP 58, PARCEL 245
CURRENT ZONING CLASSIFICATION: R-40
MINIMUM LOT SIZE: 20,000 SF
MINIMUM FRONTAGE: 75 FT
FRONT SETBACK: 30 FT
SIDE/REAR SETBACKS: 10 FT
GROUND COVER (G.C.) RATIO: 12.5%

EXISTING LOT SIZE: 28,504.7 SF
ALLOWABLE GROUND COVER (AG): 3,563 SF
EXISTING HOUSE: 1,764 SF
EXISTING BARN: 900 SF
EXISTING G.C. TOTAL (9.3%): 2,664 SF
PROPOSED ADDITION: 356 SF
PROPOSED G.C. TOTAL (10.6%): 3,020 SF
AVAILABLE G.C.: 543.7 SF

1 PROPOSED SITE PLAN

SCALE: 1" = 20'



McKECHNIE RESIDENCE
50 DUKES ROAD, NANTUCKET, MA

USE OF DRAWING
This drawing is the property of Thomas Hill Design, LLC. It is to be used only for the project and site identified herein. It is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Thomas Hill Design, LLC.

Thomas Hill Design, LLC
48 DUKES ROAD
NANTUCKET, MA 02554
Tel: 508 225 7167 Fax: 508 225 3165

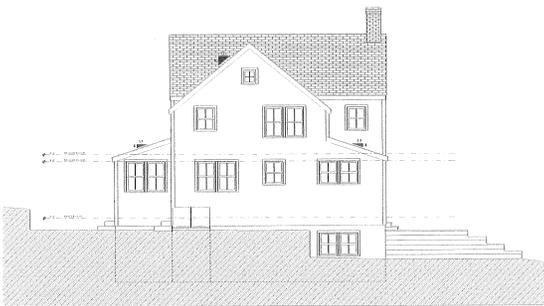
Sheet No:
COVER



3 Existing North Elevation
SCALE: 1/8" = 1'-0"



1 North Elevation
SCALE: 1/4" = 1'-0"



4 Existing East Elevation
SCALE: 1/8" = 1'-0"



2 East Elevation
SCALE: 1/4" = 1'-0"

| ISSUES/REVISION | DATE |
|-----------------|---------|
| AS BUILT | 3/29/16 |
| SD | 4/6/16 |
| DD | 4/23/16 |
| DD | 4/28/16 |

MCKECHNIE RESIDENCE
50 DUKES ROAD, NANTUCKET, MA

USE OF DRAWING
This drawing is to be used only for the project and location specified. It is not to be used for any other project or location without the written consent of the architect. The architect shall not be responsible for any errors or omissions in this drawing or any drawings prepared by the contractor.

© Thornehill Design, LLC 2016

Thornehill Design LLC
48 Dukes Road
Nantucket, MA 02554
Phone: 508 225-9581 Fax: 508 225-9165

Sheet No:
A2.1

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP NO: 58 PARCEL NO: 245
Street & Number of Proposed Work: 50 DUKES RD
Owner of record: GREG + COURTNEY McKECHNIE
Mailing Address: 50 DUKES RD
NANTUCKET
Contact Phone #: 2 E-mail: _____

AGENT INFORMATION (if applicable)

Name: HORNWELL DESIGN, LLC
Mailing Address: 48 DUKES RD
NANTUCKET
Contact Phone #: 228-9161 E-mail: _____

| | |
|--|--------------------|
| FOR OFFICE USE ONLY | |
| Date application received: _____ | Fee Paid: \$ _____ |
| Must be acted on by: _____ | |
| Extended to: _____ | |
| Approved: _____ Disapproved: _____ | |
| Chairman: _____ | |
| Member: _____ | |
| Member: _____ | |
| Member: _____ | |
| Member: _____ | |
| Notes - Comments - Restrictions - Conditions | |
| | |
| | |
| | |

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District _____) Roof Other: STAIR AND DECK ACCESS TO SECOND FLOOR
Size of Structure or Addition: Length: _____ Sq. Footage 1st floor: _____ Decks/Patio: Size: 12x8 1st floor 2nd floor
Width: _____ Sq. footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks

Historic Name: _____ REVISIONS: 1. East Elevation
Original Date: _____ (describe) 2. South Elevation
Original Builder: _____ 3. West Elevation - ADD EXTERIOR STAIR AND DECK ACCESS TO GARAGE APARTMENT
Is there an HDC survey form for this building attached? Yes N/A 4. North Elevation ADD A LIGHT DOOR.
*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) _____ Other _____
Roof Pitch: Main Mass _____/12 Secondary Mass _____/12 Dormer _____/12 Other _____
Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____

| |
|----------------------|
| Fence: Height: _____ |
| Type: _____ |
| Length: _____ |

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size): _____

Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____

B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____

Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square _____

Windows*: Double Hung Casement All Wood Other _____

True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

Doors* (type and material): TDL SDL Front _____ Rear 4 LIGHT - WOOD Side _____

Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways _____ Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

COLORS

Sidewall _____ Clapboard (if applicable) _____ Roof _____

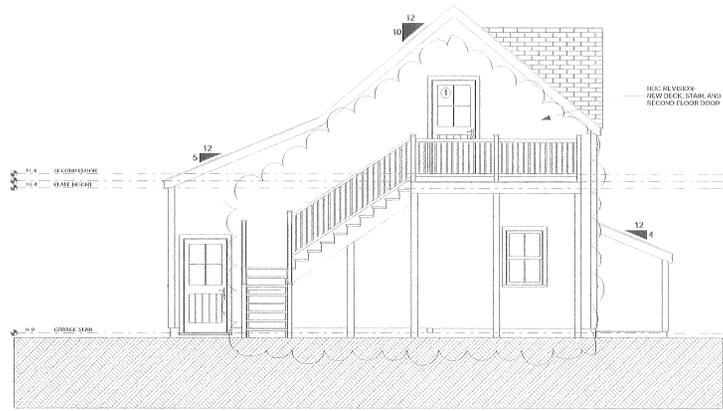
Trim _____ Sash _____ Doors FOREST GREEN

Deck NAT. MATHEGAN Foundation _____ Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 5/1/2016 Signature of owner of record COURTNEY McKECHNIE Signed under penalties of perjury



3 West Elevation
SCALE: 1/4" = 1'-0"



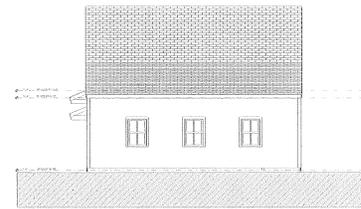
1 South Elevation
SCALE: 1/4" = 1'-0"



8 EXISTING EAST ELEVATION
SCALE: 1/8" = 1'-0"



7 EXISTING WEST ELEVATION
SCALE: 1/8" = 1'-0"



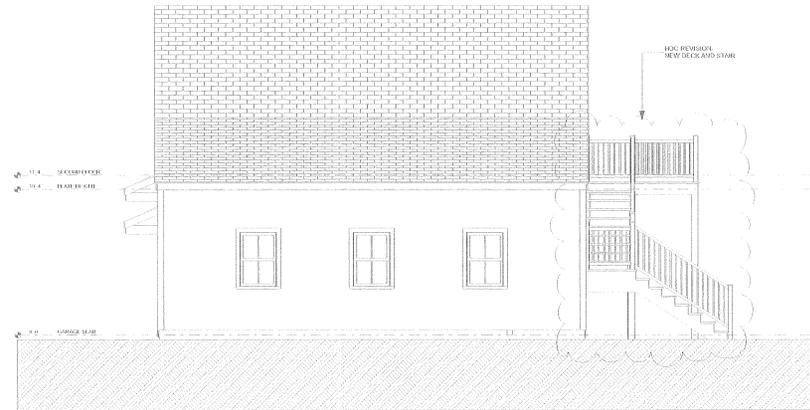
6 EXISTING NORTH ELEVATION
SCALE: 1/8" = 1'-0"



5 EXISTING SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



4 East Elevation
SCALE: 1/4" = 1'-0"



2 North Elevation
SCALE: 1/4" = 1'-0"

| ISSUES/REVISION | DATE |
|-----------------|---------|
| AS BUILT | 3/23/16 |
| SD | 4/2/16 |
| DD | 4/23/16 |
| DD | 4/28/16 |

MCKECHNIE GARAGE
50 DUKES ROAD, NANTUCKET, MA

USE OF DRAWING
This drawing is to be used for the project described herein only. It is not to be used for any other project without the written consent of the architect. The architect shall not be responsible for any errors or omissions in this drawing or for any consequences arising therefrom. © Thompson Design, LLC 2016

Thompson Design LLC
48 Dukes Road
Nantucket, MA 02554
Phone: 508 228 3161 Fax: 508 228 3165

Sheet No:
A2.1

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, Building with Nantucket in Mind, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 32 PARCEL N°: 46
Street & Number of Proposed Work: 57 FEE POINT ROAD
Owner of record: CHRISTIAN AND LILIANE HAVB
Mailing Address: 50 VINEYARD LANE
GREENWICH, CT 06851
Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: ANDREW KUTCHEN
Mailing Address: P.O. BOX 521
NANTUCKET, MA 02554
Contact Phone #: 212-273-9712 E-mail: _____

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
Must be acted on by: _____
Extended to: _____
Approved: _____ Disapproved: _____
Chairman: _____
Member: _____
Member: _____
Member: _____
Member: _____

Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
- Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. 63060
- Pool (Zoning District _____) Roof Other GENERATOR PAD ADDED

Size of Structure or Addition: Length: _____ Sq. Footage 1st floor: _____ Decks/Patio: Size: _____ 1st floor 2nd floor
Width: _____ Sq. footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____

Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks

Historic Name: _____
Original Date: _____
Original Builder: _____
Is there an HDC survey form for this building attached? Yes N/A

- REVISIONS***
1. East Elevation
 2. South Elevation
 3. West Elevation
 4. North Elevation

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers

Masonry Chimney: Block Parged Brick (type) _____ Other _____

Roof Pitch: Main Mass _____/12 Secondary Mass _____/12 Dormer _____/12 Other _____

Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____

Fence: Height: _____
Type: _____
Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size): _____

Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____

B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____

Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square _____

Windows*: Double Hung Casement All Wood Other _____

True Divided Lights(muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____

Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways _____ Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

COLORS

Sidewall _____ Clapboard (if applicable) _____ Roof _____
Trim _____ Sash _____ Doors _____
Deck _____ Foundation _____ Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 01/18/2016 Signature of owner of record _____ Signed under penalties of perjury

Haub Residence

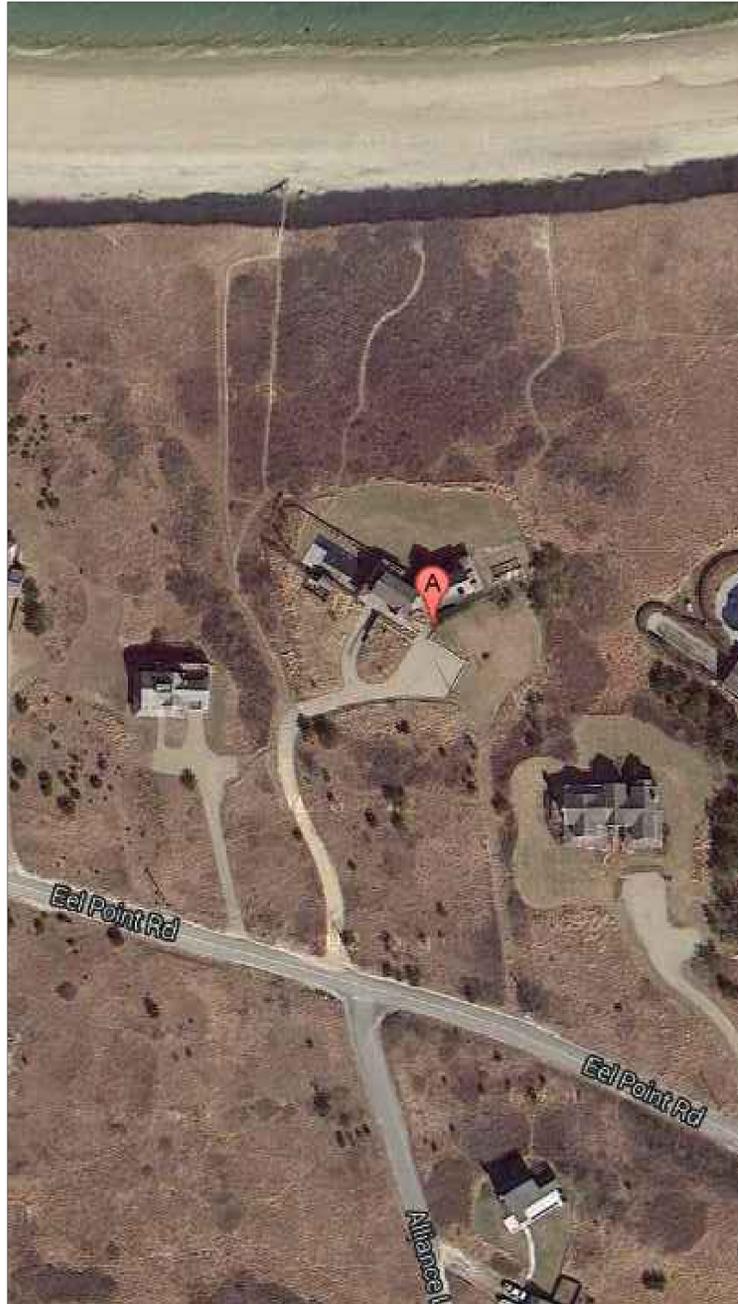
GUEST HOUSE

**HDC REVISION TO PREVIOUS
CERTIFICATE (GENERATOR PAD)**

01-27-16

57 Eel Point Road, NANTUCKET MA 02554
PROJECT NO. HAU - 313017

LOCUS PLAN



NOT TO SCALE

LOCUS PLAN



NOT TO SCALE



LIST OF DRAWINGS

| # | DATE | HDC SUBMISSION | PROGRESS SET | HDC REVISION | HDC REV. TO CERT. GRILL | HDC REV. TO CERT. |
|-------------|----------|----------------|--------------|--------------|-------------------------|-------------------|
| 1 | 10/16/13 | | | | | |
| 2 | 10/17/13 | | | | | |
| 3 | 1/08/13 | | | | | |
| 4 | 07/27/16 | | | | | |
| 5 | 07/27/16 | | | | | |
| 6 | | | | | | |
| 7 | | | | | | |
| 8 | | | | | | |
| 9 | | | | | | |
| 10 | | | | | | |
| 11 | | | | | | |
| 12 | | | | | | |
| TOTAL PAGES | 7 | 7 | 8 | 8 | 3 | |

ZONING INFORMATION

| | |
|-------------------|----------------|
| Map & Parcel | 32 / 46 |
| Current Zoning | LUG-2 |
| Minimum Frontage | 150' |
| Front Setback | 35' |
| Side/Rear Setback | 15' |
| Lot Size | 54,917 sq. ft. |
| Min. Lot Size | 80,000 sq. ft. |
| Allowable G.C. | 4% |
| Existing G.C. | 1602 sq. ft. |
| Proposed G.C. | 429 sq. ft. |
| Total G.C. | 2,031 sq. ft. |

OWNER

Christian and Liliane Haub
50 Vineyard Lane
Greenwich, CT 06831

ARCHITECT

WORKSHOP/APD
Workshop/APD Architecture DPC
39 West 38th Street, 7th Fl
New York, NY 10018
T: 212 273 9712
E: info@workshopapd.com

DRAWING INFO

CONSTRUCTION DOCUMENTS
DRAWN BY: CAF/ERB
CHECKED BY: ADK
DATE: SEPTEMBER 8, 2015
SCALE: AS NOTED
PROJ. NO. HAU - 313017

TITLE SHEET

T000.0

HAU - GUEST

HDC REVISION TO CERTIFICATE
 1. NEW GENERATOR PAD LOCATION

HAU
 HAUB RES.
 GUEST HOUSE
 57 Eel Point Road, NANTUCKET, MA 02554

OWNER
 Christian and Liliane Haub
 50 Vineyard Lane
 Greenwich, CT 06831

ARCHITECT
WORKSHOP/APD
 Workshop/APD Architecture DPC
 39 West 38th Street, 7th Fl
 New York, NY 10018
 T: 212 273 9712
 E: info@workshopapd.com

STRUCTURAL ENGINEER
 SLG, Engineering LLC
 6 Golden Gate Drive
 Hooksett, NH 03106
 P: 603.232.6142

CONTRACTOR
 Robert J. Reid Builders
 7 Windy Way
 Nantucket, MA 02554
 T: 508-737-6191



LANDSCAPE UNDER
 SEPARATE APPLICATION

REVISIONS

| | | |
|----|------------|-------------------------|
| 01 | 10/16/2013 | HDC SUBMISSION |
| 02 | 11/09/2013 | HDC REVISION |
| 03 | 01/27/2016 | HDC REV. TO CERT. GRILL |
| 04 | 01/27/2016 | HDC REV. TO CERT. |
| 05 | | |
| 06 | | |
| 07 | | |
| 08 | | |
| 09 | | |
| 10 | | |
| 11 | | |
| 12 | | |
| 13 | | |
| 14 | | |
| 15 | | |

DRAWING INFO

CONSTRUCTION DOCUMENTS
 DRAWN BY: CAF/ERB
 CHECKED BY: ADK
 DATE: SEPTEMBER 8, 2015
 SCALE: AS NOTED
 PROJ. NO. HAU - 313017

SITE PLAN

L100.0

HAU - GUEST

8 1/2 x 11

HANDSCAPE



Property Information

Property ID 68 678
 Location 58 GOLDFINCH DR
 Owner LAKE JONATHAN & KRISTEN



**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**

Town and County of Nantucket, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Parcels updated December, 2014
Properties updated January, 2015

CERTIFICATE NO: _____

CLB 68 - NEW DWELLING
DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 43 PARCEL N°: 149

Street & Number of Proposed Work: _____

Owner of record: STEVEN L COHEN, TRUSTEE OF MAX SHALIK TRUST

Mailing Address: 34 MAIN ST 2nd Fl

NANTUCKET MA 02554

Contact Phone #: 508-228-0537 E-mail: _____

AGENT INFORMATION (if applicable)

Name: ANDREW KOTCAEN

Mailing Address: PO Box 521

NANTUCKET MA 02554

Contact Phone #: 212-273-9712 E-mail: _____

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____

Must be acted on by: _____

Extended to: _____

Approved: _____ Disapproved: _____

Chairman: _____

Member: _____

Member: _____

Member: _____

Member: _____

Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed

Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____

Pool (Zoning District _____) Roof Other _____

Size of Structure or Addition: Length: 103.5' Sq. Footage 1st floor: 1494 Decks/Patio: Size: 37' x 28' 1st floor 2nd floor

Width: 29' Sq. footage 2nd floor: 1064 Size: _____ 1st floor 2nd floor

Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____

Height of ridge above final finish grade: North 25'-2" South 25'-2" East 25'-2" West 25'-2"

Additional Remarks

Historic Name: _____

Original Date: _____

Original Builder: _____

Is there an HDC survey form for this building attached? Yes N/A

- REVISIONS***
1. East Elevation
 2. South Elevation
 3. West Elevation
 4. North Elevation

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 6" Block Block Parged Brick (type) _____ Poured Concrete Piers

Masonry Chimney: Block Parged Brick (type) _____ Other _____

Roof Pitch: Main Mass 11/12 ~~12/12~~ Secondary Mass 5/12 Dormer 5/12 Other _____

Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____

Fence: Height: _____
Type: _____
Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size): _____

Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____

B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia 1 x 10 Rake 1 x 10 Soffit (Overhang) _____ Corner boards _____ Frieze _____

Window Casing 1 x 4 Door Frame 1 x 4 Columns/Posts: Round Square 8 x 8

Windows*: Double Hung Casement All Wood Other _____

True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer CUSTOM

Doors* (type and material): TDL SDL Front WOOD PANEL Rear FRENCH Side PANEL

Garage Door(s): Type CARRIAGE Material WOOD PANEL

Hardscape materials: Driveways STONE Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

COLORS

Sidewall NATURAL Clapboard (if applicable) _____ Roof NATURAL

Trim SWANK GREY Sash BLACK Doors BLACK

Deck 1 x 4 MAHOGANY Foundation PARGED Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 5/10/2016 Signature of owner of record STEVEN L COHEN TRUSTEE Signed under penalties of perjury

OWNER

MAK SHACK TRUST, U/D/T
34 Main Street
Nantucket, MA 02554

ARCHITECT

WORKSHOP/APD
WORKSHOP/APD ARCHITECTURE DPC
39 West 38th Street, 7th Fl, New York, NY 10018
T: (212) 273-9712 info@workshopapd.com

STRUCTURAL ENGINEER

CRAFT - ENGINEERING STUDIO
39 West 38th Street, 7th Fl
New York, NY 10018
T: (646) 912-8867

SURVEYOR

BLACKWELL & ASSOCIATES, INC.
20 Teasdale Circle
Nantucket, MA 02554
T: (508) 228-9026

CONTRACTOR

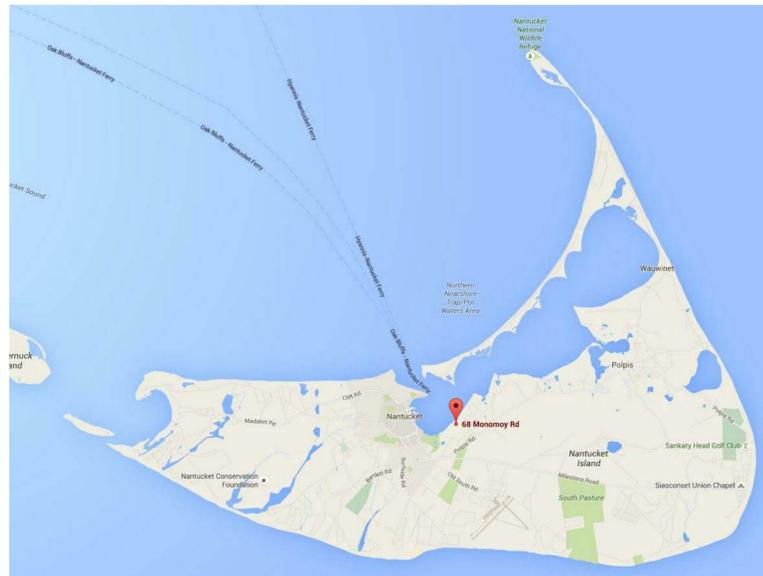
ROBERT J. REID BUILDERS
7 Windy Way
Nantucket, MA 02554
T: (508) 737-6191

HDC SUBMISSION
10 MAY 2016

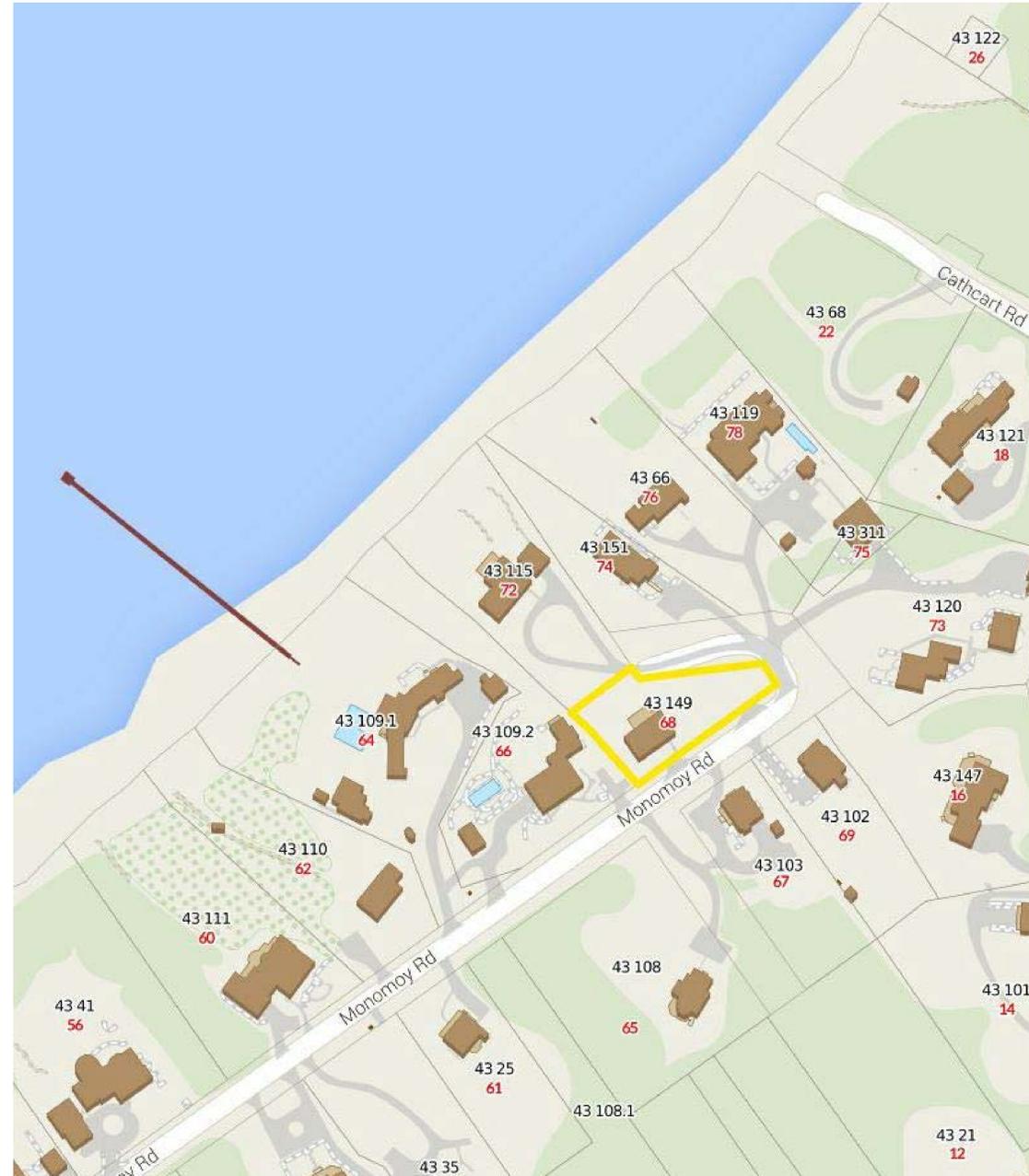
68 Monomoy Road
Nantucket, MA 02554
PROJECT NO. CLB - 316002

CLB PRIMARY DWELLING

LOCUS PLAN



LOCUS PLAN



NOT TO SCALE

LIST OF DRAWINGS

| SHEET | TITLE | ISSUE TYPE | 05/10/2016 HDC SUBMISSION |
|----------|---------------------|------------|---------------------------|
| T-001.00 | MAIN HOUSE | HDC | * |
| G-100.00 | GENERAL NOTES | HDC | * |
| L-100.00 | SITE PLAN | HDC | * |
| A-100.00 | BASEMENT FL. PLAN | HDC | * |
| A-101.00 | FIRST FL. PLAN | HDC | * |
| A-102.00 | SECOND FL. PLAN | HDC | * |
| A-103.00 | ROOF PLAN | HDC | * |
| A-200.00 | BUILDING ELEVATIONS | HDC | * |
| A-201.00 | BUILDING ELEVATIONS | HDC | * |
| A-202.00 | BUILDING ELEVATIONS | HDC | * |

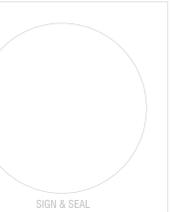
ZONING INFORMATION

| | |
|-------------------|-----------------|
| Map & Parcel | 43/149 |
| Current Zoning | L.U.G. - 1 |
| Minimum Frontage | 100 FT. |
| Front Setback | 35 FT. |
| Side/Rear Setback | 10 FT. |
| Lot Size | 17,424 SF |
| Min. Lot Size | 40,000 SF |
| Allowable G.C. | 7 % |
| Max G.C. | 1,500 SF |
| Existing G.C. | 1,400 SF (8%) |
| Proposed G.C. | 1,494 SF |
| Total G.C. | 1,494 SF (8.5%) |

ALL DESIGNS & SPECS ARE SUBJECT TO VERIFICATION OF EXG. FIELD CONDITIONS

REVISIONS

NOT FOR CONSTRUCTION



ISSUES

| 01/05/10/2016 | HDC SUBMISSION (PRIMARY) |
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DRAWING INFO

CONSTRUCTION DOCUMENTS
DRAWN BY: ZSH/MLW/WJP
CHECKED BY: ADK/AFH
DATE: MAY 10, 2016
SCALE: AS NOTED
PROJ. NO. CLB - 316002

MAIN HOUSE

T-001

OWNER

MAK SHACK Trust, U/D/T
34 Main Street
Nantucket, MA 02554

ARCHITECT

WORKSHOP/APD
WORKSHOP/APD ARCHITECTURE DPC
39 West 38th Street, 7th Fl, New York, NY 10018
T: (212) 273-9712 info@workshopapd.com

STRUCTURAL ENGINEER

CRAFT - ENGINEERING STUDIO
39 West 38th Street, 7th Fl
New York, NY 10018
T: (646) 912-8867

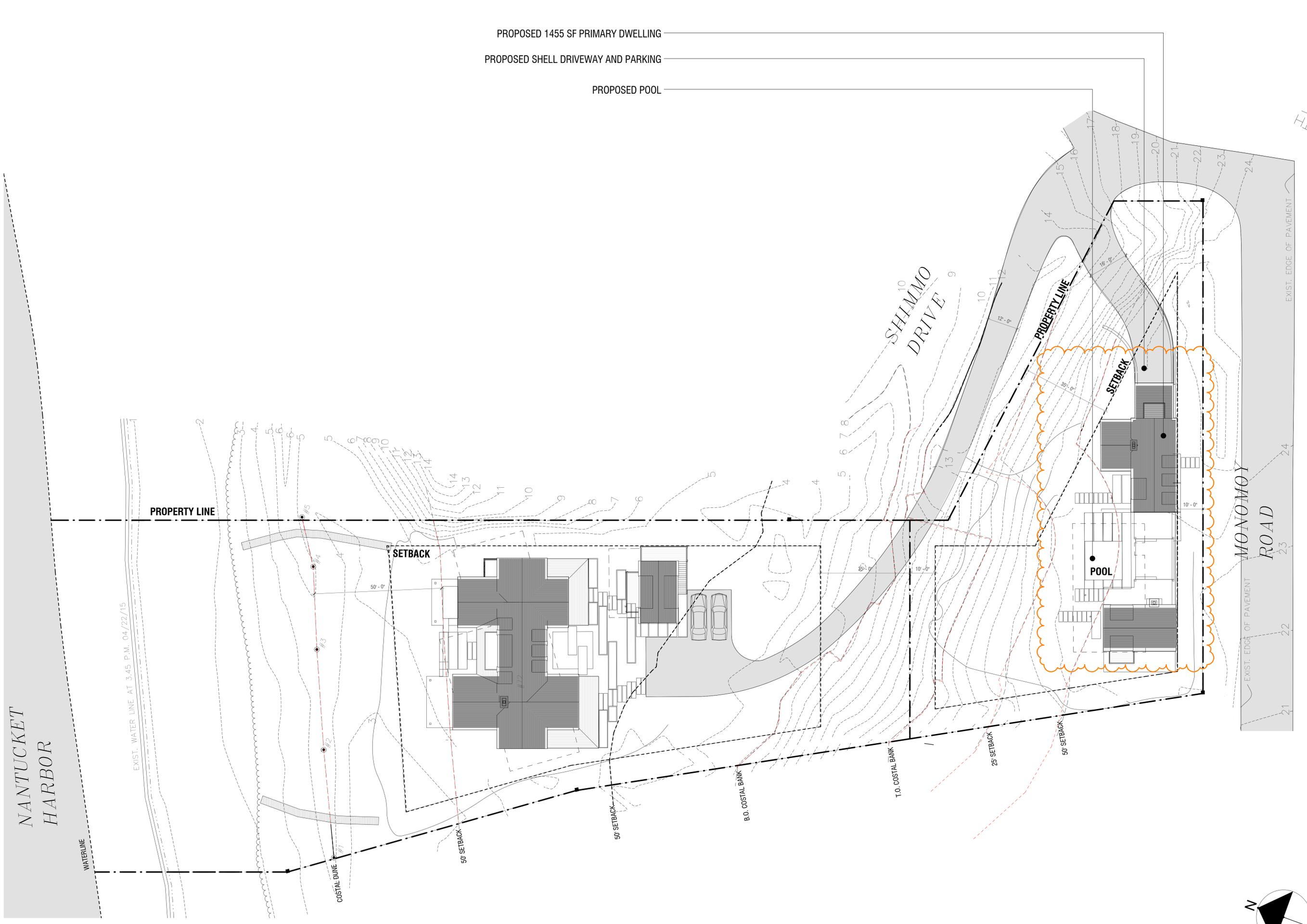
SURVEYOR

BLACKWELL & ASSOCIATES, INC.
20 Traskdale Circle
Nantucket, MA 02554
T: (508) 228-9026

CONTRACTOR

ROBERT J. REID BUILDERS
7 Windy Way
Nantucket, MA 02554
T: (508) 737-6191

- PROPOSED 1455 SF PRIMARY DWELLING
- PROPOSED SHELL DRIVEWAY AND PARKING
- PROPOSED POOL



ALL DESIGNS & SPECS ARE SUBJECT TO VERIFICATION OF EXG. FIELD CONDITIONS

REVISIONS

| NO. | DATE | DESCRIPTION |
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NOT FOR CONSTRUCTION



ISSUES

| NO. | DATE | DESCRIPTION |
|-----|------------|--------------------------|
| 01 | 05/10/2016 | HDC SUBMISSION (PRIMARY) |
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DRAWING INFO

CONSTRUCTION DOCUMENTS
DRAWN BY: ZSH/MLW/WJP
CHECKED BY: ADK/AFH
DATE: MAY 10, 2016
SCALE: AS NOTED
PROJ. NO. CLB - 316002

SITE PLAN

L-101

OWNER
 MAK sHACK Trust, U/D/T
 34 Main Street
 Nantucket, MA 02554

ARCHITECT
WORKSHOP/APD
 WORKSHOP/APD ARCHITECTURE DPC
 39 West 38th Street, 7th Fl, New York, NY 10018
 T: (212) 273-9712 info@workshopapd.com

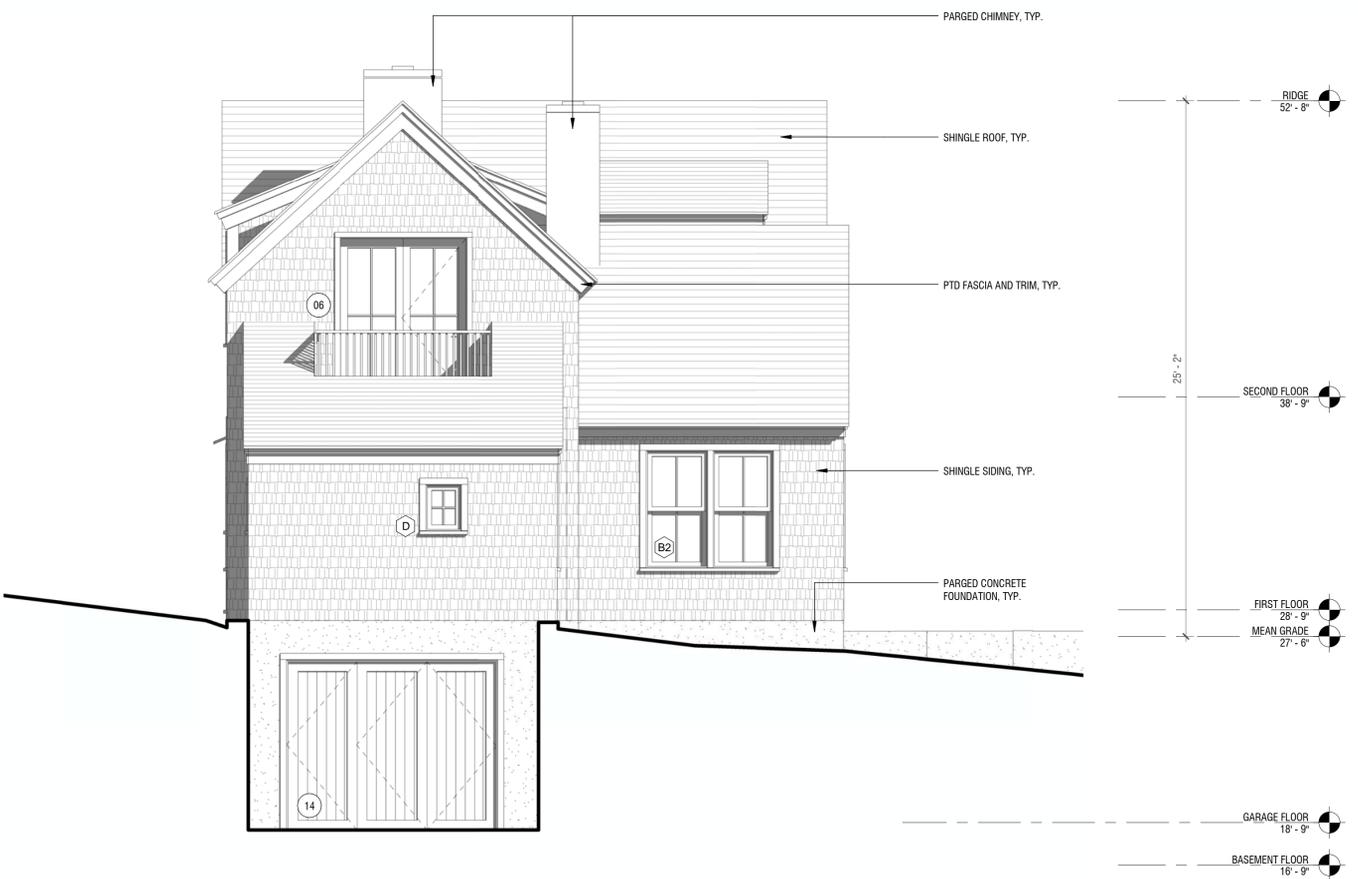
STRUCTURAL ENGINEER
 CRAFT - ENGINEERING STUDIO
 39 West 38th Street, 7th Fl
 New York, NY 10018
 T: (646) 912-8867

SURVEYOR
 BLACKWELL & ASSOCIATES, INC.
 20 Traskdale Circle
 Nantucket, MA 02554
 T: (508) 228-9026

CONTRACTOR
 ROBERT J. REID BUILDERS
 7 Windy Way
 Nantucket, MA 02554
 T: (508) 737-6191



1 SOUTH ELEVATION
 1/4" = 1'-0"



2 EAST ELEVATION
 1/4" = 1'-0"

ALL DESIGNS & SPECS ARE SUBJECT TO VERIFICATION OF EXG. FIELD CONDITIONS

REVISIONS

| NO. | DATE | DESCRIPTION |
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NOT FOR CONSTRUCTION



ISSUES

| NO. | DATE | DESCRIPTION |
|-----|------------|--------------------------|
| 01 | 05/10/2016 | HDC SUBMISSION (PRIMARY) |
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DRAWING INFO

CONSTRUCTION DOCUMENTS

| | |
|-------------|--------------|
| DRAWN BY: | ZSH/MLW/WJP |
| CHECKED BY: | ADK/AFH |
| DATE: | MAY 10, 2016 |
| SCALE: | AS NOTED |
| PROJ. NO. | CLB - 316002 |

OWNER

MAK sHACK Trust, U/D/T
34 Main Street
Nantucket, MA 02554

ARCHITECT

WORKSHOP/APD
WORKSHOP/APD ARCHITECTURE DPC
39 West 38th Street, 7th Fl, New York, NY 10018
T: (212) 273-9712 info@workshopapd.com

STRUCTURAL ENGINEER

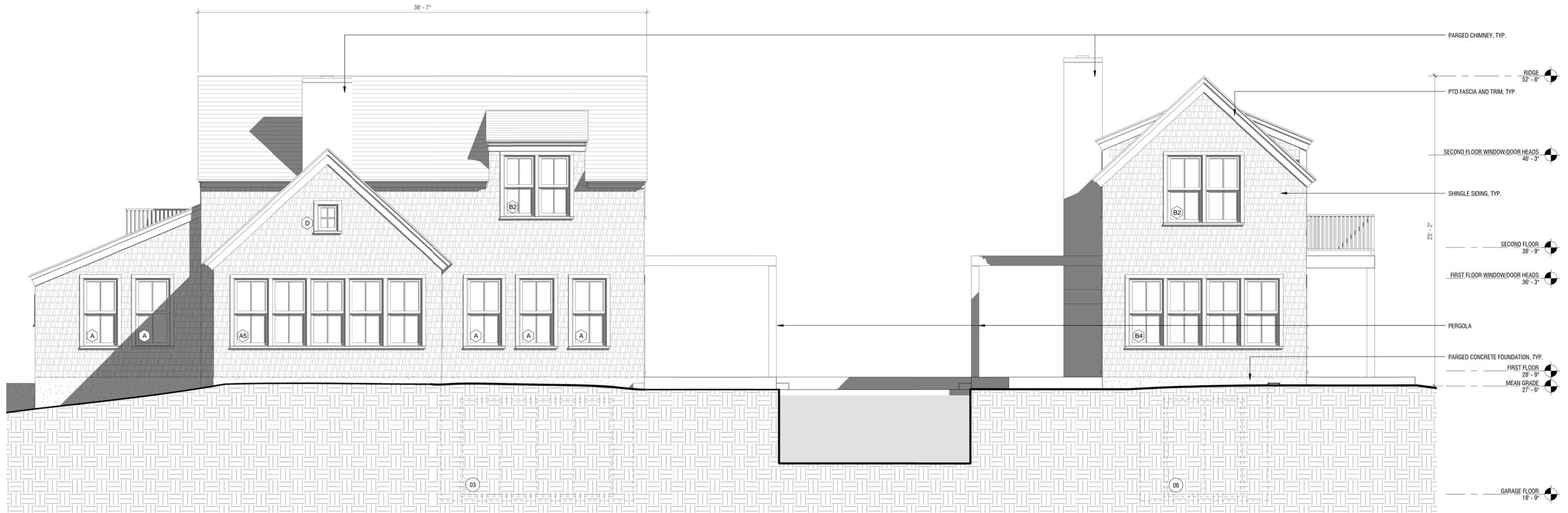
CRAFT - ENGINEERING STUDIO
39 West 38th Street, 7th Fl
New York, NY 10018
T: (646) 912-9867

SURVEYOR

BLACKWELL & ASSOCIATES, INC.
20 Trassdale Circle
Nantucket, MA 02554
T: (508) 228-9026

CONTRACTOR

ROBERT J. REID BUILDERS
7 Windy Way
Nantucket, MA 02554
T: (508) 737-6191



1 NORTH ELEVATION
1/4" = 1'-0"



2 WEST ELEVATION
1/4" = 1'-0"

ALL DESIGNS & SPECS ARE SUBJECT TO VERIFICATION OF EXG. FIELD CONDITIONS

REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
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NOT FOR CONSTRUCTION



ISSUES

| NO. | DATE | DESCRIPTION |
|-----|------------|--------------------------|
| 01 | 05/10/2016 | HDC SUBMISSION (PRIMARY) |
| | | |
| | | |

DRAWING INFO

CONSTRUCTION DOCUMENTS
DRAWN BY: ZSH/MLW/WJP
CHECKED BY: ADK/AFH
DATE: MAY 10, 2016
SCALE: AS NOTED
PROJ. NO. CLB - 316002

BUILDING ELEVATIONS

A-201

CERTIFICATE NO: _____

CLB 72 - NEW PRIMARY DWELLING
DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 43 PARCEL N°: 115
Street & Number of Proposed Work: 72 MONOMOY ROAD
Owner of record: STEVEN L COHEN, TRUSTEE OF MAK DADDY TRUST
Mailing Address: 34 Main St 2nd Fl
NANTUCKET MA 02554
Contact Phone #: 508-228-0337 E-mail: _____

AGENT INFORMATION (if applicable)

Name: ANDREO KOTCHEN
Mailing Address: PO BOX 521
NANTUCKET, MA 02554
Contact Phone #: 212-273-9712 E-mail: _____

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
Must be acted on by: _____
Extended to: _____
Approved: _____ Disapproved: _____
Chairman: _____
Member: _____
Member: _____
Member: _____
Member: _____
Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District _____) Roof Other _____

Size of Structure or Addition: Length: 74' Sq. Footage 1st floor: 2428 SF Decks/Patio: Size: 58' x 10'6" 1st floor 2nd floor
Width: 49' 3" Sq. Footage 2nd floor: 1472 SF Size: _____ 1st floor 2nd floor
Sq. Footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
Height of ridge above final finish grade: North 28' 10" South 28' 10" East 28' 10" West 28' 10"

Additional Remarks

- REVISIONS* 1. East Elevation
(describe) 2. South Elevation
3. West Elevation
4. North Elevation

Historic Name: _____

Original Date: _____

Original Builder: _____

Is there an HDC survey form for this building attached? Yes N/A

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 6" Block Block Parged Brick (type) _____ Poured Concrete Piers

Masonry Chimney: Block Parged Brick (type) _____ Other _____

Roof Pitch: Main Mass 11 /12 Secondary Mass 11 /12 Dormer 5 /12 Other _____

Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar White Cedar, Shakes, etc.) _____

Fence: Height: _____
Type: _____
Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size): _____

Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____

B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia 1x10 Rake 1x10 Soffit (Overhang) _____ Corner boards - Frieze 1x6
Window Casing 1x4 Door Frame 1x4 Columns/Posts: Round _____ Square 8x8

Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights(muntins), single pane SDL's (Simulated Divided Lights) Manufacturer CUSTOM

Doors* (type and material): TDL SDL Front WOOD PANEL Rear FRENCH Side FRENCH

Garage Door(s): Type CARRIAGE Material _____

Hardscape materials: Driveways GRAVEL Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

COLORS

Sidewall NATURAL Clapboard (if applicable) _____ Roof NATURAL
Trim QUAKER GREY Sash BLACK Doors BLACK
Deck 1x4 MAHOGANY Foundation PARGED Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 5/10/2016 Signature of owner of record STEVEN L COHEN TRUSTEE Signed under penalties of perjury

CLB PRIMARY DWELLING

HDC SUBMISSION
10 MAY 2016

72 Monomoy Road
Nantucket, MA 02554
PROJECT NO. CLB - 316002

OWNER

MAK Daddy Trust, U/D/T
34 Main Street
Nantucket, MA 02554

ARCHITECT

WORKSHOP/APD
WORKSHOP/APD ARCHITECTURE DPC
39 West 38th Street, 7th Fl, New York, NY 10018
T: (212) 273-9712 info@workshopapd.com

STRUCTURAL ENGINEER

CRAFT - ENGINEERING STUDIO
39 West 38th Street, 7th Fl
New York, NY 10018
T: (646) 912-8867

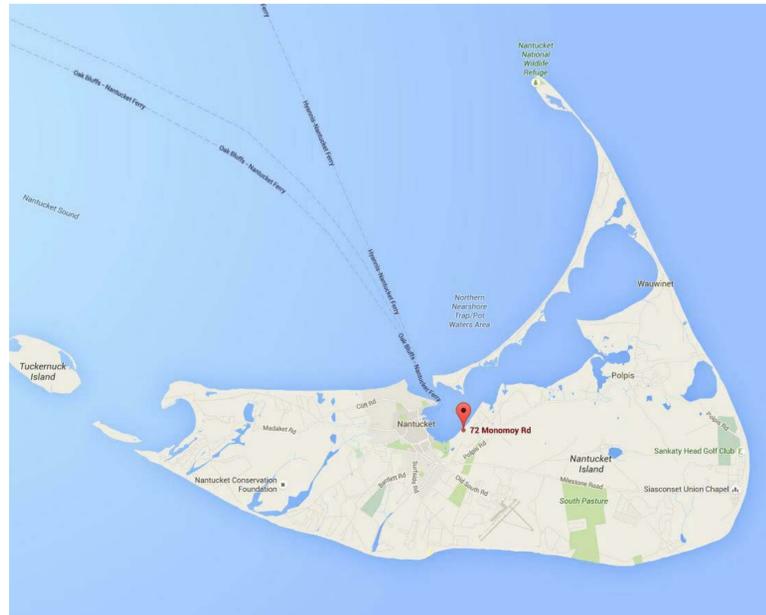
SURVEYOR

BLACKWELL & ASSOCIATES, INC.
20 Teasdale Circle
Nantucket, MA 02554
T: (508) 228-9026

CONTRACTOR

ROBERT J. REID BUILDERS
7 Windy Way
Nantucket, MA 02554
T: (508) 737-6191

LOCUS PLAN



LOCUS PLAN



NOT TO SCALE

LIST OF DRAWINGS

| SHEET | TITLE | ISSUE TYPE | 05/10/2016 HDC SUBMISSION |
|----------|---------------------|------------|---------------------------|
| G-100.00 | GENERAL NOTES | HDC | • |
| L-100.00 | SITE PLAN | HDC | • |
| A-100.00 | FOUNDATION PLAN | HDC | • |
| A-101.00 | FIRST FL. PLAN | HDC | • |
| A-102.00 | SECOND FL. PLAN | HDC | • |
| A-103.00 | ROOF PLAN | HDC | • |
| A-200.00 | BUILDING ELEVATIONS | HDC | • |
| A-201.00 | BUILDING ELEVATIONS | HDC | • |

ZONING INFORMATION

| | |
|-------------------|---------------|
| Map & Parcel | 43/110 |
| Current Zoning | L.U.G. - 1 |
| Minimum Frontage | 100 FT. |
| Front Setback | 35 FT. |
| Side/Rear Setback | 10 FT. |
| Lot Size | 34,848 SF |
| Min. Lot Size | 40,000 SF |
| Allowable G.C. | 7 % |
| Max G.C. | 2,800 SF |
| Existing G.C. | 2,794 SF (8%) |
| Proposed G.C. | 2,428 SF |
| Total G.C. | 2,765 SF (8%) |

ALL DESIGNS & SPECS ARE SUBJECT TO VERIFICATION OF EXG. FIELD CONDITIONS

REVISIONS

| NO. | DATE | DESCRIPTION |
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NOT FOR CONSTRUCTION



ISSUES

| NO. | DATE | ISSUE |
|-----|------------|--------------------------|
| 01 | 05/10/2016 | HDC SUBMISSION (PRIMARY) |
| 02 | 05/10/2016 | HDC SUB. (GARAGE/STUDIO) |
| | | |
| | | |

DRAWING INFO

| | |
|------------------------|--------------|
| CONSTRUCTION DOCUMENTS | ZSH/MLW/WJP |
| DRAWN BY: | ADK/AFH |
| CHECKED BY: | MAY 10, 2016 |
| DATE: | AS NOTED |
| SCALE: | CLB - 316002 |
| PROJ. NO.: | |

MAIN HOUSE

T-001

CLB

72 MONOMOY

72 MONOMOY ROAD, NANTUCKET, MA 02554

OWNER
 MAK Daddy Trust, LLC
 34 Main Street
 Nantucket, MA 02554

ARCHITECT
WORKSHOP/APD
 WORKSHOP/APD ARCHITECTURE DPC
 39 West 38th Street, 7th Fl, New York, NY 10018
 T: (212) 273-9712 info@workshopapd.com

STRUCTURAL ENGINEER
 CRAFT - ENGINEERING STUDIO
 39 West 38th Street, 7th Fl
 New York, NY 10018
 T: (646) 912-8867

SURVEYOR
 BLACKWELL & ASSOCIATES, INC.
 20 Traskdale Circle
 Nantucket, MA 02554
 T: (508) 228-9026

CONTRACTOR
 ROBERT J. REID BUILDERS
 7 Windy Way
 Nantucket, MA 02554
 T: (508) 737-6191

- PROPOSED 2428 SF PRIMARY DWELLING
- PROPOSED 337 SF GARAGE STUDIO
- PROPOSED SHELL PARKING COURT
- PROPOSED SHELL DRIVEWAY



ALL DESIGNS & SPECS ARE SUBJECT TO VERIFICATION OF EXG. FIELD CONDITIONS

REVISIONS

| NO. | DATE | DESCRIPTION |
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NOT FOR CONSTRUCTION

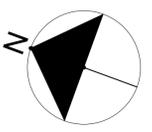


ISSUES

| NO. | DATE | DESCRIPTION |
|-----|------------|--------------------------|
| 01 | 05/10/2016 | HDC SUBMISSION (PRIMARY) |
| 02 | 05/10/2016 | HDC SUB. (GARAGE/STUDIO) |
| | | |
| | | |

DRAWING INFO

CONSTRUCTION DOCUMENTS
 DRAWN BY: ZSH/MLW/WJP
 CHECKED BY: ADK/AFH
 DATE: MAY 10, 2016
 SCALE: AS NOTED
 PROJ. NO. CLB - 316002



SITE PLAN
L-100

OWNER

MAK Daddy Trust, U/D/T
 34 Main Street
 Nantucket, MA 02554

ARCHITECT

WORKSHOP/APD
 WORKSHOP/APD ARCHITECTURE DPC
 39 West 38th Street, 7th Fl, New York, NY 10018
 T: (212) 273-9712 info@workshopapd.com

STRUCTURAL ENGINEER

CRAFT - ENGINEERING STUDIO
 39 West 38th Street, 7th Fl
 New York, NY 10018
 T: (646) 912-8867

SURVEYOR

BLACKWELL & ASSOCIATES, INC.
 20 Traskdale Circle
 Nantucket, MA 02554
 T: (508) 228-9026

CONTRACTOR

ROBERT J. REID BUILDERS
 7 Windy Way
 Nantucket, MA 02554
 T: (508) 737-6191



1 SOUTH ELEVATION

1/4" = 1'-0"



2 WEST ELEVATION

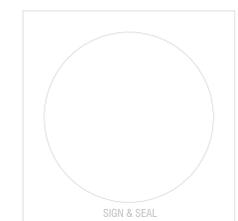
1/4" = 1'-0"

ALL DESIGNS & SPECS ARE SUBJECT TO VERIFICATION OF EXG. FIELD CONDITIONS

REVISIONS

| NO. | DATE | DESCRIPTION |
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NOT FOR CONSTRUCTION



ISSUES

| NO. | DATE | DESCRIPTION |
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| 01 | 05/XX/2016 | HDC SUBMISSION (PRIMARY) |
| 02 | 05/XX/2016 | HDC SUB. (GARAGE/STUDIO) |

DRAWING INFO

CONSTRUCTION DOCUMENTS
 DRAWN BY: ZSH/MLW/WJP
 CHECKED BY: ADK/AFH
 DATE: MAY 10, 2016
 SCALE: AS NOTED
 PROJ. NO. CLB - 316002

BUILDING ELEVATIONS

A-200

OWNER

MAK Daddy Trust, U/D/T
 34 Main Street
 Nantucket, MA 02554

ARCHITECT

WORKSHOP/APD
 WORKSHOP/APD ARCHITECTURE DPC
 39 West 38th Street, 7th Fl, New York, NY 10018
 T: (212) 273-9712 info@workshopapd.com

STRUCTURAL ENGINEER

CRAFT - ENGINEERING STUDIO
 39 West 38th Street, 7th Fl
 New York, NY 10018
 T: (646) 912-8867

SURVEYOR

BLACKWELL & ASSOCIATES, INC.
 20 Traskdale Circle
 Nantucket, MA 02554
 T: (508) 228-9026

CONTRACTOR

ROBERT J. REID BUILDERS
 7 Windy Way
 Nantucket, MA 02554
 T: (508) 737-6191



1 NORTH ELEVATION
 1/4" = 1'-0"



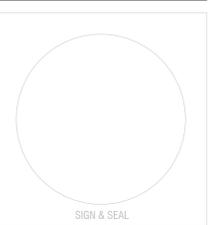
2 EAST ELEVATION
 1/4" = 1'-0"

ALL DESIGNS & SPECS ARE SUBJECT TO
 VERIFICATION OF EXG. FIELD CONDITIONS

REVISIONS

| NO. | DATE | DESCRIPTION |
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NOT FOR CONSTRUCTION



ISSUES

| NO. | DATE | DESCRIPTION |
|-----|------------|--------------------------|
| 01 | 05/XX/2016 | HDC SUBMISSION (PRIMARY) |
| 02 | 05/XX/2016 | HDC SUB. (GARAGE/STUDIO) |
| | | |
| | | |

DRAWING INFO

CONSTRUCTION DOCUMENTS
 DRAWN BY: ZSH/MLW/WJP
 CHECKED BY: ADK/AFH
 DATE: MAY 10, 2016
 SCALE: AS NOTED
 PROJ. NO. CLB - 316002

BUILDING ELEVATIONS

A-201

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 43 PARCEL N°: 115
Street & Number of Proposed Work: 72 MONOMOY ROAD
Owner of record: STEVEN L COHEN, TRUSTEE OF MARK DADLEY TRUST
Mailing Address: 34 MAIN ST 2nd Fl
NANTUCKET MA 02554
Contact Phone #: 508-228-0337 E-mail: _____

AGENT INFORMATION (if applicable)

Name: ANDREW KOCHEN
Mailing Address: PO Box 521
NANTUCKET MA 02554
Contact Phone #: 212-273-9712 E-mail: _____

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
Must be acted on by: _____
Extended to: _____
Approved: _____ Disapproved: _____
Chairman: _____
Member: _____
Member: _____
Member: _____
Member: _____
Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District _____) Roof Other _____
Size of Structure or Addition: Length: 24' Sq. Footage 1st floor: 337 Decks/Patio: Size: _____ 1st floor 2nd floor
Width: 14' Sq. footage 2nd floor: 337 Size: _____ 1st floor 2nd floor
Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
Height of ridge above final finish grade: North 22'-6" South 22' 6" East 22' 6" West 22' 6"

Additional Remarks

Historic Name: _____
Original Date: _____
Original Builder: _____
Is there an HDC survey form for this building attached? Yes N/A

- REVISIONS***
1. East Elevation
 2. South Elevation
 3. West Elevation
 4. North Elevation

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 6" Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) _____ Other _____
Roof Pitch: Main Mass 11/12 Secondary Mass _____/12_____ Dormer 5/12 Other _____
Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar White Cedar, Shakes, etc.) _____
Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____
Gutters: Wood Aluminum Copper Leaders (material) _____
Leaders (material and size): _____
Sidewall: White cedar shingles NATURAL Clapboard (exposure: _____ inches) Front Side
 Other _____
Trim: A. Wood Pine Redwood Cedar Other _____
B. Treatment Paint Natural to weather Other _____
C. Dimensions: Fascia 1x10 Rake 1x10 Soffit (Overhang) _____ Corner boards _____ Frieze _____
Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square _____
Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights(muntins), single pane SDL's (Simulated Divided Lights) Manufacturer CUSTOM
Doors* (type and material): TDL SDL Front _____ Rear _____ Side SLIDING
Garage Door(s): Type CARRIAGE Material WOOD
Hardscape materials: Driveways _____ Walkways _____ Walls _____

Fence: Height: _____
Type: _____
Length: _____

* Note: Complete door and window schedules are required.

COLORS

Sidewall NATURAL Clapboard (if applicable) _____ Roof NATURAL
Trim QUAILER GRAY Sash BLACK Doors BLACK
Deck _____ Foundation PAVED Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 5/10/2016 Signature of owner of record STEVEN L COHEN TRUSTEE Signed under penalties of perjury

CLB GARAGE/STUDIO

HDC SUBMISSION
10 MAY 2016

72 Monomoy Road
Nantucket, MA 02554
PROJECT NO. CLB - 316002

OWNER
MAK Daddy Trust, U/D/T
34 Main Street
Nantucket, MA 02554

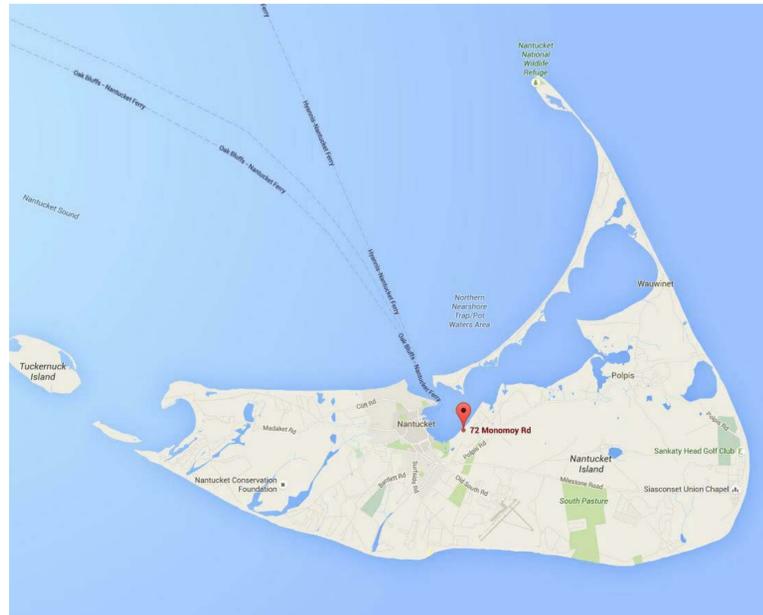
ARCHITECT
WORKSHOP/APD
WORKSHOP/APD ARCHITECTURE DPC
39 West 38th Street, 7th Fl, New York, NY 10018
T: (212) 273-9712 info@workshopapd.com

STRUCTURAL ENGINEER
CRAFT - ENGINEERING STUDIO
39 West 38th Street, 7th Fl
New York, NY 10018
T: (646) 912-8867

SURVEYOR
BLACKWELL & ASSOCIATES, INC.
20 Teasdale Circle
Nantucket, MA 02554
T: (508) 228-9026

CONTRACTOR
ROBERT J. REID BUILDERS
7 Windy Way
Nantucket, MA 02554
T: (508) 737-6191

LOCUS PLAN



LOCUS PLAN



NOT TO SCALE

LIST OF DRAWINGS

| SHEET | TITLE | ISSUE TYPE | 05/10/2016 HDC SUBMISSION |
|----------|---------------------|------------|---------------------------|
| T-001.00 | COVER | HDC | • |
| G-100.00 | GENERAL NOTES | HDC | • |
| L-100.00 | SITE PLAN | HDC | • |
| A-150.00 | FLOOR PLANS | HDC | • |
| A-250.00 | BUILDING ELEVATIONS | HDC | • |

ALL DESIGNS & SPECS ARE SUBJECT TO VERIFICATION OF EXG. FIELD CONDITIONS

REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |
| | | |

NOT FOR CONSTRUCTION



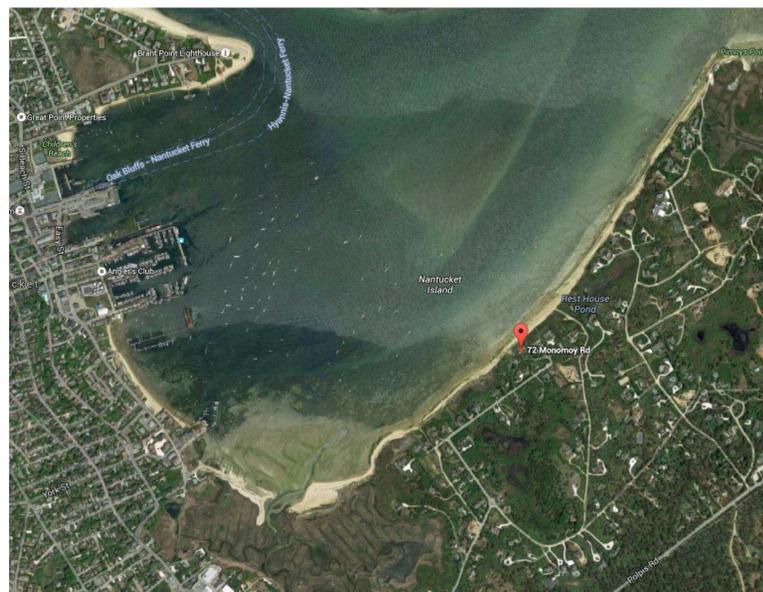
ISSUES

| NO. | DATE | DESCRIPTION |
|-----|------------|--------------------------|
| 01 | 05/10/2016 | HDC SUBMISSION (PRIMARY) |
| 02 | 05/10/2016 | HDC SUB. (GARAGE/STUDIO) |
| | | |
| | | |

DRAWING INFO

| | |
|------------------------|--------------|
| CONSTRUCTION DOCUMENTS | ZSH/MLW/WJP |
| DRAWN BY: | ADK/AFH |
| CHECKED BY: | MAY 10, 2016 |
| DATE: | AS NOTED |
| SCALE: | CLB - 316002 |
| PROJ. NO.: | |

COVER



ZONING INFORMATION

| | |
|-------------------|---------------|
| Map & Parcel | 43/110 |
| Current Zoning | L.U.G. - 1 |
| Minimum Frontage | 100 FT. |
| Front Setback | 35 FT. |
| Side/Rear Setback | 10 FT. |
| Lot Size | 34,848 SF |
| Min. Lot Size | 40,000 SF |
| Allowable G.C. | 7 % |
| Max G.C. | 2,800 SF |
| Existing G.C. | 2,794 SF (8%) |
| Proposed G.C. | 337 SF |
| Total G.C. | 2,765 SF (8%) |

CLB

72 MONOMOY

72 MONOMOY ROAD, NANTUCKET, MA 02554

OWNER
 MAK Daddy Trust, LLC
 34 Main Street
 Nantucket, MA 02554

ARCHITECT
WORKSHOP/APD
 WORKSHOP/APD ARCHITECTURE DPC
 39 West 38th Street, 7th Fl, New York, NY 10018
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 20 Traskdale Circle
 Nantucket, MA 02554
 T: (508) 228-9026

CONTRACTOR
 ROBERT J. REID BUILDERS
 7 Windy Way
 Nantucket, MA 02554
 T: (508) 737-6191

- PROPOSED 2428 SF PRIMARY DWELLING
- PROPOSED 337 SF GARAGE STUDIO
- PROPOSED SHELL PARKING COURT
- PROPOSED SHELL DRIVEWAY



ALL DESIGNS & SPECS ARE SUBJECT TO VERIFICATION OF EXG. FIELD CONDITIONS

REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
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NOT FOR CONSTRUCTION

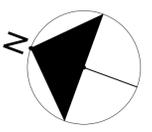


ISSUES

| NO. | DATE | DESCRIPTION |
|-----|------------|--------------------------|
| 01 | 05/10/2016 | HDC SUBMISSION (PRIMARY) |
| 02 | 05/10/2016 | HDC SUB. (GARAGE/STUDIO) |
| | | |
| | | |

DRAWING INFO

CONSTRUCTION DOCUMENTS
 DRAWN BY: ZSH/MLW/WJP
 CHECKED BY: ADK/AFH
 DATE: MAY 10, 2016
 SCALE: AS NOTED
 PROJ. NO. CLB - 316002



SITE PLAN
L-100

NANTUCKET HARBOR

HLC

OWNER

MAK Daddy Trust, U/D/T
 34 Main Street
 Nantucket, MA 02554

ARCHITECT

WORKSHOP/APD
 WORKSHOP/APD ARCHITECTURE DPC
 39 West 38th Street, 7th Fl, New York, NY 10018
 T: (212) 273-9712 info@workshopapd.com

STRUCTURAL ENGINEER

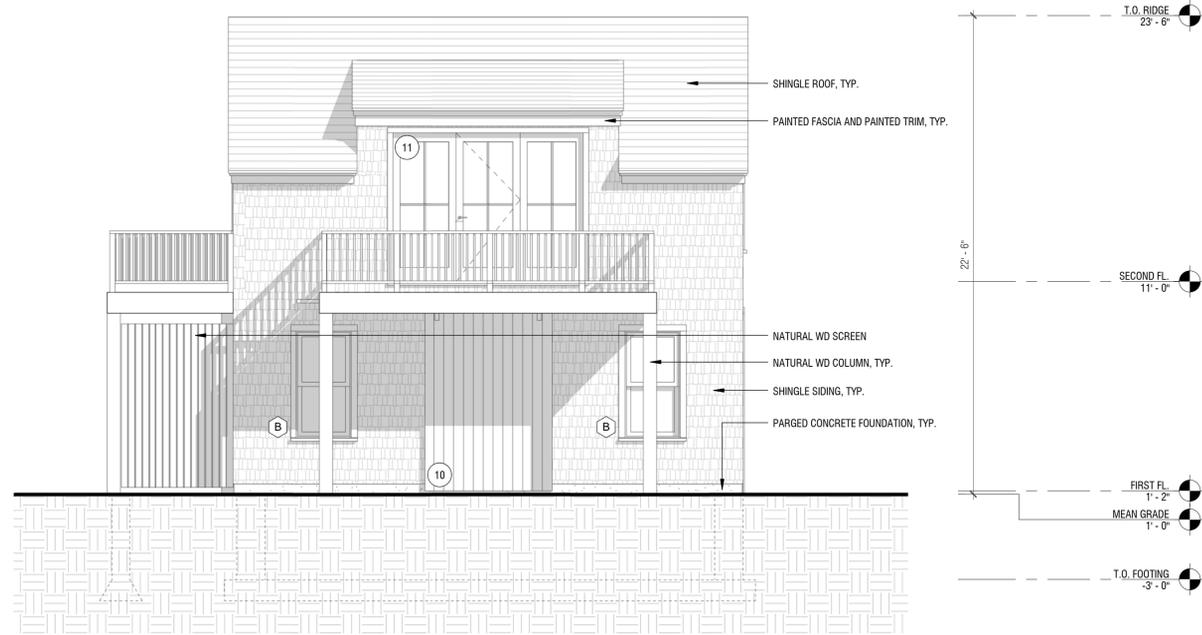
CRAFT - ENGINEERING STUDIO
 39 West 38th Street, 7th Fl
 New York, NY 10018
 T: (646) 912-8867

SURVEYOR

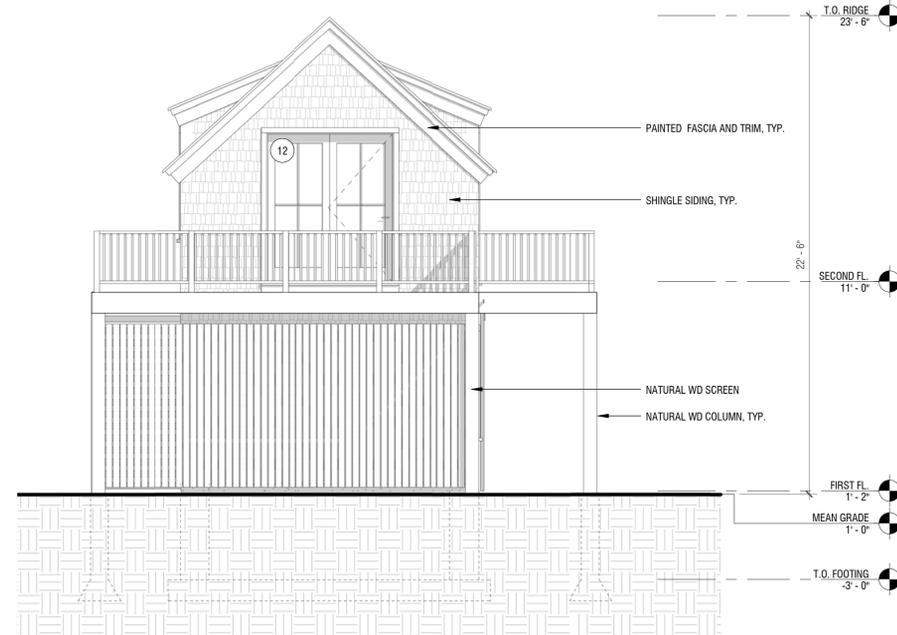
BLACKWELL & ASSOCIATES, INC.
 20 Traskdale Circle
 Nantucket, MA 02554
 T: (508) 228-9026

CONTRACTOR

ROBERT J. REID BUILDERS
 7 Windy Way
 Nantucket, MA 02554
 T: (508) 737-6191



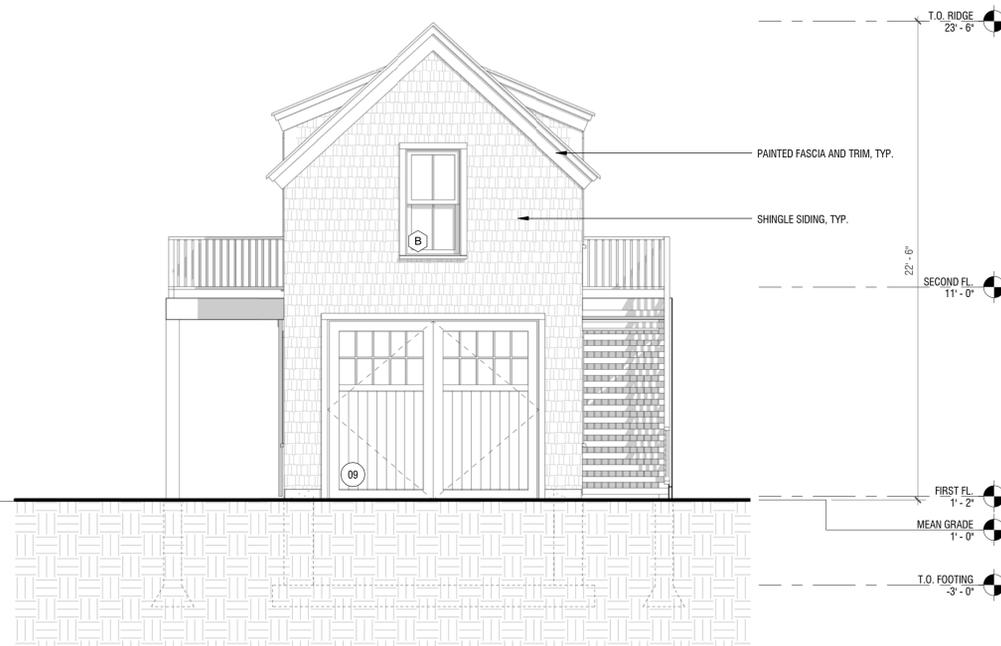
1 NORTH ELEVATION
 1/4" = 1'-0"



2 EAST ELEVATION
 1/4" = 1'-0"



3 SOUTH ELEVATION
 1/4" = 1'-0"



4 WEST ELEVATION
 1/4" = 1'-0"

ALL DESIGNS & SPECS ARE SUBJECT TO VERIFICATION OF EXG. FIELD CONDITIONS

REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
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NOT FOR CONSTRUCTION



ISSUES

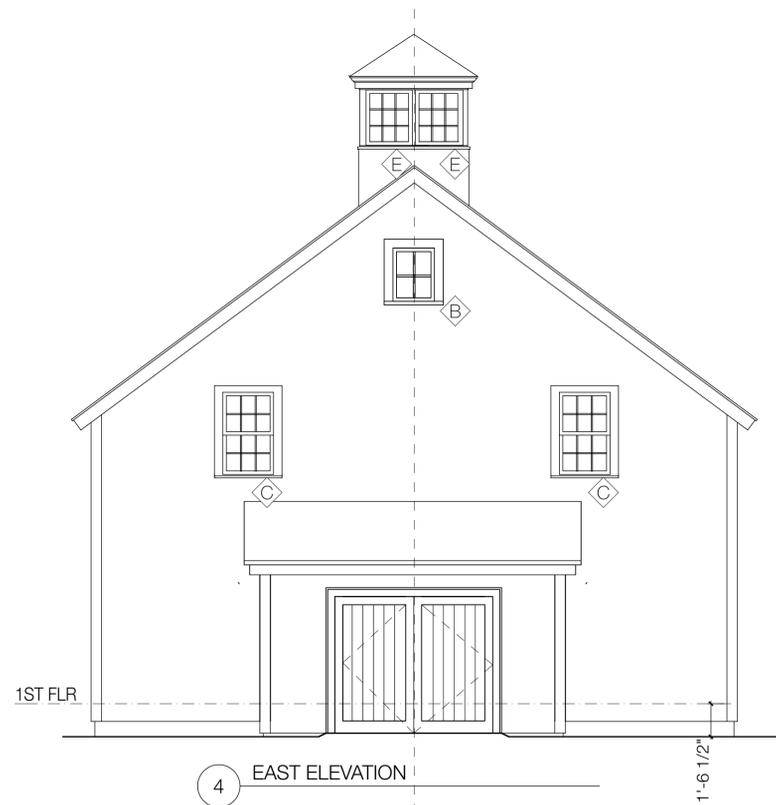
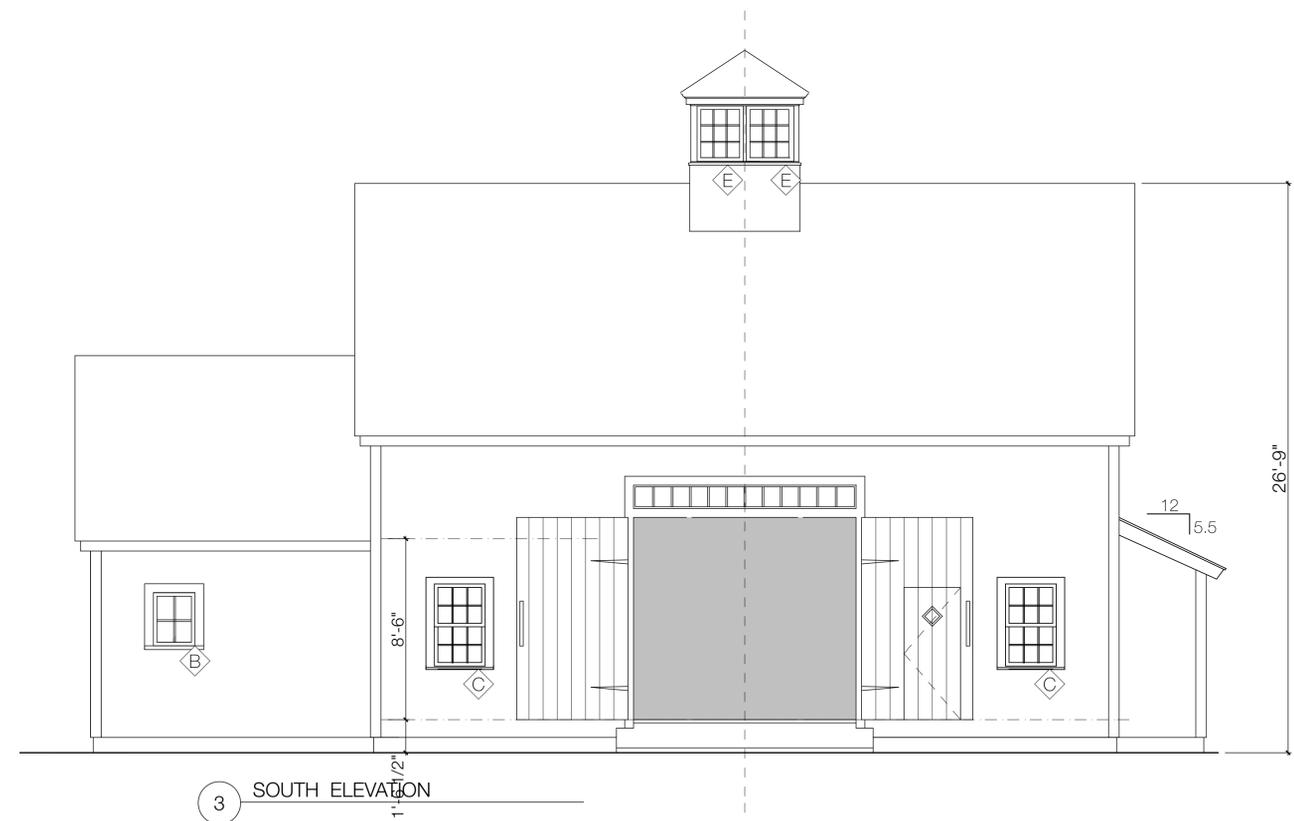
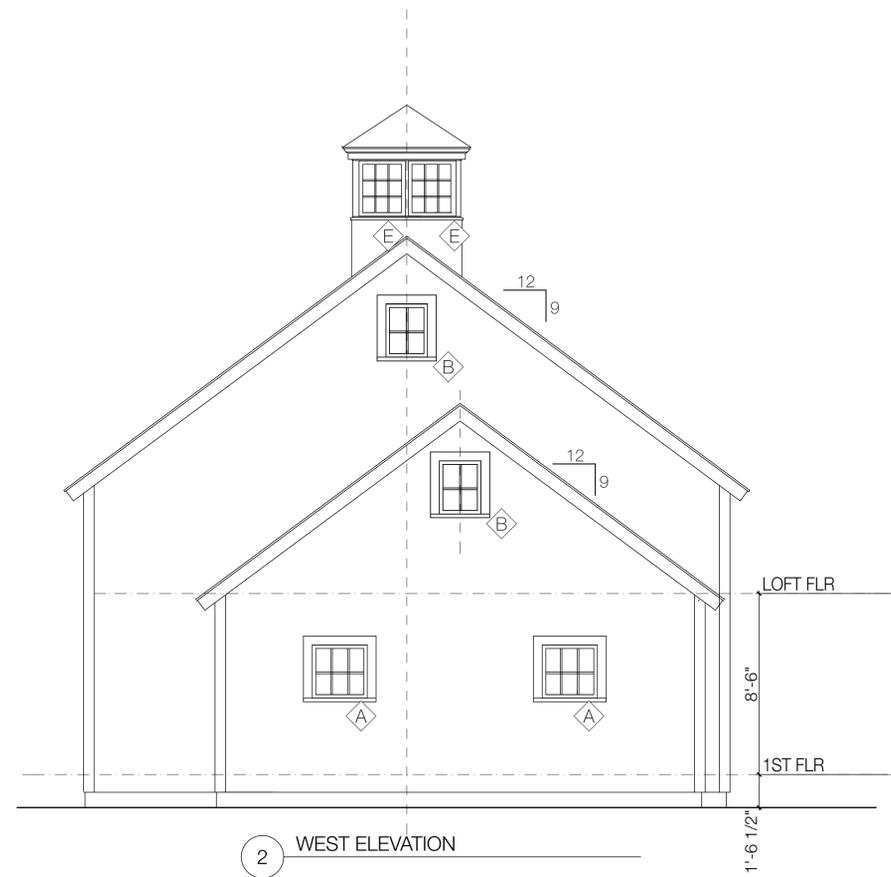
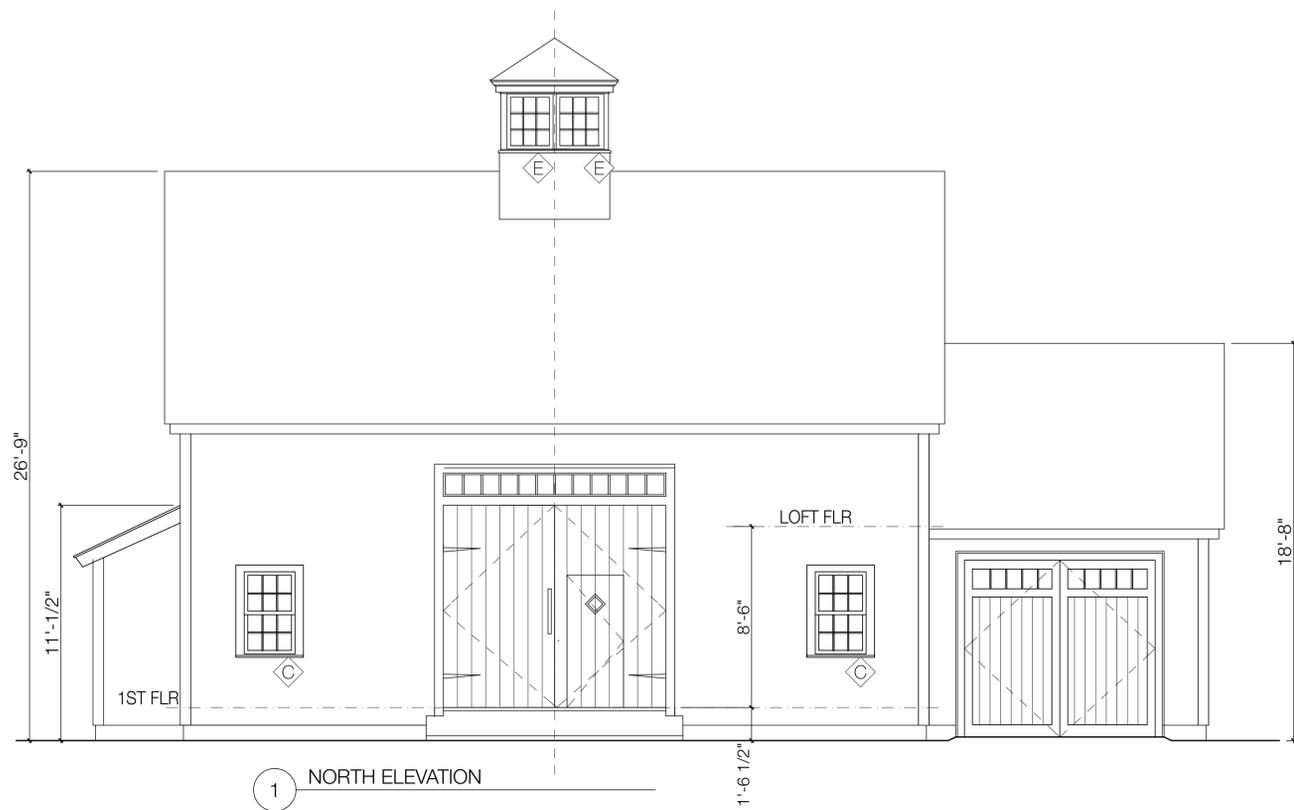
| NO. | DATE | DESCRIPTION |
|-----|------------|--------------------------|
| 01 | 05/10/2016 | HDC SUBMISSION (PRIMARY) |
| 02 | 05/10/2016 | HDC SUB. (GARAGE/STUDIO) |

DRAWING INFO

CONSTRUCTION DOCUMENTS
 DRAWN BY: ZSH/MLW/WJP
 CHECKED BY: ADK/AFH
 DATE: MAY 10, 2016
 SCALE: AS NOTED
 PROJ. NO. CLB - 316002

BUILDING ELEVATIONS

A-250



Mellowes & Paladino inc.

Architects

63 South Street / Suite 280
Hopkinton, Massachusetts 01748
508.625.1371

| NO | DESCRIPTION | DATE |
|-----------|-------------|------|
| REVISIONS | | |

TORPEY-CROSS
BARN

78 WAUWINET ROAD
NANTUCKET, MA

EXTERIOR ELEVATIONS

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ALL RIGHTS RESERVED
PROJECT NO:
5221
DRAWN BY:
CHECKED BY:
DATE:
5/10/16
SCALE:
1/4" = 1'-0"

A-2

Mellowes & Paladino inc.

Architects

63 South Street / Suite 280
Hopkinton, Massachusetts 01748
508.625.1371



1 WEST / FRONT ELEVATION



2 NORTH ELEVATION



3 EAST / REAR ELEVATION



4 SOUTH ELEVATION

| NO | DESCRIPTION | DATE |
|---|--------------|------|
| REVISIONS | | |
| | | |
| TORPEY-CROSS DWELLING | | |
| 78 WAUWINET ROAD NANTUCKET, MA | | |
| EXTERIOR ELEVATIONS | | |
| © 2016 Mellowes & Paladino, Inc. ALL RIGHTS RESERVED | | |
| PROJECT NO: | 5221 | |
| DRAWN BY: | | |
| CHECKED BY: | | |
| DATE: | 5/10/16 | |
| SCALE: | 1/4" = 1'-0" | |

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.
NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 21 PARCEL N°: 107
Street & Number of Proposed Work: 94 Quindnet Rd
Owner of record: Derick Denby & Suzanne Pelton
Mailing Address: 40 Glidden & Glidden
Center Street, Nantucket Ma.
Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: Thornhill Design LLC
Mailing Address: 49 Duke's Rd
Nantucket Ma
Contact Phone #: 225 9161 E-mail: _____

| | |
|--|--------------------|
| FOR OFFICE USE ONLY | |
| Date application received: _____ | Fee Paid: \$ _____ |
| Must be acted on by: _____ | |
| Extended to: _____ | |
| Approved: _____ | Disapproved: _____ |
| Chairman: _____ | |
| Member: _____ | |
| Member: _____ | |
| Member: _____ | |
| Member: _____ | |
| Notes - Comments - Restrictions - Conditions | |
| | |
| | |
| | |

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District _____) Roof Other left & put on new foundation 16" higher than existing.
Size of Structure or Addition: Length: 24 & 12 Sq. Footage 1st floor: 672 SF Decks/Patio: Size: 8x6 1st floor 2nd floor
Width: 23 & 12 Sq. Footage 2nd floor: 140 SF Size: 8x8 stairs 1st floor 2nd floor
Sq. Footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North 0 South +12" ± East +12" ± West 0
Height of ridge above final finish grade: North 22'-6" ± South 24'-13" ± East 24'-22" ± West 13'-6" ±

Additional Remarks

- REVISIONS*
1. East Elevation
 2. South Elevation
 3. West Elevation
 4. North Elevation

Historic Name: _____
Original Date: _____
Original Builder: _____
Is there an HDC survey form for this building attached? Yes N/A

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 3" Vines Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) _____ Other _____
Roof Pitch: Main Mass 1/12 Secondary Mass 10/12 Dormer 1/12 Other 8/12 & 4/12 1st floor additions.

Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) Red Cedar.

| |
|----------------------|
| Fence: Height: _____ |
| Type: _____ |
| Length: _____ |

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size):

Sidewall: White cedar shingles Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____

B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia 6" Rake 1x6 Soffit (Overhang) _____ Corner boards 1x6 Frieze 6"

Window Casing 1x5 Door Frame 1x5 Columns/Posts: Round _____ Square 4x4

Windows*: Double Hung Casement All Wood Other picture / fixed
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

Doors* (type and material): TDL SDL Front 4 panel existing Rear 12 light Side _____

Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways _____ Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

COLORS

Sidewall Natural Clapboard (if applicable) _____ Roof Nat
Trim Nantucket Grey T.H.E Sash N Grey T.H.E Doors Blue
Deck _____ Foundation Nat Fence _____ Shutters _____

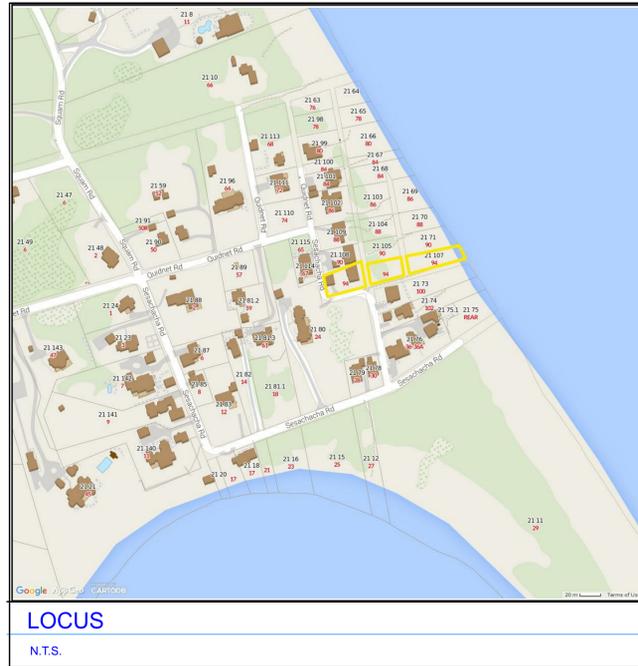
* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

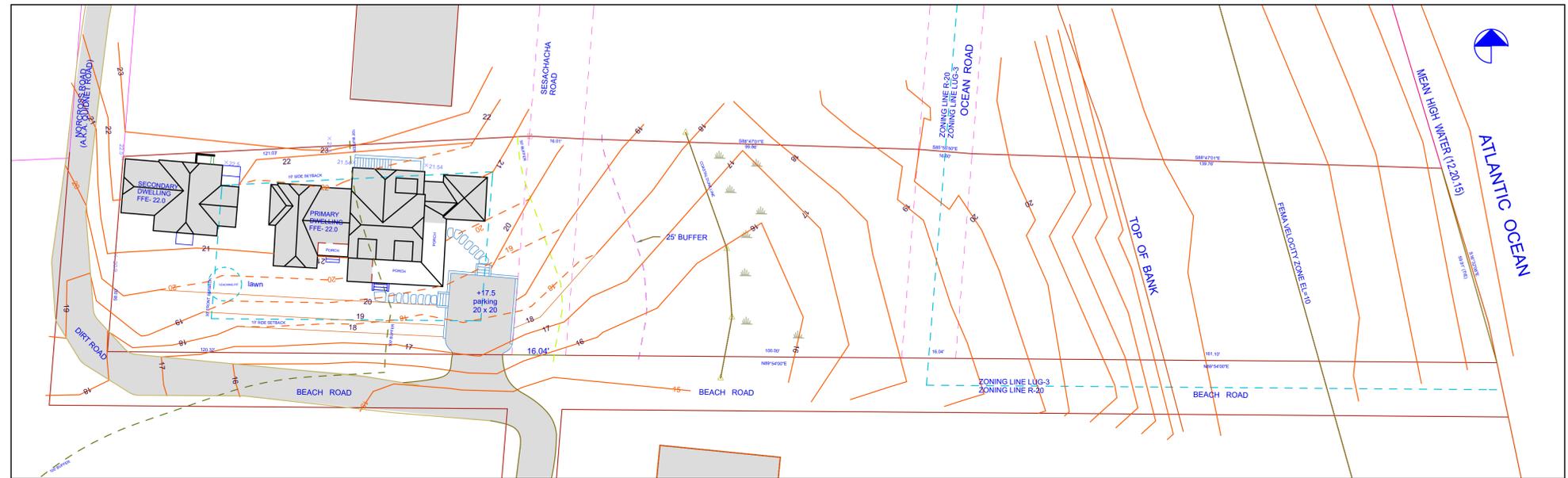
Date 5/9/10 Signature of owner of record DERICK D. DENBY Signed under penalties of perjury

Additions & Renovations to the Terry Perry Residence

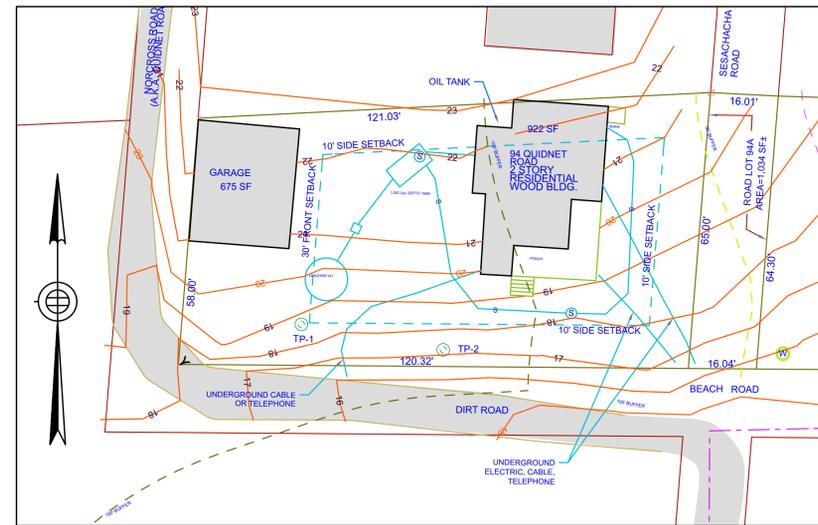
94 Quidnet Road
Nantucket, Massachusetts



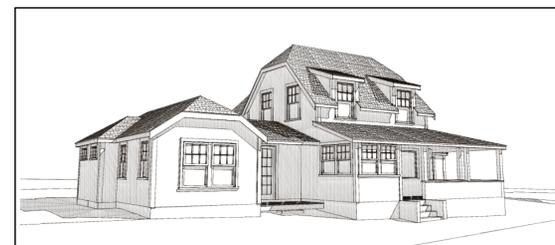
| DRAWING INDEX | |
|---------------|-------------------------------|
| A0.0 | COVER SHEET, SITE PLAN, LOCUS |
| A1.0 | BASEMENT PLAN |
| A1.1 | FIRST FLOOR PLAN |
| A1.2 | SECOND FLOOR PLAN |
| A2.1 | ELEVATIONS |
| A2.2 | ELEVATIONS |
| | |
| | |



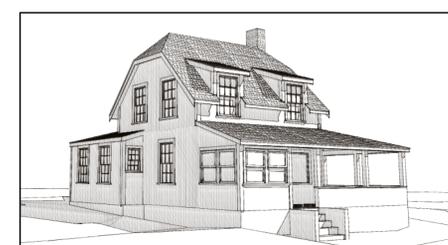
1 South Elevation
A0.0 SCALE: 1" = 20'



1 Existing Site Plan
A0.0 SCALE: 1" = 20'



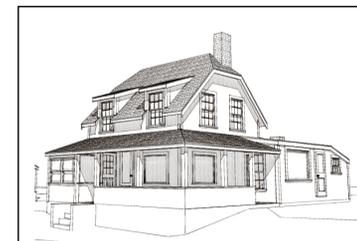
2 Southwest perspective- Proposed
A0.0 SCALE: 1:0.55



2 Southwest Perspective-Existing
A0.0 SCALE: 1:0.48



3 Southeast Perspective- Proposed
A0.0 SCALE: 1:0.58



3 Southeast Perspective-Existing
A0.0 SCALE: 1:0.60

| ISSUES/REVISION DATE |
|----------------------|
| HDC 1 5/6/16 |
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Additions & Renovations to the
Terry Perry Residence
94 Quidnet Road
Nantucket, Massachusetts
Map & Parcel
21-107

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Thornehill Design LLC
48 Dukes Road
Nantucket, Ma . 02554
Tele. 508 228 9161 Fax 508 228 3165

Project No: _____
Designed by: LT
Drawn by: PM
Checked by: LT
Sheet No:
A0.0
Contents:
Cover- House

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

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The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N^o: 21 PARCEL N^o: 107
Street & Number of Proposed Work: 94 Quidnet Rd
Owner of record: Derrick Derby & Suzanne Patton
Mailing Address: 76 Glidden & Glidden
Center Street, Nantucket
Contact Phone #: 228 0771 E-mail: _____

AGENT INFORMATION (if applicable)

Name: Thornhill Design LLC
Mailing Address: 48 Dukes Rd
Nantucket, MA
Contact Phone #: 228 9661 E-mail: Thornhilldesign@comcast.net

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
Must be acted on by: _____
Extended to: _____
Approved: _____ Disapproved: _____
Chairman: _____
Member: _____
Member: _____
Member: _____
Member: _____

Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District _____) Roof Other _____

Size of Structure or Addition: Length: 33 Sq. Footage 1st floor: 570 SF Decks/Patio: Size: _____ 1st floor 2nd floor
Width: 20 Sq. Footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
Sq. Footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North 0 South 0 East 0 West 0
Height of ridge above final finish grade: North 15" South 16" East 12" West 14"

Additional Remarks

Historic Name: _____
Original Date: _____
Original Builder: _____
Is there an HDC survey form for this building attached? Yes N/A

- REVISIONS***
1. East Elevation
(describe) 2. South Elevation
3. West Elevation
4. North Elevation

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 3' Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) _____ Other _____
Roof Pitch: Main Mass 10/12 Secondary Mass 10/12 Dormer 12/12 Other _____
Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) Red cedar

Fence: Height: _____
Type: _____
Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size): _____

Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____

B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia _____ Rake 1x6 Soffit (Overhang) 6" Corner boards _____ Frieze _____

Window Casing 1x5 Door Frame 1x5 Columns/Posts: Round _____ Square _____

Windows*: Double Hung Casement All Wood Other _____

True Divided Lights (munlins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____

Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways _____ Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

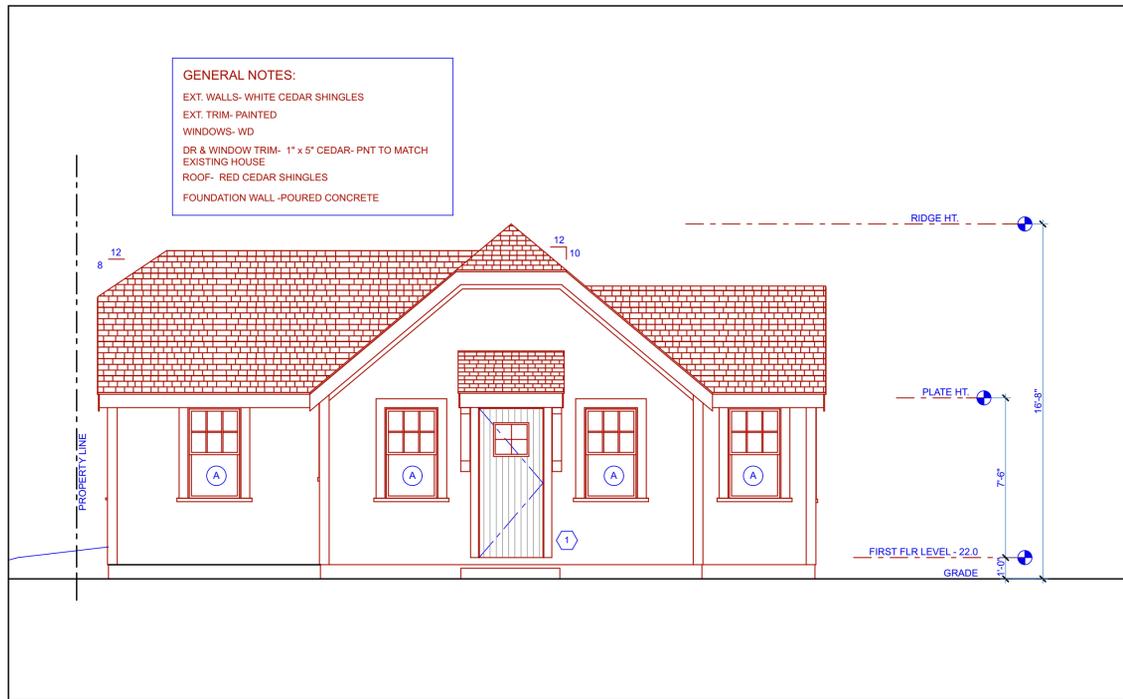
COLORS

Sidewall Natural Clapboard (if applicable) _____ Roof Natural
Trim Quarter Grey Sash Quarter Grey Doors Quarter Grey
Deck _____ Foundation Nat Fence _____ Shutters _____

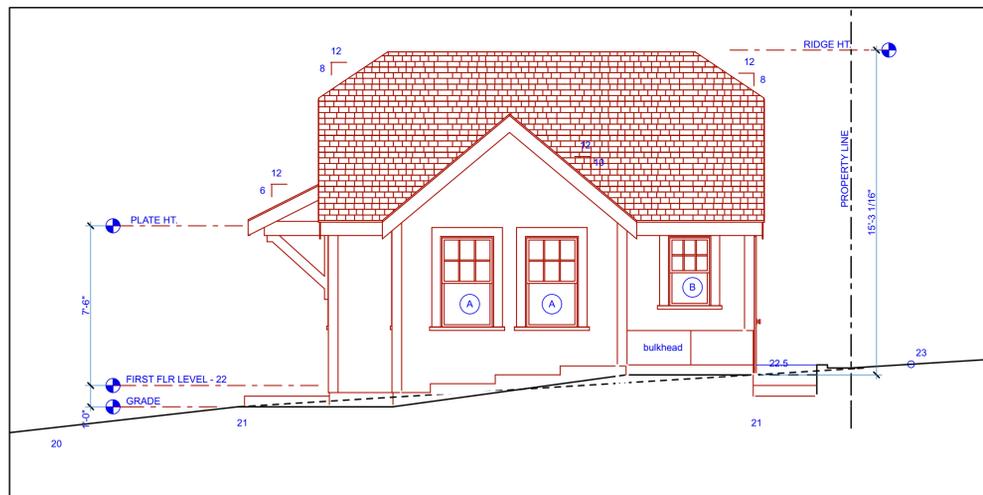
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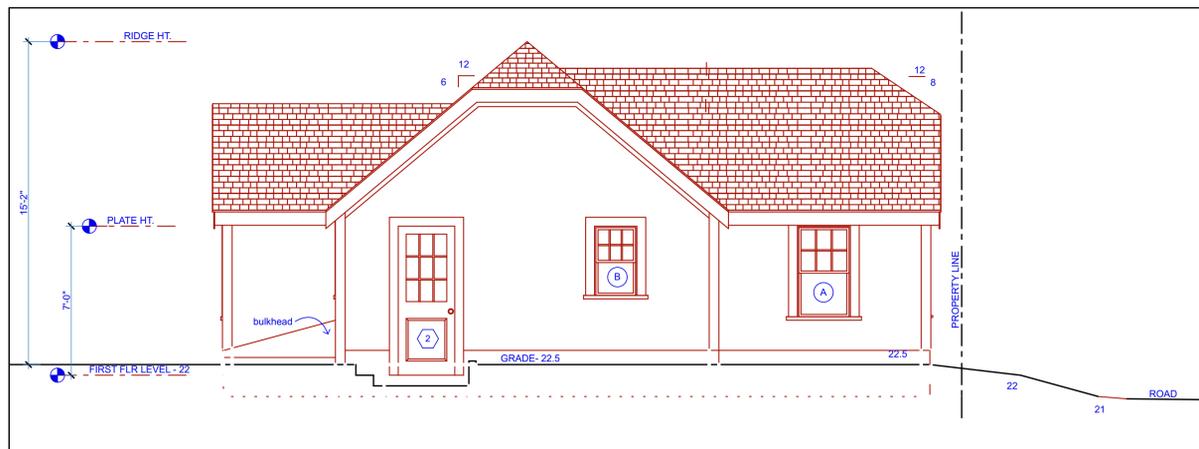
Date 5/5/16 Signature of owner of record DERRICK V. DERBY Signed under penalties of perjury



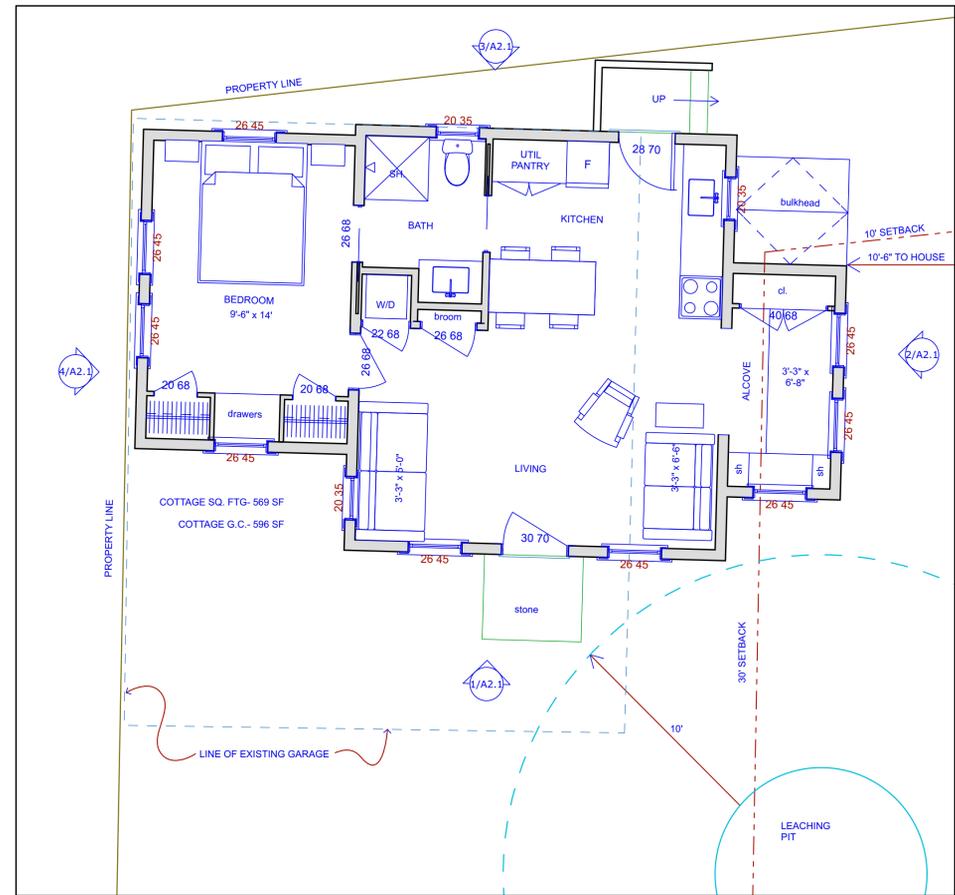
2 South Elevation- Proposed
 SCALE: 1/4" = 1'-0"



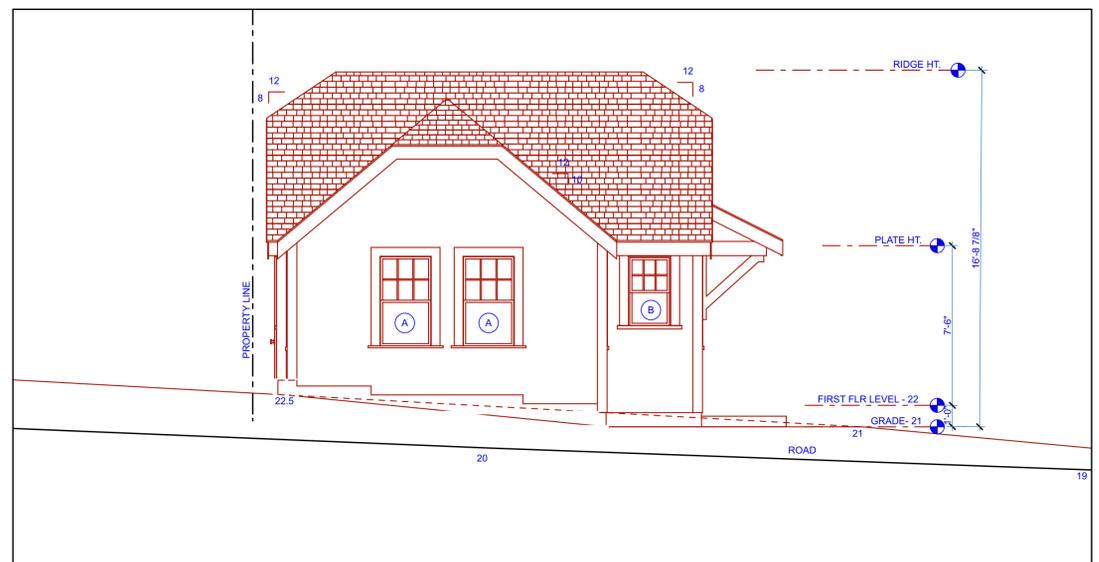
3 East Elevation- Proposed
 SCALE: 1/4" = 1'-0"



4 North Elevation- Proposed
 SCALE: 1/4" = 1'-0"



1 Proposed Cottage Floor Plan
 SCALE: 1/4" = 1'-0"



5 West Elevation- Proposed
 SCALE: 1/4" = 1'-0"

| ISSUES/REVISION DATE |
|----------------------|
| HDC 1 5/6/16 |
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**Additions & Renovations to the
 Terry Perry Residence**
 94 Quidnet Road
 Nantucket, Massachusetts
 Map & Parcel
 21-107

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Thornewill Design LLC
 48 Dukes Road
 Nantucket, Ma . 02554
 Tele. 508 228 9161 Fax 508 228 3165

Project No: _____
 Designed by: LT
 Drawn by: PM
 Checked by: LT
Sheet No:
A1.1
 Contents:
 Cottage

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 21 PARCEL N°: 107
 Street & Number of Proposed Work: 94 Quinnet Road
 Owner of record: Derick Derby & Suzanne Pelton
 Mailing Address: 50 Glidden & Glidden
Center Street
 Contact Phone #: 228 0771 E-mail: _____

AGENT INFORMATION (if applicable)

Name: Thornhill Design LLC
 Mailing Address: 48 Dukes Rd
Nantucket, Ma
 Contact Phone #: 228-9161 E-mail: ThornhillDesign@Comcast.net

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
 Must be acted on by: _____
 Extended to: _____
 Approved: _____ Disapproved: _____
 Chairman: _____
 Member: _____
 Member: _____
 Member: _____
 Member: _____
 Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District _____) Roof Other _____

Size of Structure or Addition: Length: 25³ Sq. Footage 1st floor: 636 Decks/Patio: Size: _____ 1st floor 2nd floor
 Width: 24³ Sq. Footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
 Sq. Footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
 Height of ridge above final finish grade: North 16⁸ South 16⁸ East 16⁸ West 16⁸

Additional Remarks

Historic Name: _____ REVISIONS: 1. East Elevation
 Original Date: _____ (describe) 2. South Elevation
 Original Builder: _____ 3. West Elevation } Demolish.
 4. North Elevation
 Is there an HDC survey form for this building attached? Yes N/A
 *Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 3-12" Block Block Parged Brick (type) _____ Poured Concrete Piers
 Masonry Chimney: Block Parged Brick (type) _____ Other _____
 Roof Pitch: Main Mass 7/12 Secondary Mass _____/12 Dormer _____/12 Other _____
 Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____

Fence: Height: _____
 Type: _____
 Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
 Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size): _____

Sidewall: White cedar shingles Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____

B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia _____ Rake 1x6 Soffit (Overhang) _____ Corner boards _____ Frieze _____
 Window Casing 1x5 Door Frame 1x5 Columns/Posts: Round _____ Square _____

Windows*: Double Hung Casement All Wood Other _____

True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____

Garage Door(s): Type Overhead/Cedar faced Material Cedar

Hardscape materials: Driveways _____ Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

COLORS

Sidewall Nat Clapboard (if applicable) _____ Roof Black
 Trim Grey Sash grey Doors Nat/grey
 Deck _____ Foundation Nat Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 9/5/16 Signature of owner of record DERICK V. DERBY Signed under penalties of perjury

CERTIFICATE NO: _____

DATE ISSUED: _____

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CERTIFICATE OF APPROPRIATENESS

for structural work.

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PROPERTY DESCRIPTION

TAX MAP N^o: 25 PARCEL N^o: 33

Street & Number of Proposed Work: 286 Polpis Road

Owner of record: Ceylon Elves LLC

Mailing Address: 6 Arrowhead Drive

Nantucket, MA 02554

Contact Phone #: 508-325-4747 E-mail: _____

AGENT INFORMATION (if applicable)

Name: Botticelli & Pohl

Mailing Address: 11 Old South Road

Nantucket, MA 02554

Contact Phone #: 508-228-5455 E-mail: _____

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____

Must be acted on by: _____

Extended to: _____

Approved: _____ Disapproved: _____

Chairman: _____

Member: _____

Member: _____

Member: _____

Member: _____

Notes - Comments - Restrictions - Conditions

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Pool (Zoning District _____) Roof Other _____

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Masonry Chimney: Block Parged Brick (type) _____ Other _____

Roof Pitch: Main Mass _____/12 Secondary Mass _____/12 Dormer _____/12 Other _____

Roofing material: Asphalt: 3-Tab Architectural

Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____

GATE
Fence: Height: 3'-6" Posts: 8'
Type: Cedar
GATE
Length: 12'

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____

Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size): _____

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Other _____

Trim: A. Wood Pine Redwood Cedar Other _____

B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____

Window Casing _____ Door Frame _____ Columns / Posts: Round _____ Square _____

Windows*: Double Hung Casement All Wood Other _____

True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

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COLORS

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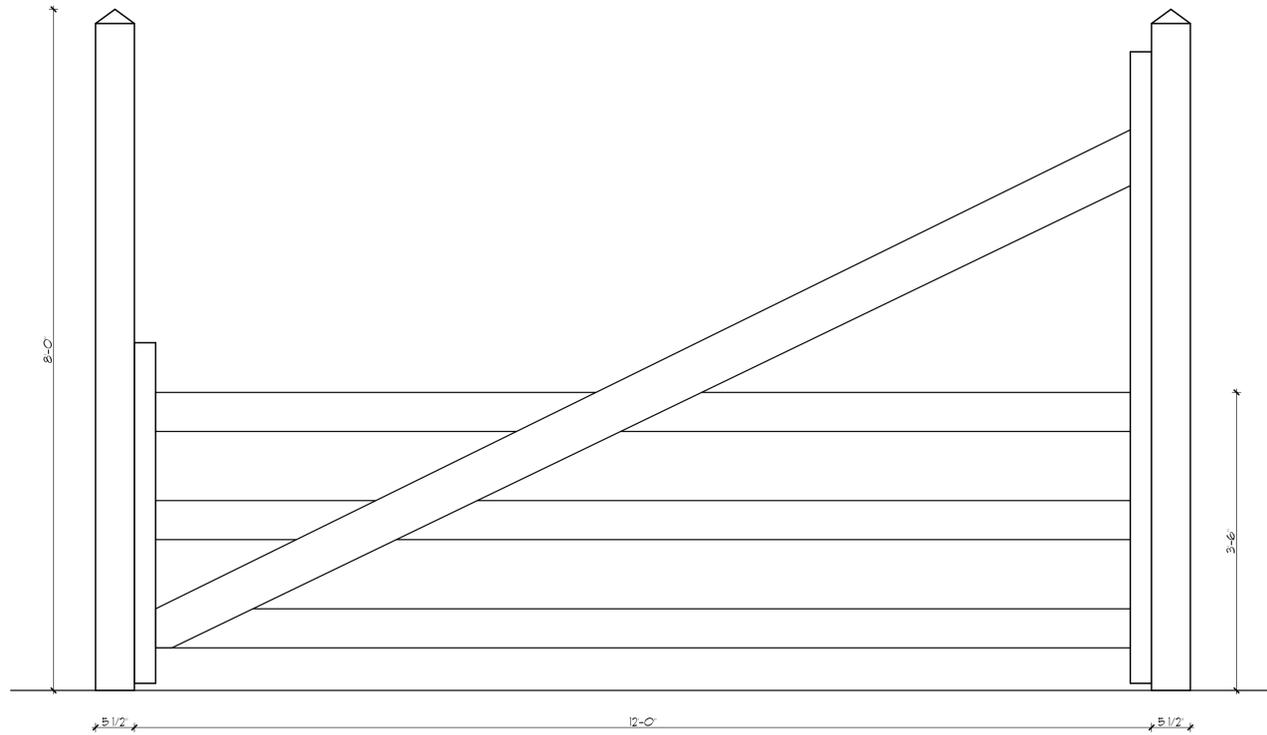
Trim _____ Sash _____ Doors _____

Deck _____ Foundation _____ Fence **BALTIC GRAY** Shutters _____

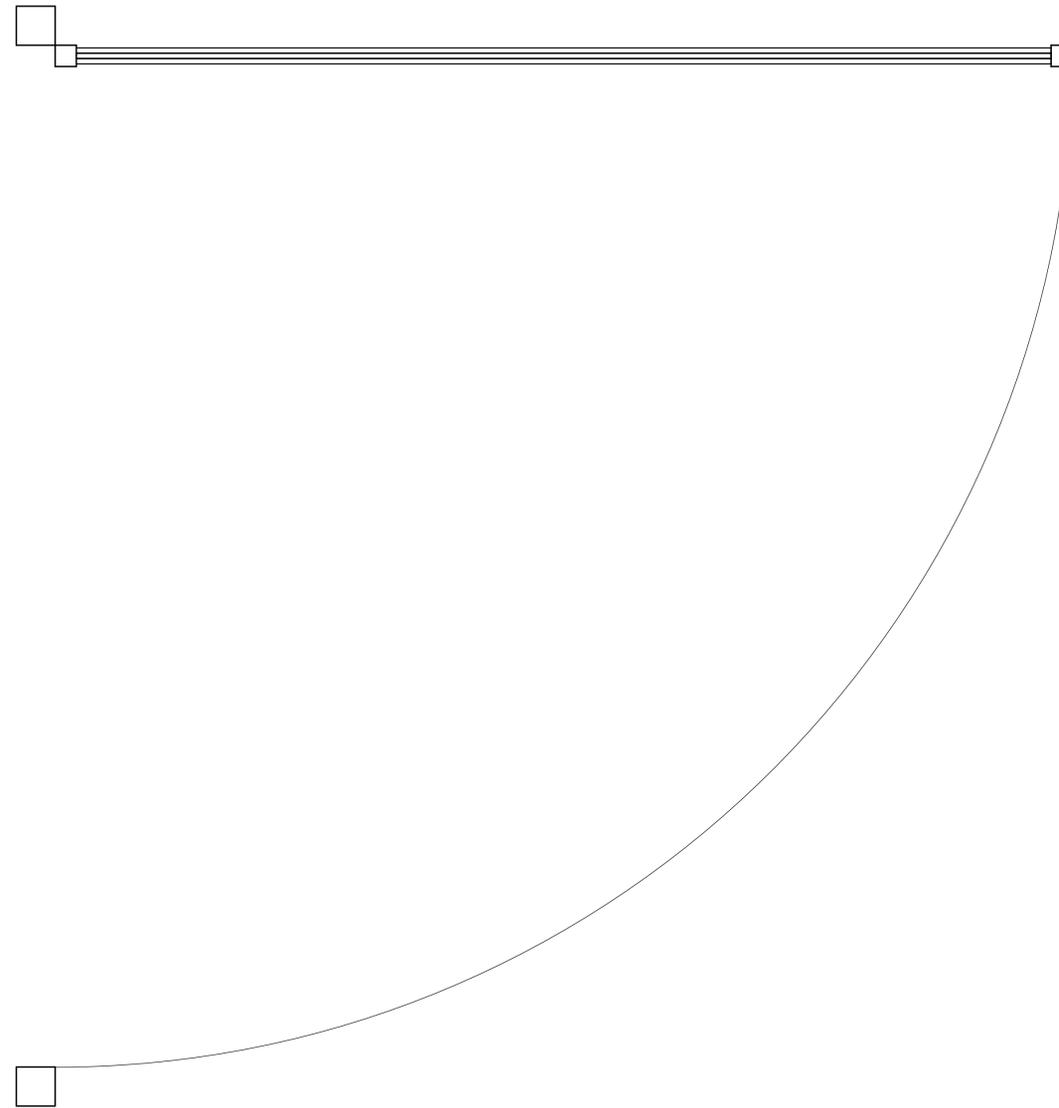
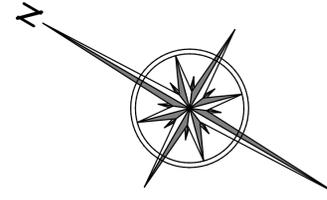
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Date 5/3/16 Signature of owner of record [Signature] Signed under penalties of perjury



2 Gate Elevation from Polpis Road when Closed
SCALE: 1" = 1'-0"



1 Gate Plan
SCALE: 1" = 1'-0"

BOTTICELLI & POHL
ARCHITECTS



11 Old South Road Nantucket MA 02554 P 508 228 5455 F 508 228 3718
9 East Street Boston MA 02111 P 617 482 4543 F 617 482 4562

www.botticelliandpohl.com

| MARK | DATE | DESCRIPTION |
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Driveway Gate Detail

Ceylon Elves, LLC
286 Polpis Road
Nantucket, MA
02554

Map No.: 25
Parcel No.: 33
Zoning Info: LUG 3
Project No:
Scale: As Noted
Revised:
Drawing No.:

A-4.6

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