

1. Viewpack

Documents:

[9 BAYBERRY LANE.PDF](#)  
[15 BOULEVARDE.PDF](#)  
[22 QUIDNET PATH ROAD.PDF](#)

2. No Meeting Agenda

There is no agenda available for this meeting. Please view the minutes.

CERTIFICATE NO: \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

### CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

#### PROPERTY DESCRIPTION

TAX MAP N°: 67 PARCEL N°: 62  
 Street & Number of Proposed Work: 9 Bayberry Lane  
 Owner of record: Randolph Norris  
 Mailing Address: 9 Bayberry Lane  
Nantucket, MA 02554  
 Contact Phone #: 508-292-2754 E-mail: \_\_\_\_\_

#### AGENT INFORMATION (if applicable)

Name: Gerard Villano -  
 Mailing Address: 13 Marjorie Drive  
Halifax, MA 02338  
 Contact Phone #: 617-799-4748 E-mail: plumb.level@yahoo.com

<u>6hk-4204</u>	FOR OFFICE USE ONLY	
Date application received: <u>6/20/16</u>	Fee Paid: \$ <u>100.00</u>	
Must be acted on by: <u>8/28/16</u>		
Extended to: _____		
Approved: _____	Disapproved: _____	
Chairman: _____		
Member: _____		
Member: _____		
Member: _____		
Notes - Comments - Restrictions - Conditions		

#### DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling    Addition    Garage    Driveway/Apron    Commercial    Historical Renovation    Deck/Patio    Steps    Shed  
 Color Change    Fence    Gate    Hardscaping    Move Building    Demolition    Revisions to previous Cert. No. \_\_\_\_\_  
 Pool (Zoning District \_\_\_\_\_)    Roof    Other residential solar rooftop PV array 5.083kW DC (19 panels)  
 Size of Structure or Addition: Length: \_\_\_\_\_ Sq. Footage 1st floor: \_\_\_\_\_ Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
 Width: \_\_\_\_\_ Sq. Footage 2nd floor: \_\_\_\_\_ Size: \_\_\_\_\_  1st floor  2nd floor  
 Sq. Footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_  
 Height of ridge above final finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

#### Additional Remarks

Historic Name: \_\_\_\_\_  
 Original Date: \_\_\_\_\_ (describe)  
 Original Builder: \_\_\_\_\_  
 Is there an HDC survey form for this building attached?  Yes  N/A

#### REVISIONS\*

1. East Elevation
2. South Elevation
3. West Elevation
4. North Elevation

\*Cloud on drawings and submit photographs of existing elevations.

#### DETAIL OF WORK TO BE PERFORMED

**Foundation:** Height Exposed \_\_\_\_\_  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
**Masonry Chimney:**  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
**Roof Pitch:** Main Mass \_\_\_\_\_/12 Secondary Mass \_\_\_\_\_/12 Dormer \_\_\_\_\_/12 Other \_\_\_\_\_  
**Roofing material:**  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_  
**Skylights (flat only):** Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
 Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
**Gutters:**  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_  
**Leaders (material and size):** \_\_\_\_\_  
**Sidewall:**  White cedar shingles \_\_\_\_\_  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_  
**Trim:** A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
 B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_  
 C. Dimensions: Fascia \_\_\_\_\_ Rake \_\_\_\_\_ Soffit (Overhang) \_\_\_\_\_ Corner boards \_\_\_\_\_ Frieze \_\_\_\_\_  
 Window Casing \_\_\_\_\_ Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_  
**Windows\*:**  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights(muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_  
**Doors\* (type and material):**  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_  
 Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_  
**Hardscape materials:** Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

Fence: Height: _____
Type: _____
Length: _____

\* Note: Complete door and window schedules are required.

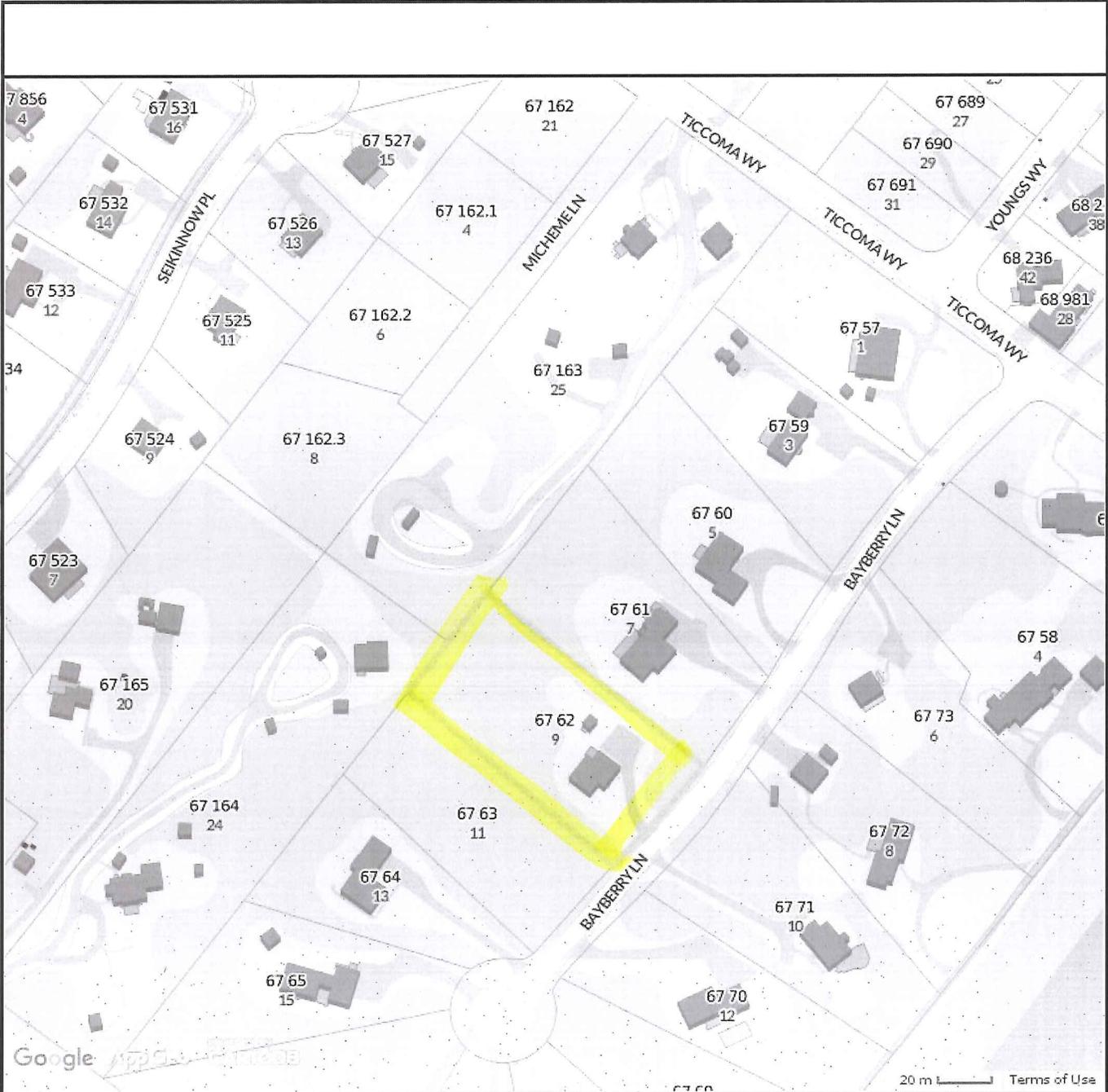
#### COLORS

Sidewall \_\_\_\_\_ Clapboard (if applicable) \_\_\_\_\_ Roof \_\_\_\_\_  
 Trim \_\_\_\_\_ Sash \_\_\_\_\_ Doors \_\_\_\_\_  
 Deck \_\_\_\_\_ Foundation \_\_\_\_\_ Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date \_\_\_\_\_ Signature of owner of record \_\_\_\_\_ Signed under penalties of perjury



**Property Information**

**Property ID:** 67 62  
**Location:** 9 BAYBERRY LN  
**Owner:** NORRIS RANDOLPH P TRST



**MAP FOR REFERENCE ONLY  
 NOT A LEGAL DOCUMENT**

Town and County of Nantucket, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Parcels updated December, 2014  
 Properties updated January, 2015



# PHOTOVOLTAIC SYSTEM

## SYSTEM SIZE:

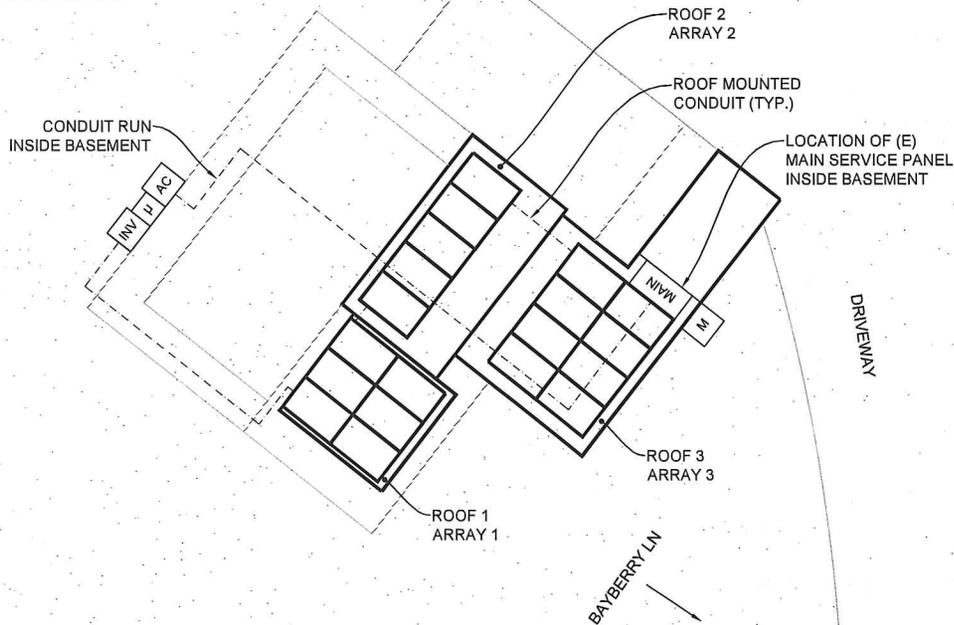
AC / DC KW STC: 5.083kW \ 5.7kW

## EQUIPMENT:

PV MODULES: (19) LG LG300N1K-G4  
 INVERTER(S): (1) SolarEdge SE5000A-US

## SCOPE OF WORK:

INSTALLATION OF A SAFE AND CODE-COMPLIANT GRID-TIED SOLAR PV SYSTEM ON AN EXISTING RESIDENTIAL ROOF TOP.



## SITE PLAN

SCALE: N.T.S.



## SHEET INDEX

PV0.0	COVER AND SITE PLAN
PV1.0	GENERAL NOTES
PV2.0-2.1	ARRAY LAYOUT
PV2.2-2.3	SIDE ELEVATION
PV3.0	LINE DIAGRAM
PV4.0	LABELS
PV5.0	DIRECTORY

KEY:	
---	PROPERTY LINE
---	CONDUIT RUN
---	DRIVEWAY
---	FENCE
---	FIRE CLEARANCE
---	STRUCTURAL UPGRADES
[Symbol]	SOLAR MODULE
[Symbol]	MAIN SERVICE PANEL
[Symbol]	UTILITY METER
[Symbol]	PV METER
[Symbol]	INVERTER
[Symbol]	SUBPANEL
[Symbol]	DC DISCONNECT
[Symbol]	AC DISCONNECT
[Symbol]	JUNCTION BOX
[Symbol]	MONITORING UNIT
[Symbol]	COMBINER BOX
[Symbol]	ROOF OBSTRUCTION

## APPLICABLE CODES:

2014 NEC  
 2009 INTERNATIONAL CODES WITH MA AMENDMENTS

## CONTRACTOR INFORMATION:

RENEWABLE CONSTRUCTION  
 BRIDGEWATER  
 1130 ACUSHNET AVE.  
 NEW BEDFORD, MA 02746

## JURISDICTIONAL INFORMATION:

NANTUCKET, TOWN OF  
 2 FAIRGROUNDS ROAD  
 NANTUCKET, MA 02554

## NOTES TO INSTALLER:

REARRANGE BREAKERS TO MAKE ROOM FOR PV BREAKER.

## FOR INSTALLER USE ONLY

POST INSTALL SUNEYES REQUIRED? NO

I CERTIFY THAT NO CHANGES HAVE BEEN MADE TO THE ARRAY LAYOUT:

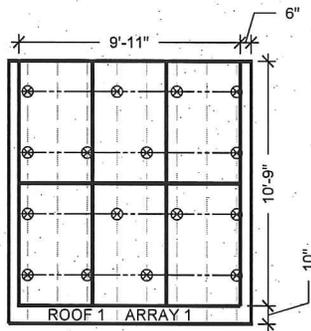
## CUSTOMER INFORMATION:

RANDOLPH NORRIS  
 9 BAYBERRY LANE  
 NANTUCKET, MA 02554  
 (508) 292-2754 / #2594786

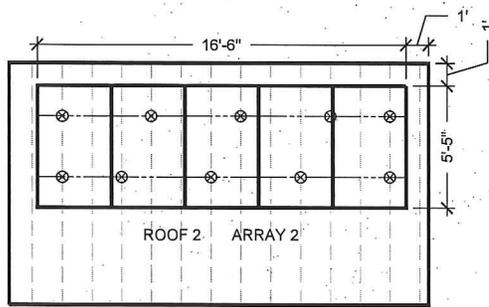
DESIGNED BY:	REV #:	DATE:	PV-0.0
VALID.B	0	5/10/16	

**SYMBOL KEY:**

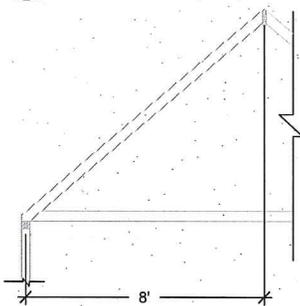
- RAIL
- - - RAFTERS
- ROOF
- FIRE CLEARANCE
- ⊙ STRING CONFIG.
- STRUCTURAL UPGRADES
- ☐ SOLAR MODULE
- ⊗ MOUNT
- ⊗ SKYLIGHT
- ⊗ CHIMNEY
- PLUMBING OR ATTIC VENT
- ATTIC VENT



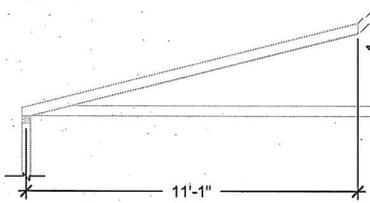
**1 ARRAY 1 LAYOUT**  
SCALE: 3/16" = 1'-0"



**3 ARRAY 2 LAYOUT**  
SCALE: 3/16" = 1'-0"

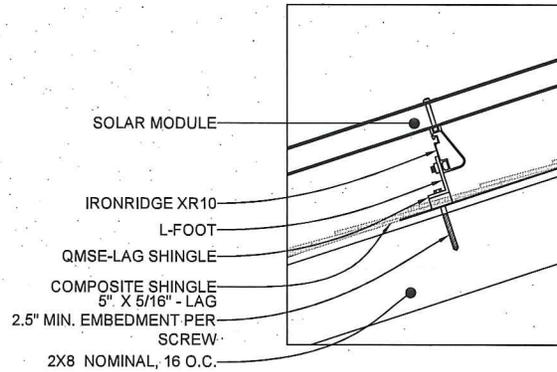


**4 ROOF 2 SECTION**  
SCALE: 1/4" = 1'-0"



**2 ROOF 1 SECTION**  
SCALE: 1/4" = 1'-0"

**NOTE:**  
MODULES SHALL NOT BE GREATER THAN 8 INCHES ABOVE ROOF COVERING



**5 MOUNTING DETAIL**  
SCALE: NTS

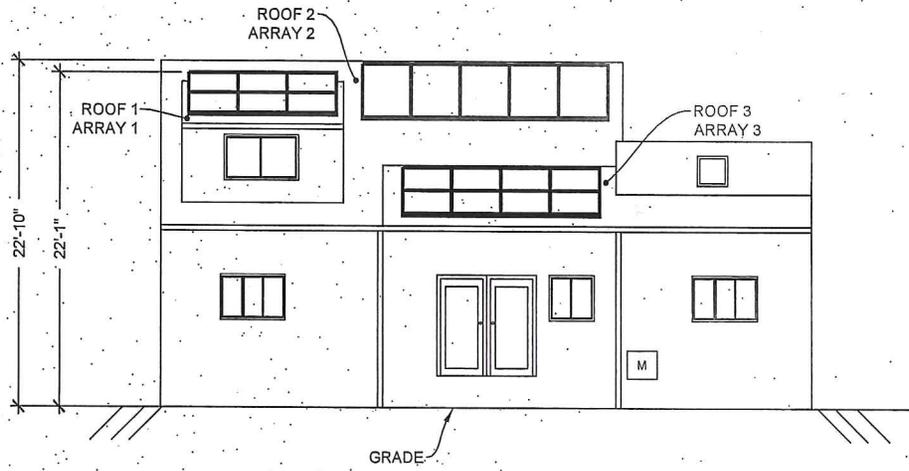
MODULE SPECIFICATIONS	
(19) LG LG300N1K-G4	
MODULE WEIGHT:	37.48
MODULE LENGTH:	64.57
MODULE WIDTH:	39.37
ROOF 1 SPECS	
RAFTER SIZE:	2X8 NOMINAL
RAFTER SPAN:	11' - 1"
RAFTER SPACING:	16"
ROOF MATERIAL:	COMPOSITE SHINGLE
ARRAY 1 SPECS	
NUMBER OF MODULES:	6
TOTAL MOD. WEIGHT (lbs):	224.9
RACKING WEIGHT (lbs):	38.2
ARRAY WEIGHT (lbs):	263
ARRAY AREA (sqft):	105.9
ARRAY DEAD LOAD (lbs/sqft):	2.5
NUMBER OF MOUNTS:	16
LOAD PER MOUNT(lbs):	16.4
ARRAY AZIMUTH(°):	130
ARRAY TILT(°):	14
NUMBER OF FLOORS	2
ROOF 2 SPECS	
RAFTER SIZE:	2X8 NOMINAL
RAFTER SPAN:	8' - 0"
RAFTER SPACING:	16"
ROOF MATERIAL:	COMPOSITE SHINGLE
ARRAY 2 SPECS	
NUMBER OF MODULES:	5
TOTAL MOD. WEIGHT (lbs):	187.4
RACKING WEIGHT (lbs):	23.1
ARRAY WEIGHT (lbs):	210.5
ARRAY AREA (sqft):	88.3
ARRAY DEAD LOAD (lbs/sqft):	2.4
NUMBER OF MOUNTS:	10
LOAD PER MOUNT(lbs):	21.1
ARRAY AZIMUTH(°):	130
ARRAY TILT(°):	40
NUMBER OF FLOORS	1

**CUSTOMER INFORMATION:**

RANDOLPH NORRIS  
9 BAYBERRY LANE  
NANTUCKET, MA 02554  
(508) 292-2754 / #2594786

DESIGNED BY:	REV #:	DATE:	PV- 2.0
VALID.B	0	5/10/16	

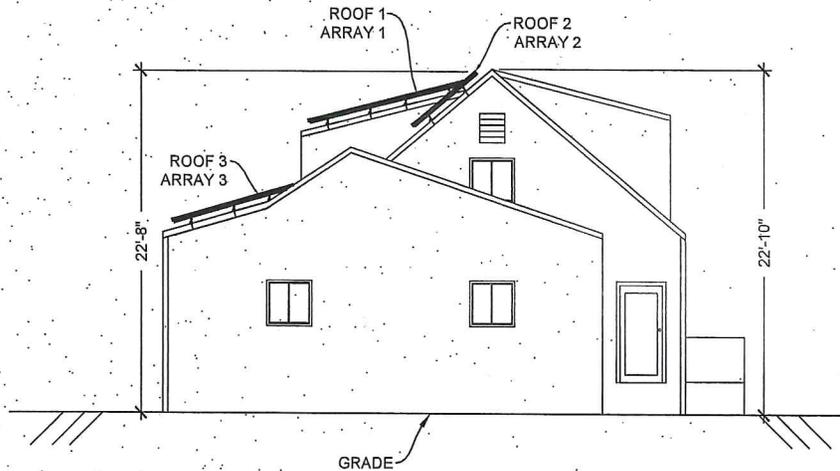
1 2 3 4 5



**KEY:**

---	PROPERTY LINE	☐	INVERTER
---	CONDUIT RUN	☐	SUBPANEL
---	DRIVEWAY	☐	DC DISCONNECT
---	FENCE	☐	AC DISCONNECT
---	FIRE CLEARANCE	☐	JUNCTION BOX
---	STRUCTURAL UPGRADES	☐	MONITORING UNIT
☐	SOLAR MODULE	☐	COMBINER BOX
☐	MAIN SERVICE PANEL	☐	ROOF OBSTRUCTION
☐	UTILITY METER		
☐	PV METER		

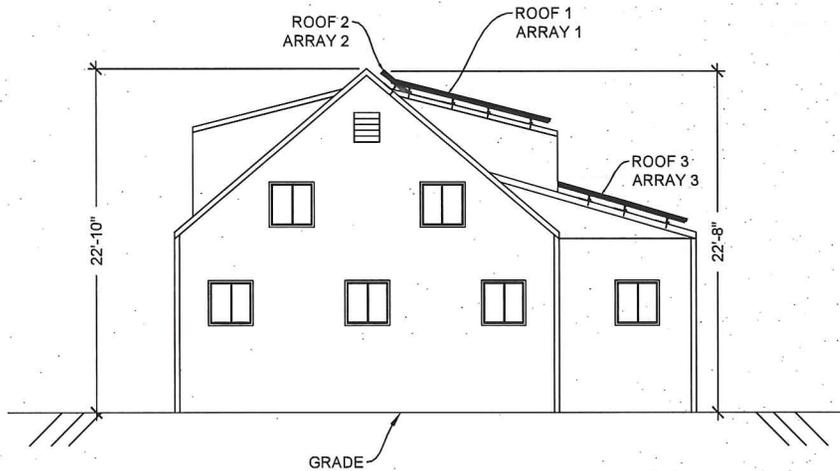
**1 FRONT ELEVATION**  
SCALE: 1/8" = 1'-0"



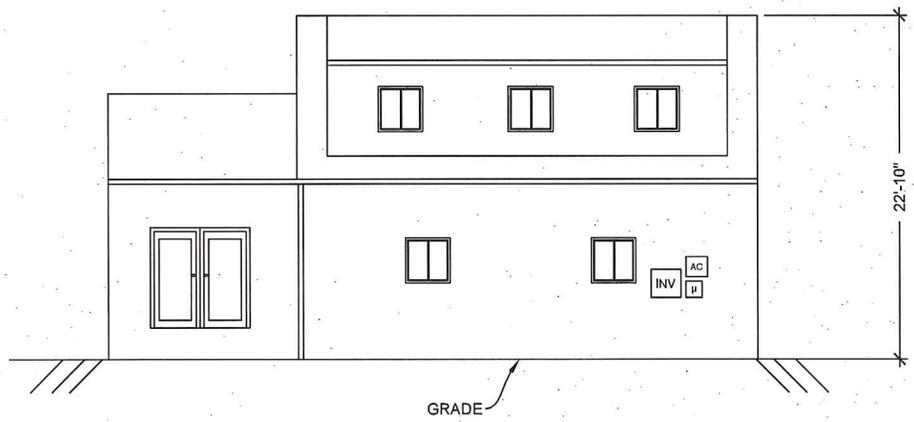
**2 SOUTH WEST ELEVATION**  
SCALE: 1/8" = 1'-0"

<b>CUSTOMER INFORMATION:</b>			
RANDOLPH NORRIS 9 BAYBERRY LANE NANTUCKET, MA 02554 (508) 292-2754 / #2594786			
<b>DESIGNED BY:</b>	<b>REV #:</b>	<b>DATE:</b>	<b>PV-2.2</b>
VALID,B	0	5/10/16	

1 2 3 4 5



**1 NORTH EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**2 BACK ELEVATION**  
SCALE: 1/8" = 1'-0"

**KEY:**

---	PROPERTY LINE	INV	INVERTER
---	CONDUIT RUN	SPN	SUBPANEL
---	DRIVEWAY	DC	DC DISCONNECT
---	FENCE	AC	AC DISCONNECT
---	FIRE CLEARANCE	JB	JUNCTION BOX
---	STRUCTURAL UPGRADES	MU	MONITORING UNIT
■	SOLAR MODULE	MS	COMBINER BOX
MS	MAIN SERVICE PANEL	RO	ROOF OBSTRUCTION
M	UTILITY METER		
PM	PV METER		

**CUSTOMER INFORMATION:**

RANDOLPH NORRIS  
9 BAYBERRY LANE  
NANTUCKET, MA 02554  
(508) 292-2754 / #2594786

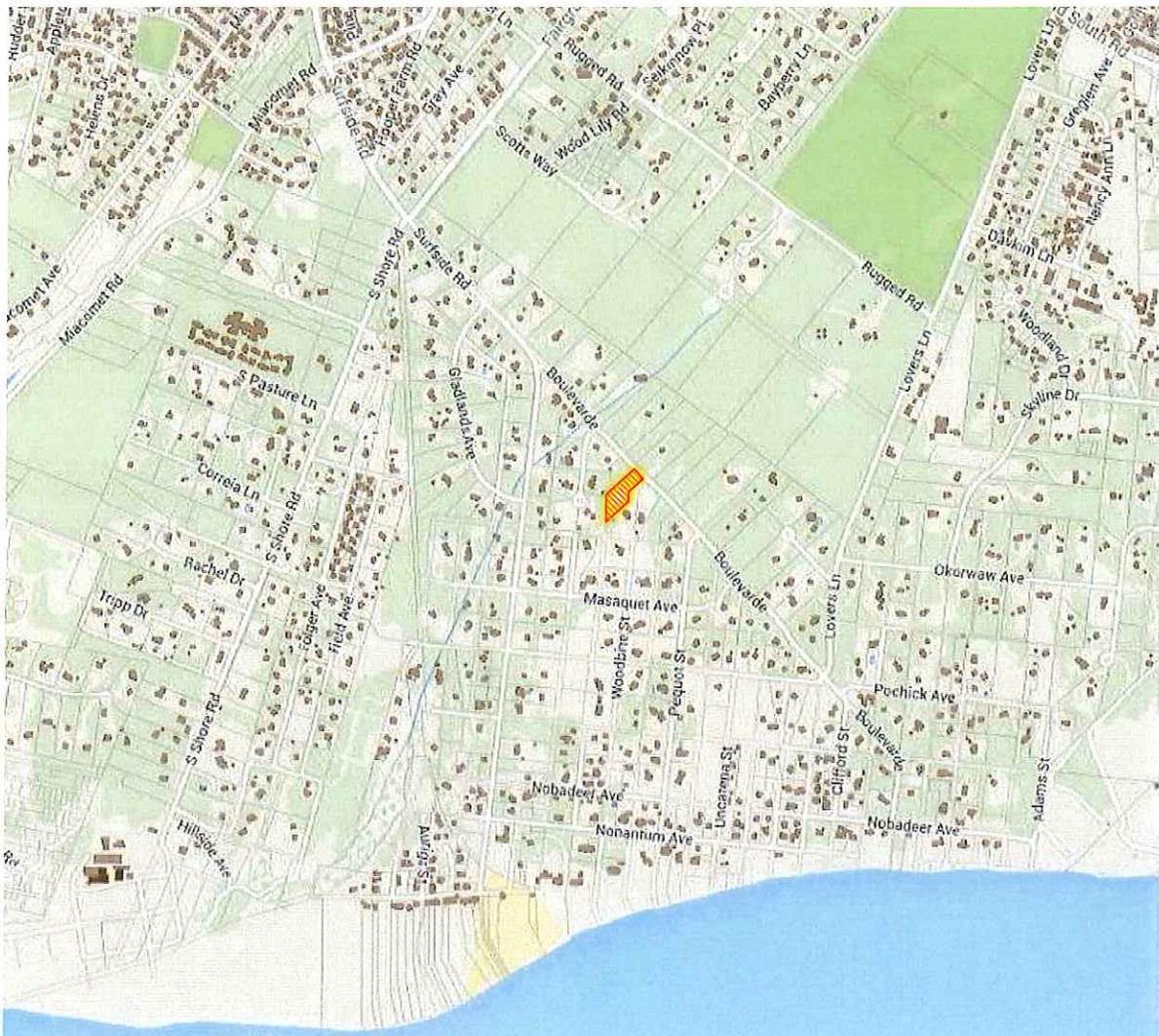
DESIGNED BY:	REV #:	DATE:	
VALID.B	0	5/10/16	<b>PV- 2.3</b>



# Saluzzo Residence Addition

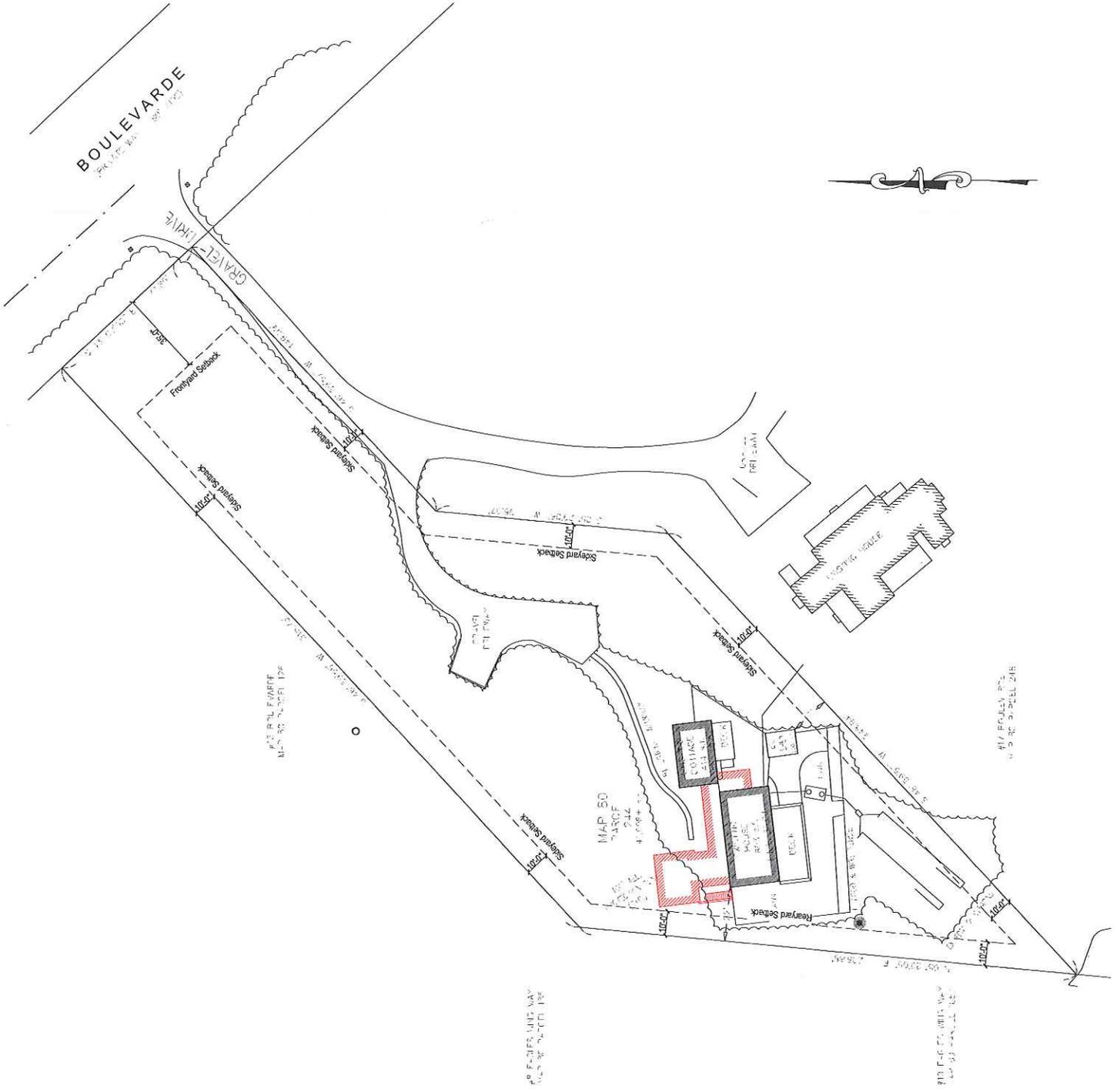
15 Boulevard

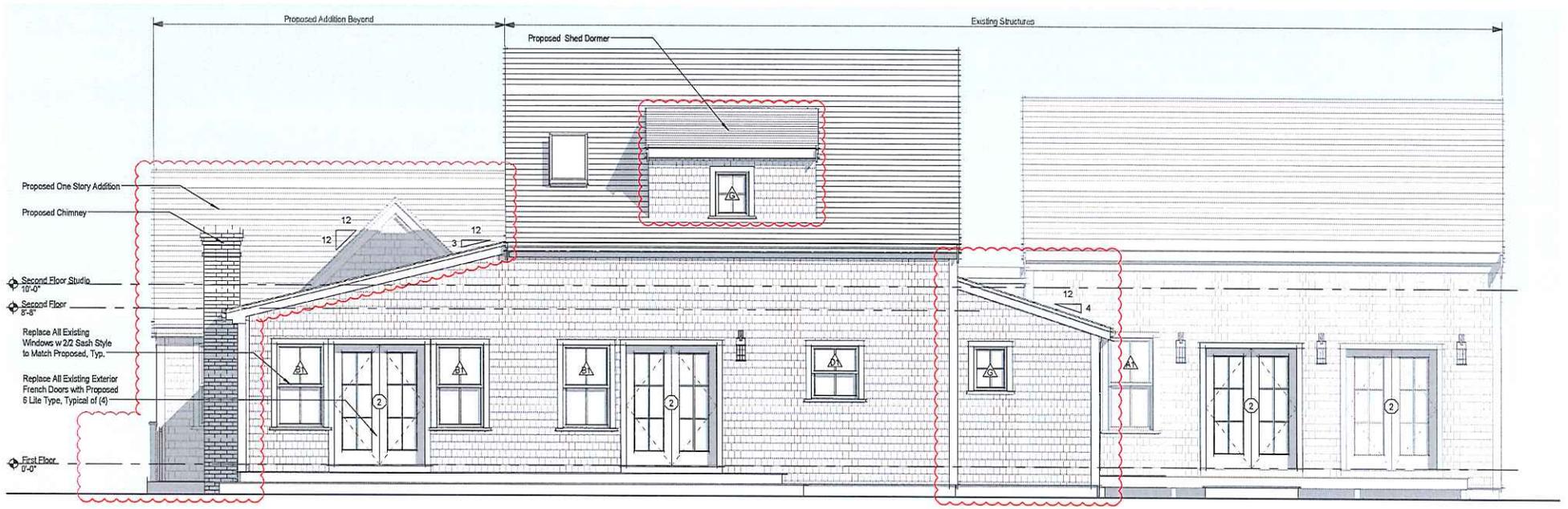
Nantucket, MA 02554



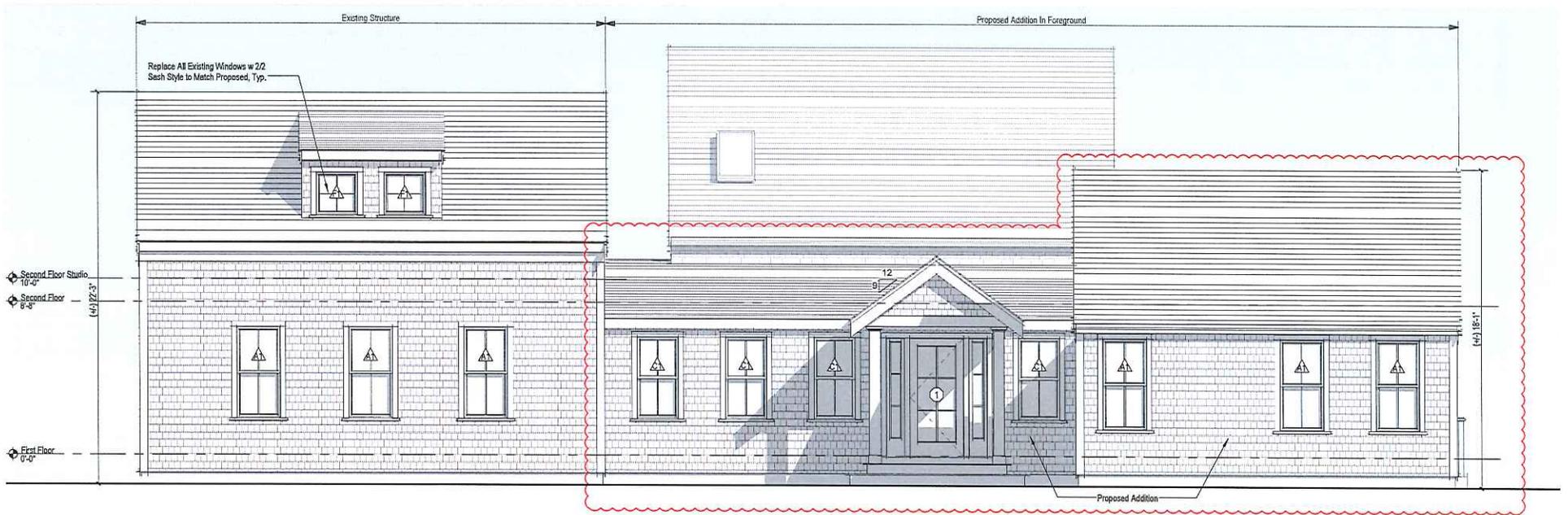
West Elevation

East Elevation

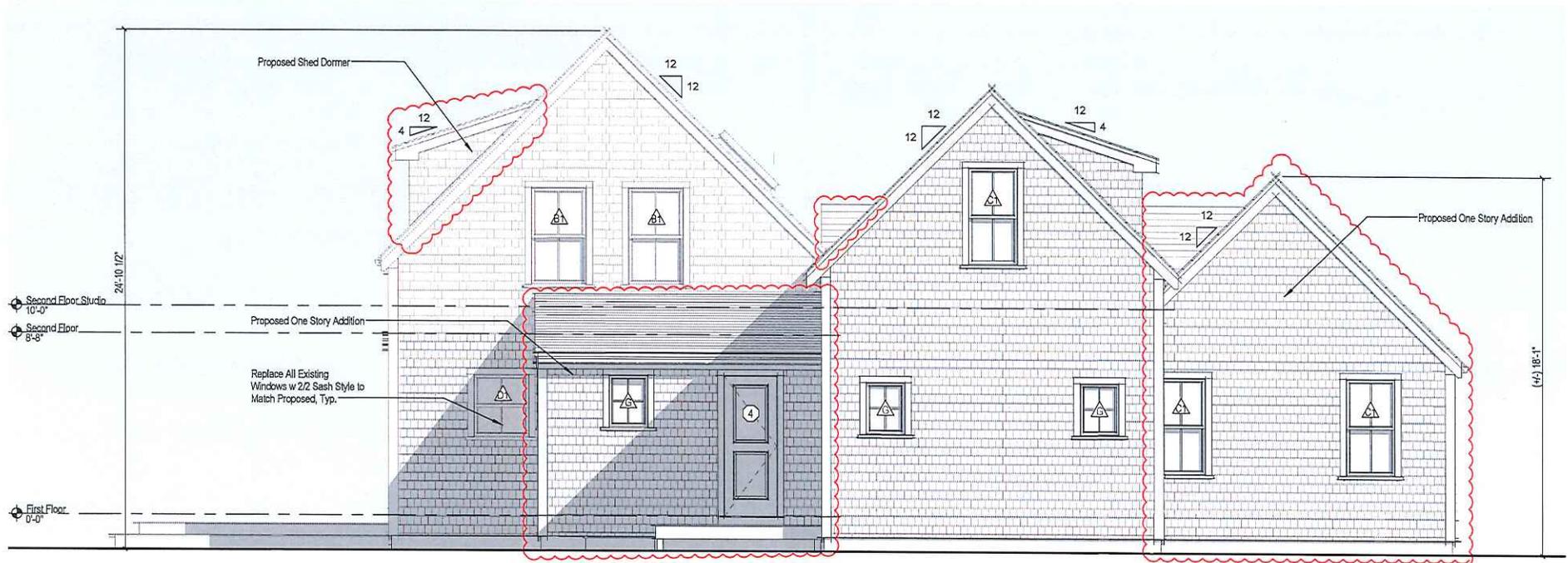




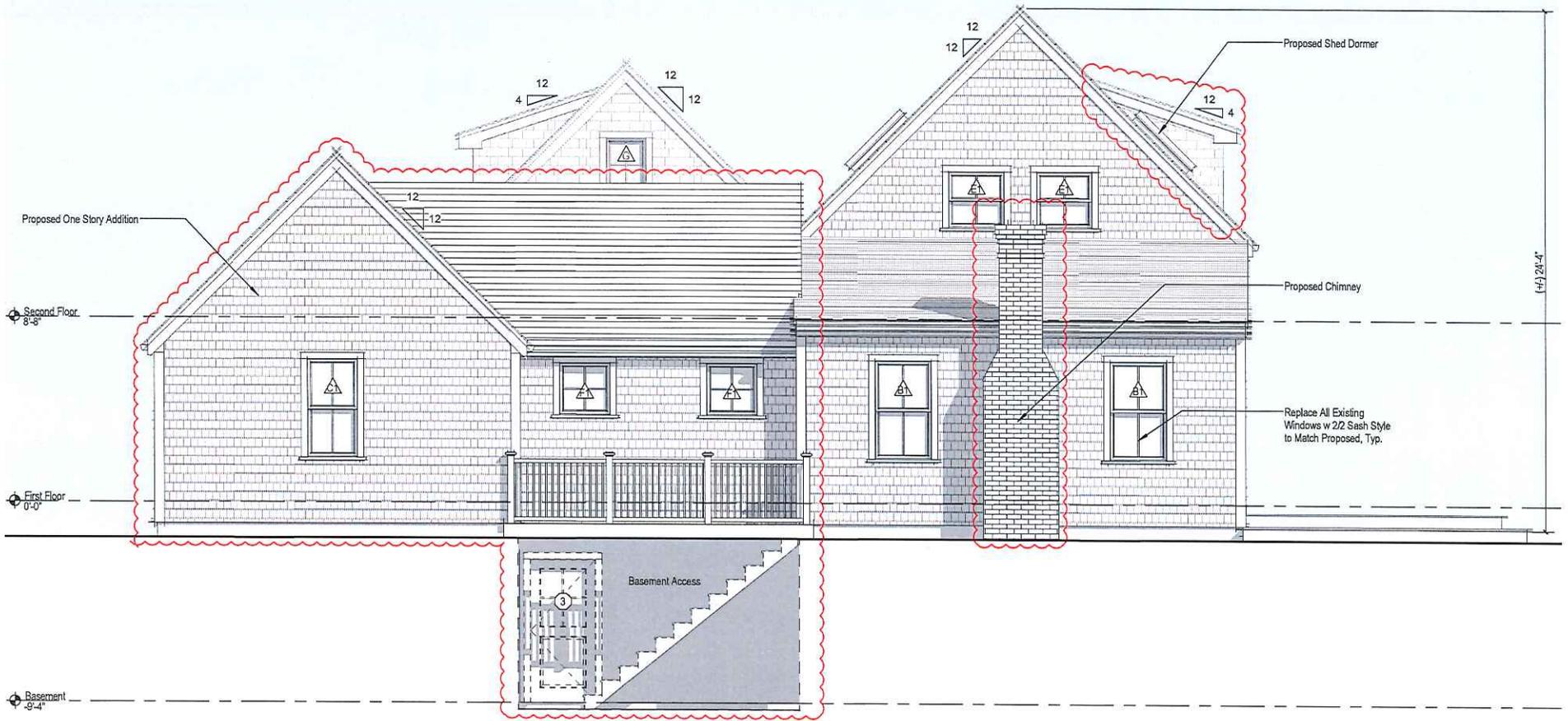
**1** South Elevation - Proposed  
 1/4" = 1'-0"



2 North Elevation - Proposed  
 1/4" = 1'-0"



1 East Elevation - Proposed  
 1/4" = 1'-0"



**3** West Elevation - Proposed  
 1/4" = 1'-0"

CERTIFICATE NO: \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

**CERTIFICATE OF APPROPRIATENESS**

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

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This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

**PROPERTY DESCRIPTION**

TAX MAP N°: 21 PARCEL N°: 151  
Street & Number of Proposed Work: 27 QUIDNET PATH  
Owner of record: ROB PETRINI  
Mailing Address: 2 BROAD ST  
NANTUCKET MA 02554  
Contact Phone #: 508-228-2722 E-mail: \_\_\_\_\_

**AGENT INFORMATION (if applicable)**

Name: BPL ARCHITECTURE  
Mailing Address: 2 BROAD ST  
NANTUCKET MA 02554  
Contact Phone #: 508-228-2722 E-mail: \_\_\_\_\_

FOR OFFICE USE ONLY

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_

Must be acted on by: \_\_\_\_\_

Extended to: \_\_\_\_\_

Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_

Chairman: \_\_\_\_\_

Member: \_\_\_\_\_

Member: \_\_\_\_\_

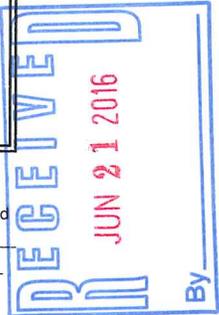
Member: \_\_\_\_\_

Member: \_\_\_\_\_

Notes - Comments - Restrictions - Conditions

\_\_\_\_\_

\_\_\_\_\_



**DESCRIPTION OF WORK TO BE PERFORMED**

See reverse for required documentation.

New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed

Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. 64024

Pool (Zoning District \_\_\_\_\_)  Roof  Other \_\_\_\_\_

Size of Structure or Addition: Length: \_\_\_\_\_ Sq. Footage 1st floor: \_\_\_\_\_ Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
Width: \_\_\_\_\_ Sq. Footage 2nd floor: \_\_\_\_\_ Size: \_\_\_\_\_  1st floor  2nd floor  
Sq. Footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

Height of ridge above final finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

**Additional Remarks**

Historic Name: \_\_\_\_\_ **REVISIONS\*** 1. East Elevation ADD EXTERIOR FIREBOX

Original Date: \_\_\_\_\_ (describe) 2. South Elevation

Original Builder: \_\_\_\_\_ 3. West Elevation

Is there an HDC survey form for this building attached?  Yes  N/A 4. North Elevation

\*Cloud on drawings and submit photographs of existing elevations.

**DETAIL OF WORK TO BE PERFORMED**

**Foundation:** Height Exposed \_\_\_\_\_  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers

**Masonry Chimney:**  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_

**Roof Pitch:** Main Mass \_\_\_\_\_/12 Secondary Mass \_\_\_\_\_/12 Dormer \_\_\_\_\_/12 Other \_\_\_\_\_

**Roofing material:**  Asphalt:  3-Tab  Architectural

Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_

**Skylights (flat only):** Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

**Gutters:**  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_

**Leaders (material and size):** \_\_\_\_\_

**Sidewall:**  White cedar shingles \_\_\_\_\_  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side

Other \_\_\_\_\_

**Trim:** A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_

B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_

C. Dimensions: Fascia \_\_\_\_\_ Rake \_\_\_\_\_ Soffit (Overhang) \_\_\_\_\_ Corner boards \_\_\_\_\_ Frieze \_\_\_\_\_

Window Casing \_\_\_\_\_ Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_

**Windows\*:**  Double Hung  Casement  All Wood  Other \_\_\_\_\_

True Divided Lights(muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_

**Doors\* (type and material):**  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_

Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_

**Hardscape materials:** Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

**COLORS**

Sidewall NAT. Clapboard (if applicable) - Roof NAT.

Trim QUAKER GRAY Sash GRAPHITE Doors GRAPHITE

Deck NAT. Foundation NAT. Fence - Shutters -

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 6/20/16 Signature of owner of record \_\_\_\_\_ Signed under penalties of perjury

# PETRINI - 22 QUIDNET PATH



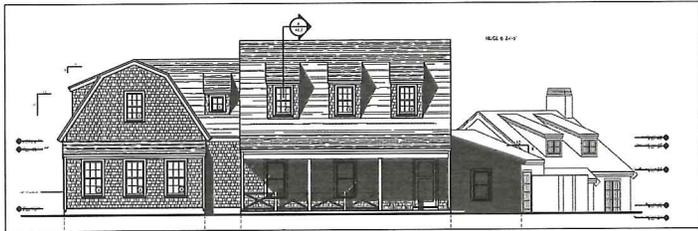
LOCUS PLAN: NTS



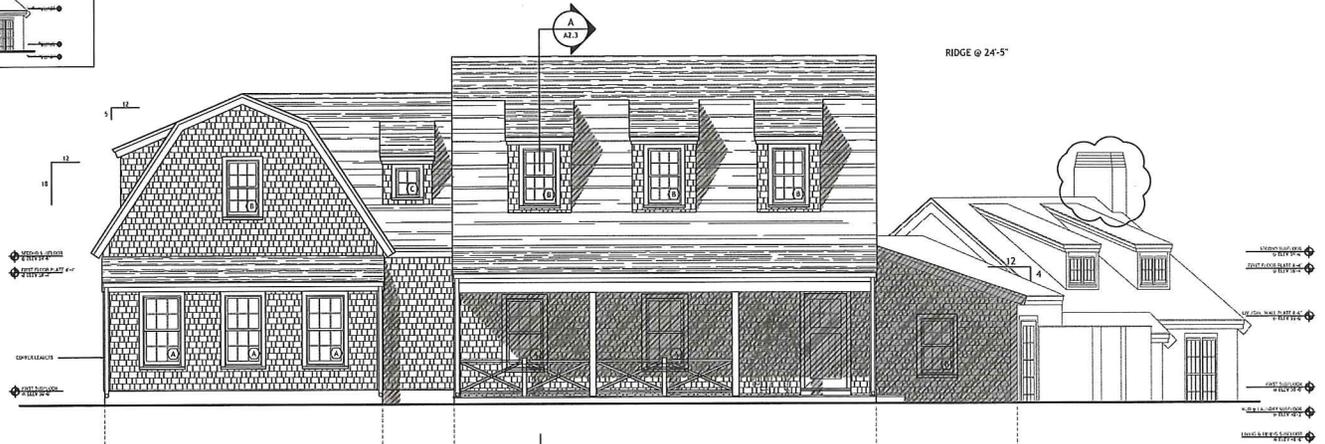
AERIAL VIEW: NTS



SITE PLAN: 1" = 20'-0"



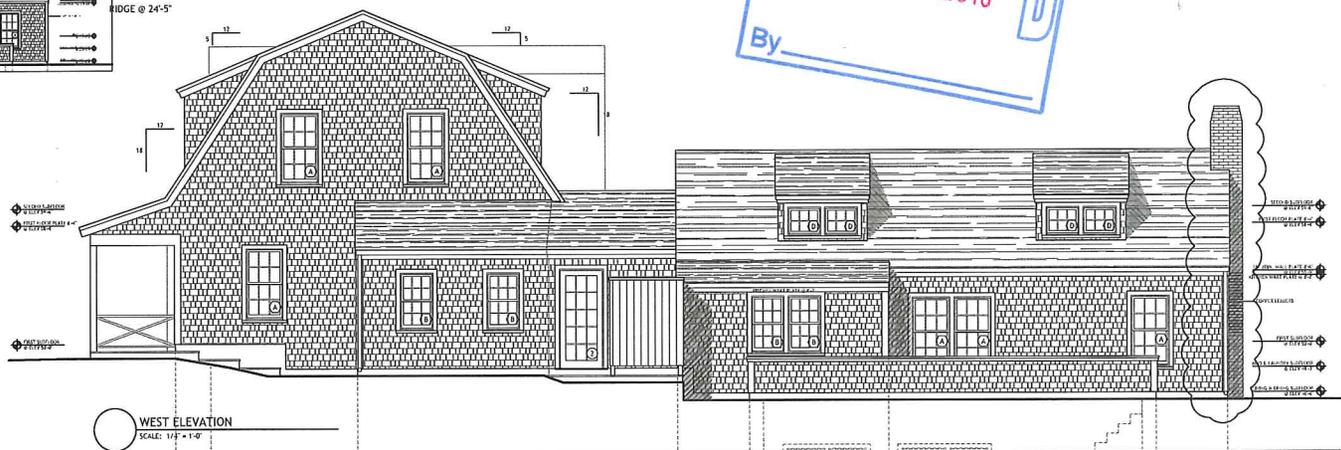
PREVIOUS APPROVAL



NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



PREVIOUS APPROVAL

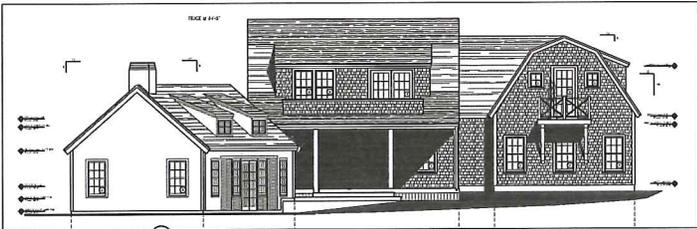


WEST ELEVATION  
SCALE: 1/4" = 1'-0"

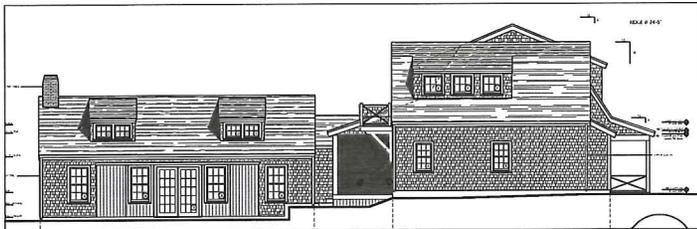
RECEIVED  
JUN 21 2016  
By \_\_\_\_\_

HDC - REVISION

NORTH & WEST | A2.1  
20 JUNE 2016



PREVIOUS APPROVAL



PREVIOUS APPROVAL



# PETRINI - 22 QUIDNET PATH



LOCUS PLAN: NTS



AERIAL VIEW: NTS

