

1. Viewpack

Documents:

3 CHASE LANE.PDF
4 SOUTH BEACH ST., MOVE, DEMO.PDF
4 SOUTH BEACH ST., NEW BUILDING.PDF
6 CATHCART ROAD.PDF
9 RUDDER LANE, ADDITION.PDF
9 RUDDER LANE, GARAGE.PDF
10 WEYMOUTH ST., DRIVEWAY.PDF
13 MONOMOY ROAD.PDF
16 GREENLEAF RD., POOL.PDF
16 GREENLEAF ROAD, SECOND DWELLING.PDF
16 GREENLEAF ROAD, SHED.PDF
17 COLUMBUS AVENUE.PDF
20 WALSH STREET.PDF
21 OLD SOUTH ROAD.PDF
24 NANINA DRIVE.PDF
28 OLD TOM NEVERS RD, DECK.PDF
28 OLD TOM NEVERS RD., FENCE.PDF
49 PINE STREET.PDF
98 OLD SOUTH ROAD.PDF
130 MAIN STREET, DEMO.PDF
130 MAIN STREET, NEW DWELLING.PDF
137 OLD SOUTH ROAD.PDF

2. No Meeting Agenda

There is no agenda available for this meeting. Please view the minutes.

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N^o: 0021 PARCEL N^o: 0021-1184
Street & Number of Proposed Work: 3 Chase Ln.
Owner of record: Douglas Pinney / Karen Pelrine
Mailing Address: PO Box 872
St. Ascents MA 02564
Contact Phone #: 508-228-0118 E-mail: KPelrine06@gmail.com

AGENT INFORMATION (if applicable)

Name: LINK PERMUTING & DESIGN
Mailing Address: PO Box 1001
NANTUCKET MA 02554
Contact Phone #: (508) 221-8274 E-mail: LINK02554@gmail.com

FOR OFFICE USE ONLY
Date application received: _____ Fee Paid: \$ _____
Must be acted on by: _____
Extended to: _____
Approved: _____ Disapproved: _____
Chairman: _____
Member: _____
Member: _____
Member: _____
Member: _____
Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. NA
 Pool (Zoning District _____) Roof Other NA
Size of Structure or Addition: Length: 20' Sq. Footage 1st floor: 200 Decks/Patio: Size: NA 1st floor 2nd floor
Width: 10' Sq. footage 2nd floor: NA Size: NA 1st floor 2nd floor
Sq. footage 3rd floor: NA
Difference between existing grade and proposed finish grade: North SAME South SAME East SAME West SAME
Height of ridge above final finish grade: North 1 1/2' South 1 1/2' East 1 1/2' West 1 1/2'

Additional Remarks

REVISIONS:

Historic Name: _____
Original Date: _____ (describe)
Original Builder: DOUGLAS PINNEY + KAREN PELRINE
Is there an HDC survey form for this building attached? Yes N/A

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 8" Block Block Parged Brick (type) NA Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) NA Other NA
Roof Pitch: Main Mass 8/12 Secondary Mass _____/12 Dormer NA/12 NA Other NA
Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) WHITE CEDAR

Fence: Height: NA
Type: NA
Length: NA

Skylights (flat only): Manufacturer _____ Rough Opening 2'x8' Size 2x8 Location REAR OF HOUSE
Gutters: Wood Aluminum Copper Leaders (material) NA
Leaders (material and size): CEDAR 1x6
Sidewall: White cedar shingles Clapboard (exposure: NA inches) Front NA Side NA
 Other NA
Trim: A. Wood Pine Redwood Cedar Other _____
B. Treatment Paint Natural to weather Other _____
C. Dimensions: Fascia 6" Rake 6" Soffit (Overhang) 4 1/2" Corner boards 4" Frieze 4"
Window Casing 2 7/8 x 4 1/2" Door Frame 3'x7 1/2" Columns/Posts: Round NA Square NA
Windows*: Double Hung Casement All Wood Other NA
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer PROSCOA?
Doors* (type and material): TDL SDL Front WOOD FRENCH Rear NA Side NA
Garage Door(s): Type NA Material NA
Hardscape materials: Driveways NA Walkways NA Walls NA

* Note: Complete door and window schedules are required.

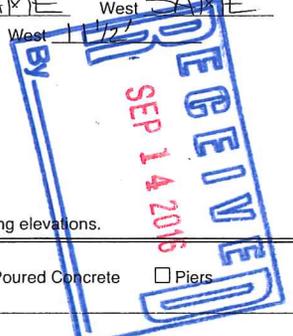
COLORS

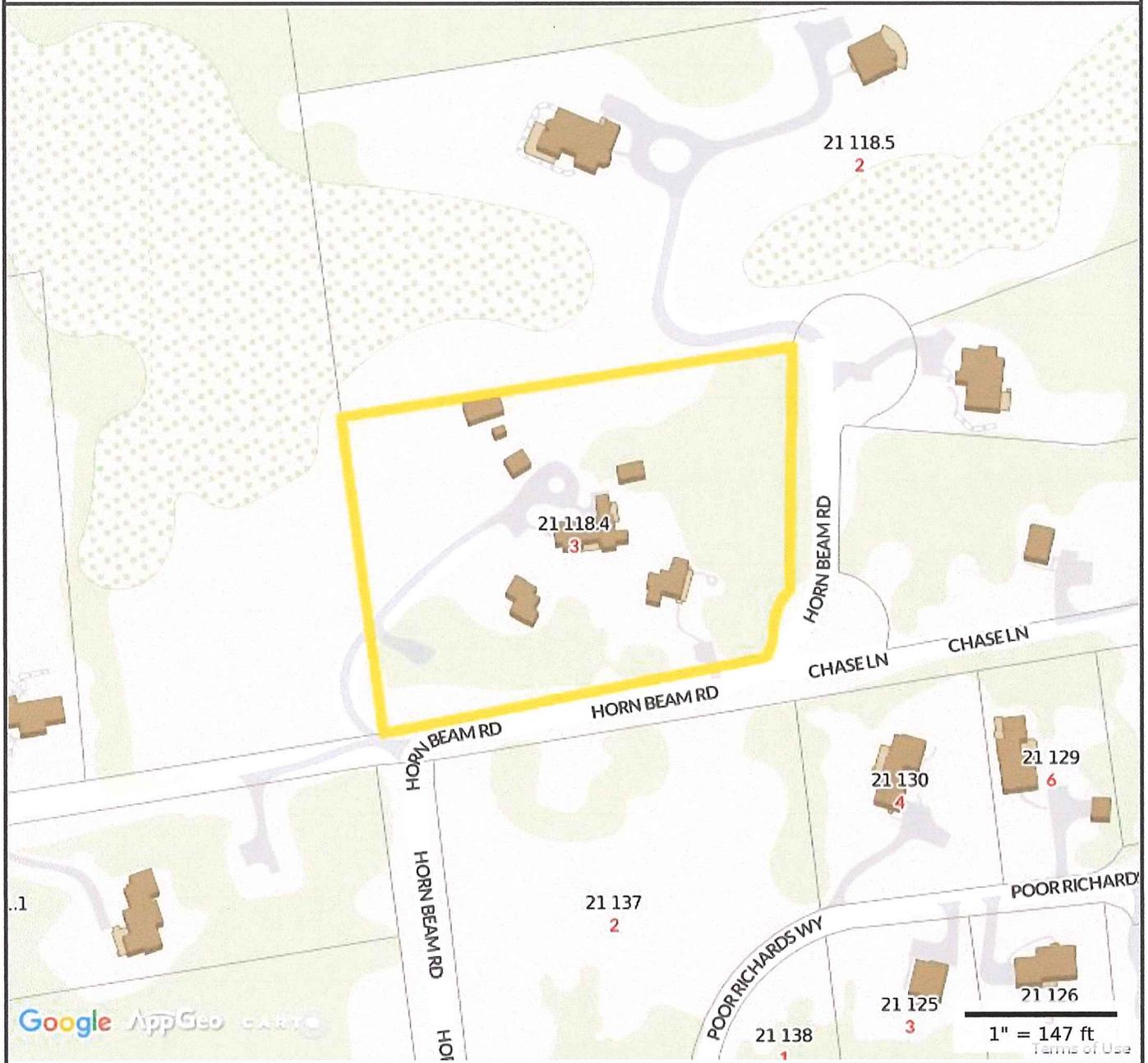
Sidewall NA Clapboard (if applicable) NA Roof NA
Trim NA Sash NEW CORAY Doors NEW CORAY
Deck NA Foundation BLOCK COLOR Fence NA Shutters NA

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date Sept. 2016 Signature of owner of record [Signature] Signed under penalties of perjury





Property Information

Property ID 21 118.4
Location 3 CHASE LN
Owner PINNEY DOUGLAS & PELRINE KAREN



**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**

Town and County of Nantucket, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Parcels updated December, 2014
Properties updated January, 2015

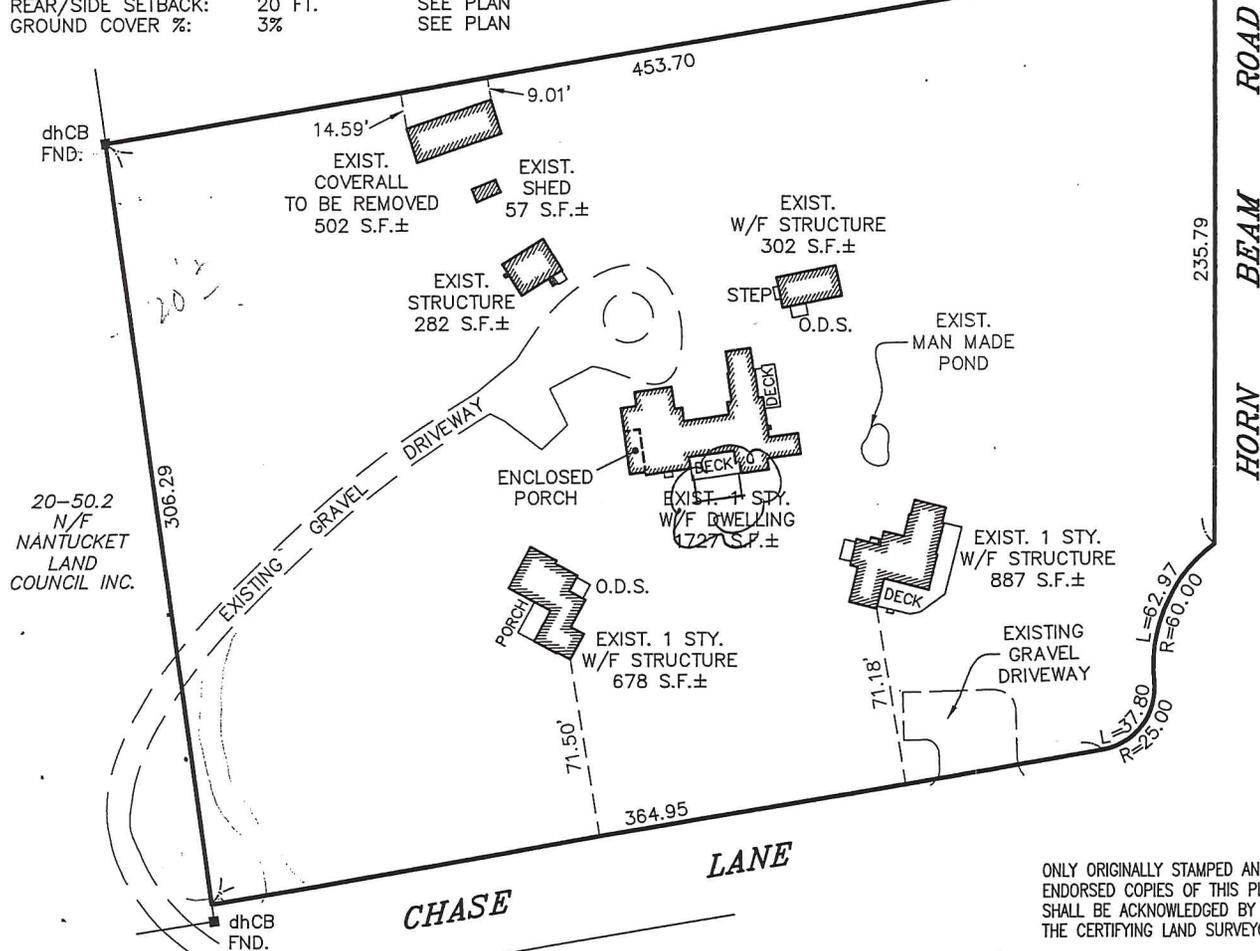


CURRENT ZONING CLASSIFICATION:
Limited Use General 3 (L.U.G.-3)

MINIMUM LOT SIZE: 120,000 S.F.
MINIMUM FRONTAGE: 200 FT.
FRONT YARD SETBACK: 35 FT.
REAR/SIDE SETBACK: 20 FT.
GROUND COVER %: 3%

EXISTING
130,682 S.F.±
SEE PLAN
SEE PLAN
SEE PLAN

21-118.5
N/F
KATHY GALLAGHER, TR.



THIS PLOT PLAN WAS PREPARED FOR THE TOWN OF NANTUCKET BUILDING DEPARTMENT ONLY AND SHOULD NOT BE CONSIDERED A PROPERTY LINE SURVEY. THIS PLAN SHOULD NOT BE USED TO ESTABLISH PROPERTY LINES, FENCES, HEDGES OR ANY ANCILLARY STRUCTURES ON THE PREMISES. THE PROPERTY LINES SHOWN RELY ON CURRENT DEEDS AND PLANS OF RECORD. THIS PLOT PLAN IS NOT A CERTIFICATION AS TO TITLE OR OWNERSHIP OF THE PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE SHOWN ACCORDING TO CURRENT ASSESSOR RECORDS.

ASSESSOR MAP: .21. . . . , PARCEL: .118.4

BUILDING LOCATION PLAN
OF LAND IN
NANTUCKET, MA

SCALE: 1"=60' DATE: OCTOBER 26, 2015

DOUGLAS PINNEY

Owner: **KAREN PELRINE**

Deed Bk/Pg.: .248/341. Plan: Plan. File. 21-D. Lot 1

Tax Map: 21-118.4. Locus: .3 CHASE LANE. .

BLACKWELL & ASSOCIATES, Inc.

Professional Land Surveyors

20 Teasdale Circle

Nantucket, Massachusetts 02554

(508) 228-9026

B3961

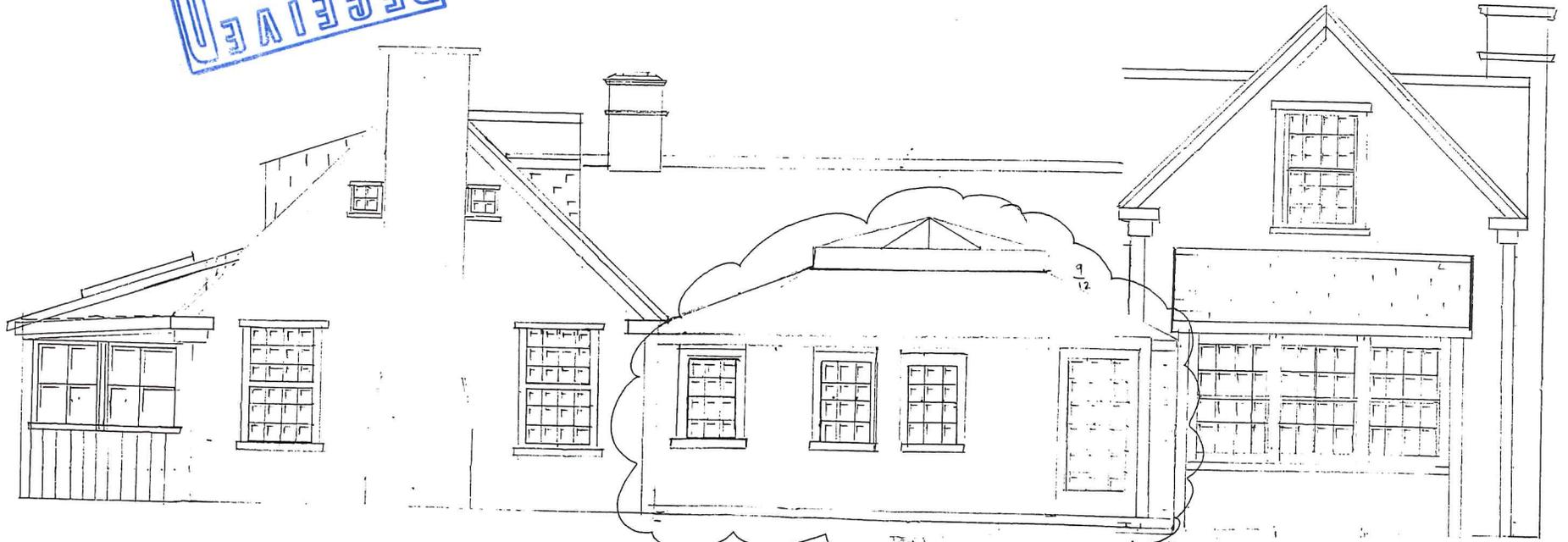
ONLY ORIGINALLY STAMPED AND ENDORSED COPIES OF THIS PLAN SHALL BE ACKNOWLEDGED BY THE CERTIFYING LAND SURVEYOR.

T: \PAJE1 JOB 47

V: \DRAWFILES\B3961\BLP.dwg 10/26/2015 4:50:10 PM EDT

FBK.: B136/26 & B217/32

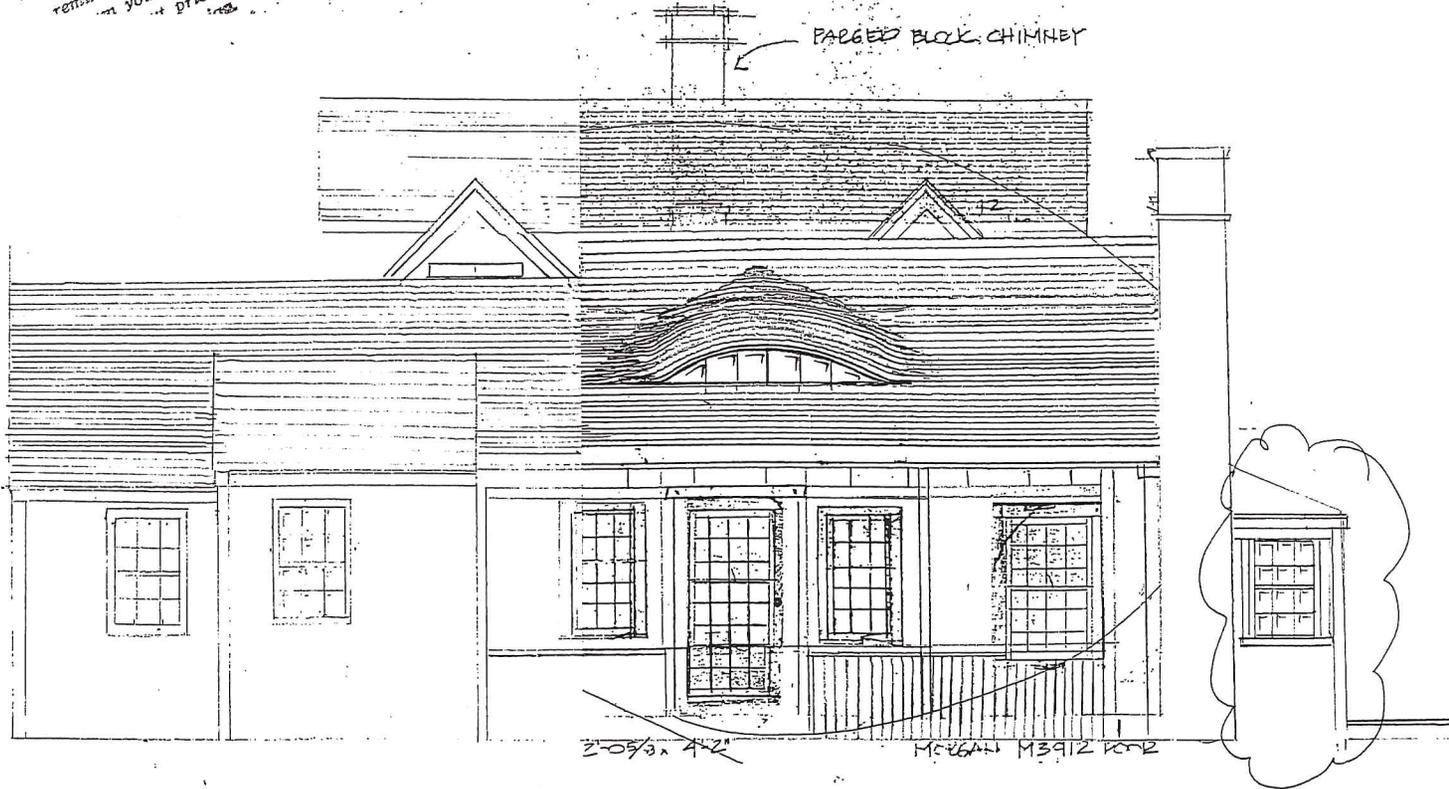
RECEIVED
SEP 14 2016
By



South Elevation

It is a reminder
in your prior

PARGED BLOCK CHIMNEY



RECEIVED
SEP 14 2019
By

WEST ELEVATION

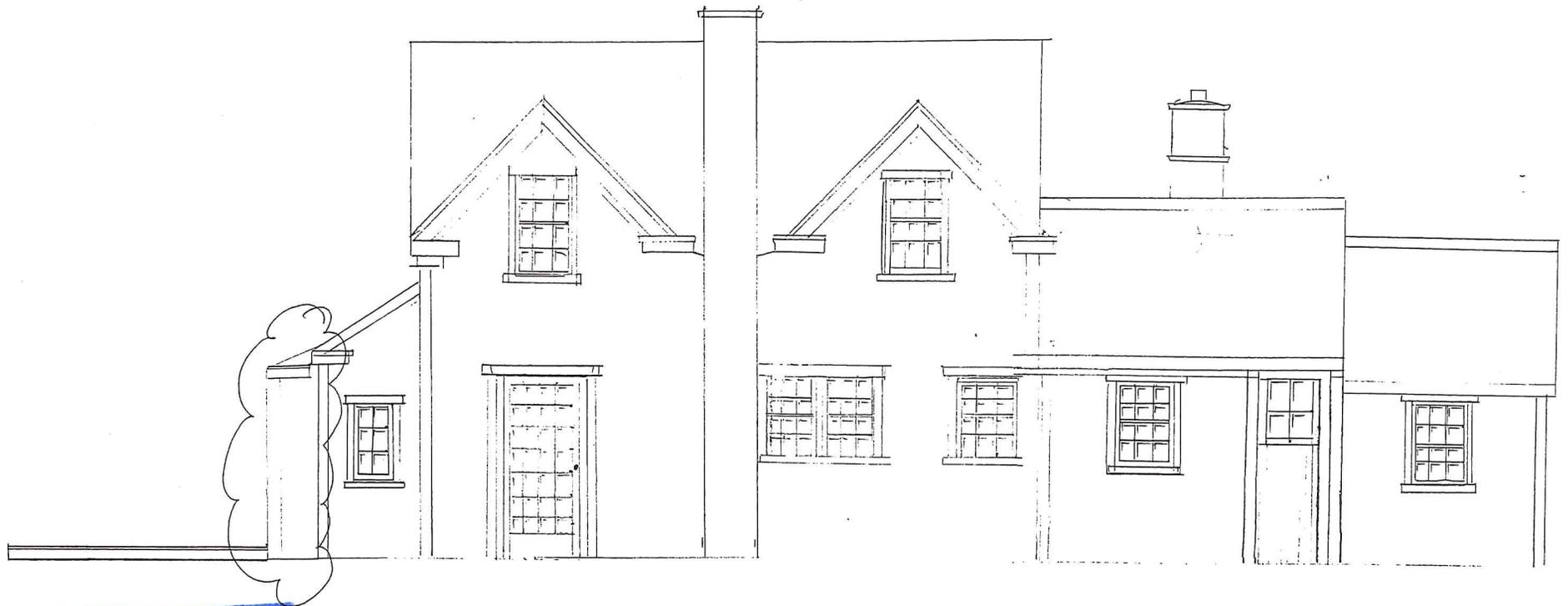


N. FACE

RECEIVED
SEP 14 2016
By

NORTH ELEVATION

No Change



RECEIVED
SEP 14 2016
BY

EAST ELEVATION

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PROPERTY DESCRIPTION

TAX MAP N^o: 42.4.2 PARCEL N^o: 59
Street & Number of Proposed Work: 4 S. BEACH
Owner of record: NANTUCKET YACHT CLUB
Mailing Address: 1 S. BEACH SQ.
NANTUCKET, MA 02554
Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: EMERITUS
Mailing Address: 8 WILLIAMS LN
NANTUCKET, MA 02554
Contact Phone #: _____ E-mail: _____

FOR OFFICE USE ONLY	
Date application received: _____	Fee Paid: \$ _____
Must be acted on by: _____	
Extended to: _____	
Approved: _____	Disapproved: _____
Chairman: _____	
Member: _____	
Member: _____	
Member: _____	
Member: _____	
Notes - Comments - Restrictions - Conditions	

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Landscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District _____) Roof Other: MOVE OFF IDEMO
Size of Structure or Addition: Length: 55' Sq. Footage 1st floor: 1,421 Decks/Patio: Size: _____ 1st floor 2nd floor
Width: 42 Sq. footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks

Historic Name: N/A
Original Date: AFTER 1949
Original Builder: _____

- REVISIONS***
1. East Elevation
 2. South Elevation
 3. West Elevation
 4. North Elevation

Is there an HDC survey form for this building attached? Yes N/A

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) _____ Other _____
Roof Pitch: Main Mass 1/12 Secondary Mass 1/12 Dormer 1/12 Other _____
Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____
Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Gutters: Wood Aluminum Copper Leaders (material) _____
Leaders (material and size): _____
Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side Other _____
Trim: A. Wood Pine Redwood Cedar Other _____
B. Treatment Paint Natural to weather Other _____
C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____
Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square _____
Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights(muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____
Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____
Garage Door(s): Type _____ Material _____
Hardscape materials: Driveways _____ Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

COLORS

Sidewall _____ Clapboard (if applicable) _____ Roof _____
Trim _____ Sash _____ Doors _____
Deck _____ Foundation _____ Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

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Date 09.28.2010

Signature of owner of record _____

Signed under penalties of perjury

Demolition / Relocation of Existing Structure

4 South Beach Street
Nantucket, MA 02554

1431

Demolition / Relocation
of Existing Structure
4 South Beach Street
Nantucket, MA 02554



Site Plan, Locus Map

Site Information

Map & Parcel:	42.4.2/59
Current Zoning:	CDT
Minimum Frontage:	35 ft
Front Setback:	0 ft
Side/Rear Setback:	0 ft/ 5 ft
Lot Size:	30,772 sq ft
Min. Lot Size:	3,750 sq ft
Allowable G.C.:	75% or 4,176 sq ft
Existing G.C.:	0
Proposed G.C.:	3,503 sq ft
Total Proposed G.C.:	3,503 sq ft

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

SHEET INDEX

G.1.1 Site Plan, Locus Map

Revisions

THE INFORMATION ON THESE SHEETS IS FOR INFORMATION ONLY. THE CLIENT AND THE DEVELOPER ARE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION AND THE DEVELOPER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION. THE DEVELOPER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION. THE DEVELOPER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION.

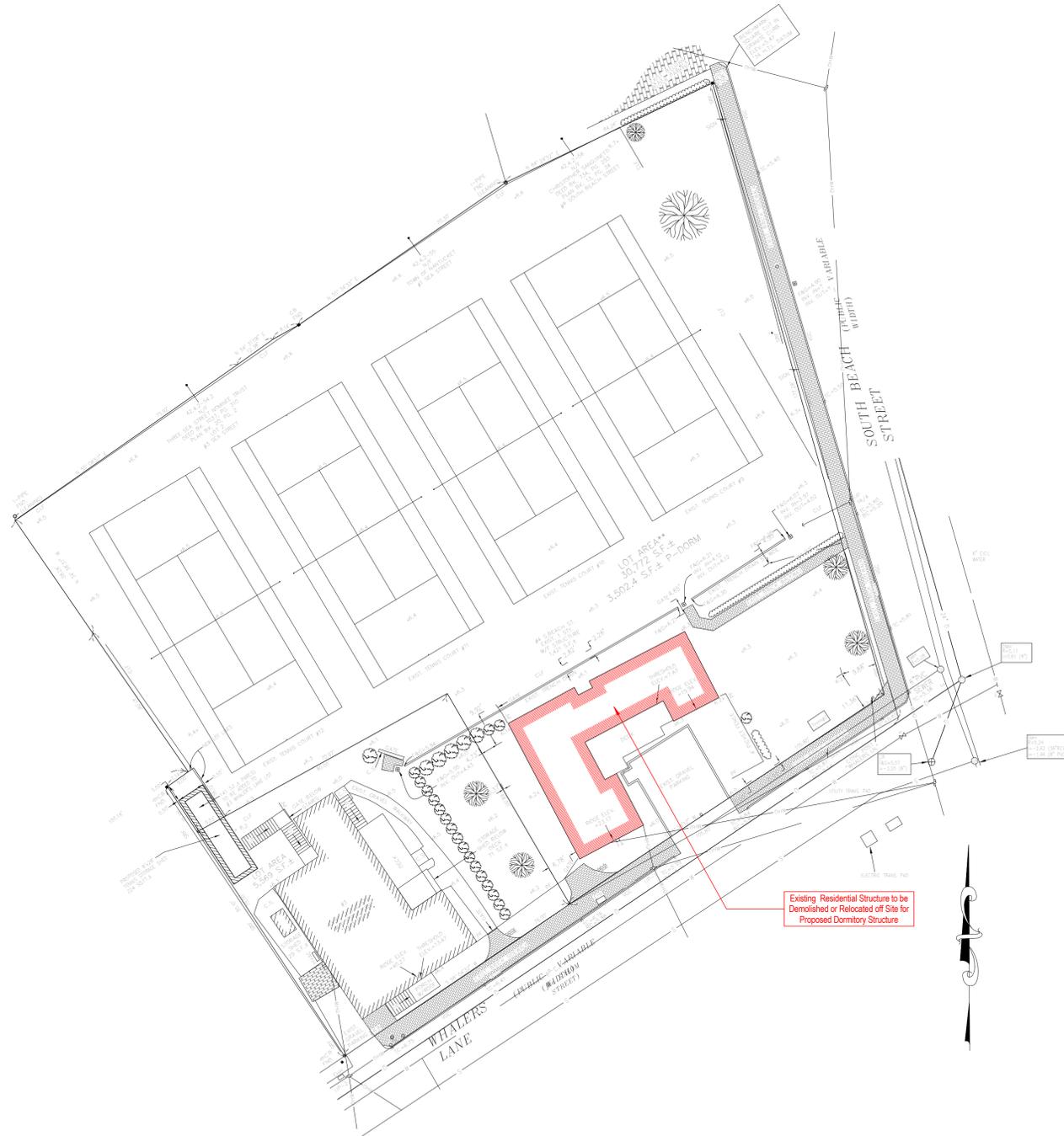
G.1.1
1431

09.28.16

HDC Submission - Not For Construction



1 Locus Map
1 1/2" = 1'-0"



2 Site Plan
1" = 20'-0"



4 S. Beach HDC Submission
View from South

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PROPERTY DESCRIPTION

TAX MAP N°: 42.4.2 PARCEL N°: 59
Street & Number of Proposed Work: 4 S. Beach St.
Owner of record: NANTUCKET YACHT CLUB
Mailing Address: 1 S. Beach St.
NANTUCKET, MA 02554
Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: EMERITUS
Mailing Address: 8 Williams Ln
NANTUCKET MA
Contact Phone #: _____ E-mail: _____

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
Must be acted on by: _____
Extended to: _____
Approved: _____ Disapproved: _____
Chairman: _____
Member: _____
Member: _____
Member: _____
Member: _____
Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Landscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District _____) Roof Other _____
Size of Structure or Addition: Length: 91'-8" Sq. Footage 1st floor: 3,503 Decks/Patio: Size: _____ 1st floor 2nd floor
Width: 37' Sq. Footage 2nd floor: 3,334 Size: _____ 1st floor 2nd floor
Sq. Footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North 6" ± South 6" ± East 6" ± West 6" ±
Height of ridge above final finish grade: North 33'-7 1/2" South 33'-7 1/2" East 33'-7 1/2" West 33'-7 1/2"

Additional Remarks

Historic Name: _____
Original Date: _____
Original Builder: _____
Is there an HDC survey form for this building attached? Yes N/A

- REVISIONS***
1. East Elevation
 2. South Elevation
 3. West Elevation
 4. North Elevation

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 8" Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) _____ Other _____
Roof Pitch: Main Mass 9/12 Secondary Mass 9/12 Dormer 5/12 Other _____
Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____
Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Gutters: Wood Aluminum Copper Leaders (material) _____
Leaders (material and size): _____
Sidewall: White cedar shingles Clapboard (exposure: _____ inches) Front Side
 Other _____
Trim: A. Wood Pine Redwood Cedar Other _____
B. Treatment Paint Natural to weather Other _____
C. Dimensions: Fascia 5 1/2" Rake 9 1/4" Soffit (Overhang) 1 1/4" Corner boards _____ Frieze 3 1/2"
Window Casing 3 1/2" Door Frame 3 1/2" Columns/Posts: Round _____ Square 8"
Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____
Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____
Garage Door(s): Type _____ Material _____
Hardscape materials: Driveways _____ Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

COLORS

Sidewall NATURAL Clapboard (if applicable) _____ Roof DARK GREY
Trim WHITE Sash WHITE Doors _____
Deck NATURAL Foundation NATURAL Fence _____ Shutters _____

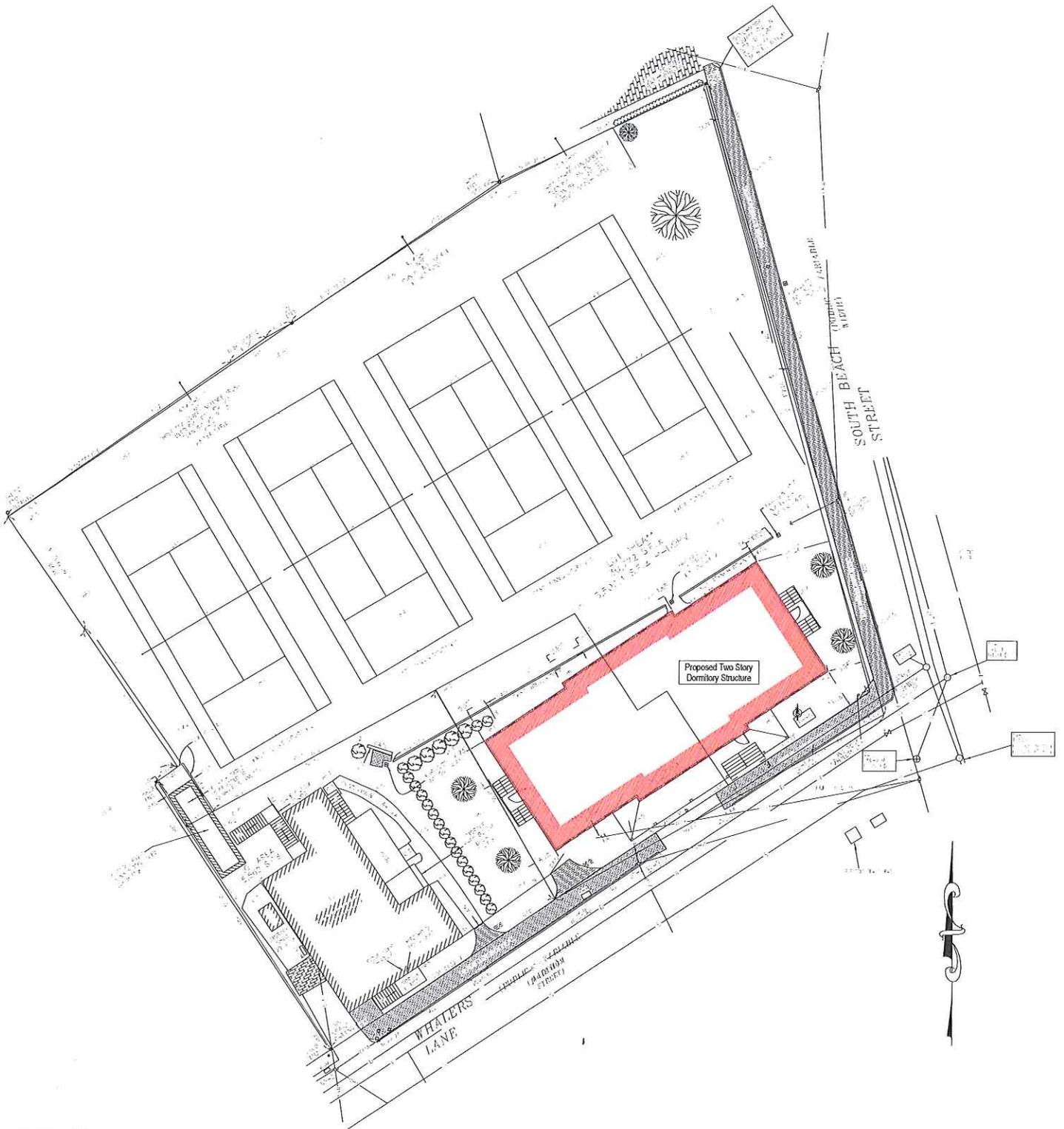
* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 09.28.16

Signature of owner of record _____

Signed under penalties of perjury



4 Site Plan
1" = 20'-0"



2 North Elevation - Proposed
1/8" = 1'-0"



1 East Elevation - Proposed
 1/4" = 1'-0"



2 West Elevation - Proposed
 1/4" = 1'-0"

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PROPERTY DESCRIPTION

TAX MAP N°: 54 PARCEL N°: 9
Street & Number of Proposed Work: 6 Cathcart Road
Owner of record: Brian and Aleece Strachan
Mailing Address: 89 Ledgeways
Wellesley, MA 02481
Contact Phone #: 781.237.6635 E-mail: aleecea@me.com

AGENT INFORMATION (if applicable)

Name: Thomas Catalano Catalano Architects, Inc.
Mailing Address: 115 Broad Street
Boston, MA 02110
Contact Phone #: 617-338-7447 E-mail: tcato@catalanoinc.com
gduchard@catalanoinc.com

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
Must be acted on by: _____
Extended to: _____
Approved: _____ Disapproved: _____
Chairman: _____
Member: _____
Member: _____
Member: _____
Member: _____
Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling Addition Garage Garage/Apartment Commercial Historical Renovation Deck Steps Shed
- Color Change Fence Gate Paving Move Building Demolition Revisions to previous Cert. No. _____
- Roof Other _____

Size of Structure or Addition: Length: 96'-0" Sq. Footage 1st floor: 3,592 Decks: Size: 481 1st floor 2nd floor
Width: 55'-4" Sq. footage 2nd floor: 2,806 Size: 240 1st floor 2nd floor
Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North 2'-0" South 0'-0" East 0'-0" West 2'-0"
Height of ridge above final finish grade: North 29'-6" South 27'-11" East 27'-11" West 29'-6"

Additional Remarks

- REVISIONS* (describe)
1. East Elevation
 2. South Elevation
 3. West Elevation
 4. North Elevation

Historic Name: _____
Original Date: _____
Original Builder: _____

Is there an HDC survey form for this building attached? Yes N/A *Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 6'-2'-0" Block Block Parged Brick (type) red, running bond Poured Concrete Piers

Masonry Chimney: Block Parged Brick (type) red, running bond Other _____

Roof Pitch: Main Mass 10"/12 Secondary Mass 7 1/2"/12 Dormer 10"/12 Other Dormers 4"/12"

Roofing material: Asphalt 3-Tab Architectural
 Wood (Type: Red Cedar (Western) Fire Retardant treated)

Fence: Height: _____
Type: _____
Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size): 4" round copper

Sidewall: White cedar shingles Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____

B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia 5 1/2, 6 1/4 Rake 5 1/2, 6 1/4 Soffit (Overhang) 7 3/4, 1'-0" Corner boards none Frieze 1 3/4"
Window Casing 3 1/2 Door Frame 3 1/2 Columns/Posts: Round _____ Square 10"

Windows: Double Hung Casement All Wood Other Awning
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer Marvin

Doors* (type and material): Front custom, wood w/glass Rear _____ Side custom, wood w/glass

Garage Door(s): Type custom, wood w/glass Material wood

Hardscape materials: Driveways _____ Walkways stone, field stone Walls field stone

* Note: Complete door and window schedules are required.

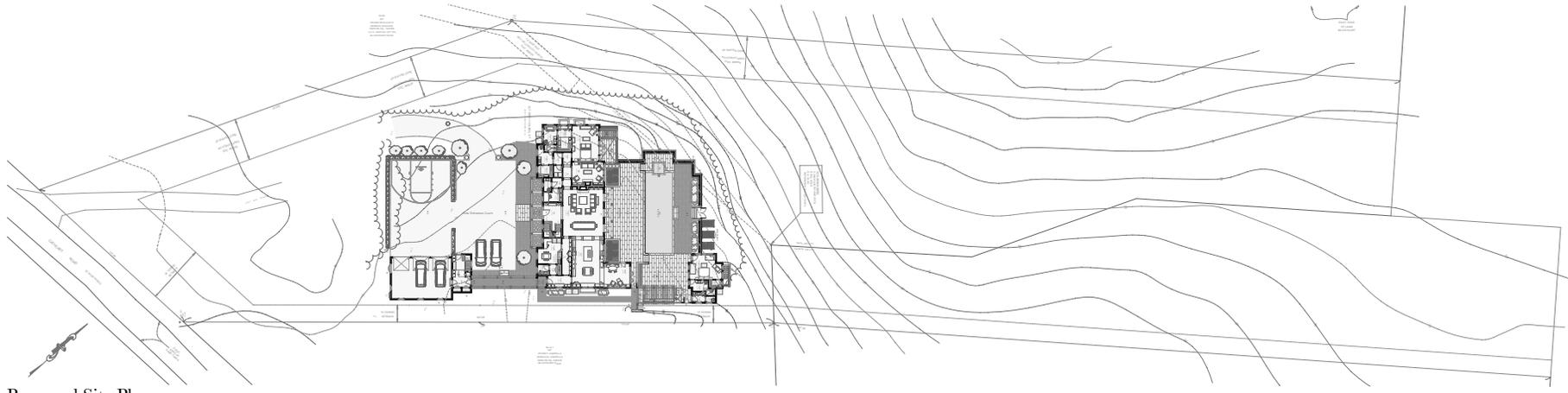
COLORS

Sidewall natural, to weather Clapboard (if applicable) NA Roof western red cedar, to weather
Trim white Sash white Doors white
Deck natural cedar, to weather Foundation poured concrete Fence _____ Shutters white

* Attach manufacturer's color samples if color is not from HDC approval list.

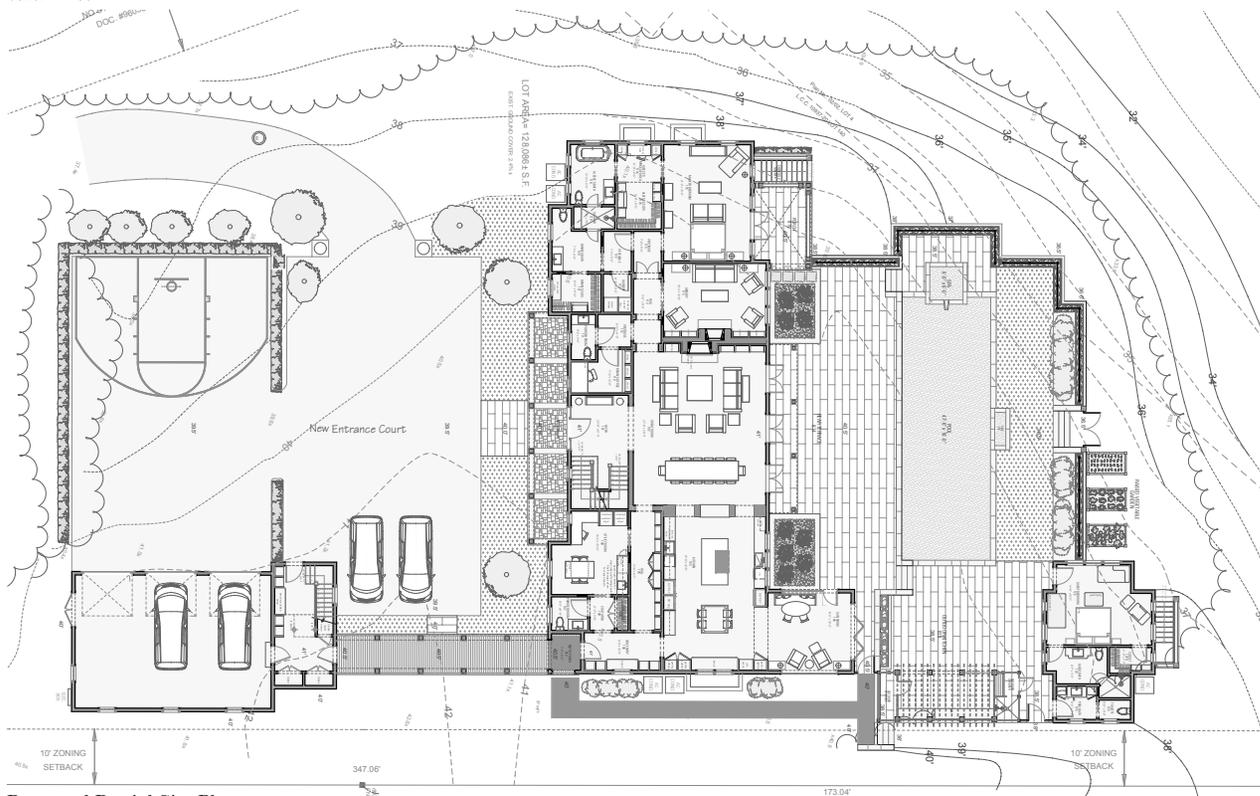
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Date _____ Signature of owner of record _____ Signed under penalties of perjury _____



Proposed Site Plan

Scale: 1" = 30'



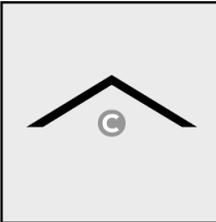
Proposed Partial Site Plan

Scale: 3/32" = 1'-0"



Locus Map

Scale: N.T.S.



© Catalano Architects Inc.

Strachan Residence
6 Cathcart Road
Nantucket, MA

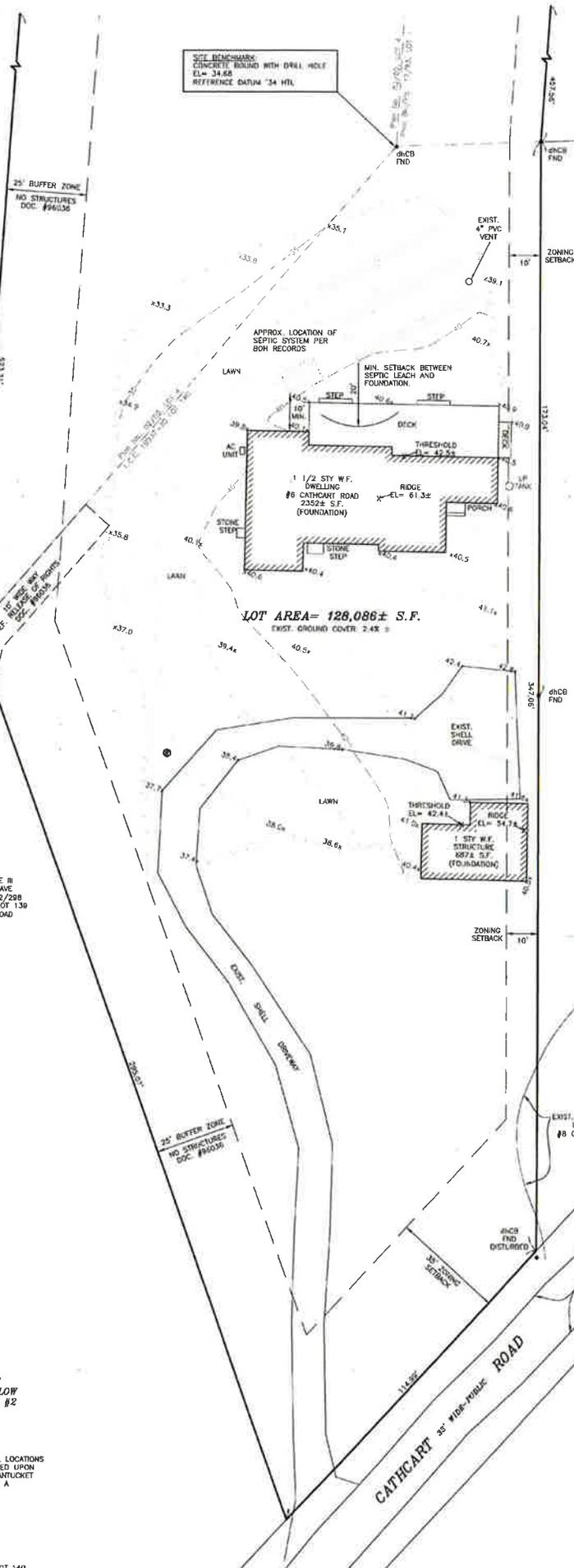
Site Plans and Locus Map
SCALE: 1:1.17, 1" = 30', 3/32" = 1'-0"
DATE: 9/27/16

Catalano Architects Inc.
115 Broad Street
Boston, Massachusetts 02110
telephone 617-338-7447
facsimile 617-338-6639

**A
0.1**

CURRENT ZONING CLASSIFICATION:
 Limited Use General 1 (L.U.G.-1)
 MINIMUM LOT SIZE: 40,000 S.F.
 MINIMUM FRONTAGE: 100 FT.
 FRONT YARD SETBACK: 35 FT.
 REAR/SIDE SETBACK: 10 FT.
 GROUND COVER %: 7%

SITE BENCHMARK
 CONCRETE BOUND WITH DRILL HOLE
 EL= 34.68
 REFERENCE DATUM '54 HTL



LEGEND

- dhCB ■ DENOTES CONCRETE BOUND WITH DRILLABLE FOUND
- LCB ■ DENOTES LAND COURT BOUND FOUND
- DENOTES EXIST. GRADE CONTOUR LINE
- DENOTES EXIST. GRADE SPOT ELEVATION
- ⊙ DENOTES EXIST. WELL
- DENOTES EXIST. EDGE OF DEBRIS

54-10.1
 N/F
 PETER F. CAMPELLA
 MONICA M. CAMPELLA
 DEED BK./Pg.: 536/235
 #8 CATHCART ROAD

54-08
 N/F
 WILKES MCCLAVE III
 DEBRA B. MCCLAVE
 DEED BK./Pg.: 742/298
 L.C.C. 10937-20, LOT 138
 #4 CATHCART ROAD

DIRECTION OF
 GROUNDWATER FLOW
 PER H.W.H. MAP #2

NOTE: SEPTIC SYSTEM AND WELL LOCATIONS
 SHOWN HEREON ARE BASED UPON
 RECORD FILES AT THE NANTUCKET
 HEALTH DEPARTMENT AND A
 FIELD SURVEY.

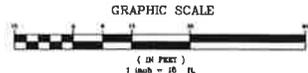
OWNER INFORMATION
 BRIAN M. STRACHAN
 ALECE S. STRACHAN
 CERT. 22606; L.C.C. 10937-20, LOT 140
 DEED BK. 1081, PG. 192; PLAN BK. 02-02, LOT 4
 DEED BK. 1081, PG. 189; PLAN BK./Pg.: 17,93, LOT 1
 #6 CATHCART ROAD

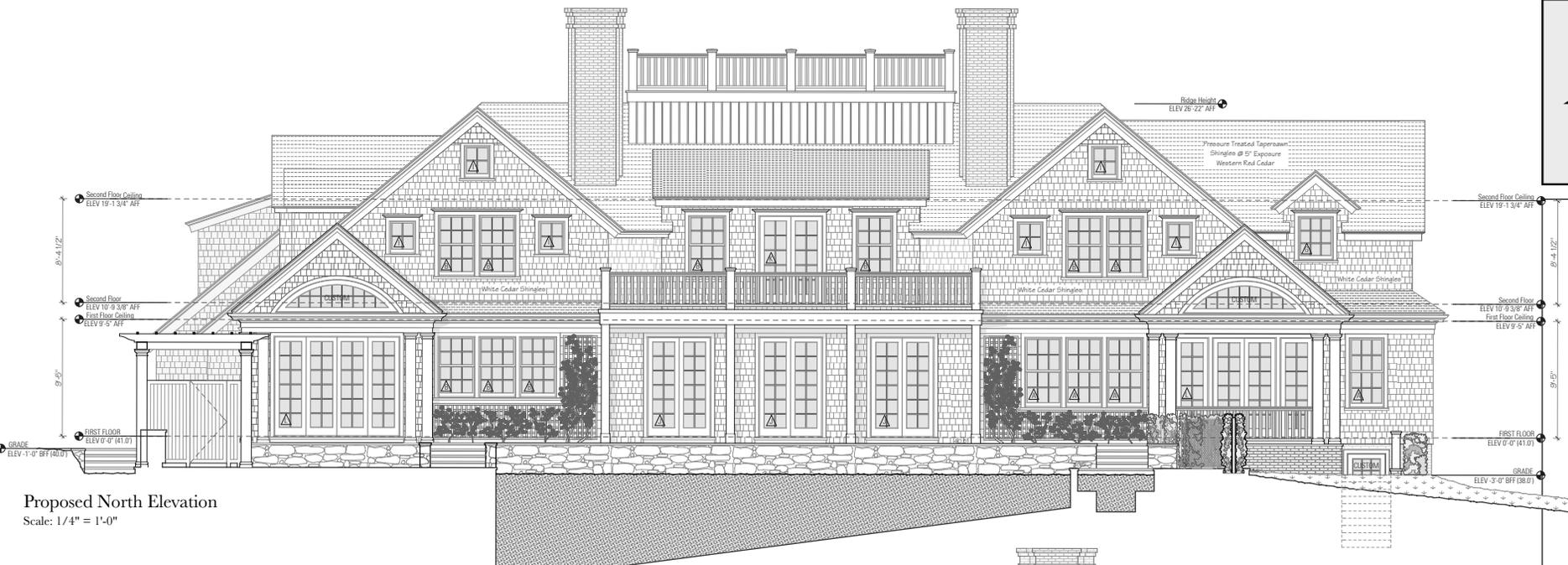
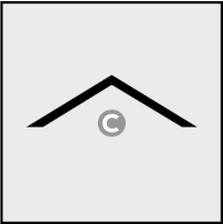


Existing Conditions
 Site Plan of Land
 in
 Nantucket, MA
 Prepared for
BRIAN STRACHAN

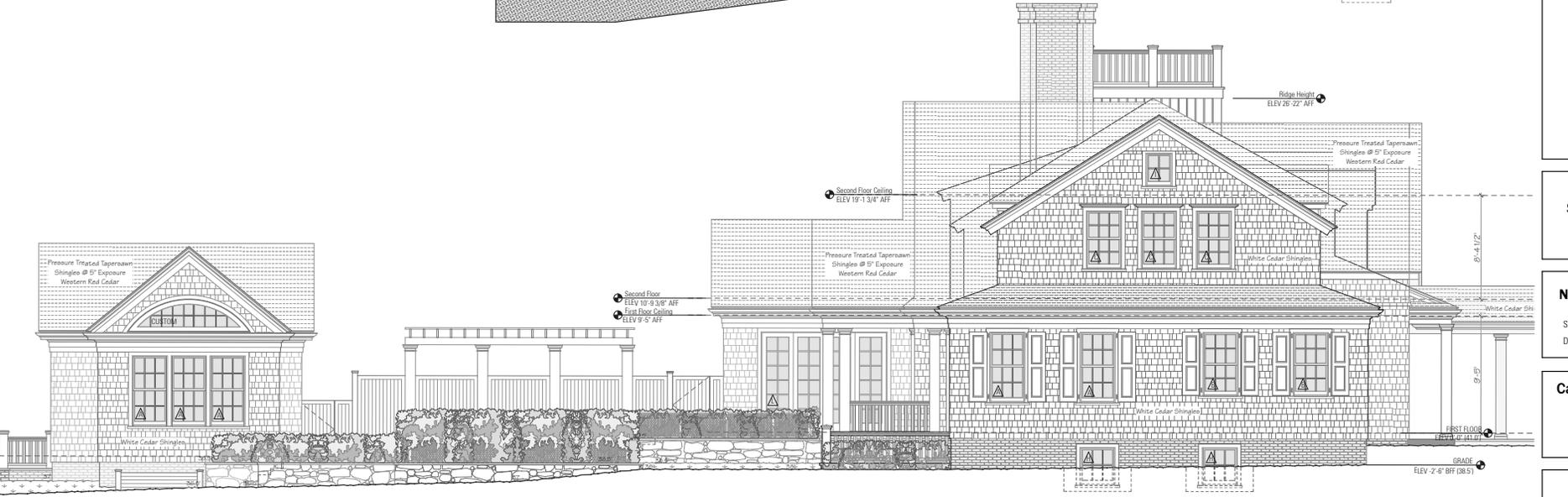
Scale: 1" = 15' DECEMBER 22, 2014

BLACKWELL & ASSOCIATES, Inc.
 Professional Land Surveyors
 20 TRASDALE CIRCLE
 NANTUCKET, MASS. 02554
 (508) 228-9025





Proposed North Elevation
Scale: 1/4" = 1'-0"



Proposed West Elevation
Scale: 1/4" = 1'-0"

Second Floor Ceiling
ELEV 19'-1 3/4" AFF

Second Floor
ELEV 10'-9 3/8" AFF

First Floor Ceiling
ELEV 9'-5" AFF

First Floor
ELEV 0'-0" (41.01)

GRADE
ELEV -1'-0" (BF) (40.01)

Second Floor Ceiling
ELEV 19'-1 3/4" AFF

Second Floor
ELEV 10'-9 3/8" AFF

First Floor Ceiling
ELEV 9'-5" AFF

First Floor
ELEV 0'-0" (41.01)

GRADE
ELEV -1'-0" (BF) (40.01)

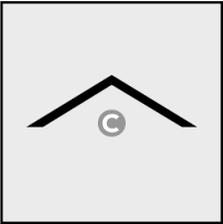
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Strachan Residence
6 Cathcart Road
Nantucket, MA

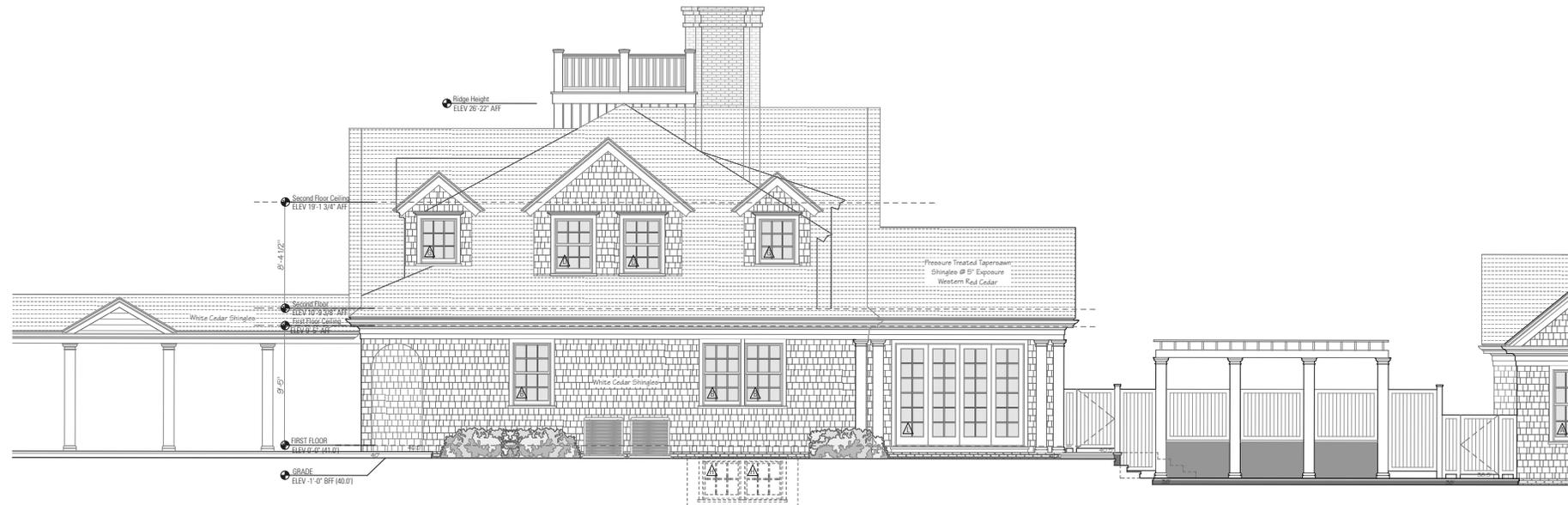
North and West Exterior Elevations
SCALE: 1/4" = 1'-0"
DATE: 9/27/16

Catalano Architects Inc.
115 Broad Street
Boston, Massachusetts 02110
telephone 617-338-7447
facsimile 617-338-6639

**A
2.2**



Proposed South Elevation
Scale: 1/4" = 1'-0"



Proposed East Elevation
Scale: 1/4" = 1'-0"

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Strachan Residence
6 Cathcart Road
Nantucket, MA

South and East Exterior Elevations

SCALE: 1/4" = 1'-0"
DATE: 9/27/16

Catalano Architects Inc.

115 Broad Street
Boston, Massachusetts 02110
telephone 617-338-7447
facsimile 617-338-6639

**A
2.1**

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 66 PARCEL N°: 364
 Street & Number of Proposed Work: 9 RUDDER LANE
 Owner of record: MICHAEL & MARY STEWART
 Mailing Address: 140 STROLL ROCK COMMON
FAIRFIELD, CT 06824
 Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: S.M. ROETHKE DESIGN
 Mailing Address: 19 OLD SOUTH RD.
NANTUCKET, MA 02554
 Contact Phone # 508-825-7588 E-mail: steve@smroethke.com

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
 Must be acted on by: _____
 Extended to: _____
 Approved: _____ Disapproved: _____
 Chairman: _____
 Member: _____
 Member: _____
 Member: _____
 Member: _____
 Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Landscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District _____) Roof Other _____

Size of Structure or Addition: Length: 40' Sq. Footage 1st floor: 320 SF ± Decks/Patio: Size: 6' x 56' 1st floor 2nd floor
 Width: 8' Sq. footage 2nd floor: _____ Size: 5' x 34' 1st floor 2nd floor
 Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North 4'-12" South 4'-12" East 4'-12" West 4'-12"
 Height of ridge above final finish grade: North 25'-6" South 25'-6" East 25'-6" West 27'-0"

Additional Remarks

Historic Name: _____ REVISIONS* 1. East Elevation DOOR & WIN CHANGES (IN KIND UNLESS NOTED (1))
 Original Date: _____ (describe) 2. South Elevation DOOR & WIN CHANGES (IN KIND)
 Original Builder: _____ 3. West Elevation ADD 8' ADDITION ACROSS BACK OF HOUSE, REARVATE + ADD/EXTEND EXIST. DECK.
 Is there an HDC survey form for this building attached? Yes N/A 4. North Elevation DOOR & WIN CHANGES

*Cloud on drawings and submit photographs of existing elevations. ✓

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 8'-24" Block Block Parged Brick (type) _____ Poured Concrete Piers
 Masonry Chimney: Block Parged Brick (type) _____ Other _____
 Roof Pitch: Main Mass 11/12 Secondary Mass 5/12 ADDTN DORMER 4/12 Other _____
 Roofing material: Asphalt: 3-Tab Architectural EXIST. Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____ NEW
 Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
 Gutters: Wood Aluminum Copper Leaders (material) BROWN (EXIST.)
 Leaders (material and size): 3x4 ALUM (BROWN - EXIST)
 Sidewall: White cedar shingles Clapboard (exposure: _____ inches) Front Side
 Other _____
 Trim: A. Wood Pine Redwood Cedar Other _____
 B. Treatment Paint Natural to weather Other _____
 C. Dimensions: Fascia 10" Rake 8 1/2" Soffit (Overhang) 10" Corner boards 6" Frieze 10"
 Window Casing 4" Door Frame 4" Columns/Posts: Round _____ Square _____
 Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer ANDERSEN A-SERIES
 Doors* (type and material): TDL SDL Front EXIST. Rear NEW 15 LT. FRENCH Side NEW 15 LITE +
 Garage Door(s): Type _____ Material _____ 15 LITE FRENCH.
 Hardscape materials: Driveways PER GR SHELL Walkways BLUESTONE Walls _____

* Note: Complete door and window schedules are required. ✓

COLORS

Sidewall NAT. Clapboard (if applicable) _____ Roof T.M.E. (DUAL GREY OR HVD. SLATE)
 Trim NAT. Sash BLACK Doors BLACK
 Deck NAT. Foundation NAT. Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

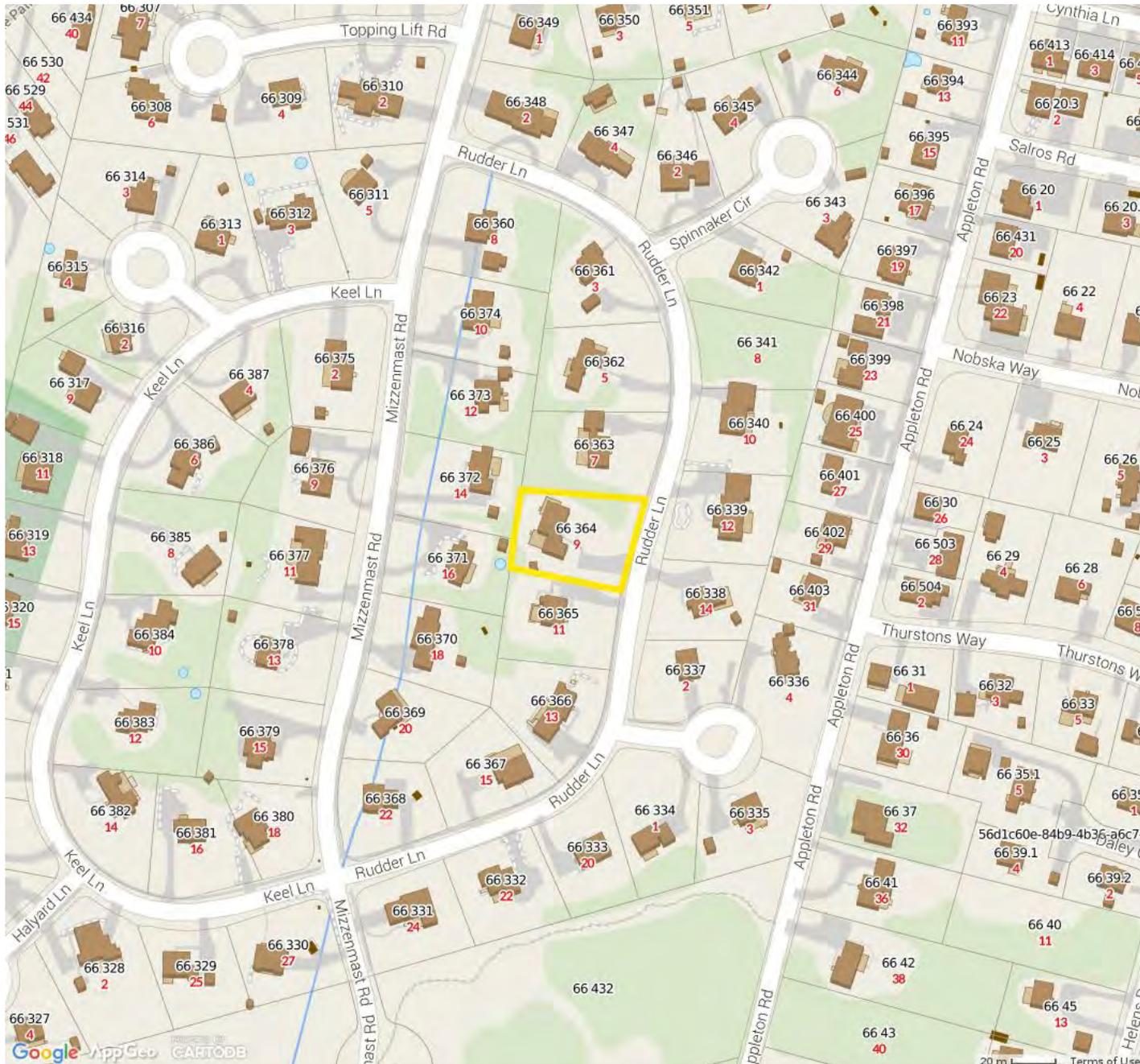
Date 9/29/10 Signature of owner of record _____ Signed under penalties of perjury



S. M. ROETHKE
design, inc.

19 old south road
nantucket, ma 02554
t. 508.823.7989 f. 508.823.7989
www.smarroethkedesign.com

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LOCUS

Stewart Residence
9 Rudder Lane
Nantucket, MA 02554

REVISIONS:

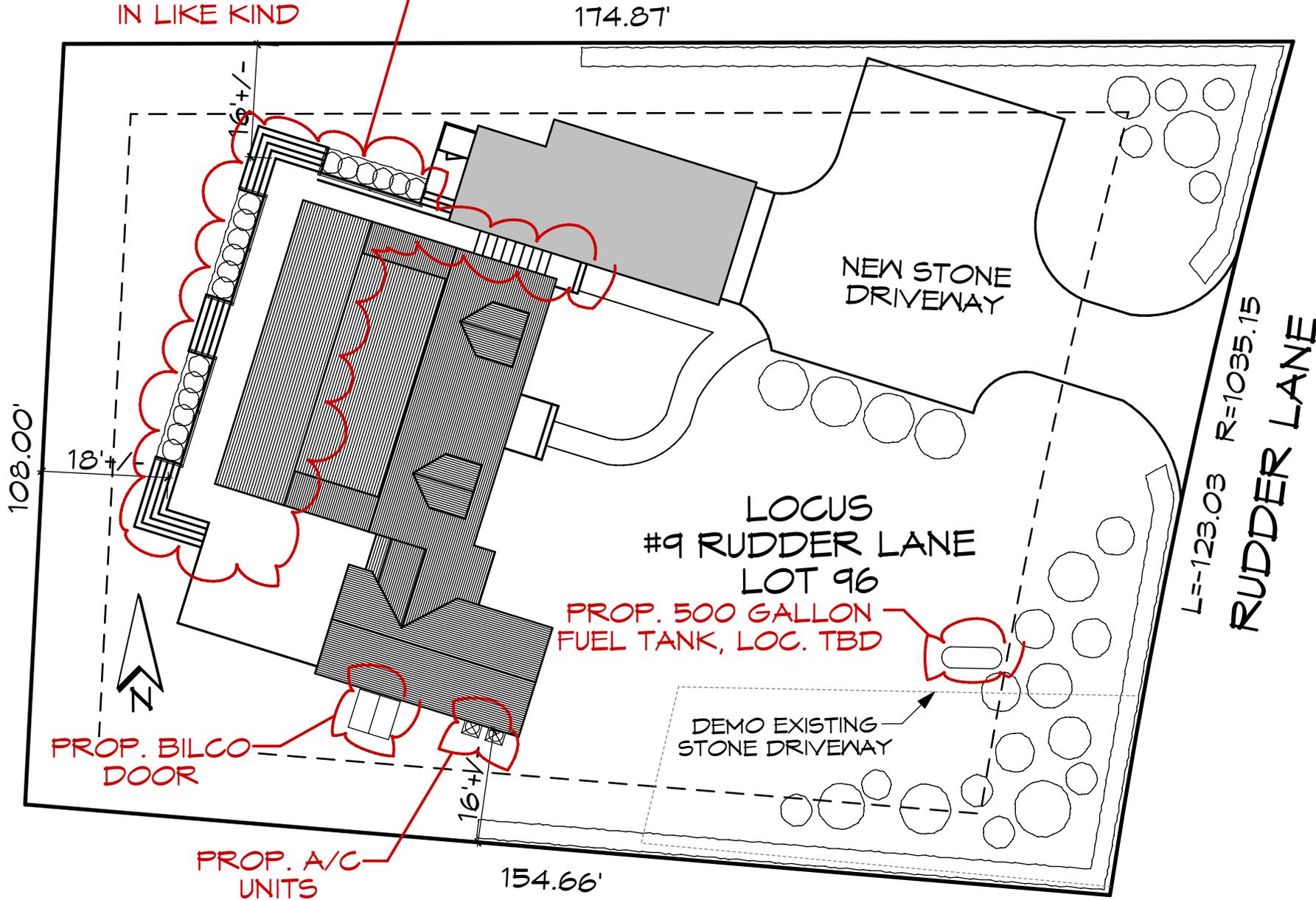
STAMP:

HDC Review Set
9/27/16

HDC 0.1

DATE: 09/27/16 10:00 AM

PROPOSED ADDITION,
REVISED DECK LAYOUT,
& REPLACE ALL WINDOWS
IN LIKE KIND



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SITE PLAN

Stewart Residence
9 Rudder Lane
Nantucket, MA 02554

REVISIONS:

STAMP:

HDC Review Set
9/27/16

HDC 0.2

SHEET 1 OF 10 - EXTERIOR ELEVATIONS AND FOUNDATION PLAN

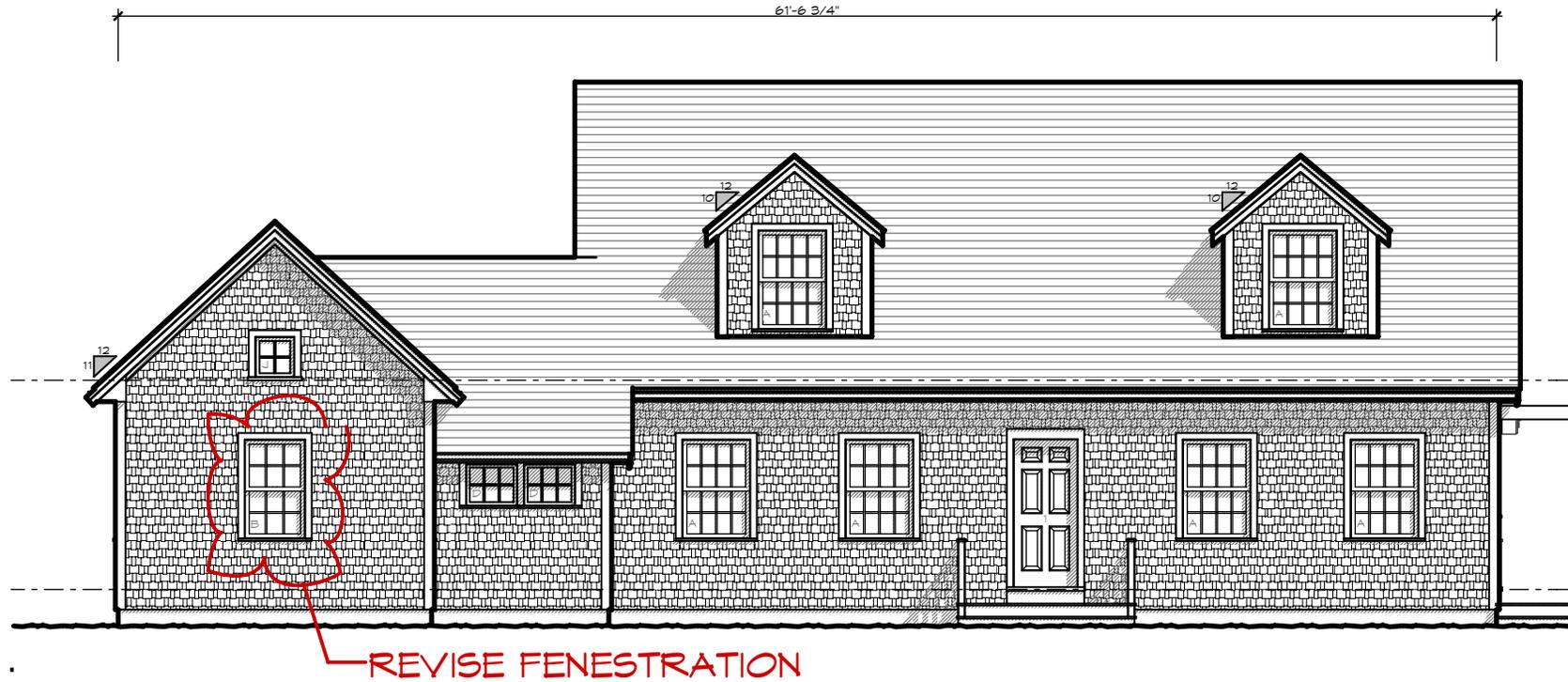
NOTE:
REPLACE ALL WINDOWS &
DOORS IN LIKE KIND, U.N.O.



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PROPOSED EAST ELEVATION

Stewart Residence
9 Rudder Lane
Nantucket, MA 02554

REVISIONS:

STAMP:

HDC Review Set
9/27/16

HDC 2.1

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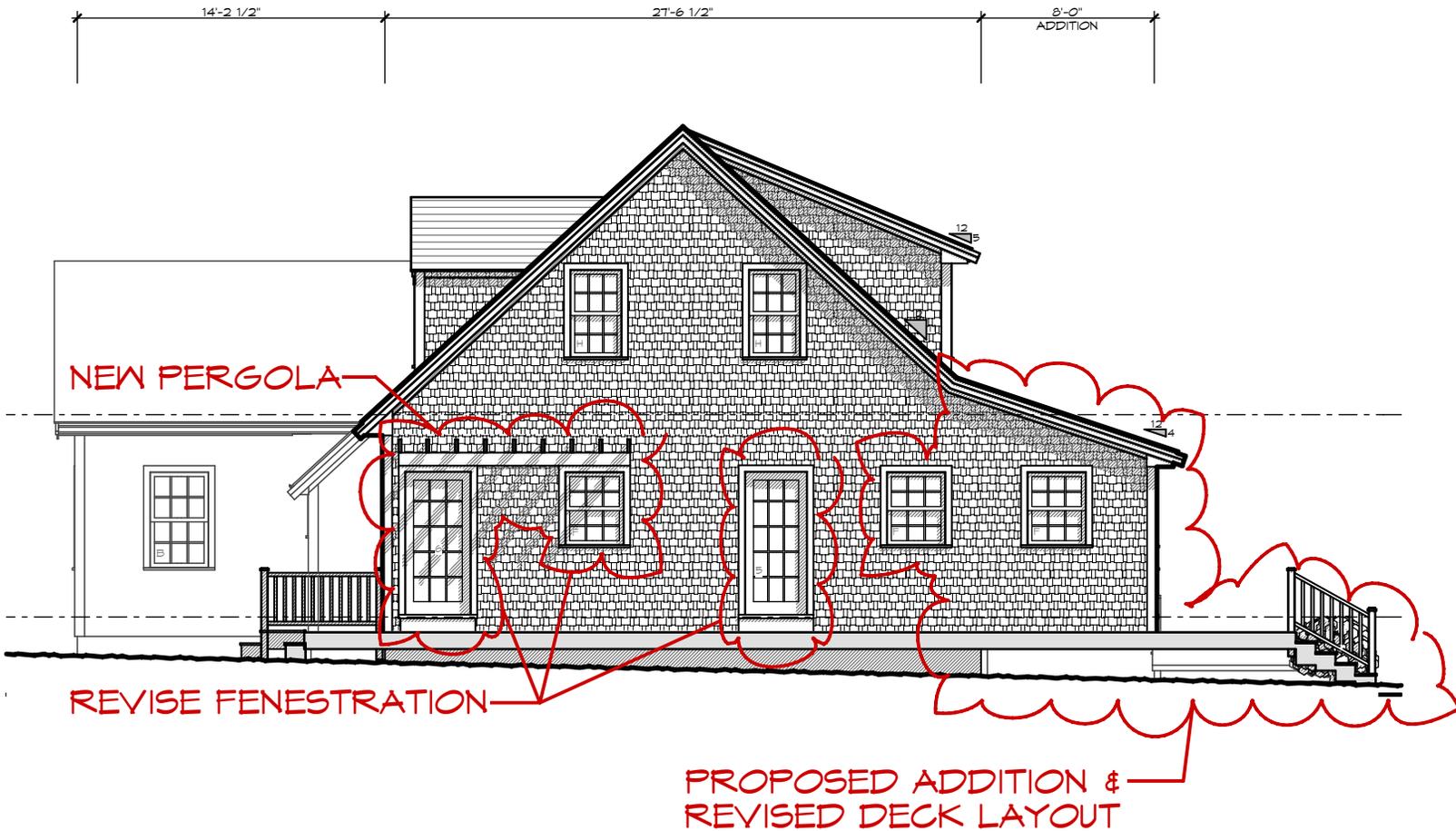
**NOTE:
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DOORS IN LIKE KIND, U.N.O.**



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PROPOSED NORTH ELEVATION

Stewart Residence
9 Rudder Lane
Nantucket, MA 02554

REVISIONS:

STAMP:

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9/27/16

HDC 2.2

UNIVERSITY MICROFILMS INTERNATIONAL, 300 N ZEEB RD, ANN ARBOR MI 48106

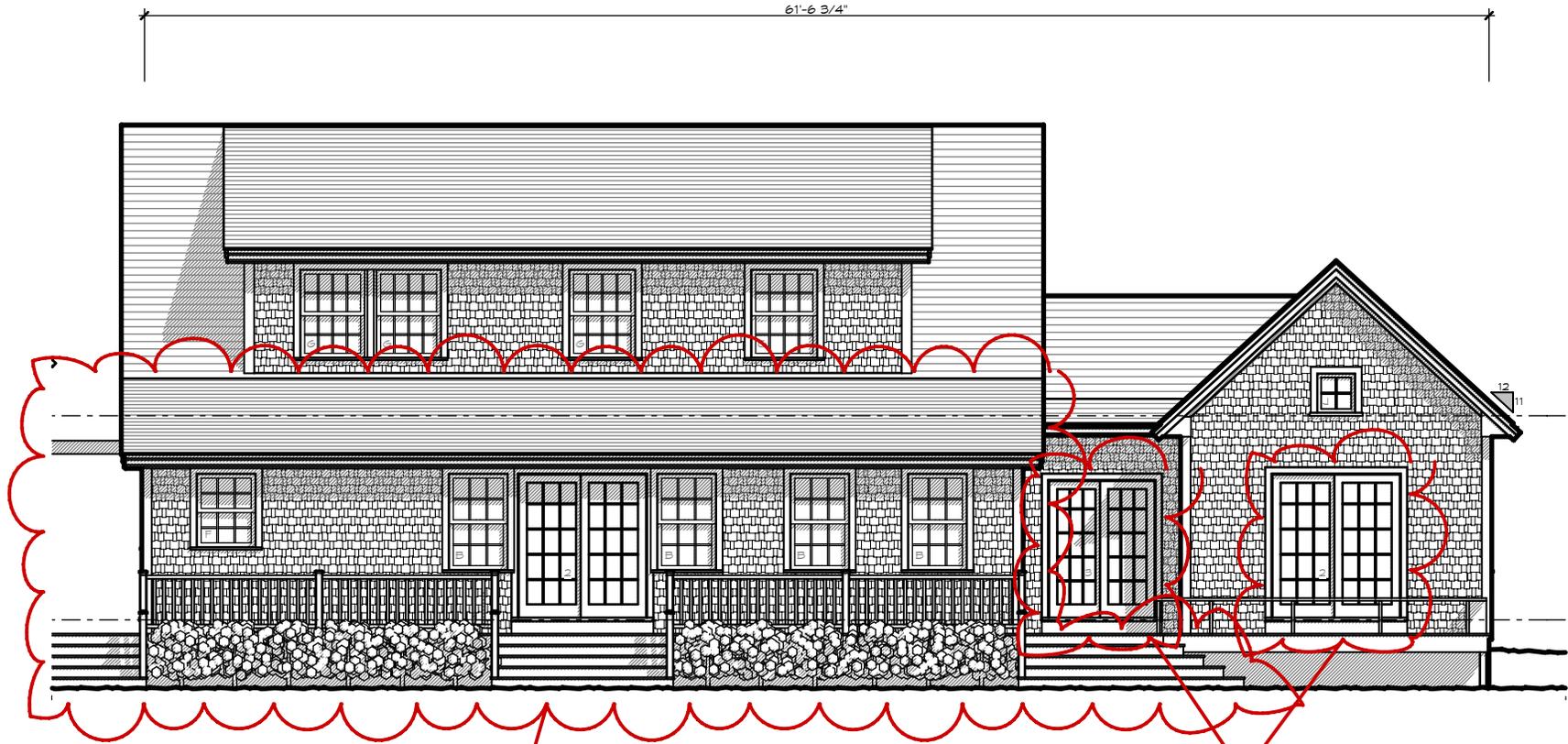
NOTE:
REPLACE ALL WINDOWS &
DOORS IN LIKE KIND, U.N.O.



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PROPOSED ADDITION &
REVISED DECK LAYOUT

REVISE FENESTRATION

PROPOSED WEST ELEVATION

Stewart Residence
9 Rudder Lane
Nantucket, MA 02554

REVISIONS:

STAMP:

HDC Review Set
9/27/16

HDC 2.3

NO SCALE ELEVATION. DIMENSIONS AND MATERIALS ARE APPROXIMATE. PLEASE CONSULT WITH ARCHITECT FOR DETAILS.

NOTE:
REPLACE ALL WINDOWS &
DOORS IN LIKE KIND, U.N.O.



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**PROPOSED ADDITION &
REVISED DECK LAYOUT**



REVISE FENESTRATION

PROPOSED SOUTH ELEVATION

Stewart Residence
9 Rudder Lane
Nantucket, MA 02554

REVISIONS:

STAMP:

HDC Review Set
9/27/16

HDC 2.4

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 606 PARCEL N°: 364
 Street & Number of Proposed Work: 9 RUDDER LANE
 Owner of record: MICHAEL & MARY STEWART
 Mailing Address: 140 STROLL ROCK COMMON
FAIRFIELD, CT 06824
 Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: S.M. ROETHKE DESIGN
 Mailing Address: 19 OLD SOUTH RD.
NANTUCKET, MA 02554
 Contact Phone #: 508-825-7588 E-mail: steve@smroethke
design.com

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
 Must be acted on by: _____
 Extended to: _____
 Approved: _____ Disapproved: _____
 Chairman: _____
 Member: _____
 Member: _____
 Member: _____
 Member: _____
 Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling Addition Garage / STUDIO Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Landscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District _____) Roof Other _____

Size of Structure or Addition: Length: 38' Sq. Footage 1st floor: 508 Decks/Patio: Size: 6x12± 1st floor 2nd floor
 Width: 16' Sq. Footage 2nd floor: 350 Size: _____ 1st floor 2nd floor
 Sq. Footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North +/- 12" South +/- 12" East +/- 12" West +/- 12"
 Height of ridge above final finish grade: North 22'-1" South 22'-1" East 22'-1" West 22'-1"

Additional Remarks

Historic Name: _____ REVISIONS* 1. East Elevation
 Original Date: (describe) 2. South Elevation CONSTRUCT NEW 1-STY
 Original Builder: 3. West Elevation GARAGE w/ STUDIO ABOVE.
 4. North Elevation ATTACHED 10' x 12' SIDED.

Is there an HDC survey form for this building attached? Yes N/A

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 8-12" Block Block Parged Brick (type) _____ Poured Concrete Piers
 Masonry Chimney: Block Parged Brick (type) _____ Other _____

Roof Pitch: Main Mass 11/12 Secondary Mass 11/12 Dormer 4/12 Other _____
 Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____

Fence: Height: _____
 Type: _____
 Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
 Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) BROWN (MATCHES HOUSE)

Leaders (material and size): 3x4" ALUM (BROWN)

Sidewall: White cedar shingles Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____
 B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia 10" Rake 8 1/2" Soffit (Overhang) 10" Corner boards 6" Frieze 10"
 Window Casing 4" Door Frame 4" Columns/Posts: Round _____ Square _____

Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer ANDERSEN A-SERIES.

Doors* (type and material): TDL SDL Front EXIST. Rear _____ : Side 9-LITE (2)

Garage Door(s): Type OVERHEAD Material CEDR CLAD, NTW OR PAINTED.

Hardscape materials: Driveways NATIVE PEBBLE Walkways BLUESTONE. Walls _____

* Note: Complete door and window schedules are required. OR SWELL.

COLORS

Sidewall NAT. Clapboard (if applicable) _____ Roof T.M.E. (DUAL GREY OR HARVARD
 Trim NAT. Sash BLACK Doors BLACK. SLATS)
 Deck NAT. Foundation NAT. Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

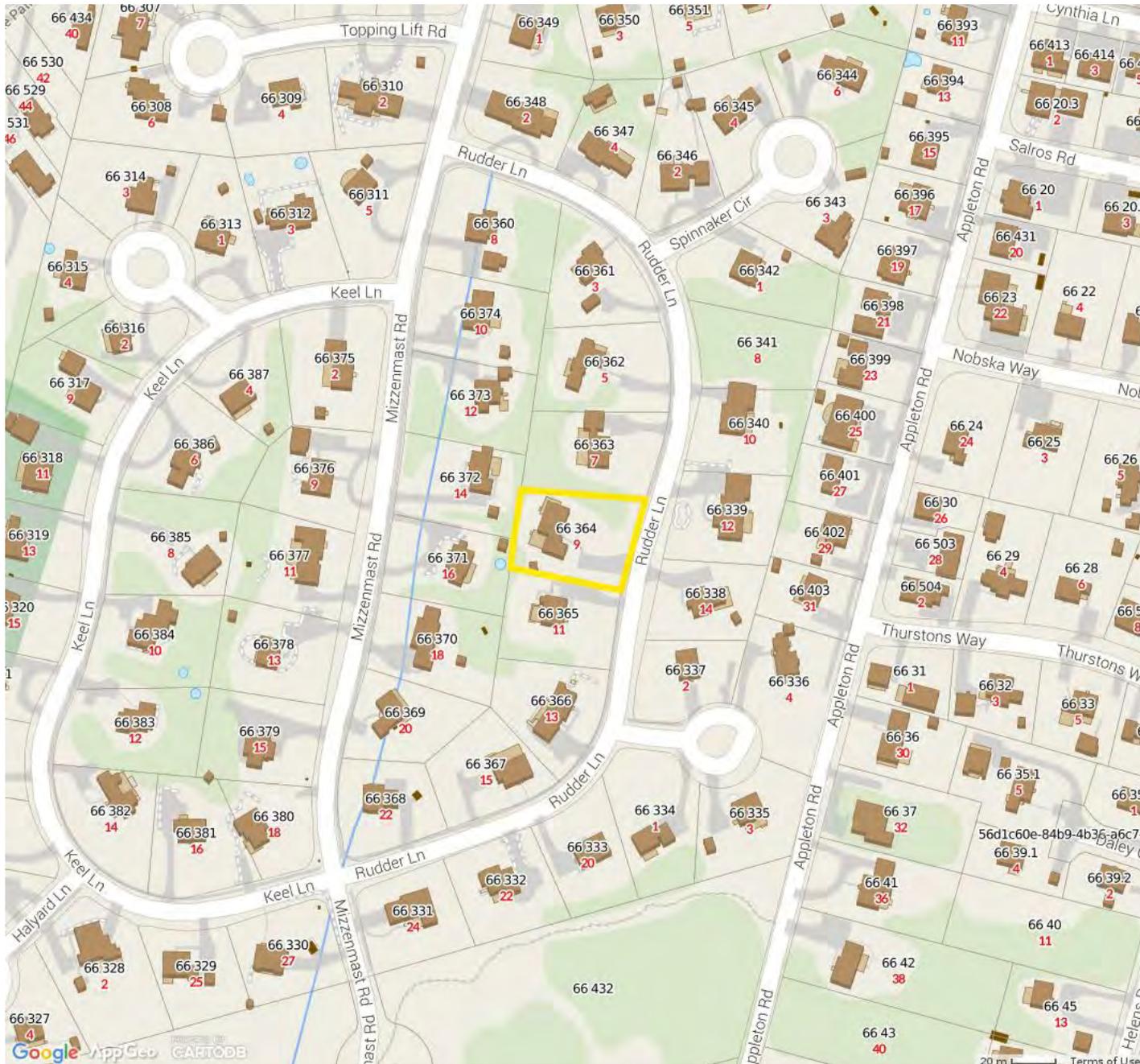
Date 9/27/16 Signature of owner of record OW - AGENT. Signed under penalties of perjury



S. M. ROETHKE
design, inc.

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nantucket.ma 02554
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www.stmroethkedesign.com

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LOCUS

Stewart Garage/Studio
9 Rudder Lane
Nantucket, MA 02554

REVISIONS:

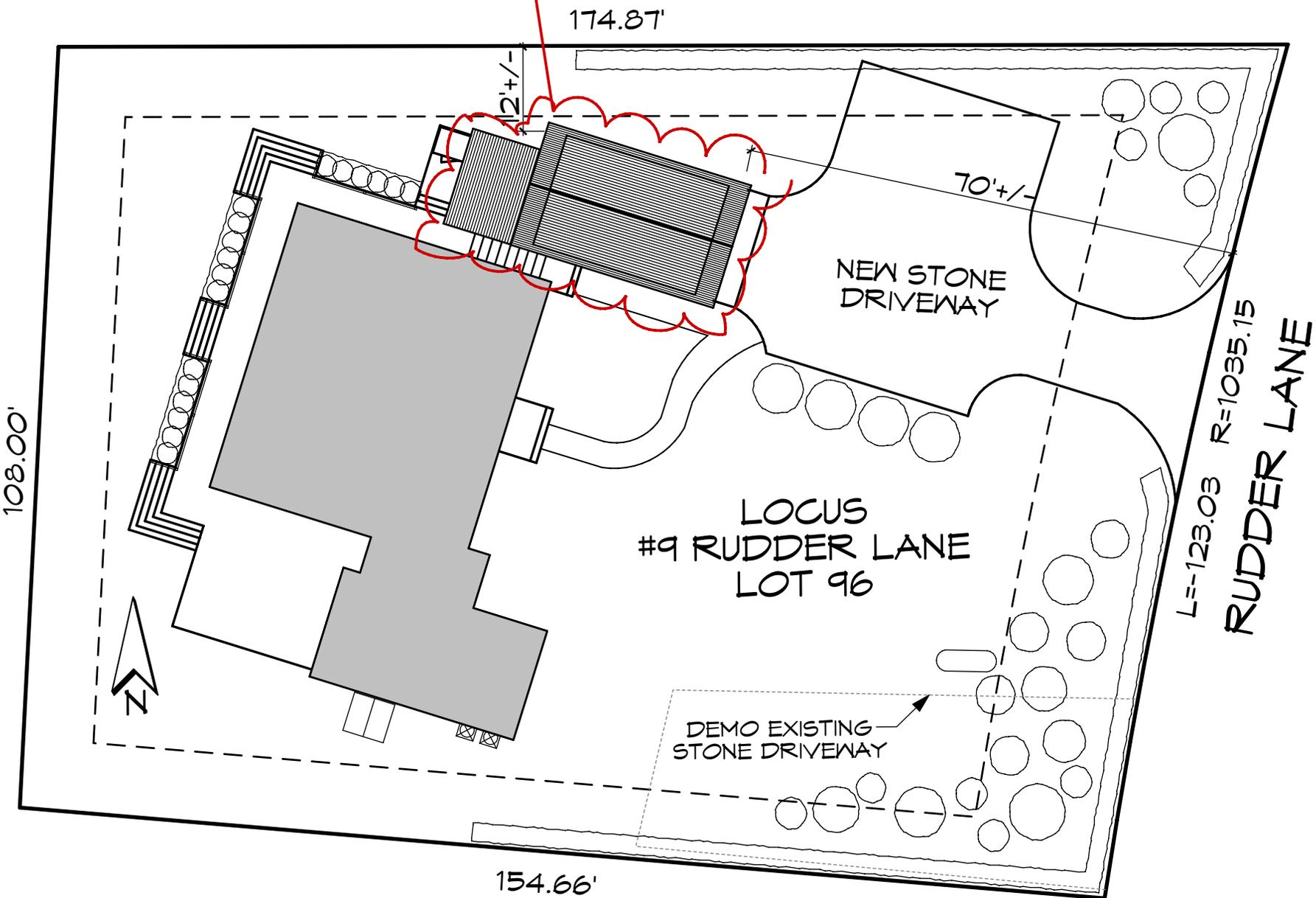
STAMP:

HDC Review Set
9/27/16

HDC 0.1

DATE PLOTTED: 09/27/2016 10:58:11 AM

PROPOSED GARAGE/STUDIO



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design, inc.

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nantucket, ma 02554
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SITE PLAN

Stewart Garage/Studio
9 Rudder Lane
Nantucket, MA 02554

REVISIONS:

STAMP:

HDC Review Set
9/27/16

HDC 0.2

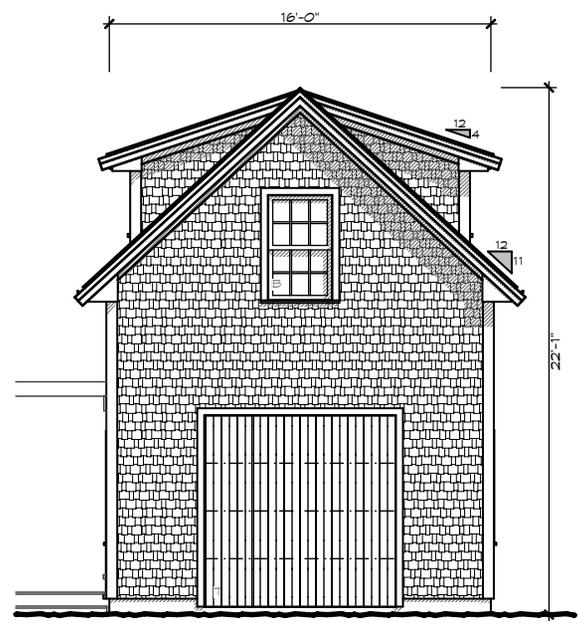
UNIVERSITY EAST ARCHITECTURE, INC. 100 WASHINGTON STREET, SUITE 200, NANTUCKET, MA 02554



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design, inc.

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PROPOSED EAST ELEVATION

Stewart Garage/Studio
9 Rudder Lane
Nantucket, MA 02554

REVISIONS:

STAMP:

HDC Review Set
9/27/16

HDC 2.1

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

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PROPERTY DESCRIPTION

TAX MAP N°: 55.4.1 PARCEL N°: 85
Street & Number of Proposed Work: 10 WEYMOUTH (LOT 1)
Owner of record: PETER + MICHELLE LEASE
Mailing Address: 74 Highland Avenue
Chatham NJ 07928
Contact Phone #: 917-640-1484 E-mail: papercottage@gmail.com

AGENT INFORMATION (if applicable) gmail.com

Name: _____
Mailing Address: _____
Contact Phone #: _____ E-mail: _____

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
Must be acted on by: _____
Extended to: _____
Approved: _____ Disapproved: _____
Chairman: _____
Member: _____
Member: _____
Member: _____
Member: _____
Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
- Color Change Fence Gate Landscaping Move Building Demolition Revisions to previous Cert. No. _____
- Pool (Zoning District _____) Roof Other _____

Size of Structure or Addition: Length: _____ Sq. Footage 1st floor: _____ Decks/Patio: Size: _____ 1st floor 2nd floor
Width: _____ Sq. footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____

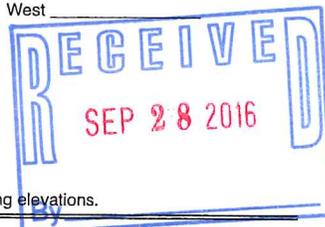
Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks

Historic Name: _____
Original Date: _____ (describe)
Original Builder: _____
Is there an HDC survey form for this building attached? Yes N/A

- REVISIONS:**
1. East Elevation
 2. South Elevation
 3. West Elevation
 4. North Elevation

*Cloud on drawings and submit photographs of existing elevations.



DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers

Masonry Chimney: Block Parged Brick (type) _____ Other _____

Roof Pitch: Main Mass _____/12 Secondary Mass _____/12 Dormer _____/12 Other _____

Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____

Fence: Height: 3ft.
Type: Type 2 Red Cedar to be painted white
Length: 15ft + 15ft.

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size): _____

Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____

B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____

Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square _____

Windows*: Double Hung Casement All Wood Other _____

True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____

Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways Brick Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

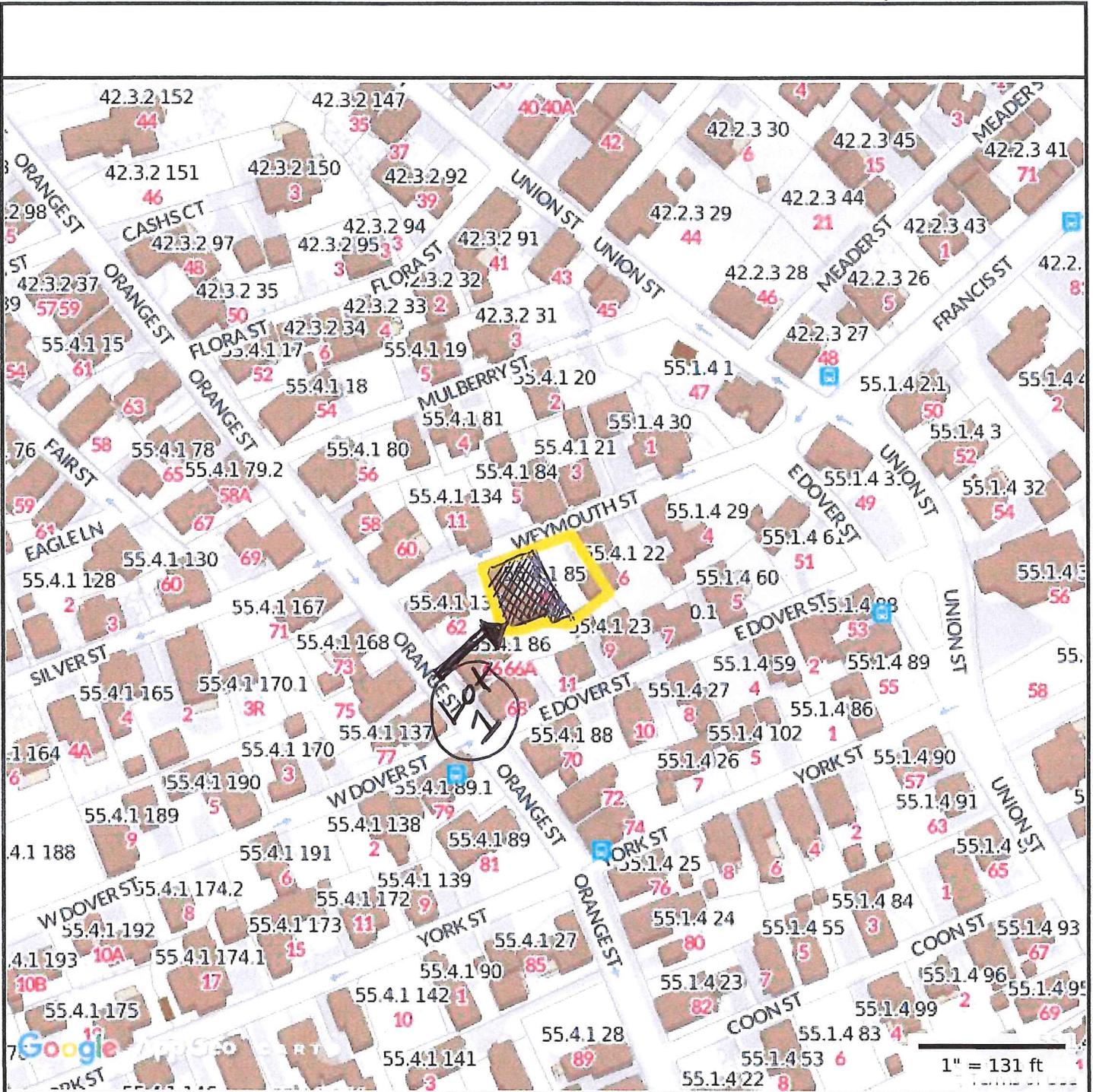
COLORS

Sidewall _____ Clapboard (if applicable) _____ Roof _____
Trim _____ Sash _____ Doors _____
Deck _____ Foundation _____ Fence White Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 9/27/16 Signature of owner of record Michelle C. Lease Signed under penalties of perjury



Property Information

Property ID 55.4.1.85
Location 10 WEYMOUTH ST
Owner SHEPHERD JOHN R & SUSAN D



**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**

Town and County of Nantucket, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Parcels updated December, 2014
Properties updated January, 2015

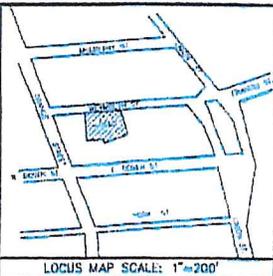
NANTUCKET REGISTRY OF DEEDS
 Date April 27, 2016
 Time 11:21 AM
 Plan BK. _____ PG. _____
 Plan No. 2016-35
 Attest: Jennifer J. Fenwick Register
 Sheet 1 of 1
 RESERVED FOR REGISTRY USE ONLY



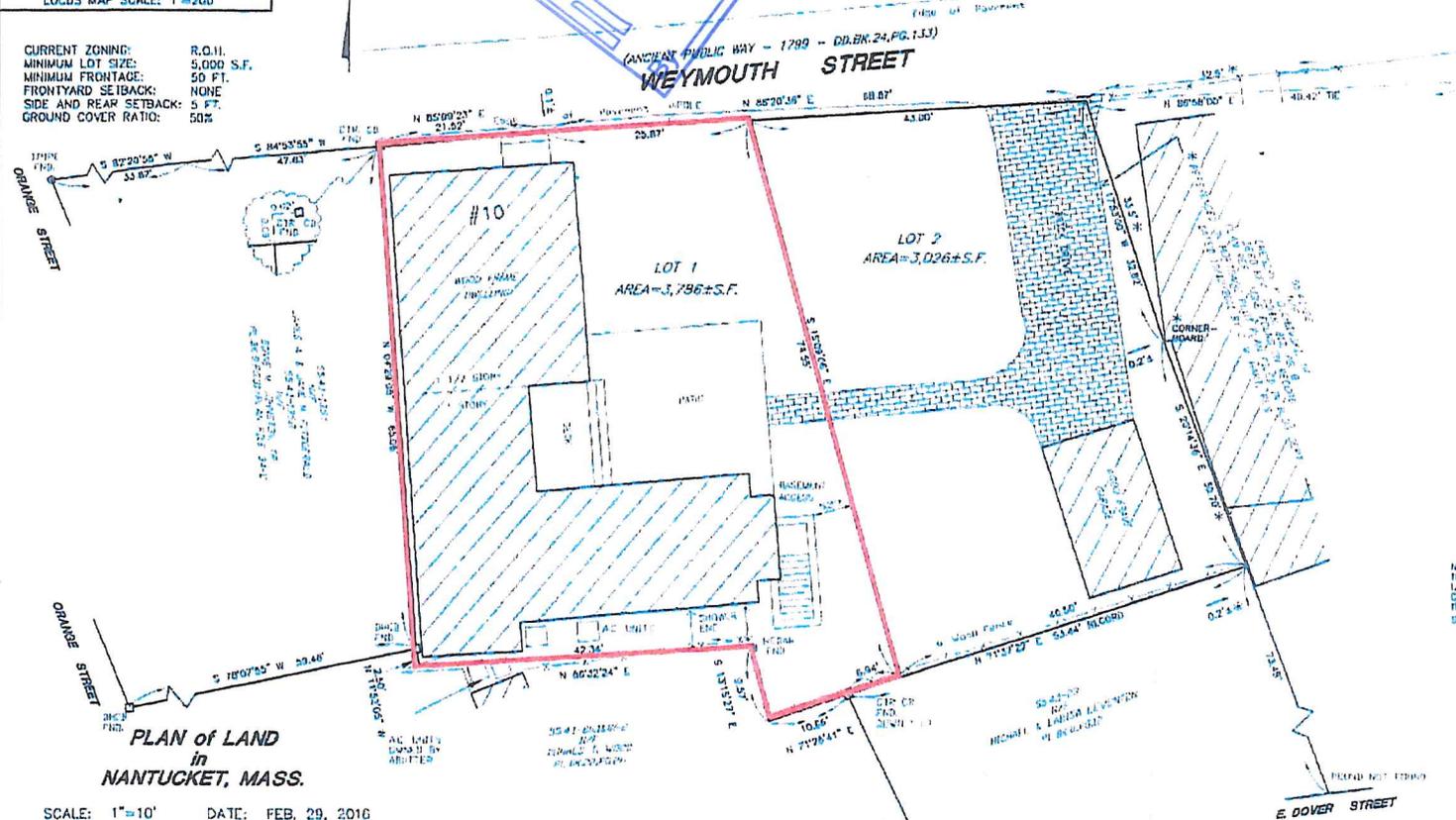
"I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS."
Richard K. Earle 1109/2016
 PROFESSIONAL LAND SURVEYOR (DATE)

RECEIVED

SEP 28 2016



CURRENT ZONING: R.O.I.
 MINIMUM LOT SIZE: 5,000 S.F.
 MINIMUM FRONTAGE: 50 FT.
 FRONTYARD SETBACK: NONE
 SIDE AND REAR SETBACK: 5 FT.
 GROUND COVER RATIO: 50%



I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE THAT THE PREMISES SHOWN ON THIS PLAN ARE LOCATED WITHIN FLOOD ZONE X AS DELINEATED ON THE FLOOD OF COMMUNITY NO. 220225 MASS. EFFECTIVE JUNE 11, 2014 BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

NOTE: THE LOTS SHOWN HEREIN DO NOT COMPLY WITH THE AREA REQUIREMENTS OF THE NANTUCKET ZONING BY LAW CH. 130B § 2 & 10 FOR NEW BUILDING LOTS, BUT CONTAIN A BUILDING WHICH WAS STANDING IN 1955 WHEN THE SUBDIVISION CONTROL LAW WENT INTO EFFECT. SEE M.G.L. CH. 41, SECT. 81-L.

PLANNING BOARD ENDORSEMENT DOES NOT CONSTITUTE A DETERMINATION OF CONFORMANCE UNDER ZONING.

NANTUCKET PLANNING BOARD

APPROVAL UNDER THE SUBDIVISION CONTROL LAW NOT REQUIRED

[Signature]
[Signature]
[Signature]

DATE SIGNED 03-07-16
 FILE NO. 7742

PLAN of LAND in NANTUCKET, MASS.

SCALE: 1"=10' DATE: FEB. 29, 2016

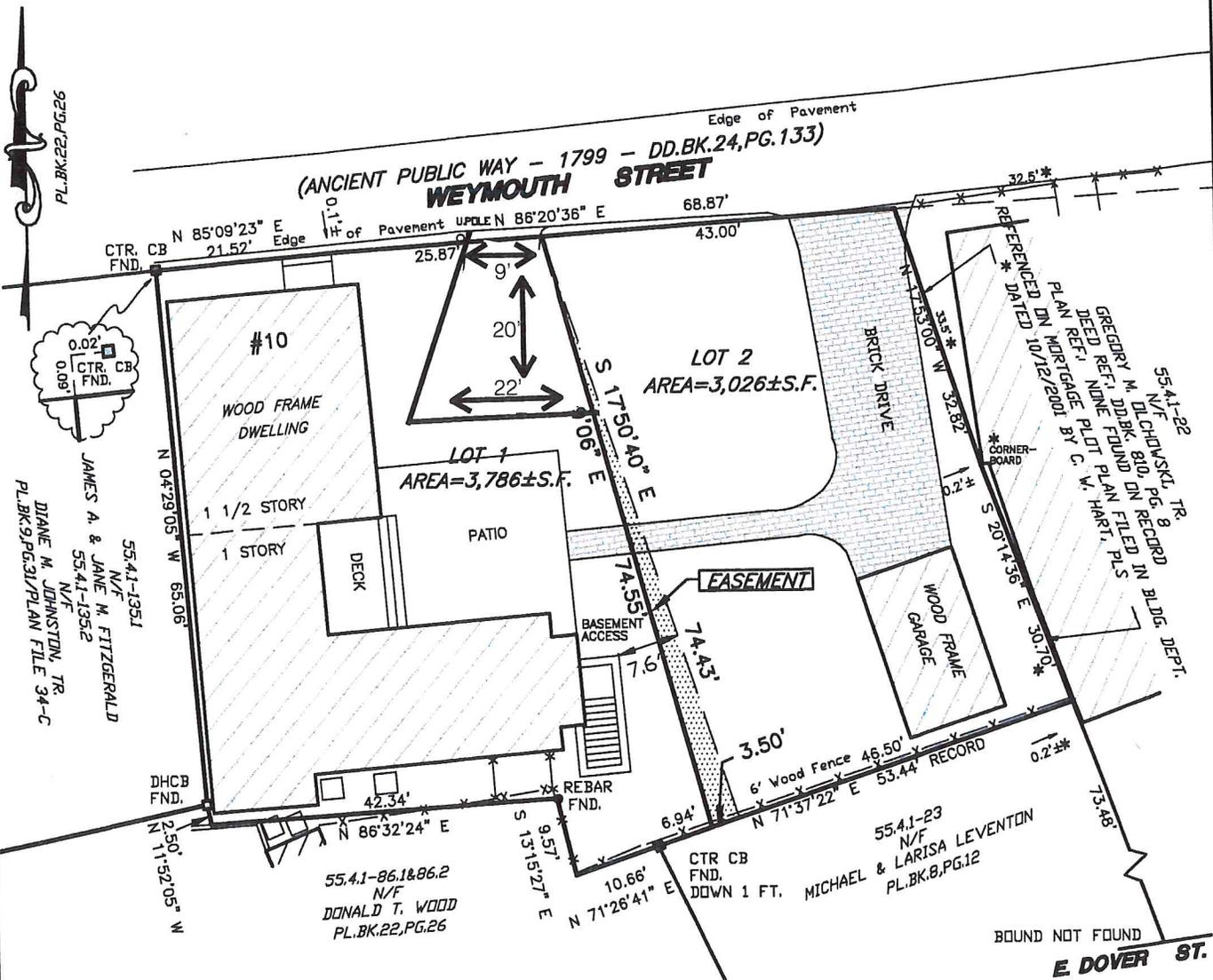
PREPARED FOR: JOHN H. SHEPHERD and SUSAN D. SHEPHERD

EARLE & SULLIVAN, INC.
 PROFESSIONAL LAND SURVEYORS
 6 YOUNGS WAY
 NANTUCKET, MA 02554
 (508)-332-4809

REFERENCES:
 DEED REF.: DD BK 1350, PG. 308 (NON-DESCRIPT)
 PLAN REF.: NONE FOUND ON RECORD
 ASSESSORS MAP 95.4.1 PARCEL 85

THE PLANNING BOARD DETERMINES THAT:
 1. LOTS 1 & 2 DO NOT CONTAIN AREAS SUBJECT TO PROTECTION UNDER THE MASSACHUSETTS WETLANDS PROTECTION ACT WHICH ARE REQUIRED TO BE EXCLUDED FROM LOT AREA UNDER THE NANTUCKET ZONING BY-LAW BUT TITLE MAY BE SUBJECT TO PROTECTION UNDER STATE AND LOCAL WETLAND BYLAWS. DETERMINATION OF APPLICABILITY MAY BE OBTAINED THROUGH APPLICATION TO THE CONSERVATION COMMISSION.





PROGRESS PRINT 8/22/16

RECEIVED
 SEP 28 2016
 By

PARKING SKETCH PLAN
 #10 WEYMOUTH ST.
 IN
 NANTUCKET, MASSACHUSETTS

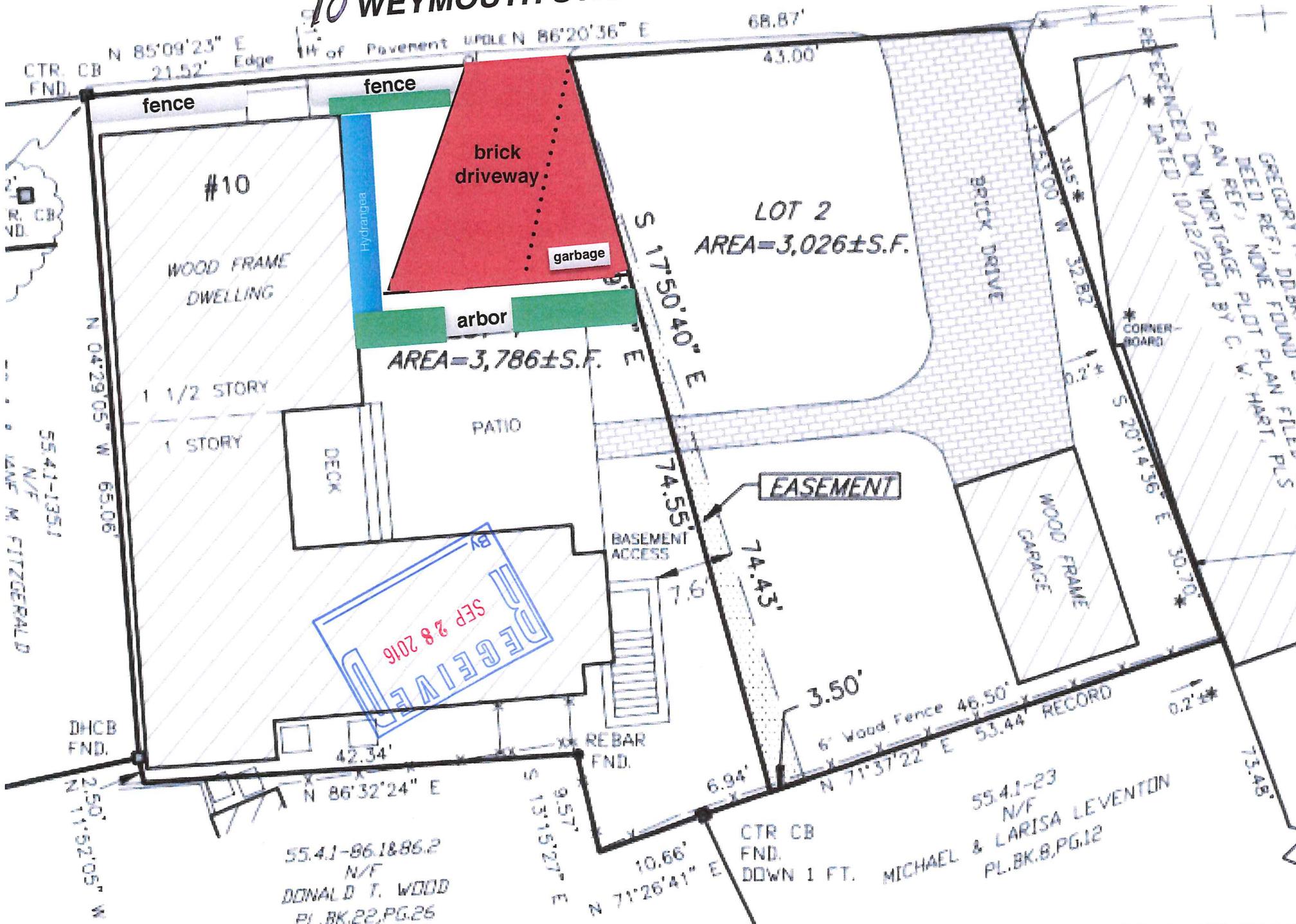
SCALE: 1"=20'

DEED REFERENCE: DD.BK.1541, PG.311
 PLAN REFERENCE: PLAN NO.2016-35
 ASSESSOR'S REFERENCE:
 MAP: 55.41 PARCEL: 85

PREPARED FOR:
 PETER G. LEASE and
 MICHELLE LEASE

EARLE & SULLIVAN, INC.
 PROFESSIONAL LAND SURVEYORS
 6 YOUNGS WAY
 NANTUCKET, MA. 02554
 508-332-4808

10 WEYMOUTH STREET



RECEIVED
SEP 28 2016

55.41-135.1
N/F
VAN M. FITZGERALD

55.41-86.1886.2
N/F
DONALD T. WOOD
PL.BK.22,PG.26

CTR CB
FND.
DOWN 1 FT.

55.41-23
N/F
MICHAEL & LARISA LEVENTON
PL.BK.8,PG.12

BOUND NOT FOUND

PLAN REFERENCED ON MORTGAGE BY C. V. HART, PLS
DEED REF. NONE FOUND IN
GREGORY M. DEBK. 810' ON RE-
FILED IN
PLAN DATED 10/12/2001
CORNER BOARD
S 20°14'36" E 30.70'
N 32°8'2" E 35.50'
BRICK DRIVE
WOOD FRAME GARAGE
EASEMENT
74.55'
74.43'
3.50'
6' Wood Fence 46.50'
53.44' RECORD
0.2'
73.48'
S 17°50'40" E
43.00'
68.87'
N 86°20'36" E
Edge
21.52'
N 85°09'23" E
CTR CB FND.
fence
fence
brick driveway
garbage
arbor
AREA=3,786±S.F.
PATIO
DECK
BASEMENT ACCESS
7.6'
REBAR FND.
42.34'
N 86°32'24" E
9.57'
S 13°15'27" E
10.66'
N 71°26'41" E
6.94'
N 71°37'22" E
S 20°14'36" E
30.70'
CORNER BOARD
WOOD FRAME DWELLING
1 1/2 STORY
1 STORY
N 04°29'05" W 65.06'
55.41-135.1
N/F
VAN M. FITZGERALD



Proposed picket fence

10 Weymouth Street, Lot 1

Fence: Type 2 with fence cap, 3ft. high, red cedar painted white

Arbor: Custom square lattice arbor-4ft wide, painted white

Arbor Fence: 3 ft. x 4ft. straight picket gate, painted white

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 54 PARCEL N°: 178
Street & Number of Proposed Work: 13 MONOMOY ROAD
Owner of record: ROBERT & PATTI DELVIER
Mailing Address: 25 CHERRY HILLS DR NE
COTO DE CASA, CA 92679
Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: RONALD WINTERS
Mailing Address: 7 THIRTY ACRES LANE
NANTUCKET, MA 02554
Contact Phone #: 508 228 7456 E-mail: RWINTERS@THIRTYACRES.COM

FOR OFFICE USE ONLY	
Date application received: <u>9/28/16</u>	Fee Paid: \$ <u>25</u>
Must be acted on by: <u>11/28/16</u>	
Extended to: _____	
Approved: _____	Disapproved: _____
Chairman: _____	
Member: _____	
Member: _____	
Member: _____	
Member: _____	
Notes - Comments - Restrictions - Conditions	

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling
 - Addition
 - Garage
 - Driveway/Apron
 - Commercial
 - Historical Renovation
 - Deck/Patio
 - Steps
 - Shed
 - Color Change
 - Fence
 - Gate
 - Hardscaping
 - Move Building
 - Demolition
 - Revisions to previous Cert. No.
 - Pool (Zoning District _____)
 - Roof
 - Other: COLOR CHANGE TO ROOF WALK
- Size of Structure or Addition: Length: _____ Sq. Footage 1st floor: _____ Decks/Patio: Size: _____ 1st floor 2nd floor
Width: _____ Sq. footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____

Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks

Historic Name: _____ REVISIONS*: 1. East Elevation
Original Date: _____ (describe) 2. South Elevation
Original Builder: _____ 3. West Elevation
Is there an HDC survey form for this building attached? Yes N/A 4. North Elevation

FAINT ROOF WALK
WHITE TO MATCH
TRIM COLOR

*Cloud on drawings and submit photographs of existing elevations.



DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) _____ Other _____
Roof Pitch: Main Mass _____/12 Secondary Mass _____/12 Dormer _____/12 Other _____
Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____

Fence: Height: _____
Type: _____
Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size): _____

Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____

B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____

Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square _____

Windows*: Double Hung Casement All Wood Other _____

True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____

Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways _____ Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

COLORS

Sidewall _____ Clapboard (if applicable) _____
Trim _____ Sash _____
Deck _____ Foundation _____
Roof WHITE
Doors _____
Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date: 09/28/16

Signature of owner of record _____

Signed under penalties of perjury



#12 MONOMOY ROAD
MAP 54 PARCEL 142

MONOMOY ROAD

SALT MARSH ROAD

#8 MONOMOY RD.
MAP 54 PARCEL 49

MAP 54
PARCEL 198
36,180± s.f.

#15 MONOMOY ROAD
MAP 54 PARCEL 200

#2 SANDWICH ROAD
MAP 54 PARCEL 226

#4 SANDWICH ROAD
MAP 54 PARCEL 227

#12 CHATHAM ROAD
MAP 54 PARCEL 228

#6 SANDWICH ROAD
MAP 54 PARCEL 233

#10 CHATHAM ROAD
MAP 54 PARCEL 229

#8 CHATHAM ROAD
MAP 54 PARCEL 230

PROPOSED 4" SDR35 SEWER SERVICE
(CONTRACTOR TO COORDINATE WITH
SEWER DEPARTMENT FOR CONNECTION
TO SEWER IN BURNELL STREET)

PROPOSED WATER SERVICE CONNECTION
*CONFIRM WITH WANNACOMET WATER COMPANY
(MAINTAIN 10' MIN. SEPARATION
FROM ALL SEWER COMPONENTS)

EXISTING HOUSE
3,020 s.f.
F.F.E. = 28.7
(TO BE REMOVED)

PROPOSED RETAINING WALL
BY OTHERS

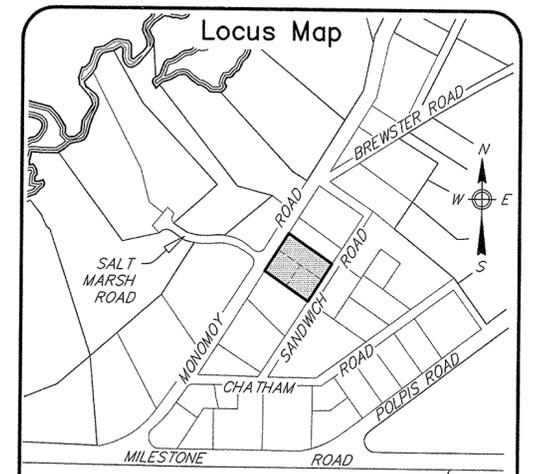
SITE BENCHMARK SET
MARK ON BEAN POLE
EL. = 28.0 (HTL)

PROPOSED HOUSE
(1,896 S.F.)
T.O.F. = 29.75

PK. GARAGE
(603 S.F.)
SLAB = 23.2
T.O.F. = 23.2

#6 SANDWICH ROAD
EXISTING HOUSE
ROOF PEAK = 81.0
ROOF DECK = 81.6

#10 CHATHAM ROAD
EXISTING HOUSE
ROOF PEAK = 64.8
ROOF DECK = 65.5



Notes

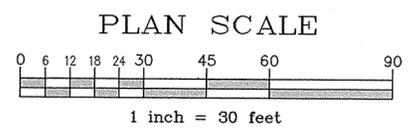
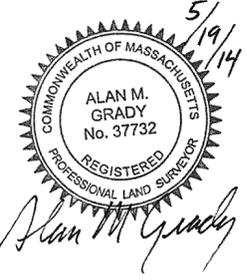
- LOCUS: #13 MONOMOY ROAD
MAP 54 PARCEL 198
- OWNER: FIREFLY NOMINEE TRUST
c/o KENNETH A. GULLICKSEN, trustee
25 CHERRY HILLS DRIVE
COTO DE CAZA, CA 92679
- DEED REF: Cert. #24985
- PLAN REF: L.C.C. 10937-E (LOTS 36 & 37)
L.C.C. 10937-H (LOT 47)
- LOCUS DOES NOT FALL WITHIN A SPECIAL
FLOOD HAZARD ZONE AS SHOWN ON FEMA
FLOOD INSURANCE RATE MAP COMMUNITY
PANEL No. 250230-0011-D dated 07/02/92.
- LOCUS DOES NOT FALL WITHIN THE NATURAL
HERITAGE and ENDANGERED SPECIES PROGRAM
(NHESP) AREAS OF ESTIMATED HABITATS OF
RARE WILDLIFE and PRIORITY HABITATS OF
RARE SPECIES.
- ZONE: LUG-1

	REQUIRED	EXISTING	PROPOSED
LOT AREA:	40,000 s.f.	36,180± s.f.	36,180± s.f.
FRONTAGE:	100'	170'+	170'+
FRONT YARD:	35'	100'+	72.8'
SIDE/REAR YARD:	10'	< 10'	10.7'
GROUND COVER:	7% (MAX)	8.3%	6.9% (2,499 S.F.)

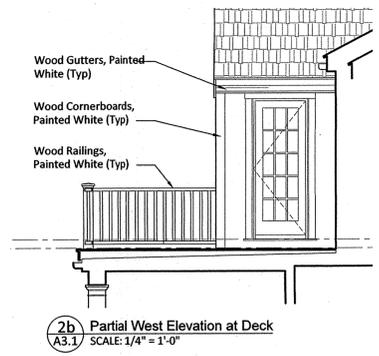
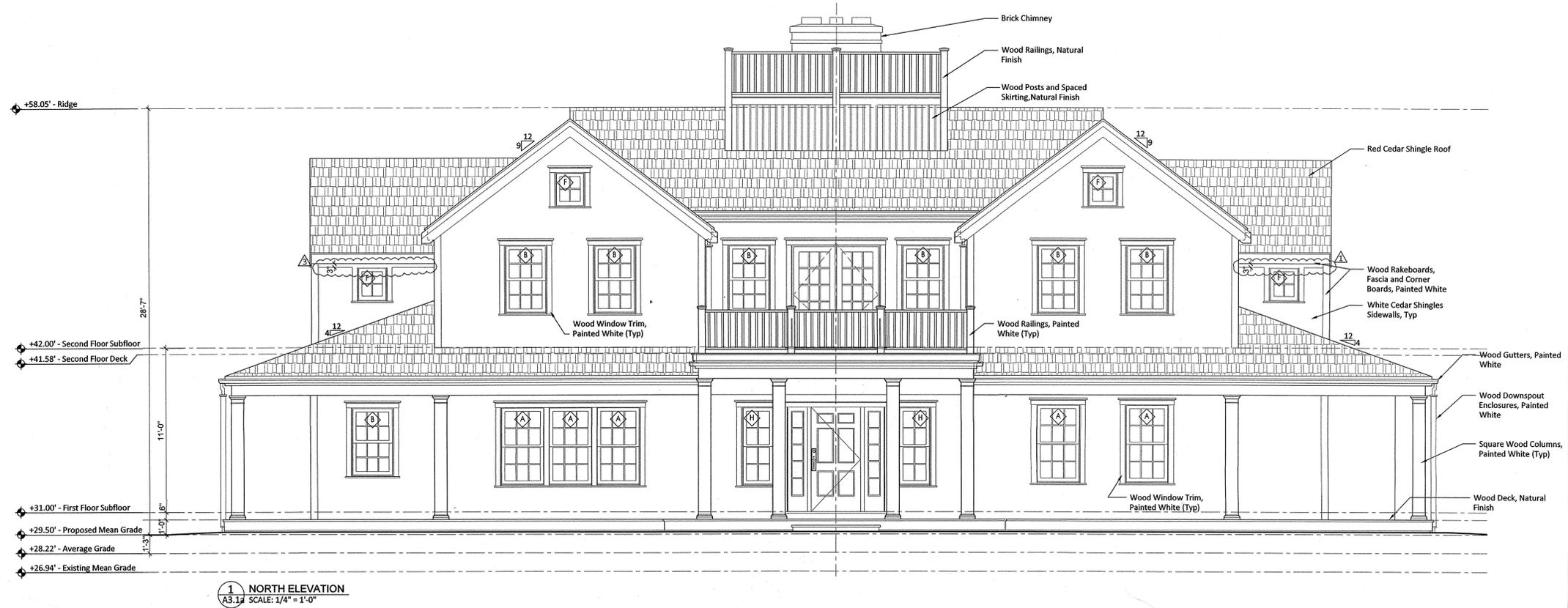
Prepared By:
 **BRACKEN ENGINEERING, INC.** Engineering - Surveying
Environmental Permitting
 19 Old South Road
 Nantucket, MA 02554
 Tel: 508-325-0044 Fax 508-833-2282

**PROPOSED SITE PLAN
IN NANTUCKET, MA**
 Prepared For:
ROBERT & PATTI DEUSTER
 #13 MONOMOY ROAD
 MAP 54 PARCEL 198

Date: MAY 8, 2014	Sheet: 1 of 1
Drawn By: RMM/DLH	Checked By: DFB/AMG
Job No.: 0856-001	Drawing Name: 13 Monomoy Rd - pr SITE (rev2).dwg



REVISION NOTES North Elevation
 --Reduced size of Frieze board above F windows from 5" to 3"



REVISION NOTES West Elevation
 --changed East Elevation windows from a double to a single window and from a Type D to a Type J

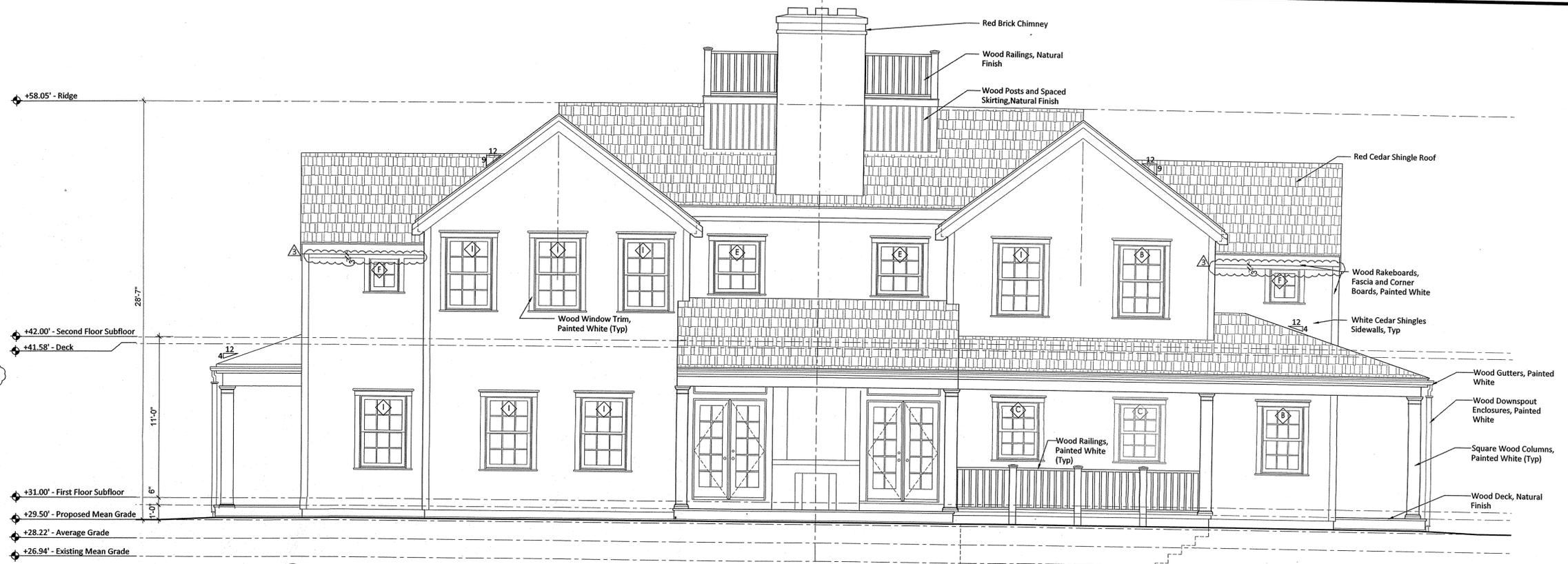


APPROVED
 NOV 13 2014 6 26 8 1
 NANTUCKET VILLAGE
 VILLAGE OFFICE

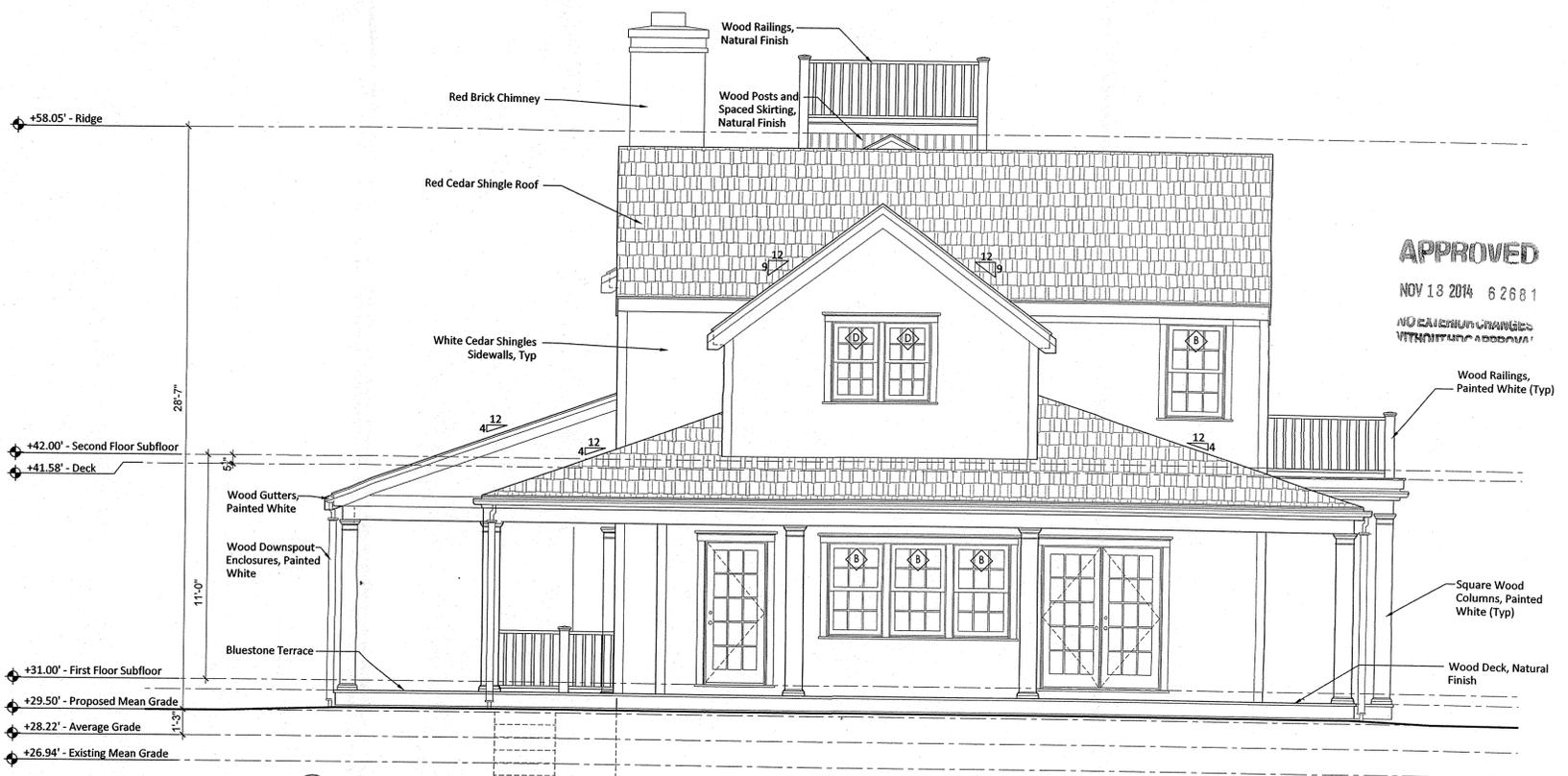


SEAL	Build	Thirty Acre Wood	Nantucket, MA 508-228-7456
Design	Lyman Perry / Robert Marker	Nantucket, MA Philadelphia, PA	717-653-0344
Elevations	Deuster Residence	13 Monomoy Road	Nantucket, MA 12345
DRAWN BY:	DATE:	February 11, 2014 (Final HDC Approval)	
	REVISIONS:	3 October 22, 2014	
A-3.1		Proposed Revisions for HDC Approval Oct. 22, 2014	

REVISION NOTES South Elevation
 --Reduced size of Frieze board above F windows from 5" to 3"



1 SOUTH ELEVATION
 A3.2b SCALE: 1/4" = 1'-0"



2 EAST ELEVATION
 A3.2b SCALE: 1/4" = 1'-0"

APPROVED
 NOV 13 2014 6 26 01
 NO CHANGE REQUIRED
 WITHIN 90 DAYS

Received on:
 10/23/14

SEAL
 Build
Thirty Acre Wood
 Nantucket, MA
 508-228-7456

Design
Lyman Perry / Robert Marker
 Nantucket, MA Philadelphia, PA
 717-653-0344

Elevations
Deuster Residence
 13 Monomoy Road
 Nantucket, MA 02545

DRAWN BY:
 DATE:
 February 11, 2014
 (Final HDC Approval)
 REVISIONS:
 October 22, 2014

Proposed Revisions for HDC Approval
 Oct. 22, 2014

A-3.2

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 39 PARCEL N°: 48
Street & Number of Proposed Work: 16 Greenleaf
Owner of record: Deborah Rogers
Mailing Address: 16 Greenleaf
Nantucket MA 02584
Contact Phone #: 228 9310 E-mail: dbardhrogers@gmail.com

AGENT INFORMATION (if applicable)

Name: Waterscapes
Mailing Address: Po Box 2578
Nantucket MA, 02584
Contact Phone #: 508 494-2822 E-mail: Jase@waterscapes.com
654 com

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
Must be acted on by: _____
Extended to: _____
Approved: _____ Disapproved: _____
Chairman: _____
Member: _____
Member: _____
Member: _____
Member: _____
Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District _____) Roof Other _____

Size of Structure or Addition: Length: _____ Sq. Footage 1st floor: _____ Decks/Patio: Size: 800 SQ FT 1st floor 2nd floor
Fence 275' Width: _____ Sq. Footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
Pool 980 Sq Ft, SPA 8'R Sq. Footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks

Historic Name: _____
Original Date: _____
Original Builder: _____
Is there an HDC survey form for this building attached? Yes N/A

- REVISIONS* 1. East Elevation
(describe) 2. South Elevation
3. West Elevation
4. North Elevation

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers

Masonry Chimney: Block Parged Brick (type) _____ Other _____

Roof Pitch: Main Mass _____/12 Secondary Mass _____/12 Dormer _____/12 Other _____

Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____

Fence: Height: 4'
Type: VEGETATION BLACK MESH
Length: 275'

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size): _____

Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____

B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____

Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square _____

Windows*: Double Hung Casement All Wood Other _____

True Divided Lights(muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____

Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways _____ Walkways Bluestone Walls N.E Field stone

* Note: Complete door and window schedules are required.

COLORS

Sidewall _____ Clapboard (if applicable) _____ Roof _____
Trim _____ Sash _____ Doors _____
Deck _____ Foundation _____ Fence BLACK MESH Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 09.28.16 Signature of owner of record Deborah Rogers Signed under penalties of perjury

16 Greenleaf Rd. / Rogers Residence / Waterscapes Design Group 9/28/16

Conceptual design



Greenleaf Rd.



Town and County of Nantucket, MA September 27, 2016

16 Greenleaf Rd.



Cross Section



<p>Property Information</p> <p>Property: 16 GR</p> <p>Location: 16 GREENLEAF RD</p> <p>Owner: ROGERS DEBORAH R</p>	<p>MAP FOR REFERENCE ONLY NOT A LEGAL DOCUMENT</p> <p><small>Open and County of Nantucket, MA makes no warranty or representation, expressed or implied, concerning the accuracy or timeliness of the data presented on this map.</small></p> <p><small>Pattern updated December, 2016 Properties updated January, 2015</small></p>
---	--

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

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This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 39 PARCEL N°: 4B
Street & Number of Proposed Work: 16 GREENLEAF ROAD
Owner of record: DEBORAH B. ROGERS
Mailing Address: 16 GREENLEAF ROAD
NANTUCKET, MA
Contact Phone #: 201-803-7394 E-mail: dbardhrogers@gmail.com

AGENT INFORMATION (if applicable)

Name: NATHAN McMULLEN
Mailing Address: 8 AUSTIN FARM
NANTUCKET, MA 02554
Contact Phone #: 228-5984 E-mail: nathan@mcullenandassociates.com

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____

Must be acted on by: _____

Extended to: _____

Approved: _____ Disapproved: _____

Chairman: _____

Member: _____

Member: _____

Member: _____

Member: _____

Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling
- Addition
- Garage
- Driveway/Apron
- Commercial
- Historical Renovation
- Deck/Patio
- Steps
- Shed
- Color Change
- Fence
- Gate
- Hardscaping
- Move Building
- Demolition
- Revisions to previous Cert. No. _____
- Pool (Zoning District _____)
- Roof
- Other _____

Size of Structure or Addition: Length: 29'-8" Sq. Footage 1st floor: 531 SF Decks/Patio: Size: 32'x10' 1st floor 2nd floor
Width: 20'-0" Sq. footage 2nd floor: 480 SF Size: 14'x8' 1st floor 2nd floor
Sq. footage 3rd floor: -

Difference between existing grade and proposed finish grade: North 12" South 12" East Exists West Exists
Height of ridge above final finish grade: North 29'-0" South 24'-0" East 25'-6" ± West 26'-0" ±

Additional Remarks

Historic Name: _____
Original Date: _____
Original Builder: _____

REVISIONS*

1. East Elevation -
2. South Elevation -
3. West Elevation -
4. North Elevation -

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed Varies Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) _____ Other _____
Roof Pitch: Main Mass 9/12 Secondary Mass 5/12 Dormer 4/12 Other Porch = 5/12
Roofing material: Asphalt: 3-Tab Architectural Match existy house
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____

Fence: Height: _____
Type: _____
Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) Match existy house

Leaders (material and size): 3" φ ±, Match existy house

Sidewall: White cedar shingles Clapboard (exposure: _____ inches) Front Side _____
 Other _____

Trim: A. Wood Pine Redwood Cedar Other Match dimension & details of existy house

B. Treatment Paint Natural to weather Other Match existy house

C. Dimensions: Fascia 1x Rake 1x Soffit (Overhang) 4" ± Corner boards 3/4x6 Frieze - Match existy house.
Window Casing 5/4 x 4 Door Frame 5/4 x 4 Columns/Posts: Round _____ Square 6" x 6" ±

Windows*: Double Hung Casement All Wood Other Fixed
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer Anderson A. Service

Doors* (type and material): TDL SDL Front French Rear French Side French

Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways Dirt/Stone Walkways Bluestone pavers Walls _____

* Note: Complete door and window schedules are required.

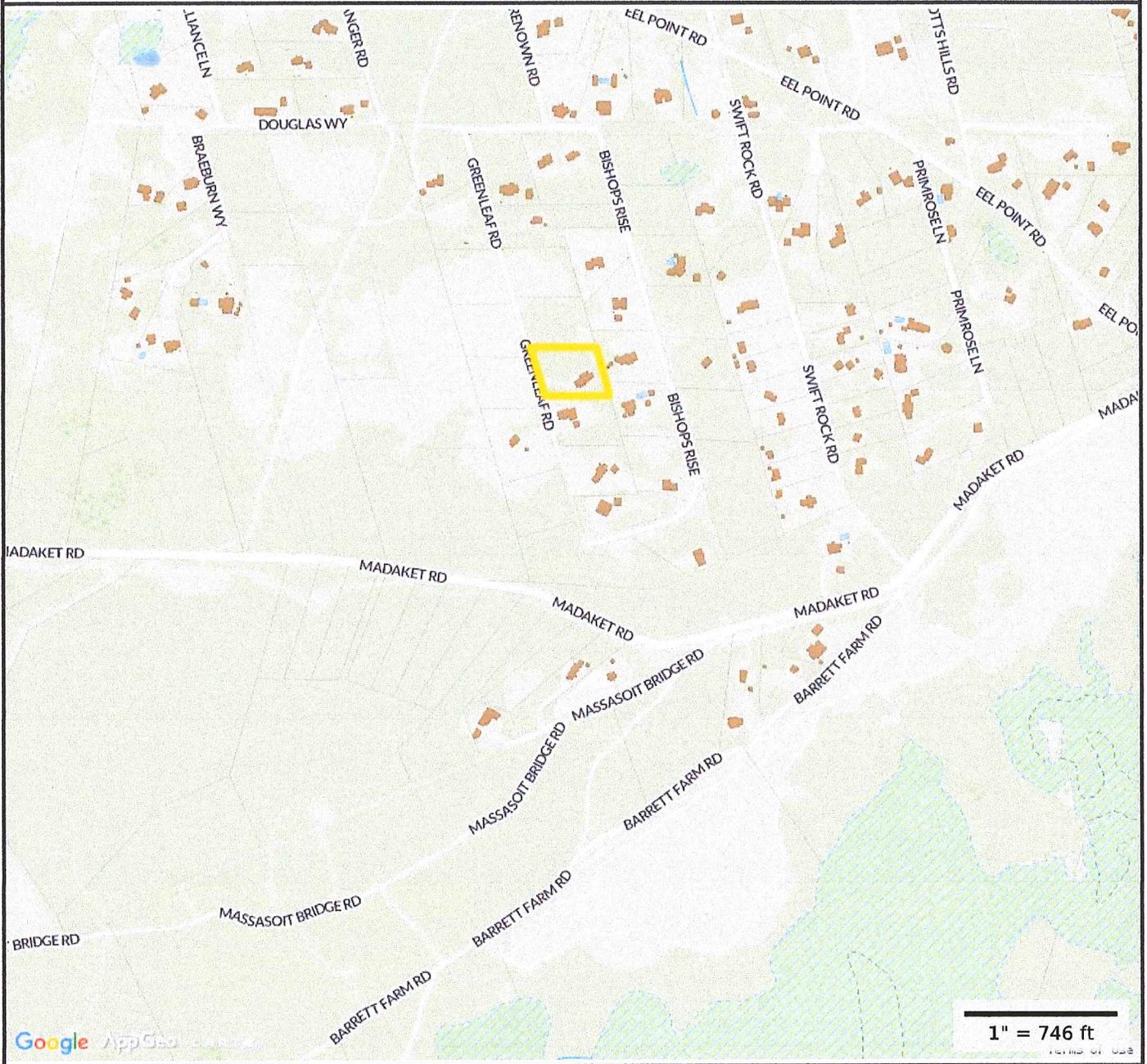
COLORS

Sidewall To Weather Clapboard (if applicable) _____ Roof Match mfg. & color of existy main house
Trim White to match existy house Sash White to match existy house Doors White
Deck Ice to weather Foundation To weather Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.



16 Greenleaf DEP Larger Plan



Property Information

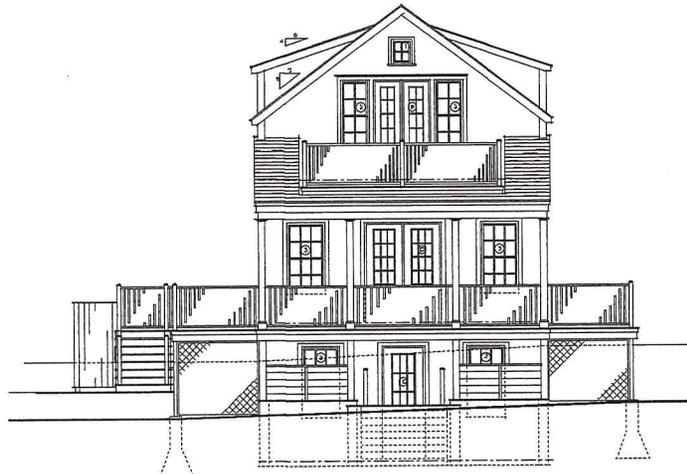
Property ID 39 48
Location 16 GREENLEAF RD
Owner ROGERS DEBORAH B



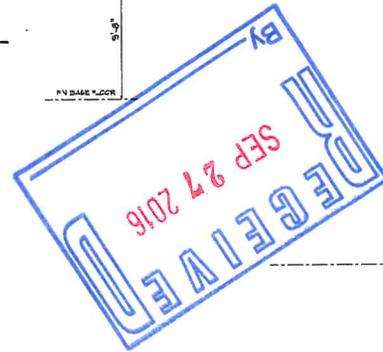
**MAP FOR REFERENCE ONLY
 NOT A LEGAL DOCUMENT**

Town and County of Nantucket, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

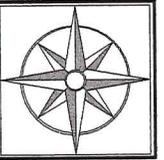
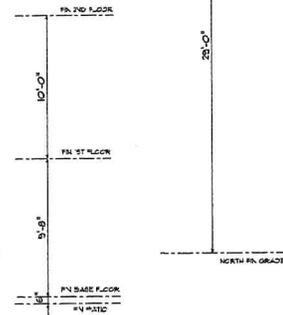
Parcels updated December, 2014
 Properties updated January, 2015



1 NORTH ELEVATION
A-6
1/4" = 1' - 0"



2 EAST ELEVATION
A-6
1/4" = 1' - 0"



McMULLEN
& ASSOCIATES
~ NANTUCKET ~
508-228-5984

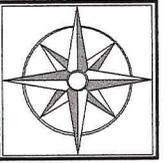
NEW SECOND DWELLING FOR:
THE ROGERS RESIDENCE
16 GREENLEAF ROAD
NANTUCKET

Issues & Revisions

NO.	DATE	BY	DESCRIPTION

NORTH ELEVATION
EAST ELEVATION

A-6



**McMULLEN
& ASSOCIATES**
~ NANTUCKET ~
508-228-5984

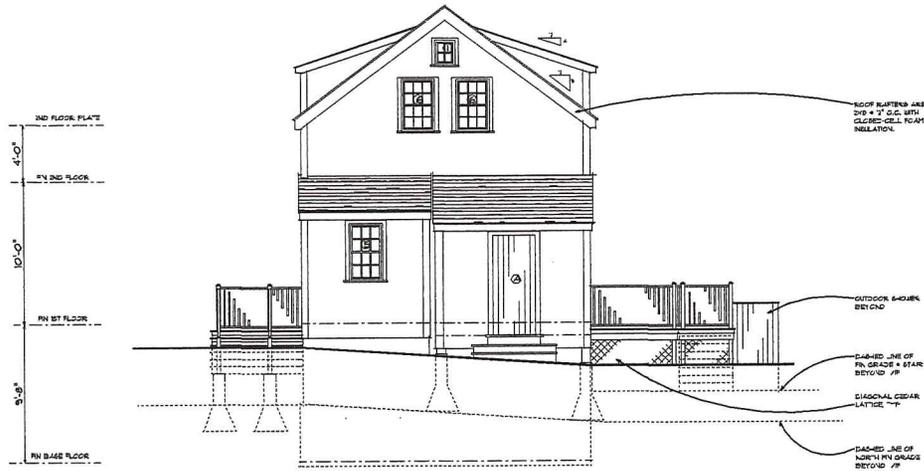
NEW SECOND DWELLING FOR:
THE ROGERS RESIDENCE
16 GREENLEAF ROAD
NANTUCKET

Issues & Revisions

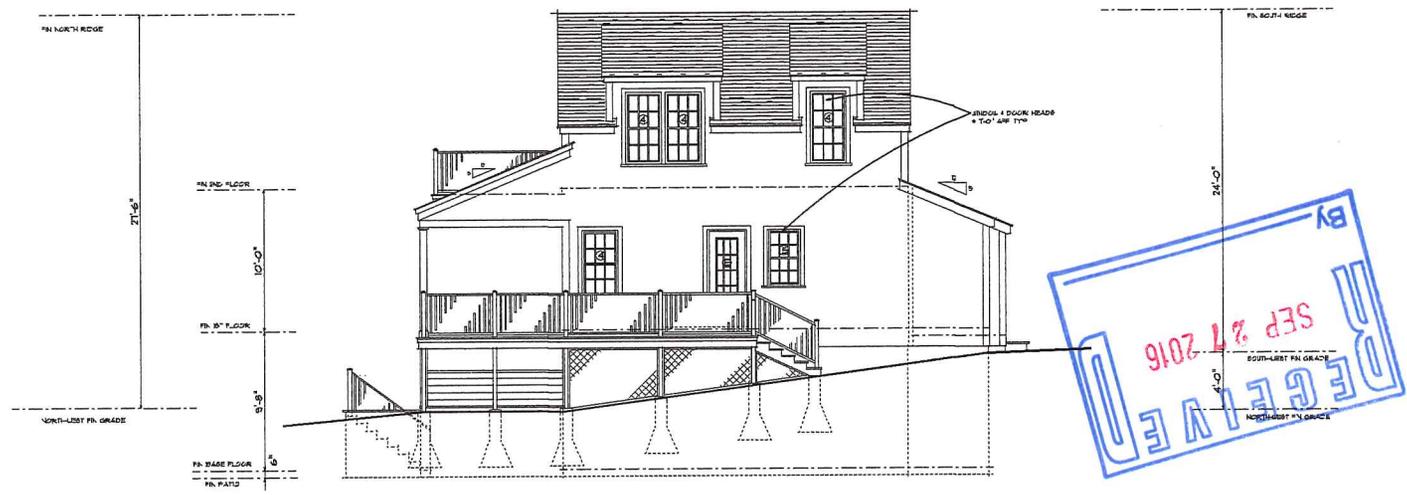
NO.	DATE	REVISION
1	09/27/2016	ISSUE TO R.O.C.

SOUTH ELEVATION
WEST ELEVATION

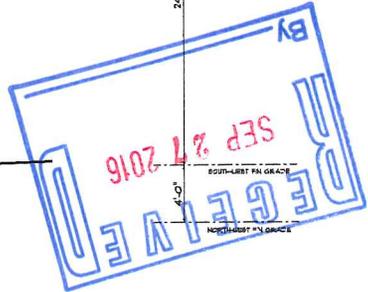
A-7



1 SOUTH ELEVATION
A-7
1/4" = 1' - 0"



2 WEST ELEVATION
A-7
1/4" = 1' - 0"



SHEB

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

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PROPERTY DESCRIPTION

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Street & Number of Proposed Work: 16 GREENLEAF ROAD
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Mailing Address: 16 GREENLEAF ROAD
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Contact Phone #: 201-803-7394 E-mail: dwardhrogers@gmail.com

AGENT INFORMATION (if applicable)

Name: NATHAN MCMULLEN
Mailing Address: B AUSTIN FARM
NANTUCKET, MA 02554
Contact Phone #: 228-5984 E-mail: nathan@mcmlenandassociates.com

FOR OFFICE USE ONLY	
Date application received: _____	Fee Paid: \$ _____
Must be acted on by: _____	
Extended to: _____	
Approved: _____	Disapproved: _____
Chairman: _____	
Member: _____	
Member: _____	
Member: _____	
Member: _____	
Notes - Comments - Restrictions - Conditions	

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling
- Addition
- Garage
- Driveway/Apron
- Commercial
- Historical Renovation
- Deck/Patio
- Steps
- Shed
- Color Change
- Fence
- Gate
- Hardscaping
- Move Building
- Demolition
- Revisions to previous Cert. No. _____
- Pool (Zoning District _____)
- Roof
- Other _____

Size of Structure or Addition: Length: 10'-6" Sq. Footage 1st floor: 63 SF Decks/Patio: Size: - 1st floor 2nd floor
Width: 6'-0" Sq. footage 2nd floor: - Size: - 1st floor 2nd floor
Sq. footage 3rd floor: -

Difference between existing grade and proposed finish grade: North Existy South Existy East Existy West Existy
Height of ridge above final finish grade: North 13'-6" South 9'-8" East 13'-6" West 13'-6"

Additional Remarks

Historic Name: -
Original Date: -
Original Builder: -

- REVISIONS***
- 1. East Elevation -
 - 2. South Elevation -
 - 3. West Elevation -
 - 4. North Elevation -

Is there an HDC survey form for this building attached? Yes N/A

*Cloud on drawings and submit photographs of existing elevations.



DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 8" - 12" Block Block Parged Brick (type) _____ Poured Concrete Piers

Masonry Chimney: Block Parged Brick (type) _____ Other _____

Roof Pitch: Main Mass 5/12 Secondary Mass -/12 Dormer -/12 Other _____

Roofing material: Asphalt 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) Match existy main house

Fence: Height: _____
Type: _____
Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size): _____

Sidewall: White cedar shingles Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____

B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia 1x6 Rake 1x6 Soffit (Overhang) 4"± Corner boards 5/4x6 Frieze _____

Window Casing _____ Door Frame 3/4x4 Columns/Posts: Round _____ Square _____

Windows*: Double Hung Casement All Wood Other _____

True Divided Lights(muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

Doors* (type and material): TDL SDL Front Cedar Button Rear _____ Side _____

Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways _____ Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

COLORS

Sidewall To Weather Clapboard (if applicable) _____ Roof Match existy main house

Trim White Sash _____ Doors To Weather

Deck To Weather Foundation Conc. to weather Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

16 greenleaf 2014 aerial



Property Information

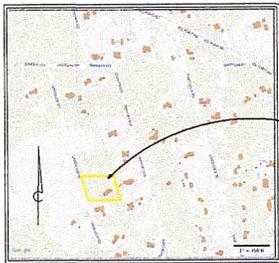
Property ID 39 48
Location 16 GREENLEAF RD
Owner ROGERS DEBORAH B



**MAP FOR REFERENCE ONLY
 NOT A LEGAL DOCUMENT**

Town and County of Nantucket, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Parcels updated December, 2014
 Properties updated January, 2015



1 LOCUS PLAN
A-1 NTS

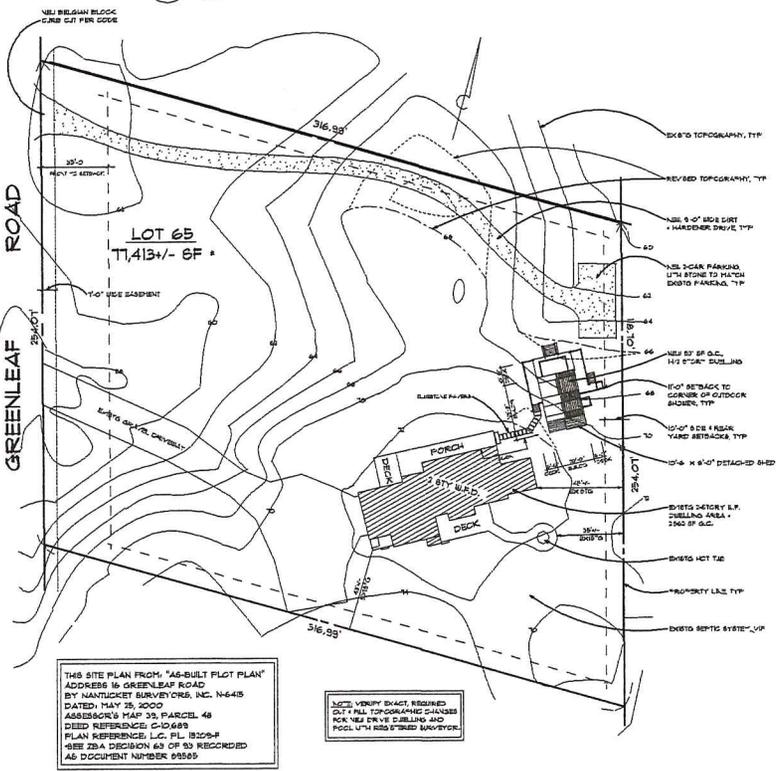
ZONE: LUG-2 (LOT OF RECORD)

	Req'd./Allowed	Existing	Proposed
MIN LOT SIZE	80,000 SF	11,413 SF	11,413 SF
MIN FRONTAGE	150 FT	254.01 FT	254.01 FT
FRONT YD SETBACK	35 FT	115 FT	115 FT
SIDE/REAR SETBACKS	10 FT	35 FT	11 FT
GROUND COVER RATIO	4%	3.31%	3.93 %
1ST FLOOR AREA	3,096 SF	2,562 SF	3,093 SF
2ND FLOOR AREA	3,096 SF	VERIFY	2,550 SF
HEIGHT ABOVE GRADE	30 FT	23 FT	23 FT
OFF-STREET PARKING	2 SPACES	4 SPACES	4 SPACES

3 ZONING ANALYSIS
A-1 ASSESSORS MAP 59, PARCEL 48 DEED REFERENCE: C-10-689 PLAN REFERENCE: L.C. PL. 1509-F *SEE ZBA DECISION 63 OF 93 RECORDED AS DOCUMENT NUMBER 65585

Notes: All Windows Are "Anderson", A-Series, Full Divided Lights (FDL), With 3/4" Fiberglass Inlaid, Impact Resistant, Rated DP-50, Tilt/Blind, With Full Screens Of "High Transparency", Stainless Steel, Exteriors Finished With Manufacturer's White, Interior Finish Of Natural Pine With Finished Paint. Spacer Bars. All Hardware Is Per Written Specs. Note: Head heights of windows vary. See Elevations & Building Sections. Verify All Egress Heights, Both Floors, With Designer In Field. Any window within 18" of floor or seat receives tempered glass.

- 4 GENERAL NOTES
- ALL WORK SHALL CONFORM TO ALL STATE & LOCAL CODES.
 - THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD.
 - IF ANY WORK IS UNCLEAR OR AMBIGUOUS, CONTACT THE DESIGNER BEFORE PROCEEDING WITH THAT ASPECT OF THE WORK.
 - WORK INCLUDED IS ALL WORK ON THE DRAWINGS AND IN THE SPECIFICATIONS.
 - WORK NOT INCLUDED IS NOTED "NOT IN CONTRACT" OR "N.I.C."
 - THE OWNER IS RESPONSIBLE FOR OBTAINING HDC, Z.B.A., PLANNING BOARD APPROVALS & BLDG. PERMITS.
 - CONTRACTOR IS RESPONSIBLE FOR SECURING ALL ADD'L PERMITS & APPROVALS REQUIRED FOR CONSTRUCTION.
 - ALL NEW DIMENSIONS ARE TO ROUGH FRAMING UNLESS NOTED OTHERWISE. ALL EXISTING WALLS ARE DIMENSIONED TO FINISHES.
 - EACH SUBCONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH THE WORK OF OTHER SUB-CONTRACTORS.
 - DO NOT SCALE DRAWINGS.
 - THE DRAWINGS HAVE BEEN COMPILED FROM THE BEST AVAILABLE INFORMATION & ARE NOT INTENDED TO LIMIT THE SCOPE OF WORK. THE CONTRACTOR MAY ENCOUNTER HIDDEN OR UNCOVERED CONDITIONS NOT SHOWN IN THIS CONTRACT SET. IT WILL BE ASSUMED THAT THE CONTRACTOR HAS INSPECTED THE SITE PRIOR TO BIDDING & VERIFIED THE INFORMATION CONTAINED WITHIN.



THIS SITE PLAN FROM "AS-BUILT PLOT PLAN" ADDRESS 16 GREENLEAF ROAD BY NANTUCKET SURVEYORS, INC. N-648 DATED: MAY 15, 2000 ASSESSORS MAP 59, PARCEL 48 DEED REFERENCE: C-10-689 PLAN REFERENCE: L.C. PL. 1509-F *SEE ZBA DECISION 63 OF 93 RECORDED AS DOCUMENT NUMBER 65585

NOTE: VERIFY EXACT REQUIRED CUT/FILL TOPOGRAPHY CHANGES FOR NEW DRIVE DRAINAGE AND POOL WITH RESPECTED SURVEYOR

2 SITE PLAN
A-1 SCALE: 1" = 30' - 0"

5 WINDOW SCHEDULE

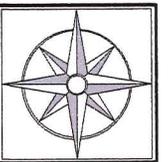
No.	MFG.	SERIES	MODEL #	TYPE	SASH DIM.	R.O. DIM.	LTS.	JAMB	MATERIAL	REMARKS
1	ANDERSEN	A-SERIES	ADH1820	FIXED	1'-11/4"x1'-11/4"	1'-6" x 2'-0"	4	LT	VIF	FIBREX
2	ANDERSEN	A-SERIES	ADH220	D. HUNG	1'-11/4"x4'-11/4"	2'-0" x 5'-0"	4/4	VIF	FIBREX	
3	ANDERSEN	A-SERIES	ADH2650	D. HUNG	2'-1/4"x4'-11/4"	2'-8" x 5'-0"	6/6	VIF	FIBREX	
4	ANDERSEN	A-SERIES	ADH3650	D. HUNG	2'-5-1/4"x4'-11/4"	2'-6" x 5'-0"	6/6	VIF	FIBREX	
5	ANDERSEN	A-SERIES	ADH440	D. HUNG	2'-3-1/4"x3'-11/4"	2'-4" x 4'-0"	6/6	VIF	FIBREX	NOTE: KITCHEN STOOLS MEET COUNTER
6	ANDERSEN	A-SERIES	ADH435	D. HUNG	2'-3-1/4"x3'-11/4"	2'-4" x 3'-8"	6/6	VIF	FIBREX	

5 WINDOW SCHEDULE
A-1

6 DOOR SCHEDULE

No.	MFG.	SERIES	MODEL #	TYPE	DOOR DIM.	R.O. DIM.	LTS.	JAMB	MATERIAL	REMARKS
A	CUSTOM	-	-	BATTEN	3'-0" x 6'-8"	AS REQ'D.	-	VIF	CEDAR	NOTE: CUSTOM CEDAR BATTEN DOOR
B	CUSTOM	-	-	BATTEN	2'-4" x 6'-8"	AS REQ'D.	-	VIF	CEDAR	NOTE: CUSTOM CEDAR BATTEN DOOR
C	ANDERSEN	A-SERIES	FWD031611	FRENCH	5'-0-1/8"x6'-10-3/8"	3'-1"x6'-11"	15	VIF	FIBREX	OUTSWING FRENCH DOORS WITH SCREEN
D	ANDERSEN	A-SERIES	FWD05468	FRENCH	5'-3-11/4"x6'-10-3/8"	5'-4"x6'-11"	15	VIF	FIBREX	CUSTOM DOUB. SLID'G FRENCH DOORS
E	ANDERSEN	A-SERIES	FWD129611	FRENCH	2'-8-1/8"x6'-10-3/8"	2'-8"x6'-11"	15	VIF	FIBREX	INSWING FRENCH DOORS WITH SCREEN
F	ANDERSEN	A-SERIES	FWD140611	FRENCH	3'-1-1/4"x6'-10-3/8"	4'-0"x6'-11"	10	VIF	FIBREX	INSWING FRENCH DOORS WITH SCREEN

6 DOOR SCHEDULE
A-1



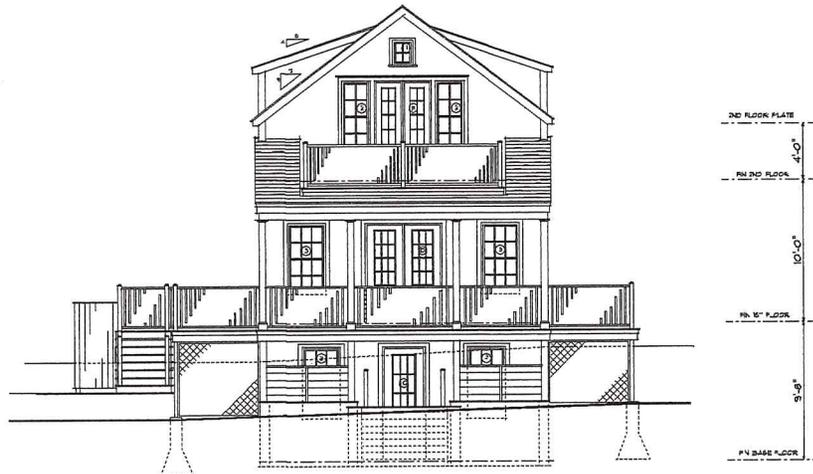
McMULLEN & ASSOCIATES
~ NANTUCKET ~
508-228-5384

NEW SECOND DWELLING FOR:
THE ROGERS RESIDENCE
16 GREENLEAF ROAD
NANTUCKET

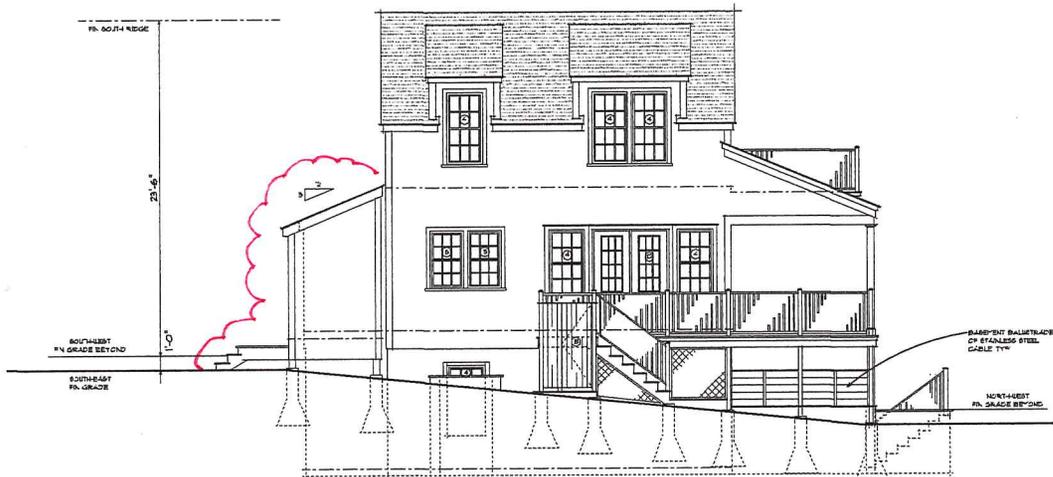
Issues & Revisions

No.	DATE	REVISION TO
1	5/26/16	ISSUE TO - 605

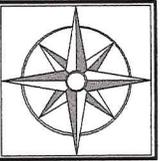
LOCUS & SITE PLAN
ZONING ANALYSIS
SCHEDULES
A-1



1 NORTH ELEVATION
 A-6 1/4" = 1' - 0"



2 EAST ELEVATION
 A-6 1/4" = 1' - 0"



McMULLEN
 & ASSOCIATES
 ~ NANTUCKET ~
 508-228-5984

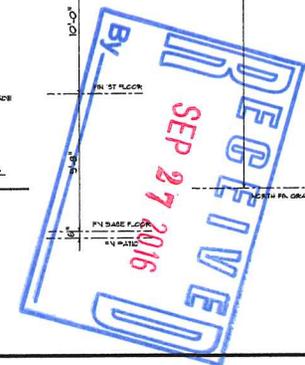
NEW SECOND DWELLING FOR:
 THE ROGERS RESIDENCE
 16 GREENLEAF ROAD
 NANTUCKET

Issues & Revisions

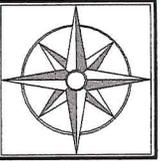
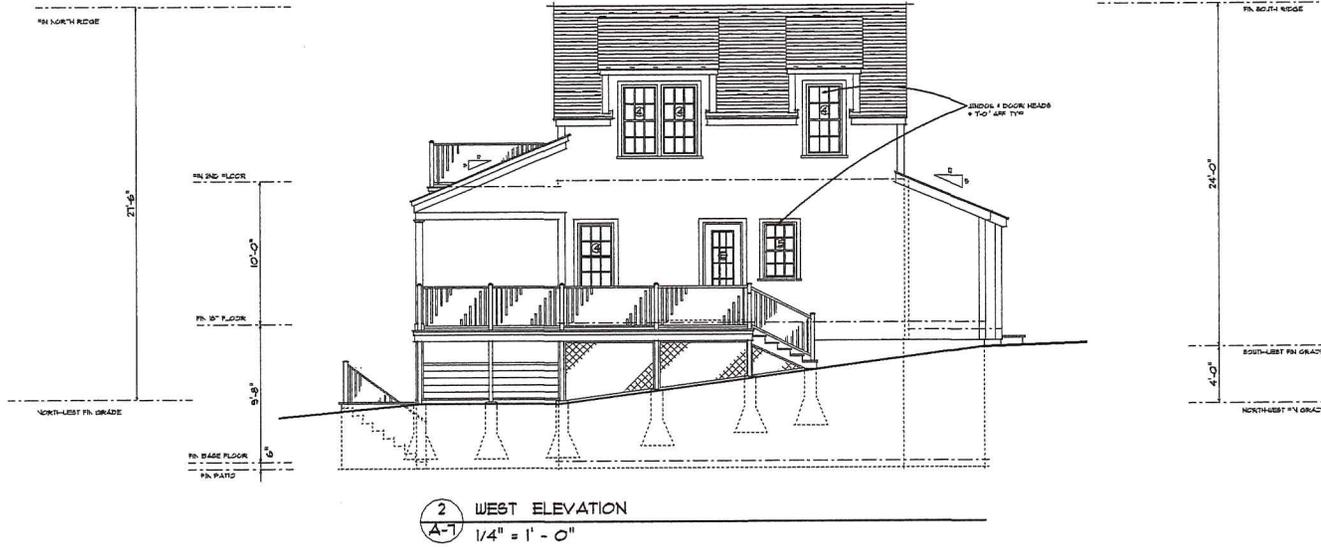
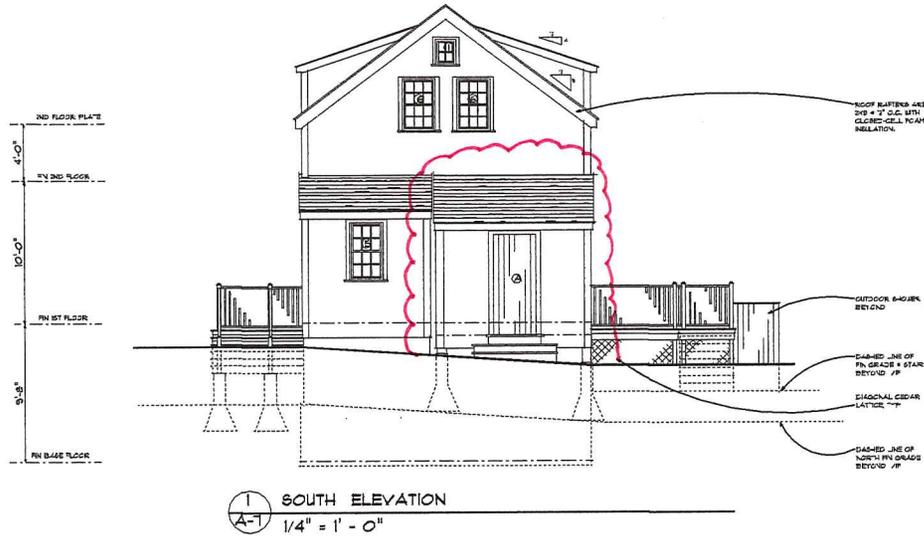
NO.	DATE	REVISION

NORTH ELEVATION
 EAST ELEVATION

	A-6
--	-----



RECEIVED
 BY
 SEP 27 2016



McMULLEN
 & ASSOCIATES
 ~ NANTUCKET ~
 508-228-5984

NEW SECOND DWELLING FOR:
 THE ROGERS RESIDENCE
 16 GREENLEAF ROAD
 NANTUCKET

Issues & Revisions

NO.	DATE	REVISION

SOUTH ELEVATION
 WEST ELEVATION

A-1

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 59.3 PARCEL N°: 108
 Street & Number of Proposed Work: 17 COLUMBUS AVE
 Owner of record: EDMUND CARPENTER
 Mailing Address: 17 COLUMBUS AVE
NANTUCKET, MA, 02554
 Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: _____
 Mailing Address: _____
 Contact Phone #: _____ E-mail: _____

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
 Must be acted on by: _____
 Extended to: _____
 Approved: _____ Disapproved: _____
 Chairman: _____
 Member: _____
 Member: _____
 Member: _____
 Member: _____
 Member: _____
 Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Landscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District _____) Roof Other _____
 Size of Structure or Addition: Length: 25' Sq. Footage 1st floor: 560 Decks/Patio: Size: _____ 1st floor 2nd floor
 Width: 22' Sq. footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
 Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North 6" ± South 6" ± East 6" ± West 6" ±
 Height of ridge above final finish grade: North 20' South 28' East 24' West 24'

Additional Remarks

Historic Name: _____
 Original Date: _____
 Original Builder: _____
 Is there an HDC survey form for this building attached? Yes N/A

REVISIONS*

1. East Elevation
2. South Elevation
3. West Elevation
4. North Elevation

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 8" Block Block Parged Brick (type) _____ Poured Concrete Piers
 Masonry Chimney: Block Parged Brick (type) _____ Other _____
 Roof Pitch: Main Mass 5/12 Secondary Mass 1/12 Dormer 1/12 Other _____
 Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) MATCH EX.

Fence: Height: _____
 Type: _____
 Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
 Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size):

Sidewall: White cedar shingles Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____

B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia MIE Rake MIE Soffit (Overhang) MIE Corner boards MIE Frieze _____

Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square _____

Windows*: Double Hung Casement All Wood Other _____

True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____

Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways _____ Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

COLORS

Sidewall NATURAL Clapboard (if applicable) N/A Roof MATCH EX
 Trim MATCH EX Sash MATCH EX Doors MATCH EX
 Deck NATURAL Foundation NATURAL Fence _____ Shutters _____

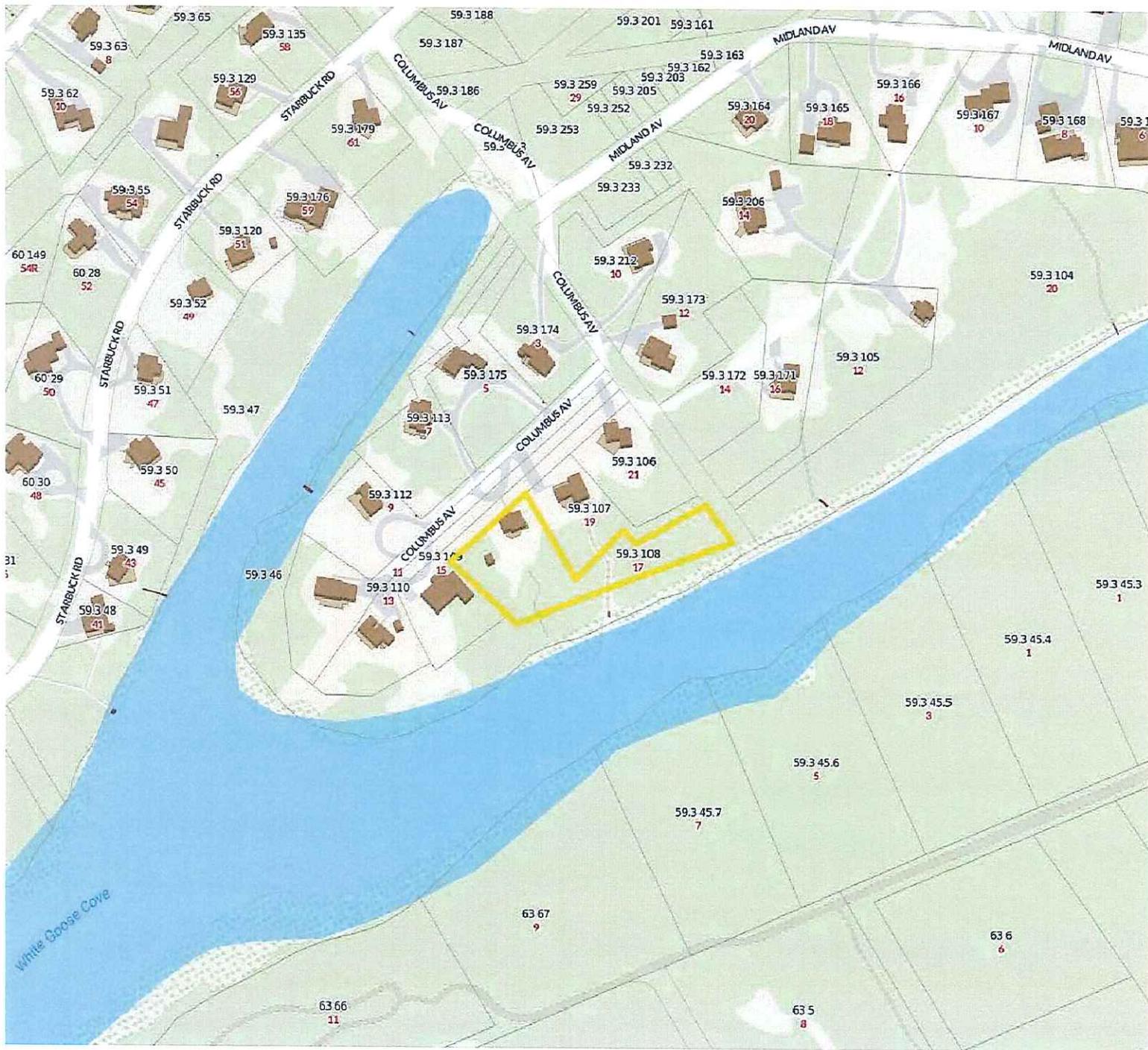
* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 09.28.16

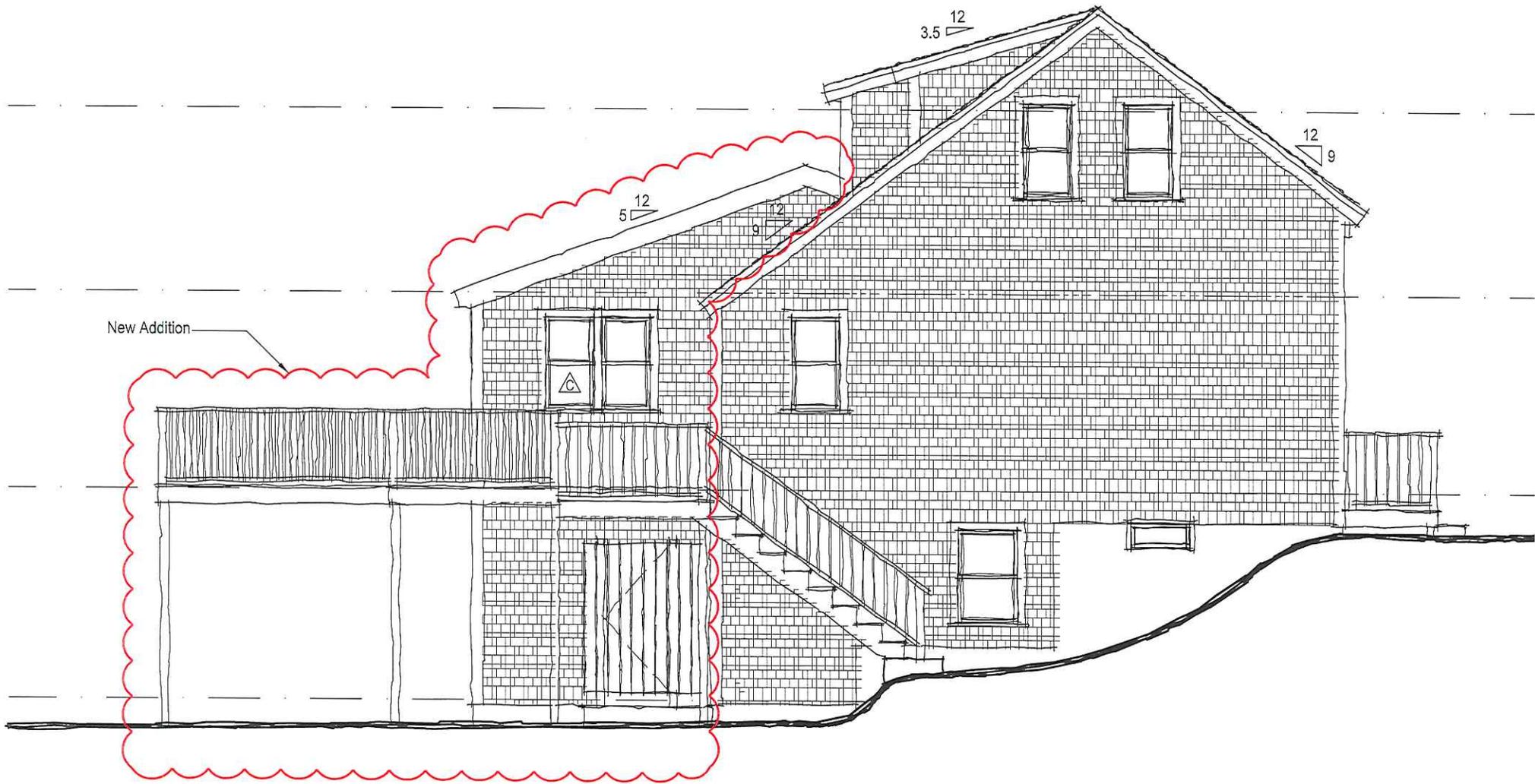
Signature of owner of record _____

Signed under penalties of perjury

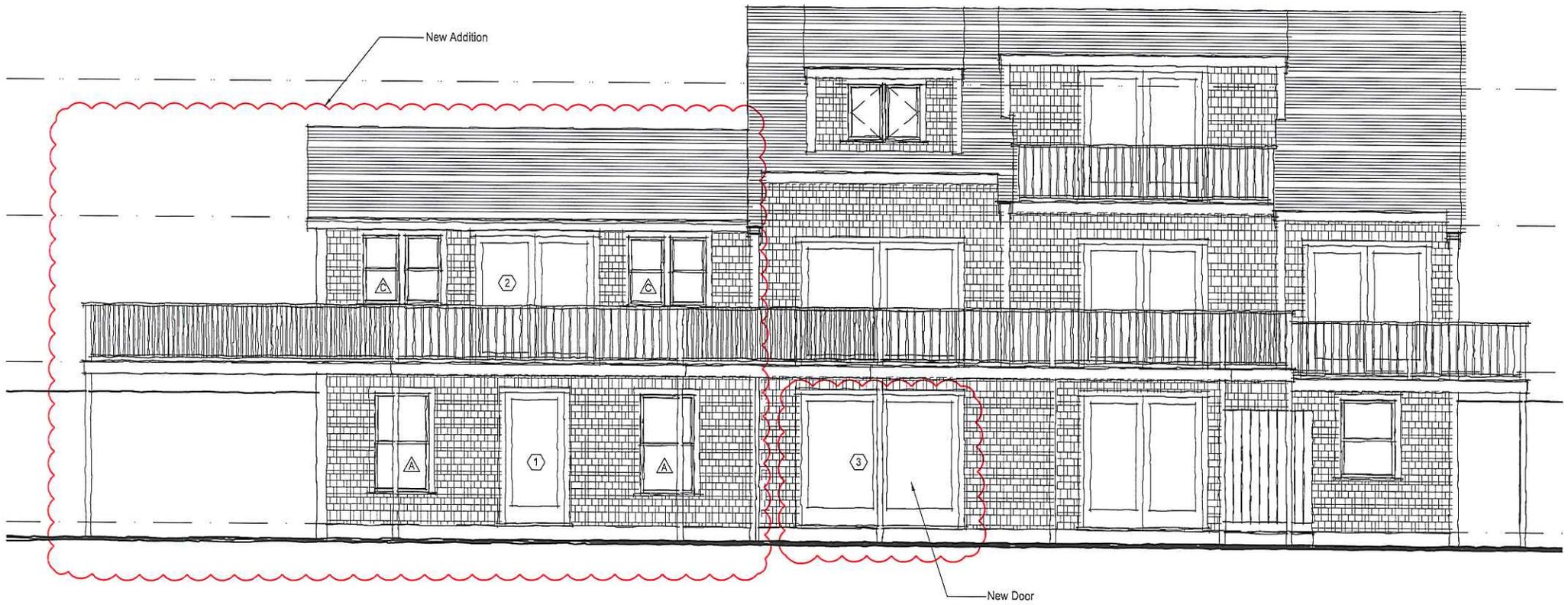




1 Proposed North Elevation
1/4" = 1'-0"

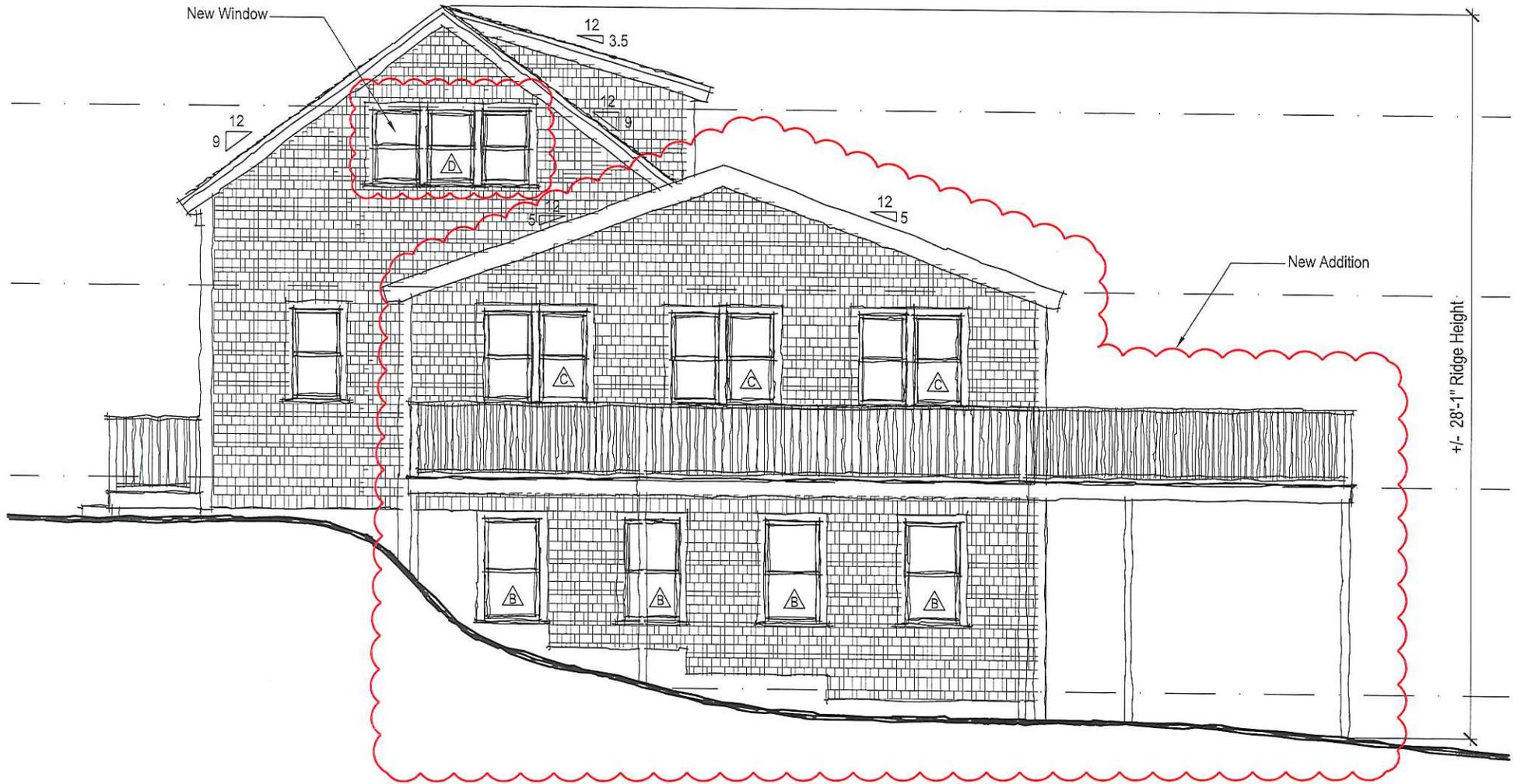


3 Proposed East Elevation
1/4"=1'-0"



Proposed South Elevation

1/4" = 1'-0"



3 Proposed West Elevation
1/4" = 1'-0"

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 42.4.1 PARCEL N°: 10
 Street & Number of Proposed Work: 30 WALTON STREET
 Owner of record: VICTOR AND DENISE NERI
 Mailing Address: PO BOX 2294
NANTUCKET MA 02584
 Contact Phone #: 508-228-5543 E-mail: _____

AGENT INFORMATION (if applicable)

Name: AGENCY CONSTRUCTION
 Mailing Address: 12 ARCADE DR.
NANTUCKET MA 02584
 Contact Phone #: 508-228-5543 E-mail: magdalena@nantucketdevelopment.com

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
 Must be acted on by: _____
 Extended to: _____
 Approved: _____ Disapproved: _____
 Chairman: _____
 Member: _____
 Member: _____
 Member: _____
 Member: _____
 Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
- Color Change Fence Gate Landscaping Move Building Demolition Revisions to previous Cert. No. _____
- Pool (Zoning District _____) Roof Other _____

Size of Structure or Addition: Length: _____ Sq. Footage 1st floor: 1224 Decks/Patio: Size: 2056 1st floor 2nd floor
 Width: _____ Sq. Footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
 Sq. Footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
 Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks

Historic Name: _____
 Original Date: 1960 (describe) REVISIONS* 1. East Elevation
2. South Elevation
3. West Elevation
4. North Elevation
 Original Builder: _____
 Is there an HDC survey form for this building attached? Yes N/A

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers
 Masonry Chimney: Block Parged Brick (type) _____ Other _____
 Roof Pitch: Main Mass _____/12 Secondary Mass _____/12 Dormer _____/12 Other _____
 Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____

Fence: Height: _____
 Type: _____
 Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
 Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size): _____

Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____

B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____

Window Casing _____ Door Frame _____ Columns / Posts: Round _____ Square _____

Windows*: Double Hung Casement All Wood Other _____

True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____

Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways _____ Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

COLORS

Sidewall _____ Clapboard (if applicable) _____ Roof _____
 Trim _____ Sash _____ Doors _____
 Deck _____ Foundation _____ Fence _____ Shutters _____

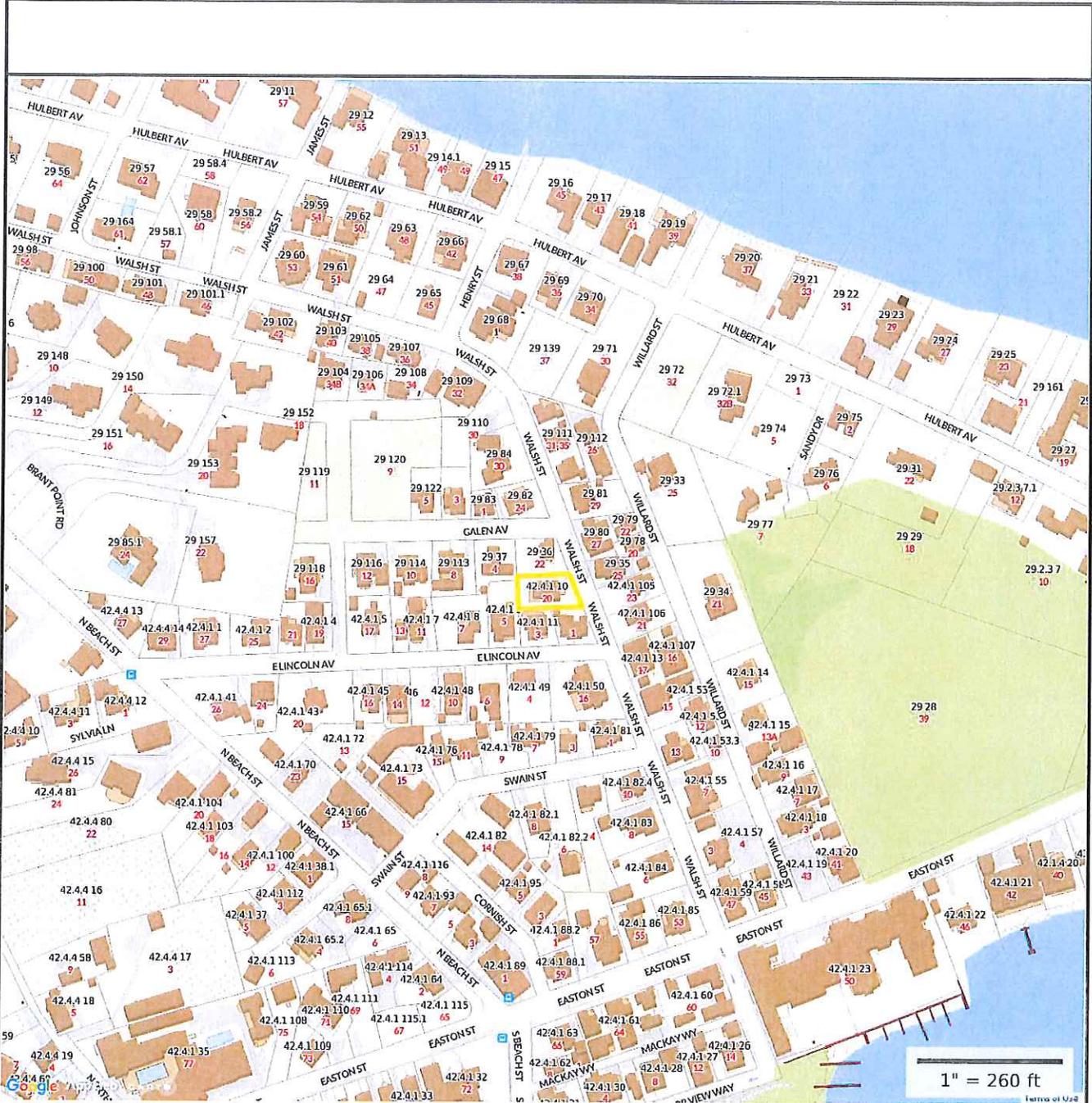
* Attach manufacturer's color samples if color is not from HDC approval list.

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Date 9/20/10

Signature of owner of record _____

Signed under penalties of perjury



Property Information	
Property ID	42.4.1.10
Location	20 WALSH ST
Owner	STRATTON LAWRENCE & ELSA TRS



**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**

Town and County of Nantucket, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Parcels updated December, 2014
Properties updated January, 2015

1" = 260 ft

Terms of Use

NORTH



EAST



WEST ~~EAST~~



SOUTH



Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

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PROPERTY DESCRIPTION

TAX MAP N°: 68 PARCEL N°: 246
Street & Number of Proposed Work: 21 OLD SOUTH RD
Owner of record: JOHN READY
Mailing Address: PO BOX 2165
EDGARTOWN, MA 02538
Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: EMERITUS
Mailing Address: 8 WILLIAMS W
NANTUCKET, MA
Contact Phone #: 325-4995 E-mail: _____

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
Must be acted on by: _____
Extended to: _____
Approved: _____ Disapproved: _____
Chairman: _____
Member: _____
Member: _____
Member: _____
Member: _____
Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Landscaping Move Building Demolition Revisions to previous Cert. No. 66375
 Pool (Zoning District _____) Roof Other MODIFIED FENCE & ADDED/RELOCATED MECH. EXHAUST.
Size of Structure or Addition: Length: NO CHANGE Sq. Footage 1st floor: NO CHANGE Decks/Patio: Size: _____ 1st floor 2nd floor
Width: _____ Sq. footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North NO CHANGE South _____ East _____ West _____
Height of ridge above final finish grade: North NO CHANGE South _____ East _____ West _____

Additional Remarks

Historic Name: _____
Original Date: _____
Original Builder: _____
Is there an HDC survey form for this building attached? Yes N/A
REVISIONS*
1. East Elevation MODIFIED LOCATION 6" HIGH WOOD FENCE FOR MECH. EQUIP.
2. South Elevation ADDED & RELOCATED MECHANICAL EXHAUST HOODS
3. West Elevation _____
4. North Elevation _____
*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) _____ Other _____
Roof Pitch: Main Mass _____/12 Secondary Mass _____/12 Dormer _____/12 Other _____
Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____
Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Gutters: Wood Aluminum Copper Leaders (material) _____
Leaders (material and size): _____
Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side _____
Trim: A. Wood Pine Redwood Cedar Other _____
B. Treatment Paint Natural to weather Other _____
C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____
Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square _____
Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____
Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____
Garage Door(s): Type _____ Material _____
Hardscape materials: Driveways _____ Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

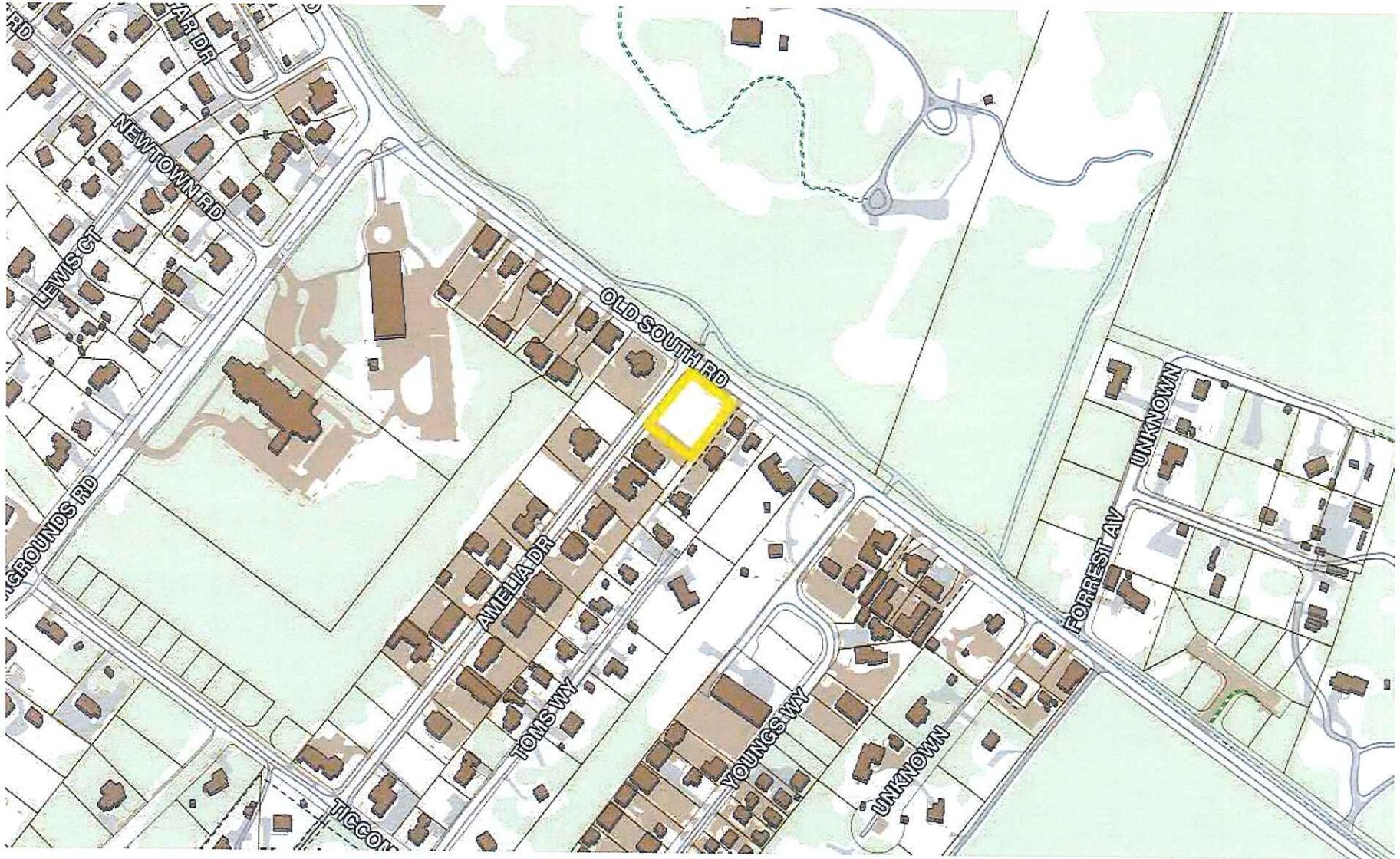
COLORS

Sidewall NO CHANGE Clapboard (if applicable) _____ Roof _____
Trim _____ Sash _____ Doors _____
Deck _____ Foundation _____ Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

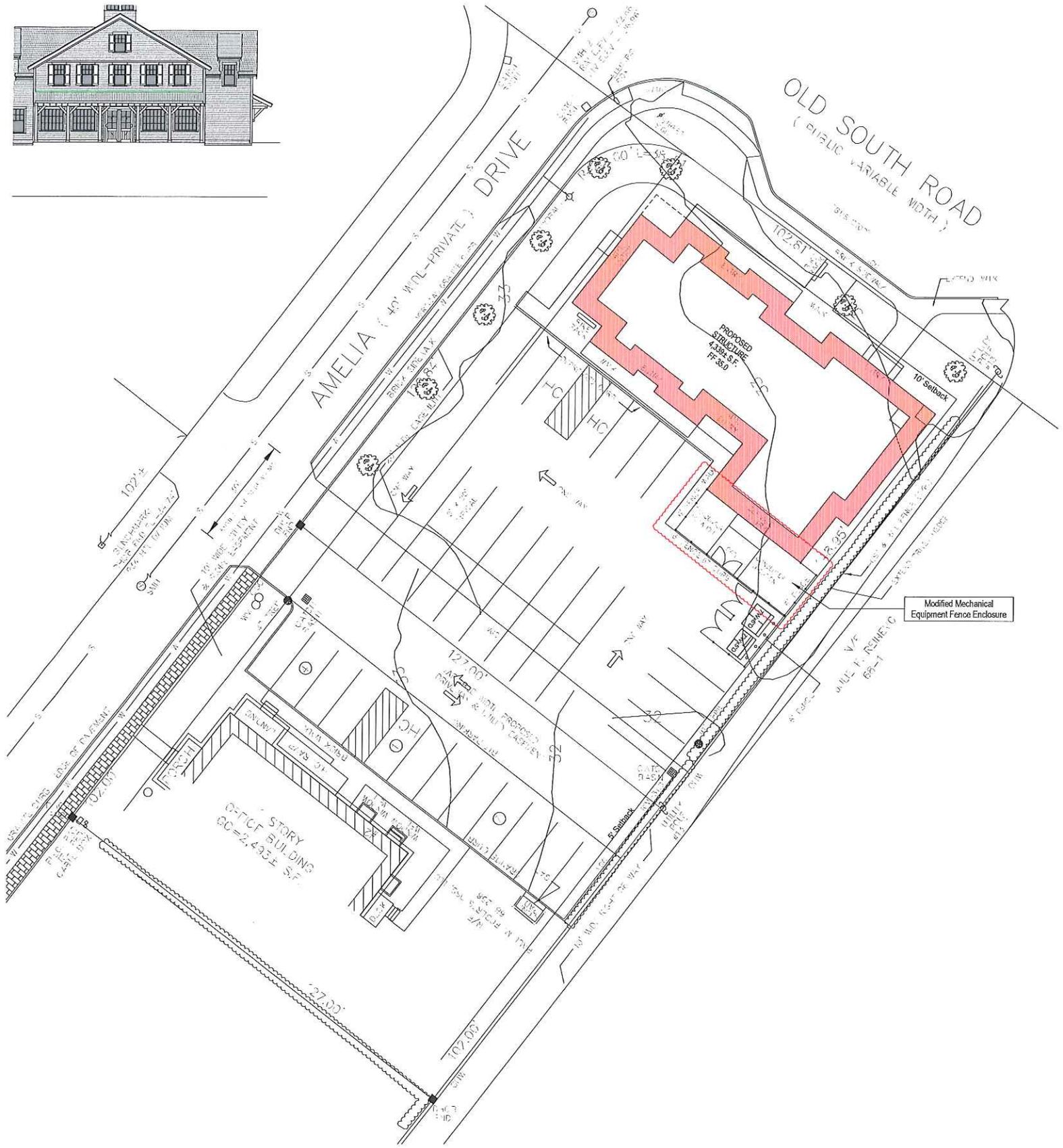
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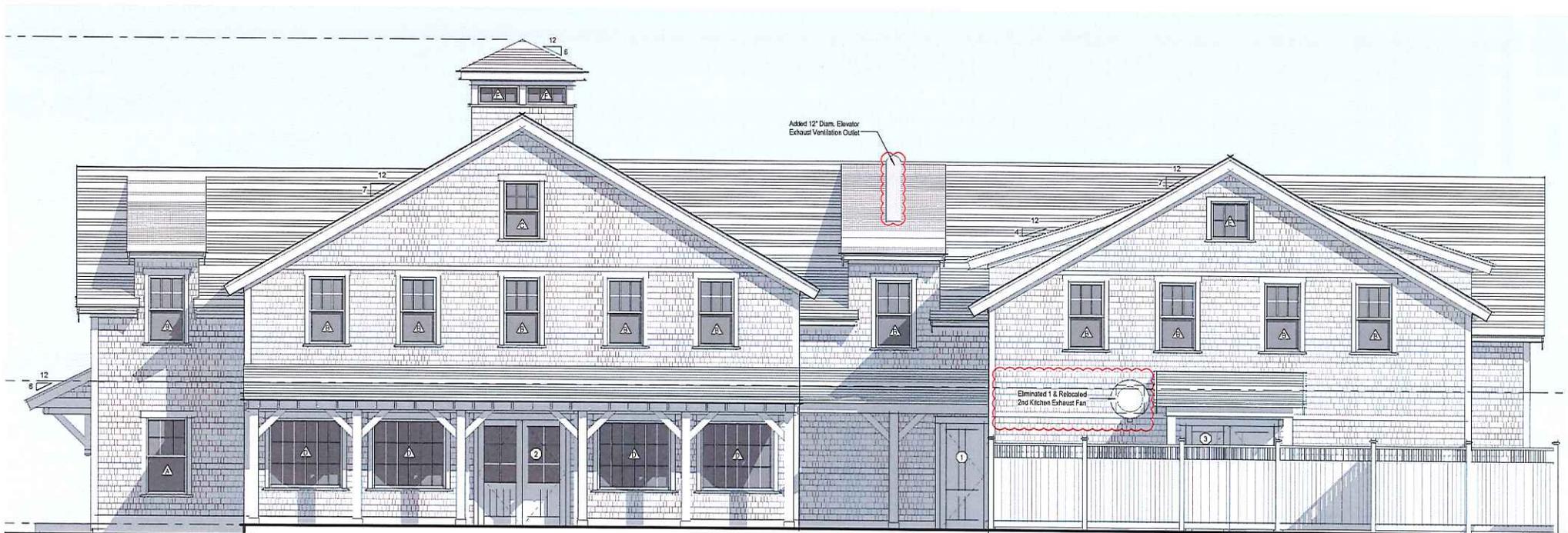
Date 9/28/16 Signature of owner of record _____ Signed under penalties of perjury



1 Locus Map

Not to Scale





Added 12" Diam. Elevator Exhaust Ventilation Outlet

Eliminated 1 & Rescaled 2nd Kitchen Exhaust Fan

12
6

12
7

12
6

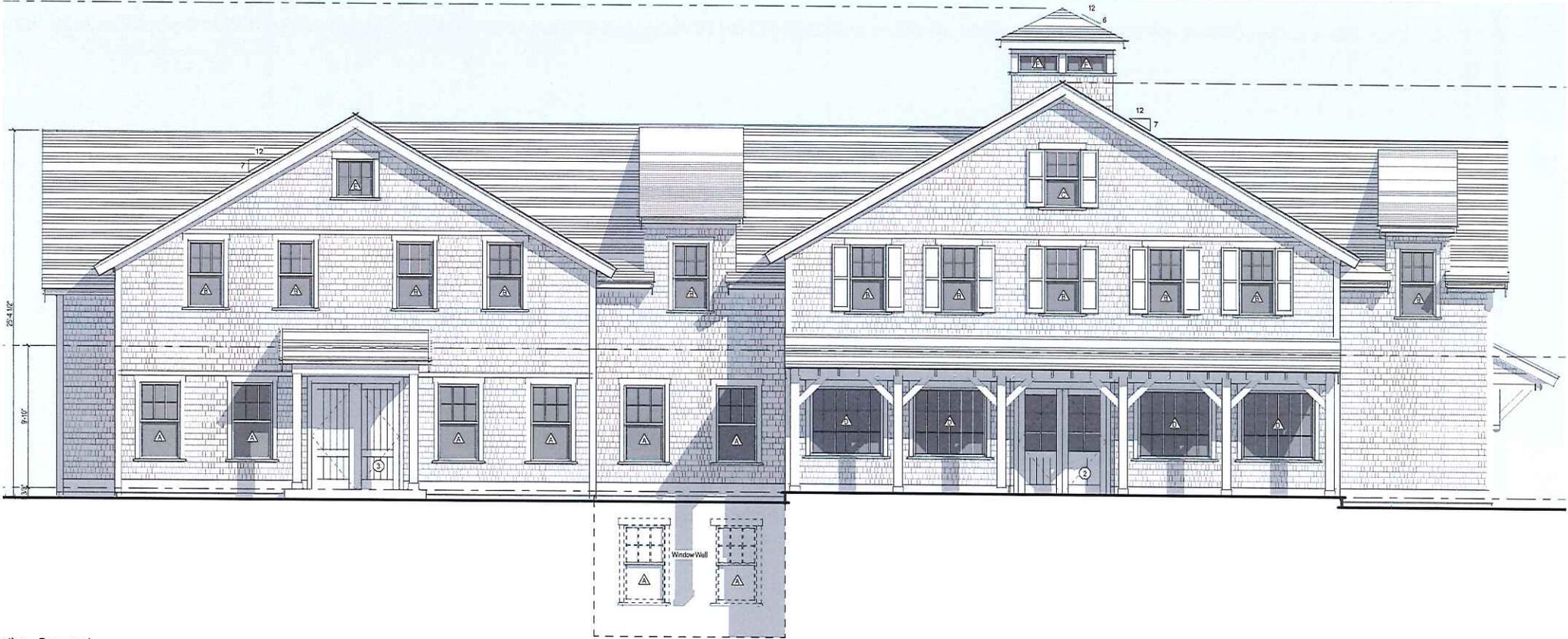
12
4

12
7

2

1

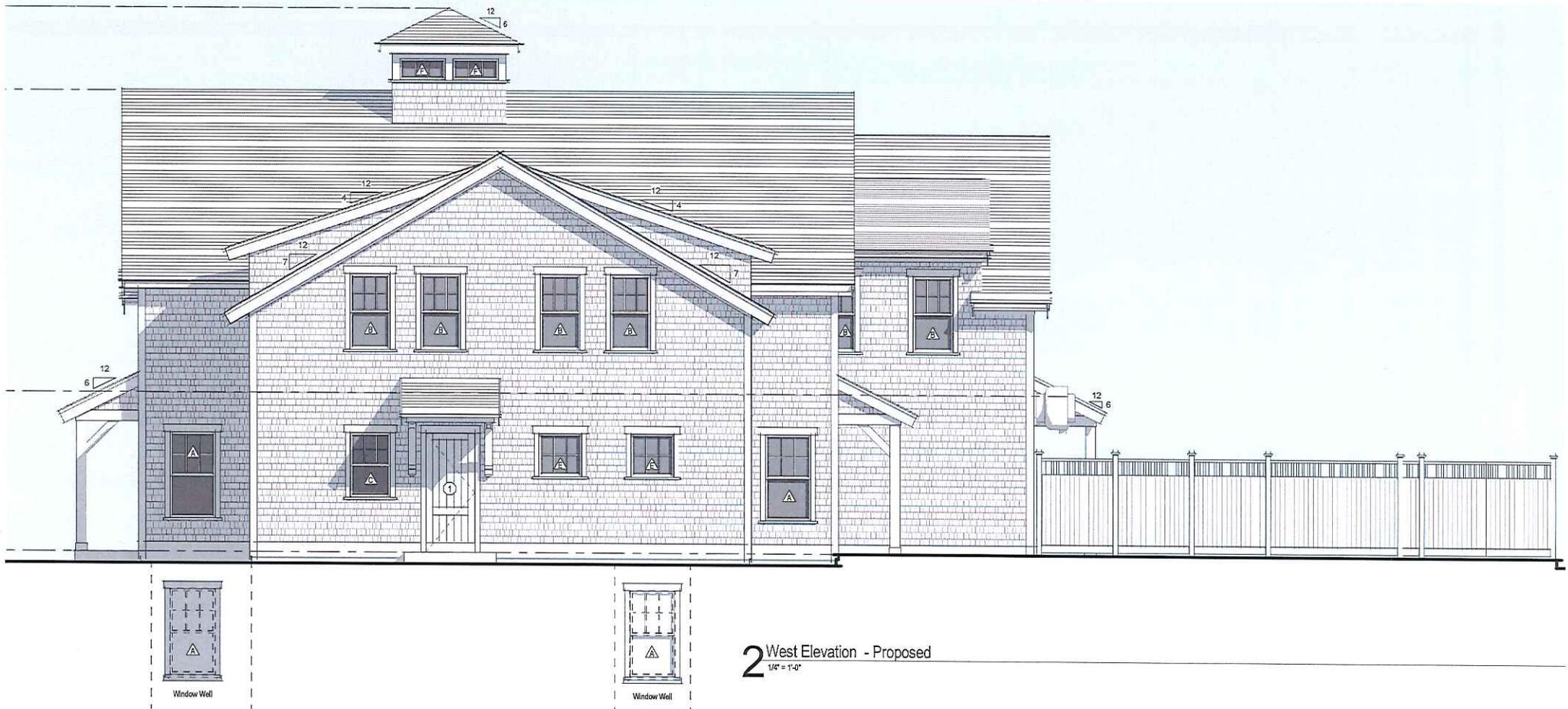
3



1500 - 000000



t Elevation - Proposed



2 West Elevation - Proposed
1/4" = 1'-0"

CERTIFICATE OF APPROPRIATENESS

for structural work.

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PROPERTY DESCRIPTION

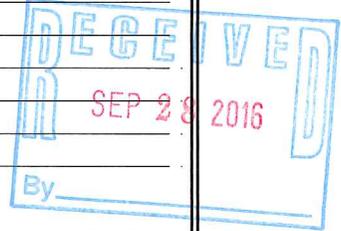
TAX MAP N°: 67 PARCEL N°: 513.5
Street & Number of Proposed Work: 24 Nanina Dr.
Owner of record: Dayton H. Thruall
Mailing Address: PO Box 75 Nantucket, MA 02554
Contact Phone #: (508) 221-4886 E-mail: dayton.erdhlaw.com

AGENT INFORMATION (if applicable)

Name: C/o Vaughan, Dale, Hunker &
Mailing Address: 2 Whalers Ln. Beaufort, MA
Contact Phone #: 228-4455 E-mail: Samu above

FOR OFFICE USE ONLY

Date application received: Fee Paid: \$
Must be acted on by:
Extended to:
Approved: Disapproved:
Chairman:
Member:
Member:
Member:
Member:
Notes - Comments - Restrictions - Conditions



DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
Color Change Fence Gate Landscaping Move Building Demolition Revisions to previous Cert. NA
Pool (Zoning District) Roof Other NA
Size of Structure or Addition: Length: 229 ft Sq. Footage 1st floor: NA Decks/Patio: Size: NA 1st floor 2nd floor
Width: NA Sq. Footage 2nd floor: NA Size: NA 1st floor 2nd floor
Sq. Footage 3rd floor: NA
Difference between existing grade and proposed finish grade: North NA South NA East NA West NA
Height of ridge above final finish grade: North NA South NA East NA West NA

Additional Remarks

Historic Name: NA
Original Date: NA
Original Builder:
Is there an HDC survey form for this building attached? Yes N/A

- REVISIONS* 1. East Elevation
2. South Elevation NA
3. West Elevation
4. North Elevation

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed NA Block Block Parged Brick (type) NA Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) NA Other NA
Roof Pitch: Main Mass NA/12 NA Secondary Mass NA/12 NA Dormer NA/12 NA Other NA
Roofing material: Asphalt 3-Tab Architectural
Wood (Type: Red Cedar, White Cedar, Shakes, etc.) NA
Skylights (flat only): Manufacturer NA Rough Opening NA Size NA Location NA
Gutters: Wood Aluminum Copper Leaders (material) NA
Leaders (material and size): NA
Sidewall: White cedar shingles NA Clapboard (exposure: NA inches) Front NA Side NA
Other NA
Trim: A. Wood Pine Redwood Cedar Other NA
B. Treatment Paint Natural to weather Other NA
C. Dimensions: Fascia NA Rake NA Soffit (Overhang) NA Corner boards NA Frieze NA
Window Casing NA Door Frame NA Columns/Posts: Round NA Square NA
Windows*: Double Hung Casement All Wood Other NA
True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer NA
Doors* (type and material): TDL SDL Front NA Rear NA Side NA
Garage Door(s): Type NA Material NA
Hardscape materials: Driveways NA Walkways NA Walls NA

Fence: Height: 6 ft
Type: Western Red cedar lattice Top
Length: 229 ft

* Note: Complete door and window schedules are required.

COLORS

Sidewall NA Clapboard (if applicable) Roof NA
Trim NA Sash NA Doors NA
Deck NA Foundation NA Fence CEDAR Shutters

* Attach manufacturer's color samples if color is not from HDC approval list.

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Date 9/28/16 Signature of owner of record Dayton Thruall Signed under penalties of perjury

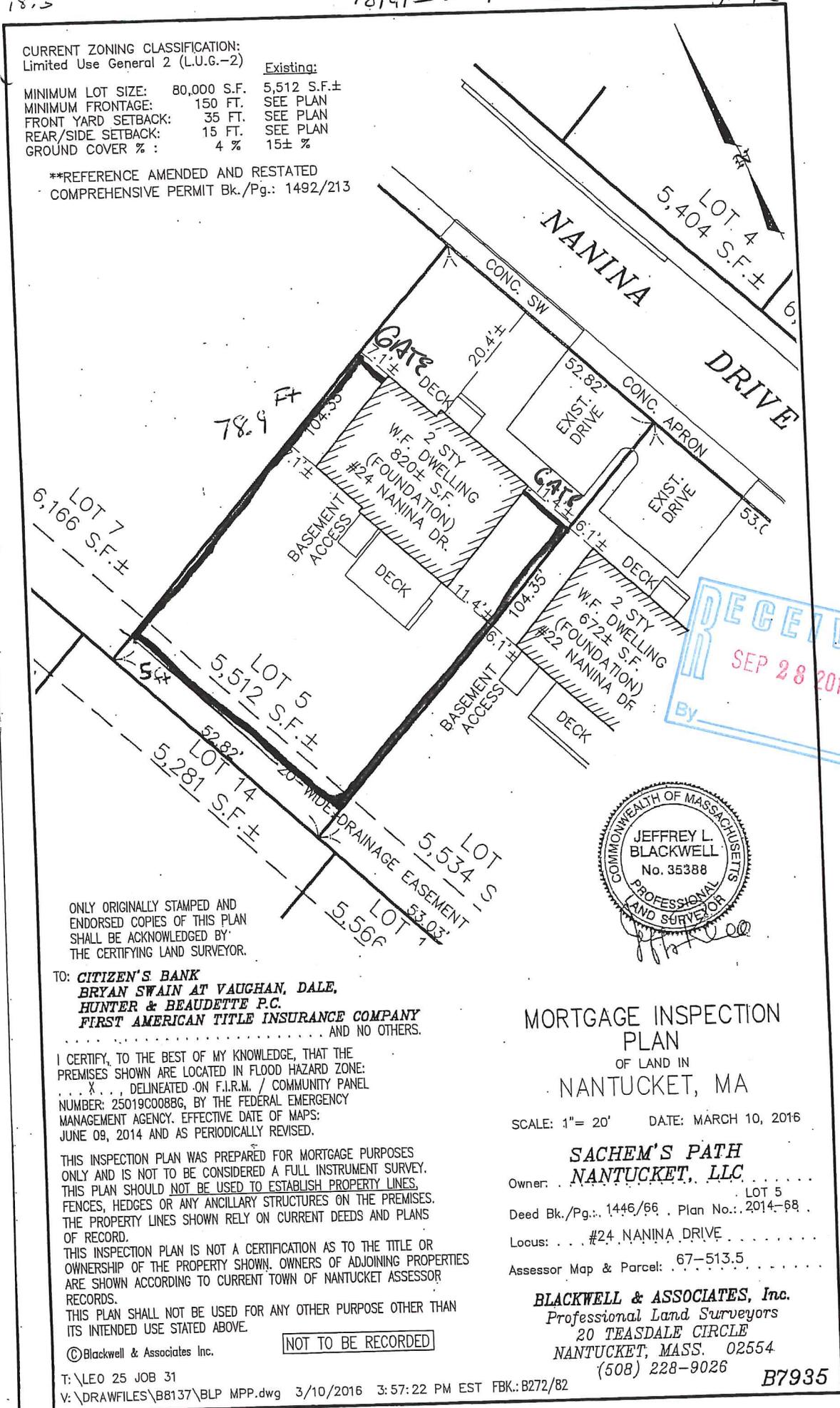
18.5
Keall
74 Nanina

Total = 229 ft of Fence length (Including 2 gates)

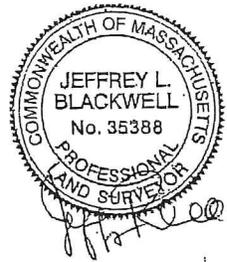
CURRENT ZONING CLASSIFICATION:
Limited Use General 2 (L.U.G.-2)

MINIMUM LOT SIZE:	80,000 S.F.	Existing:	5,512 S.F.±
MINIMUM FRONTAGE:	150 FT.	SEE PLAN	
FRONT YARD SETBACK:	35 FT.	SEE PLAN	
REAR/SIDE SETBACK:	15 FT.	SEE PLAN	
GROUND COVER % :	4 %	15± %	

**REFERENCE AMENDED AND RESTATED
COMPREHENSIVE PERMIT Bk./Pg.: 1492/213



RECEIVED
SEP 28 2016
BY



ONLY ORIGINALLY STAMPED AND
ENDORSED COPIES OF THIS PLAN
SHALL BE ACKNOWLEDGED BY
THE CERTIFYING LAND SURVEYOR.

TO: **CITIZEN'S BANK**
BRYAN SWAIN AT VAUGHAN, DALE,
HUNTER & BEAUDETTE P.C.
FIRST AMERICAN TITLE INSURANCE COMPANY
AND NO OTHERS.

I CERTIFY, TO THE BEST OF MY KNOWLEDGE, THAT THE
PREMISES SHOWN ARE LOCATED IN FLOOD HAZARD ZONE:
... X ... DELINEATED ON F.I.R.M. / COMMUNITY PANEL
NUMBER: 25019C0088G, BY THE FEDERAL EMERGENCY
MANAGEMENT AGENCY. EFFECTIVE DATE OF MAPS:
JUNE 09, 2014 AND AS PERIODICALLY REVISED.

THIS INSPECTION PLAN WAS PREPARED FOR MORTGAGE PURPOSES
ONLY AND IS NOT TO BE CONSIDERED A FULL INSTRUMENT SURVEY.
THIS PLAN SHOULD NOT BE USED TO ESTABLISH PROPERTY LINES,
FENCES, HEDGES OR ANY ANCILLARY STRUCTURES ON THE PREMISES.
THE PROPERTY LINES SHOWN RELY ON CURRENT DEEDS AND PLANS
OF RECORD.

THIS INSPECTION PLAN IS NOT A CERTIFICATION AS TO THE TITLE OR
OWNERSHIP OF THE PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES
ARE SHOWN ACCORDING TO CURRENT TOWN OF NANTUCKET ASSESSOR
RECORDS.

THIS PLAN SHALL NOT BE USED FOR ANY OTHER PURPOSE OTHER THAN
ITS INTENDED USE STATED ABOVE.

© Blackwell & Associates Inc.

NOT TO BE RECORDED

MORTGAGE INSPECTION
PLAN
OF LAND IN
NANTUCKET, MA

SCALE: 1" = 20' DATE: MARCH 10, 2016

SACHEM'S PATH
NANTUCKET, LLC
Owner:
Deed Bk./Pg.: 1446/66 . Plan No.: 2014-68 .
Locus: . . . #24 NANINA DRIVE
Assessor Map & Parcel: 67-513.5

BLACKWELL & ASSOCIATES, Inc.
Professional Land Surveyors
20 TEASDALE CIRCLE
NANTUCKET, MASS. 02554
(508) 228-9026

B7935

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

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PROPERTY DESCRIPTION

TAX MAP N°: 92-4 PARCEL N°: 252
 Street & Number of Proposed Work: 28 CUSTOM NEVER RD
 Owner of record: Baughman Richard TRUST
 Mailing Address: 28 CUSTOM NEVER RD
NANTUCKET MA.
 Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: NANTUCKET ARCHITECTURE GROUP
 Mailing Address: PO BOX 1814
NANTUCKET, MA
 Contact Phone #: 225-5631 E-mail: _____

FOR OFFICE USE ONLY	
Date application received: _____	Fee Paid: \$ _____
Must be acted on by: _____	
Extended to: _____	
Approved: _____	Disapproved: _____
Chairman: _____	
Member: _____	
Member: _____	
Member: _____	
Member: _____	
Notes - Comments - Restrictions - Conditions	

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Landscaping Move Building Demolition Revisions to previous Cert. No. 664/37
 Pool (Zoning District _____) Roof Other _____

Size of Structure or Addition: Length: _____ Sq. Footage 1st floor: _____ Decks/Patio: Size: _____ 1st floor 2nd floor
 Width: _____ Sq. Footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
 Sq. Footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
 Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks

Historic Name: _____ REVISIONS* 1. East Elevation CHANGE STAIR ACCESS REMOVE A PORTION OF FIRST FLOOR DECK.
 (describe) 2. South Elevation
 Original Date: _____ 3. West Elevation
 Original Builder: _____ 4. North Elevation CHANGE SQUIRREL LOCATIONS REMOVE DOOR WEST WALL WINDOW
 Is there an HDC survey form for this building attached? Yes N/A
 *Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers
 Masonry Chimney: Block Parged Brick (type) _____ Other _____
 Roof Pitch: Main Mass _____/12 Secondary Mass _____/12 Dormer _____/12 Other _____

Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____
 Fence: Height: _____
 Type: _____
 Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
 Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size):
 Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____
 B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____
 Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square _____

Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____
 Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways _____ Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

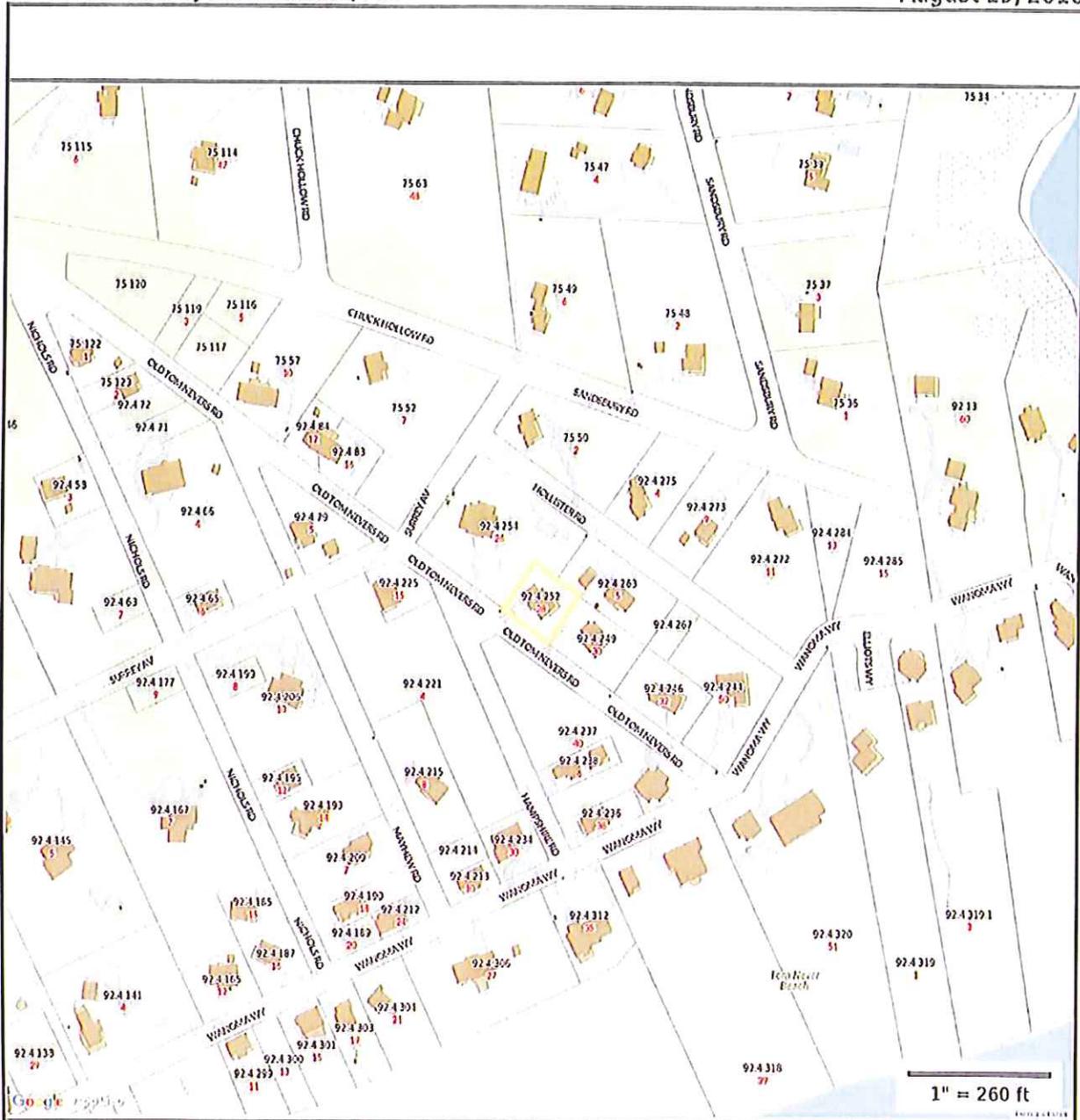
COLORS

Sidewall _____ Clapboard (if applicable) _____ Roof _____
 Trim _____ Sash _____ Doors _____
 Deck _____ Foundation _____ Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

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Date 1/23/16 Signature of owner of record [Signature] Signed under penalties of perjury



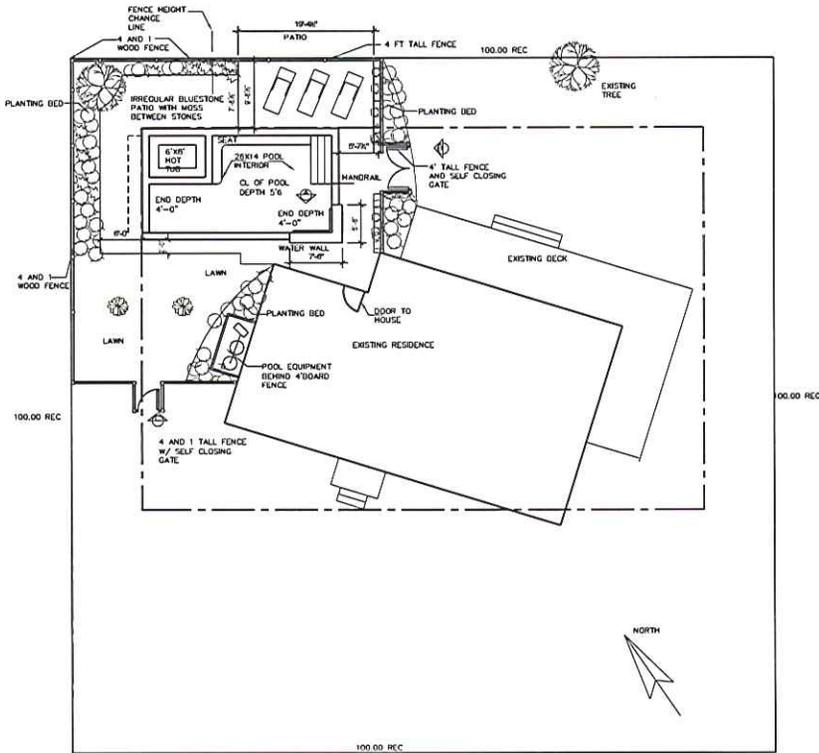
Property Information	
Property ID	92.4 252
Location	28 OLD TOM NEVERS RD
Owner	BOUGHRUM RICHARD L TRST ETAL



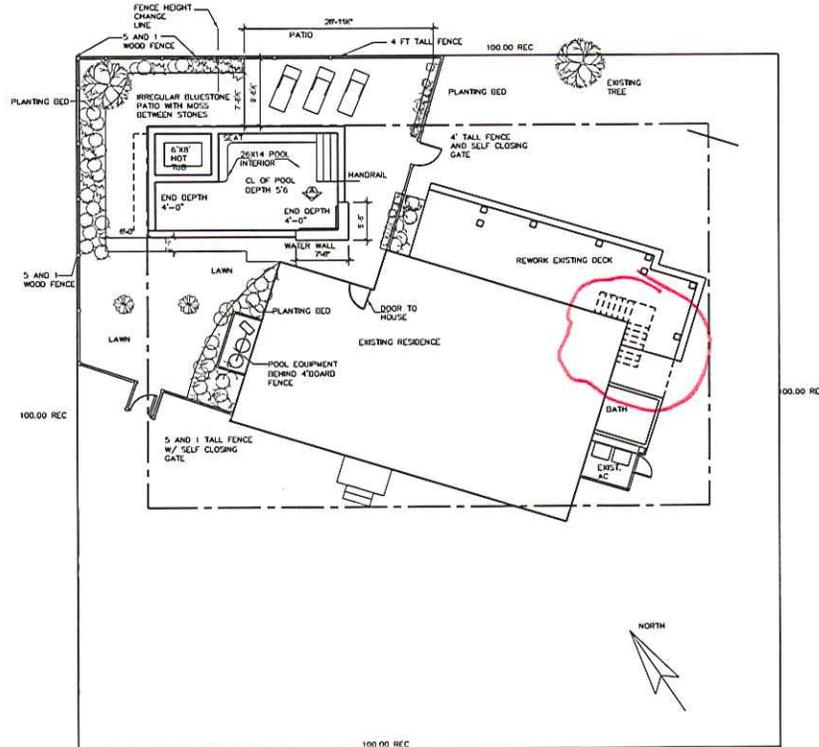
**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**

Town and County of Nantucket, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

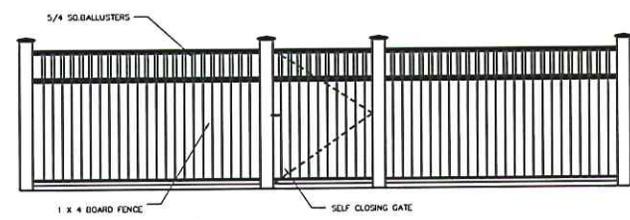
Parcels updated December, 2014
Properties updated January, 2015



A PREVIOUSLY APPROVED POOL PLAN Scale: 1/8"=1'-0"



A POOL PLAN PROPOSED REVISIONS Scale: 1/8"=1'-0"



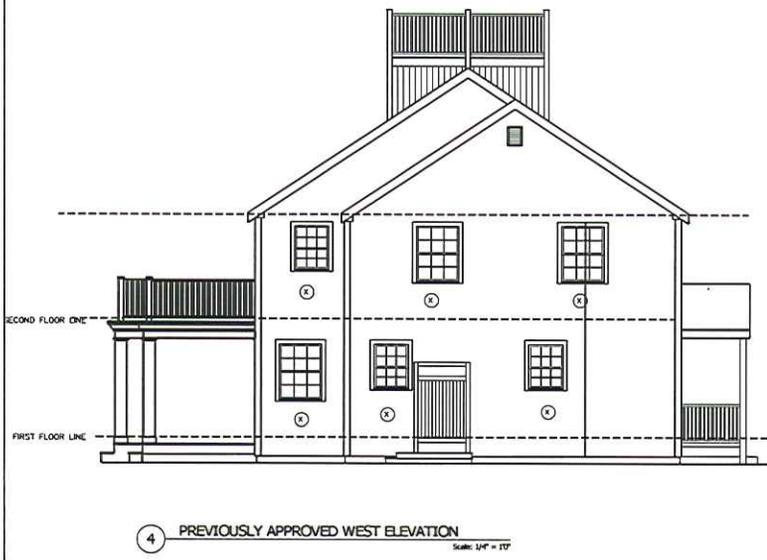
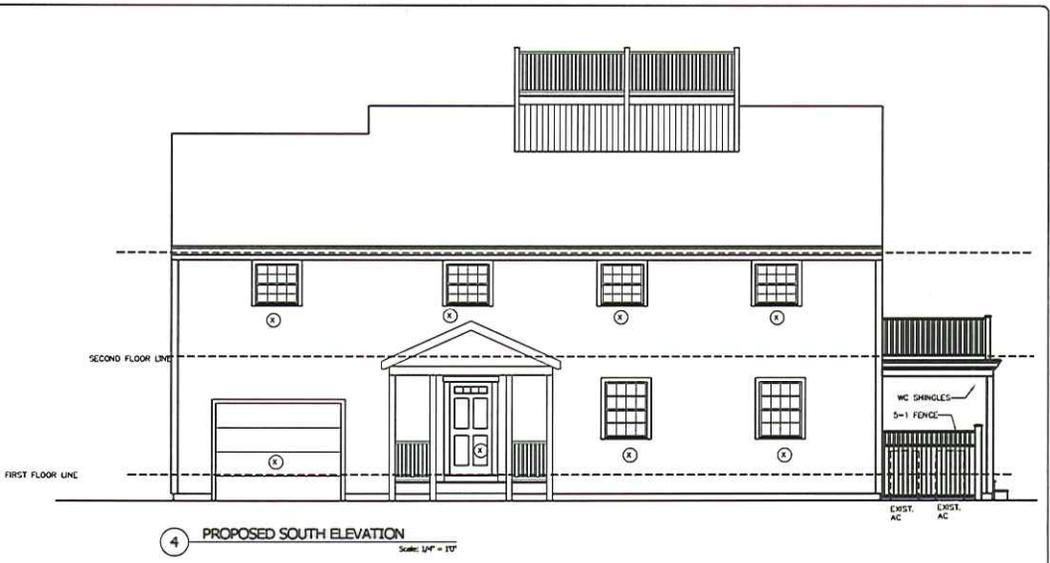
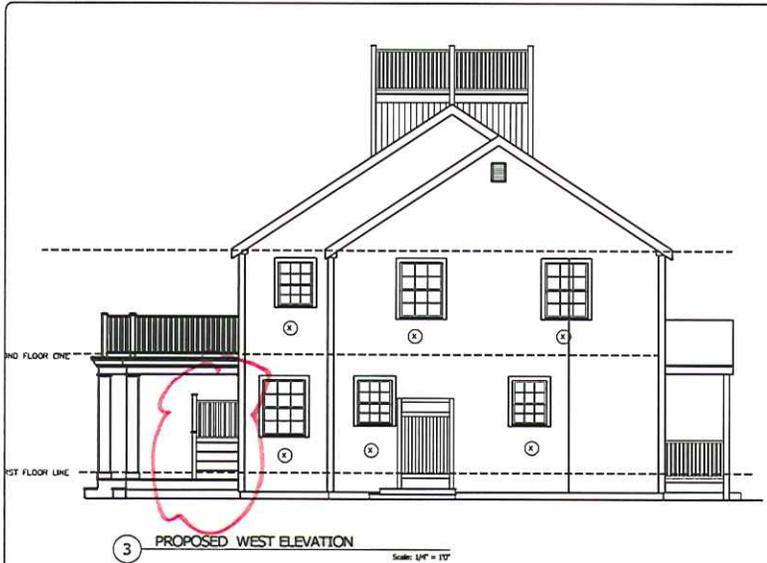
C ELEVATION OF 5 AND 1 FENCE Scale: 1/2"=1'-0"

NANTUCKET ARCHITECTURE GROUP LTD.
 POST OFFICE BOX 1814
 NANTUCKET, MASSACHUSETTS, 02554
 TELEPHONE 508.228.5631
 WWW.NANTUCKETARCHITECTURE.COM

RENOVATION AND ADDITION FOR:
 RICHARD BOUGHRUM
 28 OLD TOM NEVERS ROAD
 NANTUCKET, MA 02554

HDC: XX/XXXX
BIDDG. DEPT:
REVISIONS:
REVISIONS:
REVISIONS:
D/E:

Client number
 HDC1

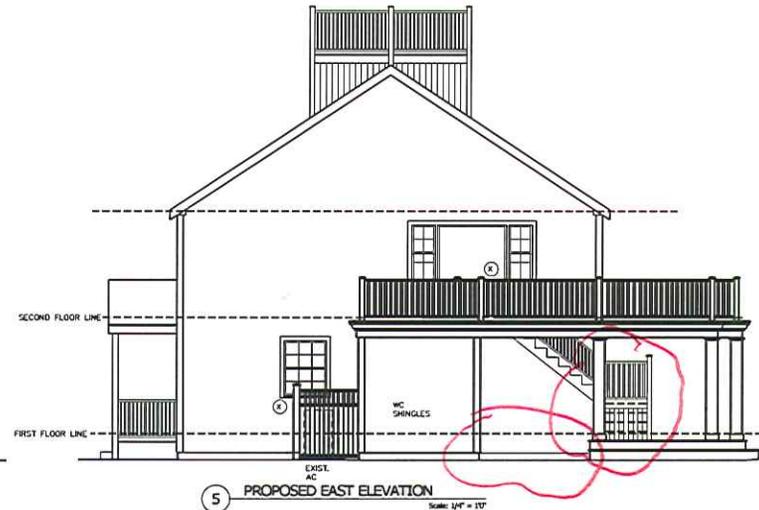


NANTUCKET ARCHITECTURE GROUP LTD.
POST OFFICE BOX 1814
NANTUCKET, MASSACHUSETTS, 02554
TELEPHONE 508.228.6631
WWW.NANTUCKETARCHITECTURE.COM

RENOVATION AND ADDITION FOR:
RICHARD BOUGHNUM
28 OLD TOM NEVERS ROAD
NANTUCKET, MA 02554

HDC: XXXXXX
BIDDING:
BLDG. DEPT:
REVISIONS:
REVISIONS:
REVISIONS:
REVISIONS:
D/E:

Client number
HDC4



NANTUCKET ARCHITECTURE GROUP LTD.
POST OFFICE BOX 1814
NANTUCKET, MASSACHUSETTS, 02554
TELEPHONE 508.228.5631
WWW.NANTUCKETARCHITECTURE.COM

RENOVATION AND ADDITION FOR:
RICHARD BOUGHTRUM
28 OLD TOM NEVERS ROAD
NANTUCKET, MA 02554

HDC: XX/XX/XX
BIDDING:
BLDG. DEPT:
REVISIONS:
REVISIONS:
REVISIONS:
REVISIONS:
DATE:

Client number

HDC5

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N^o: 92.4 PARCEL N^o: 252
 Street & Number of Proposed Work: 28 OLD TOM NEVERS RD
 Owner of record: Bartholomew Pickard TRUST
 Mailing Address: 28 OLD TOM NEVERS RD
NANTUCKET MA
 Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: NANTUCKET ARCHITECTURE Group
 Mailing Address: PO BOX 1814
NANTUCKET MA
 Contact Phone #: 728 5131 E-mail: _____
STUE@NANTUCKETARCHITECTURE.COM

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
 Must be acted on by: _____
 Extended to: _____
 Approved: _____ Disapproved: _____
 Chairman: _____
 Member: _____
 Member: _____
 Member: _____
 Member: _____
 Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Landscaping Move Building Demolition Revisions to previous Cert. No. 66152
 Pool (Zoning District _____) Roof Other _____
 Size of Structure or Addition: Length: _____ Sq. Footage 1st floor: _____ Decks/Patio: Size: _____ 1st floor 2nd floor
 Width: _____ Sq. Footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
 Sq. Footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
 Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks

Historic Name: _____ REVISIONS*: 1. East Elevation MINOR FENCE REVISIONS
 Original Date: _____ (describe) 2. South Elevation CHANGE TO ANGLE 54 1
 Original Builder: _____ 3. West Elevation
 4. North Elevation
 Is there an HDC survey form for this building attached? Yes N/A
 *Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers
 Masonry Chimney: Block Parged Brick (type) _____ Other _____
 Roof Pitch: Main Mass _____/12 Secondary Mass _____/12 Dormer _____/12 Other _____
 Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____
 Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
 Manufacturer _____ Rough Opening _____ Size _____ Location _____
 Gutters: Wood Aluminum Copper Leaders (material) _____
 Leaders (material and size): _____
 Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____
 Trim: A. Wood Pine Redwood Cedar Other _____
 B. Treatment Paint Natural to weather Other _____
 C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____
 Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square _____
 Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____
 Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____
 Garage Door(s): Type _____ Material _____
 Hardscape materials: Driveways _____ Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

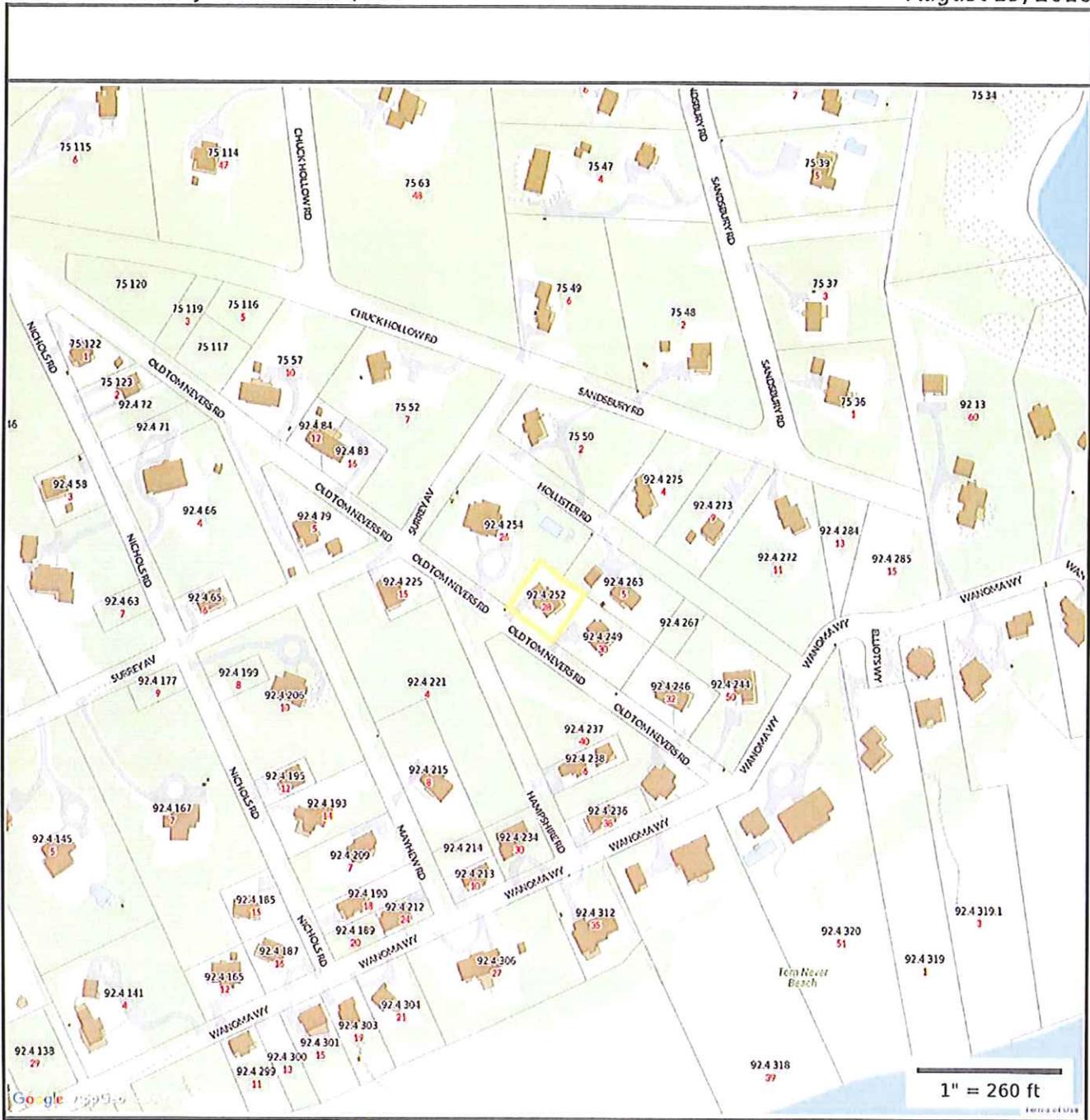
COLORS

Sidewall _____ Clapboard (if applicable) _____ Roof _____
 Trim _____ Sash _____ Doors _____
 Deck _____ Foundation _____ Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 11/30/16 Signature of owner of record [Signature] Signed under penalties of perjury

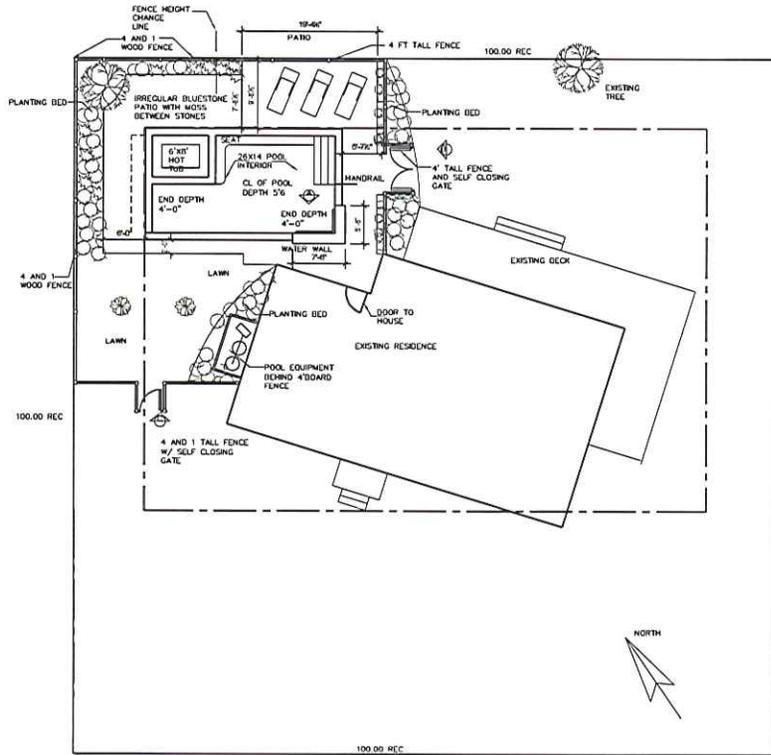


Property Information	
Property ID	92.4 252
Location	28 OLD TOM NEVERS RD
Owner	BOUGHRUM RICHARD L TRST ETAL


MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT
 Town and County of Nantucket, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.
 Parcels updated December, 2014
 Properties updated January, 2015

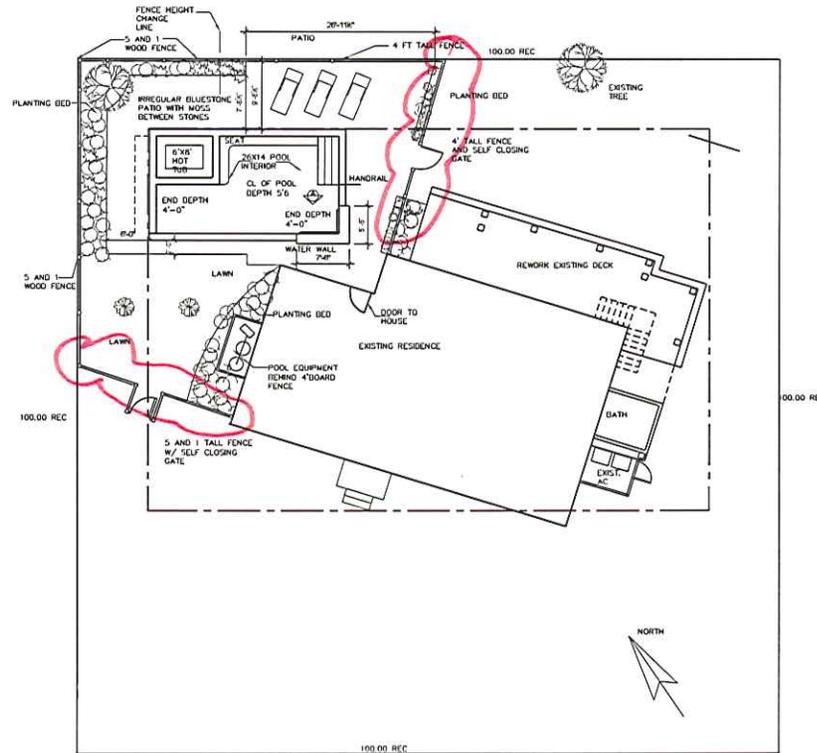
1" = 260 ft

© 2015 Google



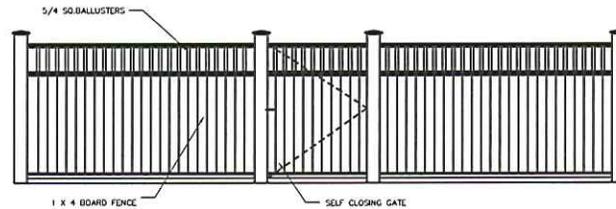
A PREVIOUSLY APPROVED POOL PLAN

Scale: 1/8"=1'-0"



A POOL PLAN PROPOSED REVISIONS

Scale: 1/8"=1'-0"



C ELEVATION OF 5 AND 1 FENCE

Scale: 1/2"=1'-0"

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RENOVATION AND ADDITION FOR:
 RICHARD BOUGHURUM
 28 OLD TOM NEVERS ROAD
 NANTUCKET, MA 02554

HDC: XX/XXXX
BIDDING:
BLDG. DEPT:
REVISIONS:
REVISIONS:
REVISIONS:
D/D:

Client number

HDC1

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 55.4.1 PARCEL N°: 183
Street & Number of Proposed Work: 49 PINE STREET
Owner of record: FRANK AND SUEAN VIANO
Mailing Address: 29 STRAWBERRY HILL RD. ST. DONAL MA. 02030
Contact Phone # (508) 312-4335 E-mail: _____

AGENT INFORMATION (if applicable)

Name: VAL OUNEL
Mailing Address: PO BOX 3057 NANTUCKET MA 02584
Contact Phone # (508) 325-4319 E-mail: VAL@VAL2@COM

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ 502.00
Must be acted on by: _____
Extended to: _____
Approved: _____ Disapproved: _____
Chairman: _____
Member: _____
Member: _____
Member: _____
Member: _____
Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
- Color Change Fence Gate Landscaping Move Building Demolition Revisions to previous Cert. No. _____
- Pool (Zoning District _____) Roof Other _____

Size of Structure or Addition: Length: 41 Sq. Footage 1st floor: 1209 SF Decks/Patio: Size: 6' x 7' 1st floor 2nd floor
Width: 30 Sq. footage 2nd floor: 1224 SF (203 SF) Size: _____ 1st floor 2nd floor
Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
Height of ridge above final finish grade: North 29'-3" South 29'-3" East 29'-3" West 29'-3"

Additional Remarks

Historic Name: _____ REVISIONS*: 1. East Elevation
Original Date: _____ (describe) 2. South Elevation
Original Builder: _____ 3. West Elevation
Is there an HDC survey form for this building attached? Yes N/A 4. North Elevation

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 8'-12" Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) _____ Other _____
Roof Pitch: Main Mass B /12 Secondary Mass B /12 Dormer _____ /12 Other _____
Roofing material: Asphalt 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____

Fence: Height: _____
Type: _____
Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____
Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size):

Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____
B. Treatment Paint Natural to weather Other _____
C. Dimensions: Fascia B Rake 1 x B Soffit (Overhang) 6" - B" Corner boards 1 x 6 Frieze _____
Window Casing 1 x 4 Door Frame 1 x 6 Columns/Posts: Round _____ Square 6"

Windows: Double Hung Casement All Wood Other _____
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

Doors* (type and material): SDL SDL Front 6 PANEL Rear FRANK Side SIT
Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways TBD Walkways TBD Walls TBD

* Note: Complete door and window schedules are required.

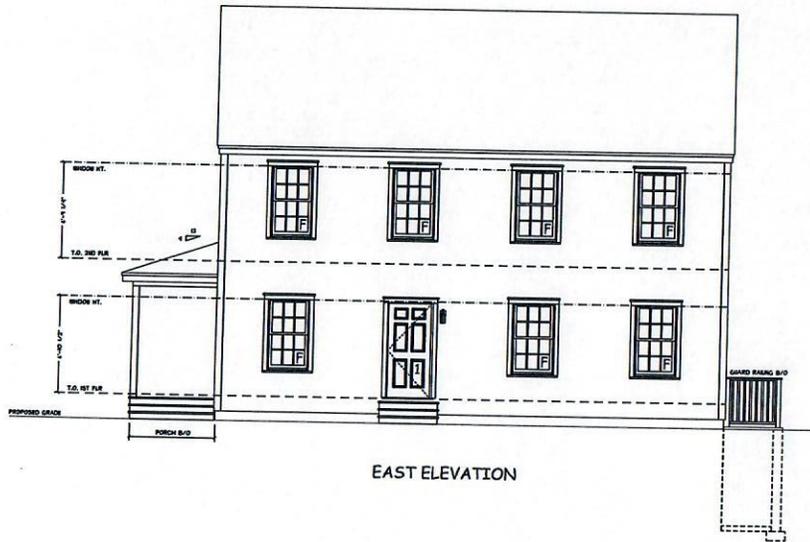
COLORS

Sidewall NATURAL Clapboard (if applicable) _____ Roof CLEAR WOOD (NATURAL)
Trim WHITE Sash WHITE Doors WHITE
Deck NATURAL Foundation GRAY Fence _____ Shutters _____

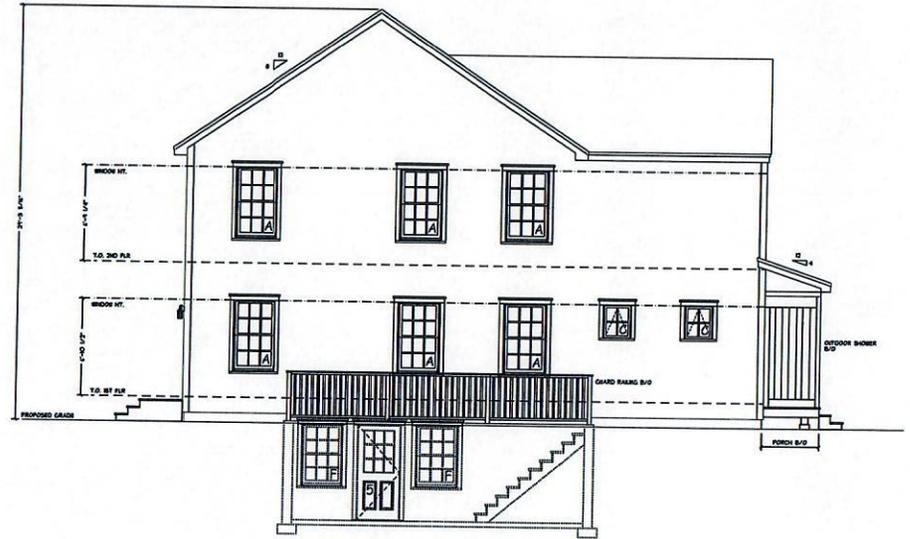
* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 9/26/14 Signature of owner of record [Signature] Signed under penalties of perjury



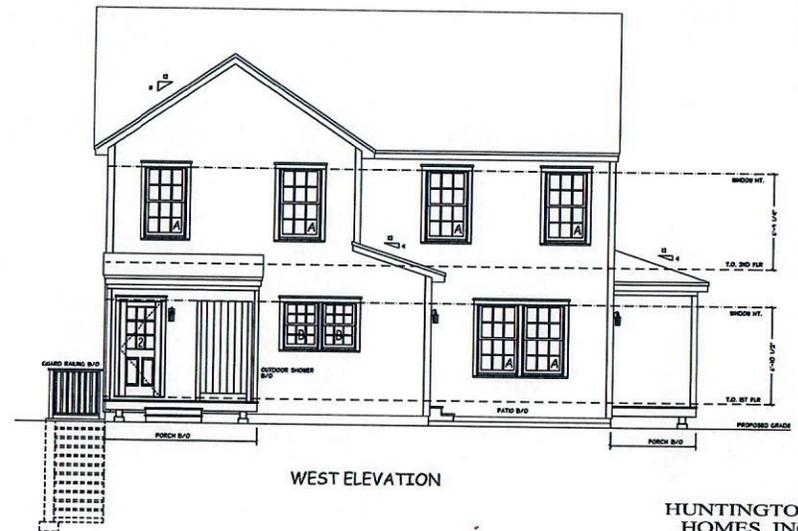
EAST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION



WEST ELEVATION

DESIGN	7/20/24	PRELIMINARY PLANS NOT FOR CONSTRUCTION
DATE	07/20/24	

ARCHITECTURAL ELEVATIONS

VIANO - PINE ST

**HUNTINGTON
HOMES, INC.**

PROJECT: E 9944
 SHEET SIZE: 24x36

1/4" = 1'-0"
 SCALE

DRAWING NO. EL-1

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

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PROPERTY DESCRIPTION

TAX MAP N°: 68 PARCEL N°: 429
 Street & Number of Proposed Work: 98 Old South Rd
 Owner of record: Burn the Ships LLC
 Mailing Address: 2 Soglow Av. #468
Nantucket, MA 02554
 Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: JB Studio
 Mailing Address: PO Box 3741
Nantucket, MA 02584
 Contact Phone #: 508 332 9654 E-mail: juraj@thejbstudio.com

FOR OFFICE USE ONLY	
Date application received: _____	Fee Paid: \$ _____
Must be acted on by: _____	
Extended to: _____	
Approved: _____	Disapproved: _____
Chairman: _____	
Member: _____	
Member: _____	
Member: _____	
Member: _____	
Notes - Comments - Restrictions - Conditions	

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling
 Addition
 Garage
 Driveway/Apron
 Commercial
 Historical Renovation
 Deck/Patio
 Steps
 Shed
 Color Change
 Fence
 Gate
 Landscaping
 Move Building
 Demolition
 Revisions to previous Cert. No. 63336
 Pool (Zoning District _____)
 Roof
 Other _____

Size of Structure or Addition: Length: 39'6" Sq. Footage 1st floor: 940 Decks/Patio: Size: _____ 1st floor 2nd floor
 Width: 23'9" Sq. Footage 2nd floor: 940 Size: _____ 1st floor 2nd floor
 Sq. Footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North No change South _____ East _____ West _____
 Height of ridge above final finish grade: North 27'8" South 27'8" East 27'8" West 27'8"

Additional Remarks

Historic Name: _____ REVISIONS* 1. East Elevation
 Original Date: _____ (describe) 2. South Elevation Relocate building on the lot
 Original Builder: _____ 3. West Elevation
 Is there an HDC survey form for this building attached? Yes N/A 4. North Elevation

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 8" Block Block Parged Brick (type) _____ Poured Concrete Piers
 Masonry Chimney: Block Parged Brick (type) _____ Other _____
 Roof Pitch: Main Mass 8/12 Secondary Mass _____/12 Dormer _____/12 Other _____
 Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____

Fence: Height: _____
Type: _____
Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
 Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size): _____

Sidewall: White cedar shingles 3" Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____
 B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia 1x8 Rake 1x8 Soffit (Overhang) _____ Corner boards 1x6 Frieze _____
 Window Casing 1x4 Door Frame 1x6 Columns/Posts: Round _____ Square _____

Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer Andersen

Doors* (type and material): TDL SDL Front 6 panel, wood Rear Andersen 15 lite Side 6 panel, wood
 Garage Door(s): Type Overhead Material wood

Hardscape materials: Driveways stone Walkways _____ Walls _____

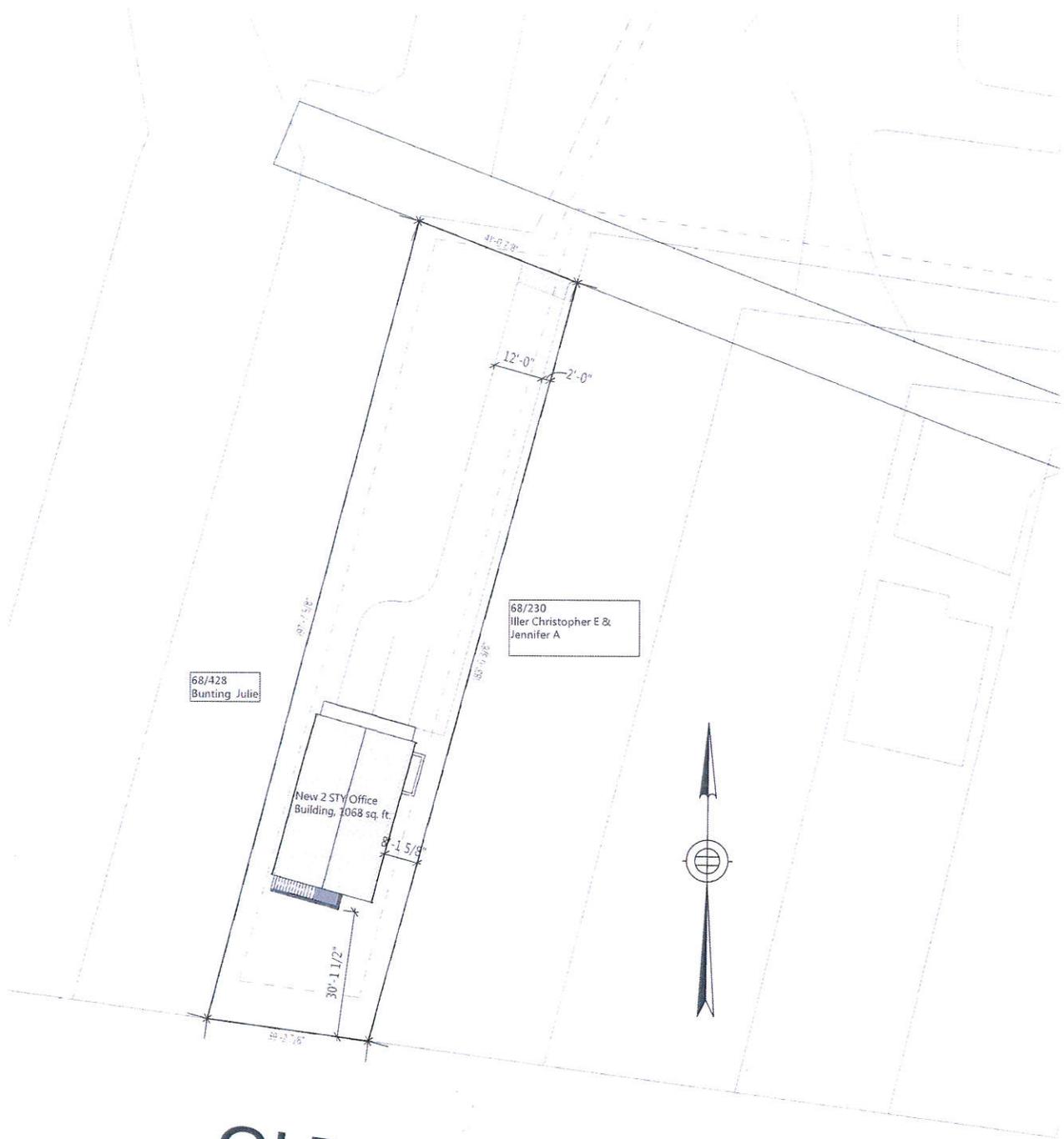
* Note: Complete door and window schedules are required.

COLORS

Sidewall NTA Clapboard (if applicable) _____ Roof Black
 Trim white Sash white Doors white
 Deck NTA Foundation NTA Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.
 Date 7/14/16 Signature of owner of record Paul Signed under penalties of perjury





Locus Map

NTS



1 Proposed East Elevation

1/4" = 1'-0"



2 Proposed North Elevation
 1/4" = 1'-0"



4 Proposed West Elevation

1/4" = 1'-0"



3

Proposed South Elevation

1/4" = 1'-0"

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

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PROPERTY DESCRIPTION

MAP N^o: 42.3.3 PARCEL N^o: 96.3
Street & Number of Proposed Work: 130 Main St.
Owner of record: Mark & Liz Norris
Billing Address: PO Box 3362
Nantucket MA 02584
Contact Phone #: 508-252-6149 E-mail: Mark.Liz@comcast.net

AGENT INFORMATION (if applicable)

Name: Sam C
Billing Address: _____
Contact Phone #: _____ E-mail: _____

FOR OFFICE USE ONLY	
Date application received: _____	Fee Paid: \$ _____
Must be acted on by: _____	
Extended to: _____	
Approved: _____	Disapproved: _____
Chairman: _____	
Member: _____	
Member: _____	
Member: _____	
Notes - Comments - Restrictions - Conditions	



DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
Color Change Fence Gate Landscaping Move Building Demolition Revisions to previous Cert. No. _____
Pool (Zoning District _____) Roof Other _____
Type of Structure or Addition: Length: 36'6" Sq. Footage 1st floor: 1853 Decks/Patio: Size: 7'x4'4.5 1st floor 2nd floor 31.5
Width: 34'6 Sq. Footage 2nd floor: RED N/A Size: _____ 1st floor 2nd floor sq ft.
Sq. Footage 3rd floor: _____

Elevation Difference between existing grade and proposed finish grade: North N/A South N/A East N/A West N/A
Height of ridge above final finish grade: North 17'3 South 17'3 East 17'3 West 17'3

Additional Remarks: _____
Historic Name: See Notes REVISIONS* 1. East Elevation L structure to be demolished.
Original Date: _____ (describe) 2. South Elevation
Original Builder: _____ 3. West Elevation
Where an HDC survey form for this building attached? Yes N/A 4. North Elevation
*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 6" Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) Red Common Other _____
Roof Pitch: Main Mass 8/12 Secondary Mass 8/12 Dormer N/A/12 Other _____

Roofing material: Asphalt: 3-Tab Architectural Black
 Wood (Type) Red Cedar White Cedar, Shakes, etc.) _____
Fence: Height: _____
Type: _____
Length: _____

Window Sights (flat only): Manufacturer N/A Rough Opening _____ Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____

Shutters: Wood Aluminum Copper Leaders (material) _____
Siding (material and size): 4x4 Cedar
Exterior Wall: White cedar shingles Clapboard (exposure: white 4 inches) Front Side
 Other _____

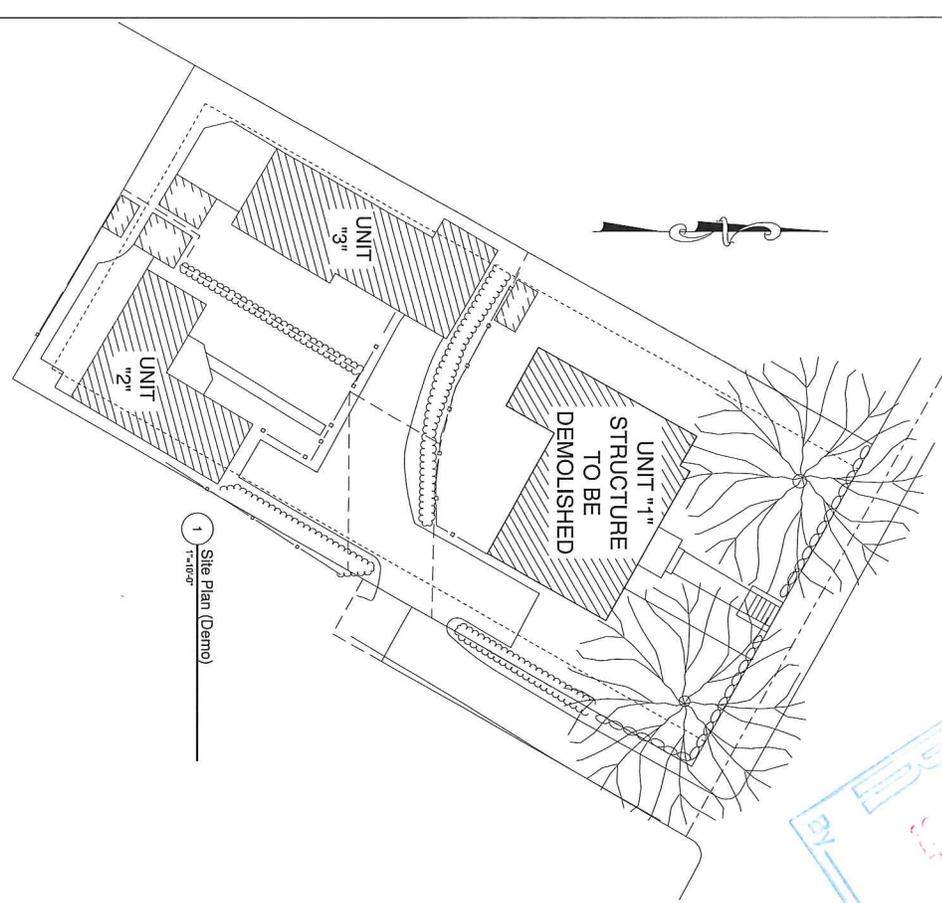
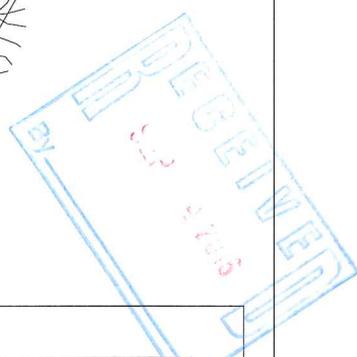
Trim: A. Wood Pine Redwood Cedar Other _____
B. Treatment Paint Natural to weather Other white
C. Dimensions: Fascia 1x8 Rake 1x8 Soffit (Overhang) 6" Corner boards 5/4x6 Frieze 1x2
Window Casing 1x4 Door Frame 1x4 Columns/Posts: Round _____ Square 4x4

Windows: Double Hung Casement All Wood Other _____
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____
Doors* (type and material): TDL SDL Front 6 panel Rear SD Side IS H. French
Garage Door(s): Type N/A Material _____
Landscape materials: Driveways Shell Walkways Brick Walls NE Redstone

Note: Complete door and window schedules are required.
COLORS
Exterior Wall Natural Clapboard (if applicable) _____ Roof _____
Trim White Sash White Doors Black
Deck Natural Foundation Natural Fence _____ Shutters _____
Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.
Date 9/12/16 Signature of owner of record _____ Signed under penalties of perjury _____





Town and County of Nantucket, MA

September 14, 2016



Property Information
 ID 42.3.3 96.3
 Location 130 MAIN ST
 Owner MARK & ELIZABETH



**MAP FOR REFERENCE ONLY
 NOT A LEGAL DOCUMENT**
 Town and County of Nantucket, MA makes no
 claims and no warranties, expressed or implied,
 are made in this map. Accuracy of this map
 presented on this map, is not guaranteed.
 Parcels updated December, 2014
 Properties updated January, 2015

2 Locus Map
NOT TO SCALE

130 Main Street (Unit 1)
 Site Plan for Demolition of Existing Dwelling
 Scale: 1/4" = 1'-0"

Mark & Elizabeth Norris
 130 Main Street Nantucket Ma. 02554

D1

Date: 9/12/16

**130 MAIN STREET
ASSESSOR'S MAP 42.3.3, PARCEL 96.2**



- The current property tax card states that the dwelling was constructed in 1953.
- The 1923 Sanborn Map on file at the Nantucket Historical Association shows no structures on the site, with earlier maps indicating that there had been a much larger structure on the site prior to that date that was removed from the site between 1898 and 1904.
- The original house was sited at about zero feet from the front yard lot line, in line with the other structures on the street, other than the bungalow to the west.
- The 1938 aerial shows no structures on the site.
- The 1957 aerial shows the dwelling substantially as it exists today.
- Applicant had sought and received approval from the HDC to make changes to the structures and place a new foundation under it and move the house forward a few feet;
- Applicant now seeks to demolish the existing house and build substantially the same structure as approved but slightly larger in scale.

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N^o: 42.3.3 PARCEL N^o: 96.3
 Street & Number of Proposed Work: 130 Main St.
 Owner of record: Mark & Liz Norris
 Mailing Address: PO Box 3362
Nantucket MA 02584
 Contact Phone #: 508-566-2013 E-mail: MarkLiz@comcast.net

AGENT INFORMATION (if applicable)

Name: Norris
 Mailing Address: PO Box 3362
Nantucket MA 02584
 Contact Phone #: 508-566-2013 E-mail: MARKLIZ@comcast.net

CHK-1554 FOR OFFICE USE ONLY cash = 67.80
 Date application received: 9/23/16 Fee Paid: \$ 372.4
 Must be acted on by: 11/28/16
 Extended to: _____
 Approved: _____ Disapproved: _____
 Chairman: _____
 Member: _____
 Member: _____
 Member: _____
 Member: _____
 Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Landscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District _____) Roof Other _____
 Size of Structure or Addition: Length: 44.6 Sq. Footage 1st floor: 1251 Decks/Patio: Size: 6'4" x 4' x 6' 1st floor 2nd floor 28.5
 Width: 34.6 Sq. footage 2nd floor: 611 Size: 18'8" x 4'6" 1st floor 2nd floor 84 sq. ft.
 Sq. footage 3rd floor: 100
 Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
 Height of ridge above final finish grade: North 26'10" South 26'10" East 26'10" West 26'10"

Additional Remarks

Historic Name: _____ REVISIONS* 1. East Elevation
 Original Date: _____ (describe) 2. South Elevation
 Original Builder: _____ 3. West Elevation
 Is there an HDC survey form for this building attached? Yes N/A 4. North Elevation
 *Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 6" Block Block Parged Brick (type) _____ Poured Concrete Piers
 Masonry Chimney: Block Parged Brick (type) Red common Other _____
 Roof Pitch: Main Mass 8 /12 Secondary Mass 8 /12 Dormer 8 /12 Other _____
 Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____
 Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
 Manufacturer _____ Rough Opening _____ Size _____ Location _____
 Gutters: Wood Aluminum Copper Leaders (material) _____
 Leaders (material and size): _____
 Sidewall: White cedar shingles 4" exposure Clapboard (exposure: "front only" 4" exposure) inches) Front Side
 Other _____
 Trim: A. Wood Pine Redwood Cedar Other _____
 B. Treatment Paint Natural to weather Other white
 C. Dimensions: Fascia 1x8 Rake 1x8 Soffit (Overhang) 0" Corner boards 5/4x6 Frieze 1x2
 Window Casing 1x4 5/4 head Door Frame 1x4 Columns/Posts: Round _____ Square 4x4
 Windows*: Double Hung Casement All Wood Other Boston 5x54
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____
 Doors* (type and material): TDL SDL Front 4 panel 4 light Rear 15 light French Side N
 Garage Door(s): Type N/A Material _____
 Hardscape materials: Driveways shell Walkways Brick (As existing) Walls NE Fieldstone (Existing)

* Note: Complete door and window schedules are required.

COLORS

Sidewall Natural Clapboard (if applicable) white Roof Natural
 Trim white Sash white Doors Black (front) white French (rear)
 Deck Natural Foundation Natural Fence N/A Shutters N/A

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 9/13/16 Signature of owner of record _____ Signed under penalties of perjury



Property Information

Property ID 42.3.3 96.3
Location 130 MAIN ST
Owner NORRIS MARK & ELIZABETH

2016 SEP 23 PM 2: 37



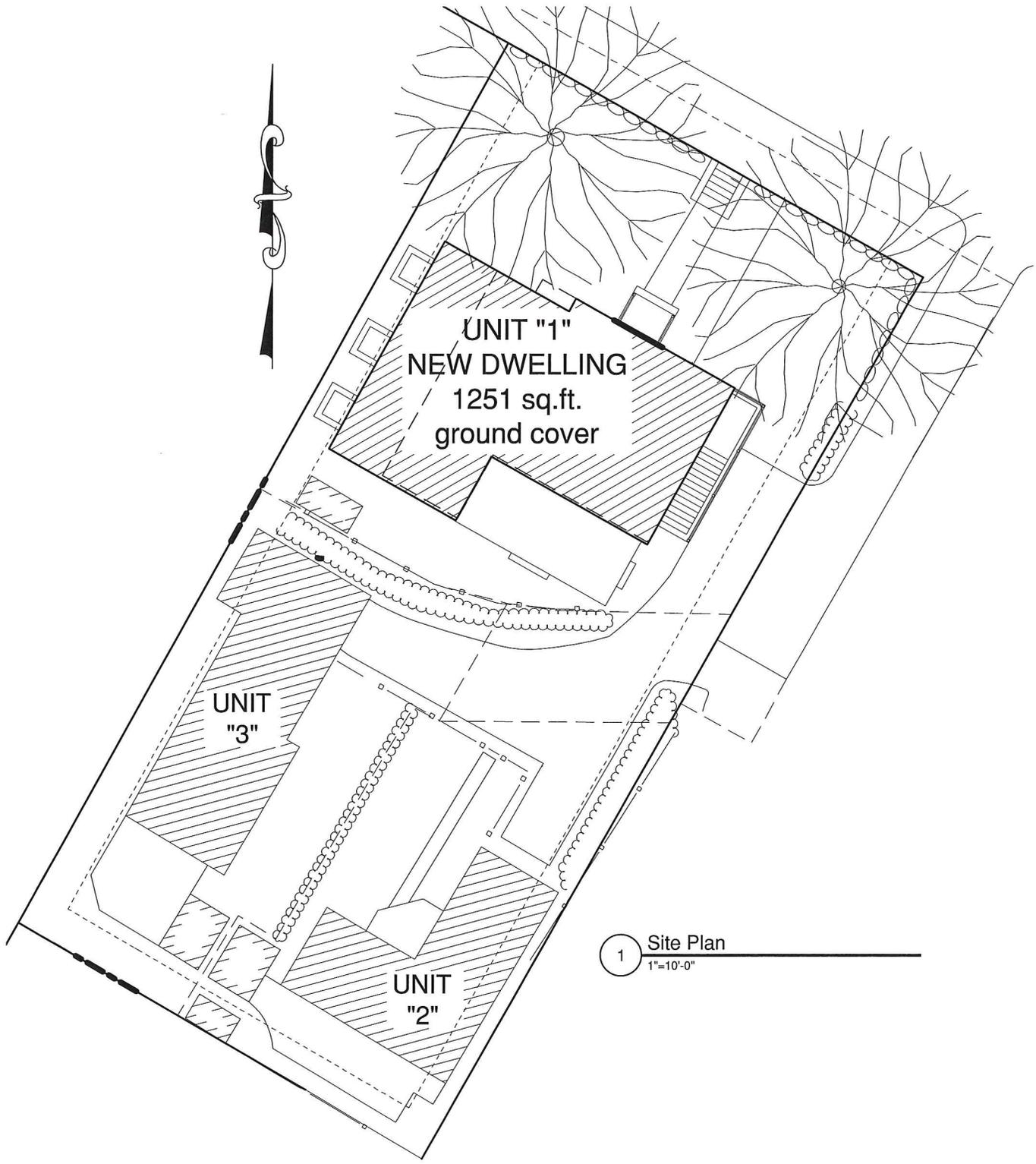
**MAP FOR REFERENCE ONLY
 NOT A LEGAL DOCUMENT**

Town and County of Nantucket, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Parcels updated December, 2014
 Properties updated January, 2015

1" = 130 ft

RECEIVED
 SEP 21 2016



1 Site Plan
1"=10'-0"

26'-10"



Red common brick chimney

Red c

Window & door trim to be 1x4 cedar, w/ 5/4" x 4 head casing (painted white)

4" clapboard painted white

5/4

Front door (only) to be painted black

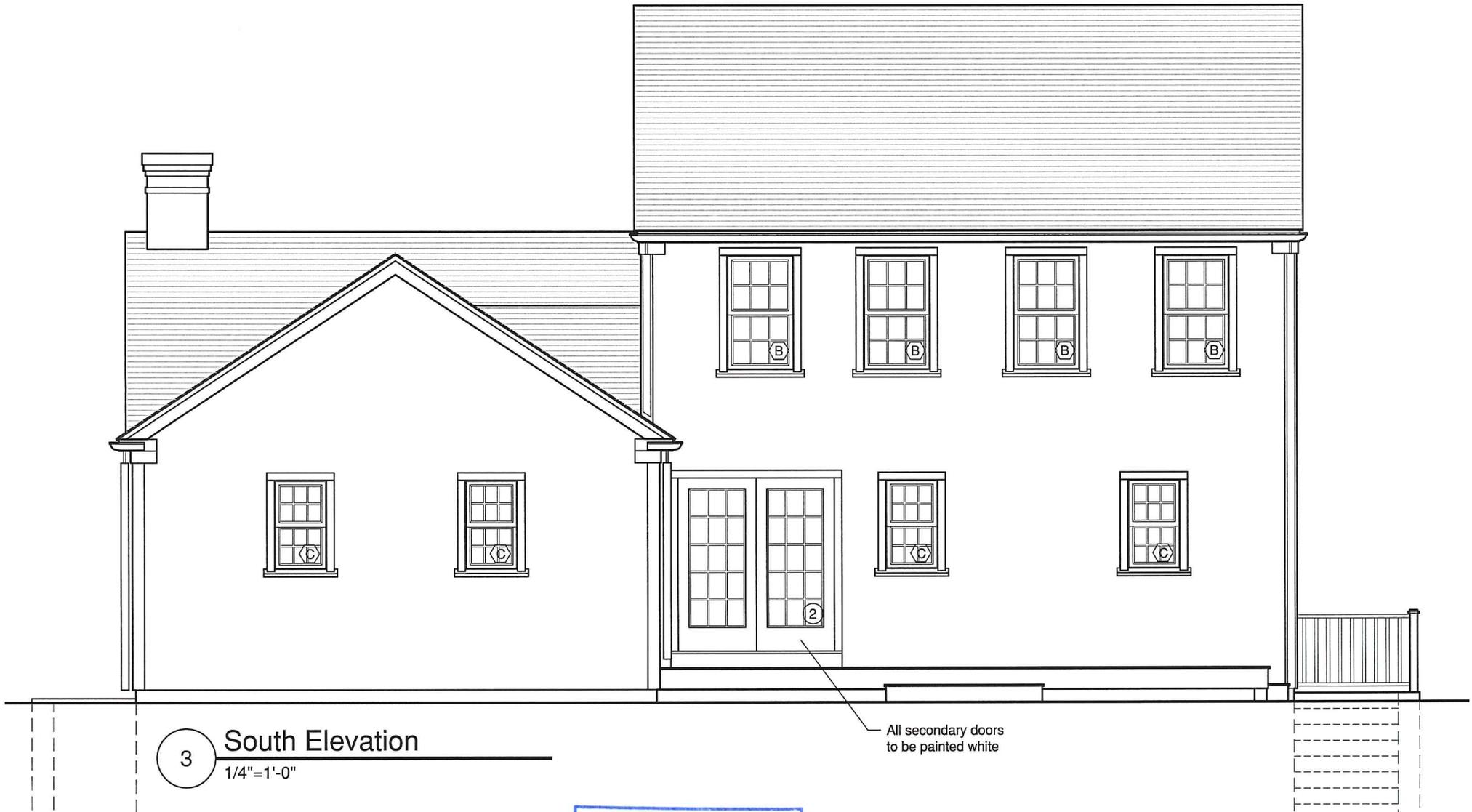
Front door trim to be 1x8 cedar, w/ 5/4" x 8 head casing (painted white)

1

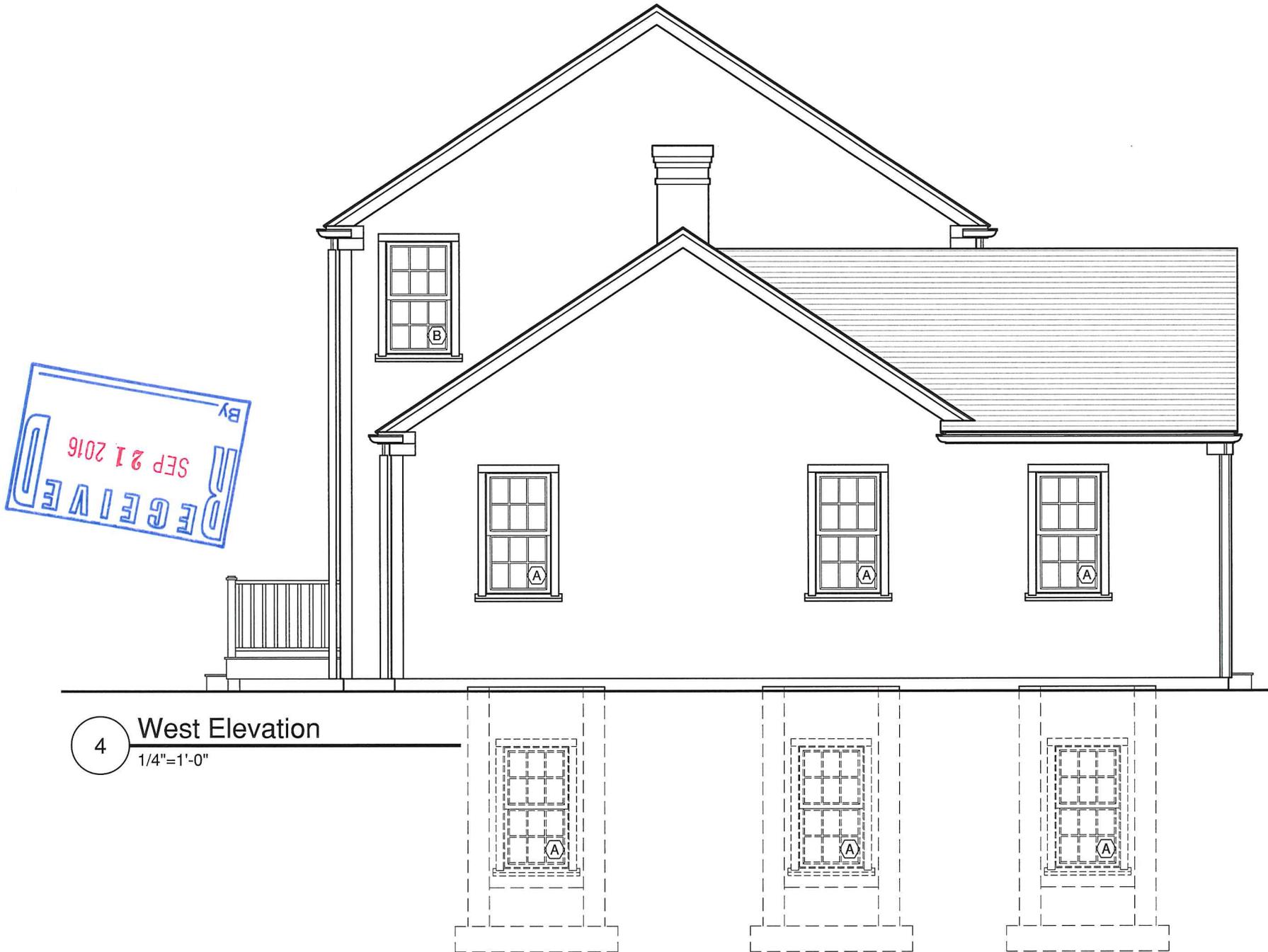
North Elevation

1/4"=1'-0"





RECEIVED
SEP 21 2016
By



RECEIVED
SEP 21 2016
By

4 West Elevation
1/4"=1'-0"



Red cedar shingle roof
(Natural)

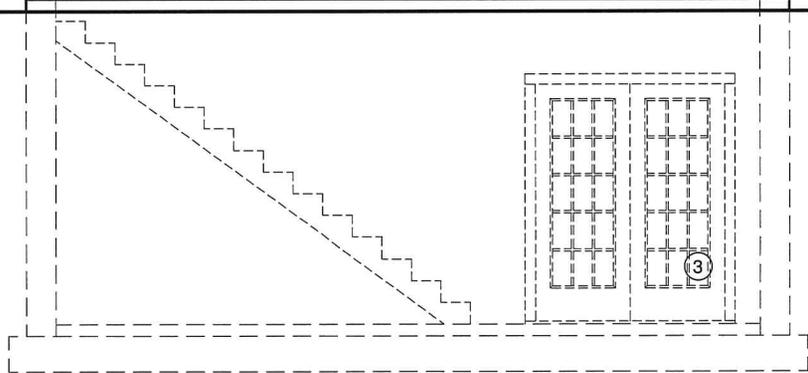
(true) 1x2 Trim to be
painted white
1x8 Trim to be
painted white

trim
casing

White cedar
shingle sidewall

5/4 x 6 cornerboards
painted white

2 East Elevation
1/4"=1'-0"



CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 69 PARCEL N°: 50
 Street & Number of Proposed Work: 137 OLD SOUTH RD.
 Owner of record: NIR RETAIL, LLC
 Mailing Address: 75 PARK PLAZA
BOSTON MA 02116
 Contact Phone #: 617-243-7847 E-mail: SKELLEY@NEDEVELOP
MENT.COM

AGENT INFORMATION (if applicable)

Name: SCOTT KEWEY
 Mailing Address: 75 PARK PLAZA
BOSTON MA 02116
 Contact Phone #: 617 243 7847 E-mail: SKWEY@NEDEVELOP
MENT.COM

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
 Must be acted on by: _____
 Extended to: _____
 Approved: _____ Disapproved: _____
 Chairman: _____
 Member: _____
 Member: _____
 Member: _____
 Member: _____
 Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Landscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District _____) Roof Other _____
 Size of Structure or Addition: Length: 91' Sq. Footage 1st floor: 6256 Decks/Patio: Size: _____ 1st floor 2nd floor
 Width: 74' Sq. footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
 Sq. footage 3rd floor: _____
 Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
 Height of ridge above final finish grade: North -25' 2" South -25' 2" East -14' West -14'

Additional Remarks

Historic Name: _____ REVISIONS* 1. East Elevation
 Original Date: _____ (describe) 2. South Elevation
 Original Builder: _____ 3. West Elevation
 Is there an HDC survey form for this building attached? Yes N/A 4. North Elevation

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 8" Block Block Parged Brick (type) _____ Poured Concrete Piers
 Masonry Chimney: Block Parged Brick (type) _____ Other _____
 Roof Pitch: Main Mass 3 /12 Secondary Mass _____ /12 Dormer _____ /12 Other _____
 Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) METAL-SEAM
 Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
 Manufacturer _____ Rough Opening _____ Size _____ Location _____
 Gutters: Wood Aluminum Copper Leaders (material) _____
 Leaders (material and size): _____
 Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other METAL - ALUMINUM PANEL
 Trim: A. Wood Pine Redwood Cedar Other _____
 B. Treatment Paint Natural to weather Other POLAR WHITE
 C. Dimensions: Fascia 6" Rake 12" Soffit (Overhang) 12" Corner boards _____ Frieze _____
 Window Casing 3" Door Frame _____ Columns/Posts: Round _____ Square _____
 Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights(muntins), single pane SDL's (Simulated Divided Lights) Manufacturer WINTECH
 Doors* (type and material): TDL SDL Front PDL - METAL INS. Rear PDL - METAL INS. Side PDL - METAL INS.
 Garage Door(s): Type SOLID CORE Material WOOD
 Hardscape materials: Driveways ASPHALT Walkways N/A Walls N/A

* Note: Complete door and window schedules are required.

COLORS

Sidewall ASH GRAY, POLAR WHITE Clapboard (if applicable) _____ Roof CHARCOAL GRAY
 Trim ASH GRAY TO MATCH Sash ASH GRAY TO MATCH Doors WHITE
 Deck N/A Foundation NATURAL CONCRETE Fence N/A Shutters N/A

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date _____ Signature of owner of record [Signature] Signed under penalties of perjury

137 Old South Rd



Property Information

Property ID 69 50
Location 137 OLD SOUTH RD
Owner NIR RETAIL LLC

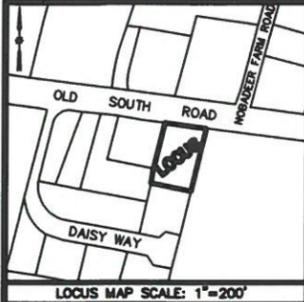


**MAP FOR REFERENCE ONLY
 NOT A LEGAL DOCUMENT**

Town and County of Nantucket, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Parcels updated December, 2014
 Properties updated January, 2015





LOCUS MAP SCALE: 1"=200'
 MAP 69 PARCEL 50
 LOT AREA=14,910±S.F.

REFERENCES:
 OWNER: NIR RETAIL LLC
 DEED REFERENCE: (PARCEL TWENTY-THREE) LC CERT. NO. 21819
 PLAN REFERENCE: PLAN FILE NO. 14342-L
 ASSESSORS REFERENCE:
 MAP: 69 PARCEL: 50

ZONING CLASSIFICATION:
 DISTRICT: RC-2
 MINIMUM LOT SIZE = 5,000 S.F.
 MINIMUM FRONTAGE = 40'
 FRONT YARD SETBACK = 10'
 SIDE YARD SETBACK = 5'
 REAR YARD SETBACK = 5'
 MAX. GROUND COVER RATIO = 50%

OVERLAY DISTRICTS:
 1. NANTUCKET WELLHEAD PROTECTION DISTRICT (DEP ZONE II)
 2. TOWN OVERLAY DISTRICT

UTILITY PERMITS REQUIRED:
 1. SEWER APPLICATION AND PERMIT-DPW.
 2. APPLICATION FOR WATER AND FIRE SERVICE-WWC.
 3. CONTRACTOR TO COORDINATE SERVICES WITH NATIONAL GRID, COMCAST AND VERIZON.
 4. CERTIFICATE OF WATER QUALITY COMPLIANCE-WANNACOMET WATER COMPANY.

NOTES:
 1. FLOOD HAZARD ZONE X (AREA OF MINIMAL FLOODING) FIRM PANEL NO. 25019C0089G EFFECTIVE DATE: JUNE 9, 2014.
 2. PORTION OF SITE MAPPED NHESP PRIORITY HABITAT OF RARE SPECIES.

GROUND COVER/OPEN SPACE SUMMARY

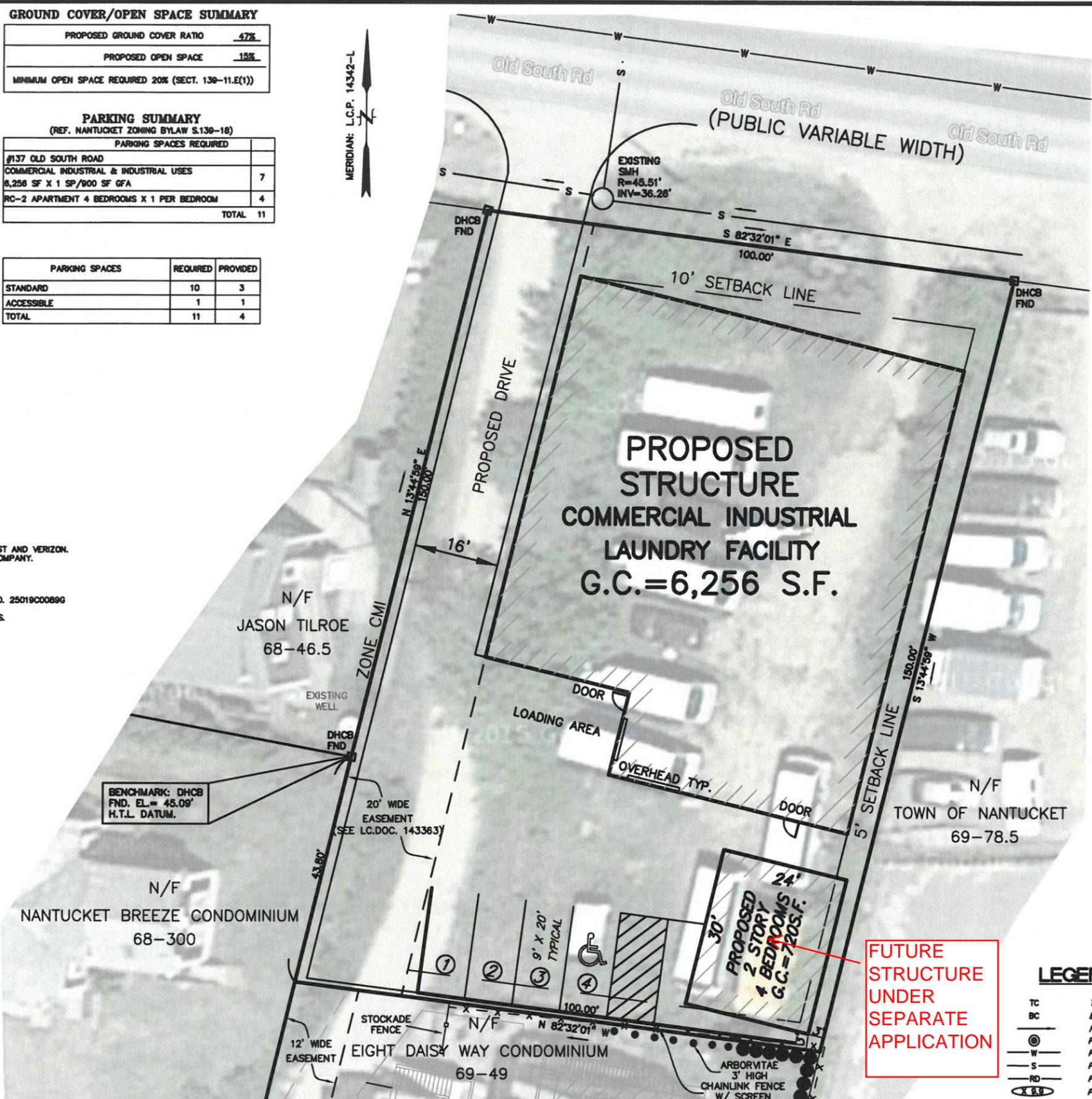
PROPOSED GROUND COVER RATIO	47%
PROPOSED OPEN SPACE	15%
MINIMUM OPEN SPACE REQUIRED 20% (SECT. 139-11.E(1))	

PARKING SUMMARY
 (REF. NANTUCKET ZONING BYLAW S.139-18)

PARKING SPACES REQUIRED		
#137 OLD SOUTH ROAD		
COMMERCIAL INDUSTRIAL & INDUSTRIAL USES	7	
6,256 SF X 1 SP/900 SF GFA		
RC-2 APARTMENT 4 BEDROOMS X 1 PER BEDROOM	4	
TOTAL	11	

PARKING SPACES	REQUIRED	PROVIDED
STANDARD	10	3
ACCESSIBLE	1	1
TOTAL	11	4

MERIDIAN: L.C.P. 14342-L



FUTURE STRUCTURE UNDER SEPARATE APPLICATION

- SOIL EROSION SEDIMENT CONTROL NOTES:**
- LAND DISTURBANCE WILL BE KEPT TO A MINIMUM NECESSARY FOR CONSTRUCTION OPERATIONS; RESTABILIZATION WILL BE SCHEDULED AS SOON AS PRACTICAL.
 - CATCH BASINS WILL BE PROTECTED WITH PRODUCT KNOWN AS "SILT SACK" THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED.
 - EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED PRIOR TO CONSTRUCTION.
 - ALL CONTROL MEASURES WILL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.
 - ADDITIONAL CONTROL MEASURES WILL BE INSTALLED DURING THE CONSTRUCTION PERIOD IF NECESSARY OR REQUIRED.
 - SEDIMENT REMOVED FROM CONTROL STRUCTURES WILL BE DISPOSED OF IN A MANNER WHICH IS CONSISTENT WITH THE INTENT OF THE PLAN.
 - NIR RETAIL LLC, AS THE OWNER IS ASSIGNED THE RESPONSIBILITY FOR IMPLEMENTING THIS EROSION AND SEDIMENT CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, NOTIFYING THE NANTUCKET PLANNING BOARD OF ANY TRANSFER OF THIS RESPONSIBILITY AND FOR CONVEYING A COPY OF THE EROSION AND SEDIMENT PLAN IF THE TITLE TO THE LAND IS TRANSFERRED.

CONSTRUCTION AND STABILIZATION SEQUENCE NARRATIVE

- PRE-CONSTRUCTION MEETING WITH TOWN DEPARTMENTS, APPLICANT, CONTRACTOR AND SITE ENGINEER.
- PHASE I SITE CLEARING**
- INSTALL ANTI-TRACKING PAD AT CONSTRUCTION ENTRANCE.
 - INSTALL SEDIMENT CONTROL BARRIER AS DIRECTED BY THE ENGINEER. PROTECT ALL CATCH BASINS WITH SEDIMENTATION CONTROL UNITS UNTIL PROJECT IS COMPLETED.
- PHASE II SITE CONSTRUCTION**
- PROCEED WITH EXCAVATION FOR FOUNDATION.
 - PROTECT ALL CATCH BASINS WITH SEDIMENTATION CONTROL UNITS UNTIL PROJECT IS COMPLETED.
 - PLACE FOOTING.
 - POUR FOUNDATION WALL.
 - INSTALL DRAIN SYSTEM.
 - INSTALL UTILITIES.
 - BACKFILL SITE, GRADE AS REQUIRED.
 - INSTALL LANDSCAPING.
 - LOAM AND SEED, STABILIZE SITE.
- PHASE III SITE STABILIZATION**
- REMOVE ALL CONSTRUCTION DEBRIS.
 - MAINTAIN ALL EROSION CONTROL UNTIL DISTURBED AREAS HAVE BEEN STABILIZED WITH NEW GROWTH FOR A PERIOD OF 60 DAYS.
 - REMOVE ALL EROSION CONTROL AND CLEAN UP SITE.

ZONING RELIEF REQUESTED

SECTION 139-11. MAJOR COMMERCIAL DEVELOPMENT
SECTION 139-11.E(1) OPEN SPACE (20% TO 15%)
SECTION 139-11.G SIDE/REAR YARD SETBACK (5' TO 3')
SECTION 139-18.D PARKING SPACES (11 TO 4)
SECTION 139-23.B(2)(b) TRAFFIC STUDY REQUIREMENT PURSUANT TO 139-23.C

LEGEND

TC	TOP OF CURB
BC	BOTTOM OF CURB
→	FLOW DIRECTION ARROW
⊙	PROPOSED SEWER MANHOLE
W	PROPOSED WATER SERVICE
S	PROPOSED SEWER LINE
RD	PROPOSED ROOF DRAIN
X 9.9	PROPOSED SPOT GRADES
X 9.9	EXISTING SPOT GRADE
17	EXISTING CONTOUR
17	PROPOSED CONTOUR

NANTUCKET PLANNING BOARD
 MAJOR COMMERCIAL DEVELOPMENT SPECIAL PERMIT

BARRY RECTOR, CHAIRMAN _____

LINDA WILLIAMS, VICE-CHAIRWOMAN _____

HATHAWAY LOVELL _____

JOSEPH MAROULINGER _____

JOHN TRUDEL _____

DATE APPROVED _____

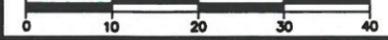
DATE SIGNED _____

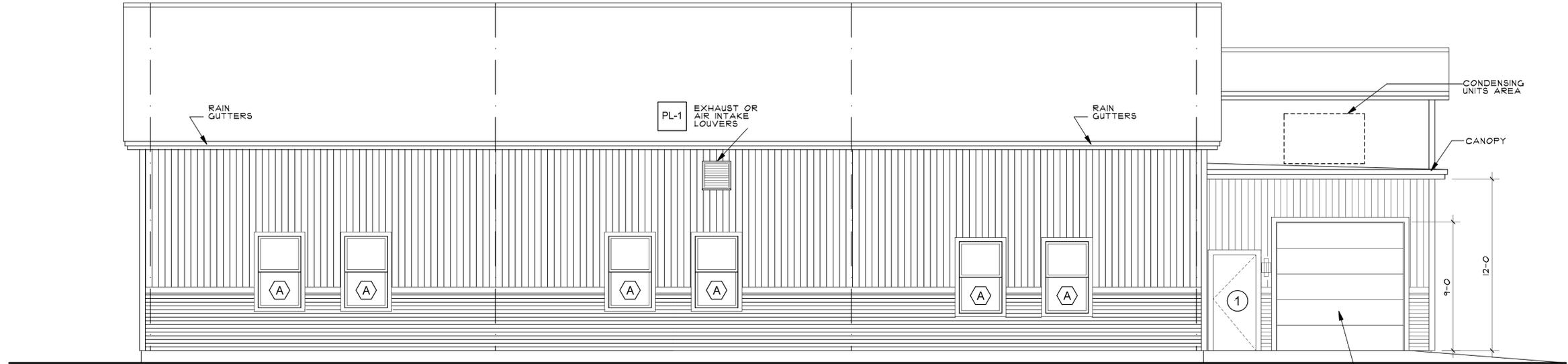
FILE NO. _____

MAJOR COMMERCIAL DEVELOPMENT SITE DEVELOPMENT PLAN
 #137 OLD SOUTH ROAD
 IN NANTUCKET, MASSACHUSETTS
 SCALE: 1"=10' DATE: JULY 11, 2016
 PREPARED FOR: NIR RETAIL LLC
 NANTUCKET SURVEYORS, LLC
 5 WINDY WAY
 NANTUCKET, MA 02554
 (508) 228-0240
 GRAPHIC SCALE 1"=10'

NOTE:
 THIS PLAN IS INTENDED FOR PERMITTING PURPOSES ONLY AND SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED FOR CONSTRUCTION BY NANTUCKET SURVEYORS, LLC.

I:\JOBS 9632-10999\10000\10700\10760\10767\AUTOCAD\10767 SITE PLAN REV 7-14-16.dwg, SITE PLAN

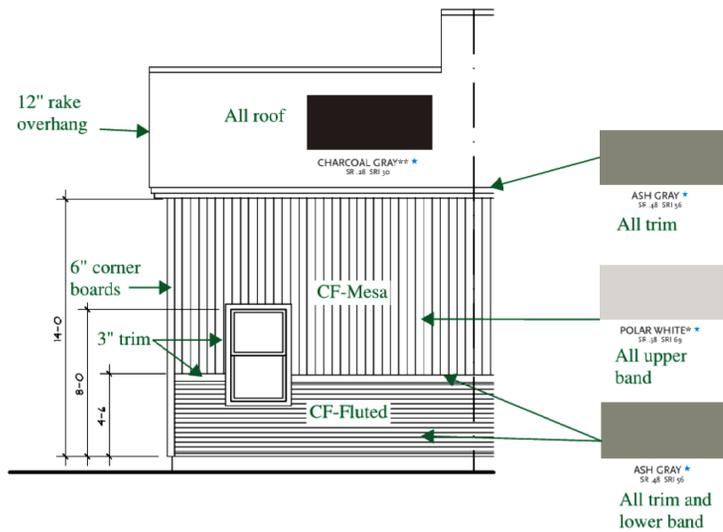




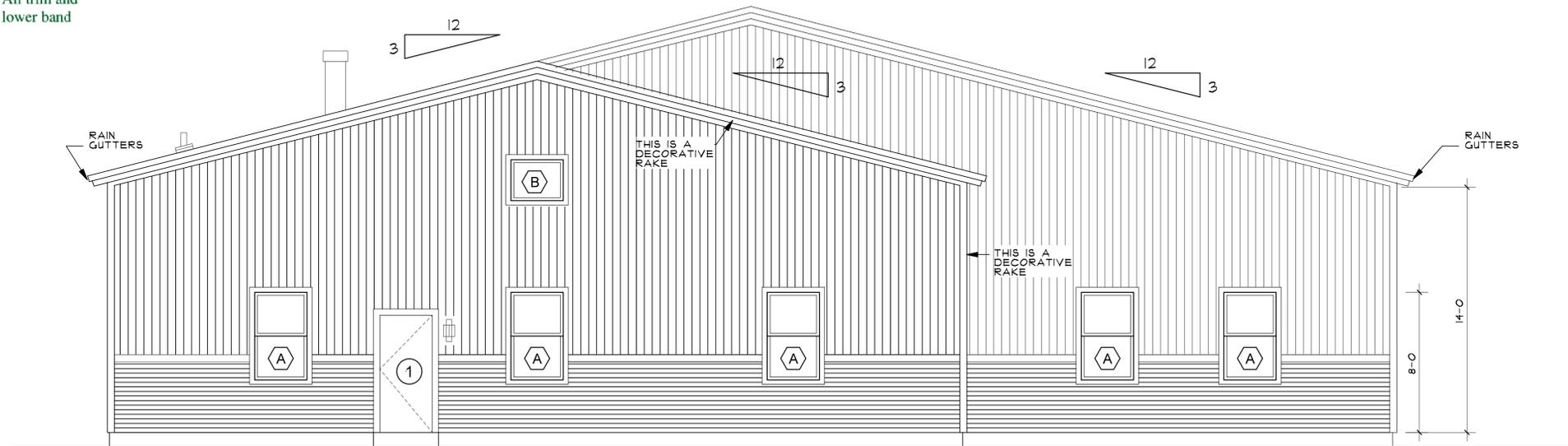
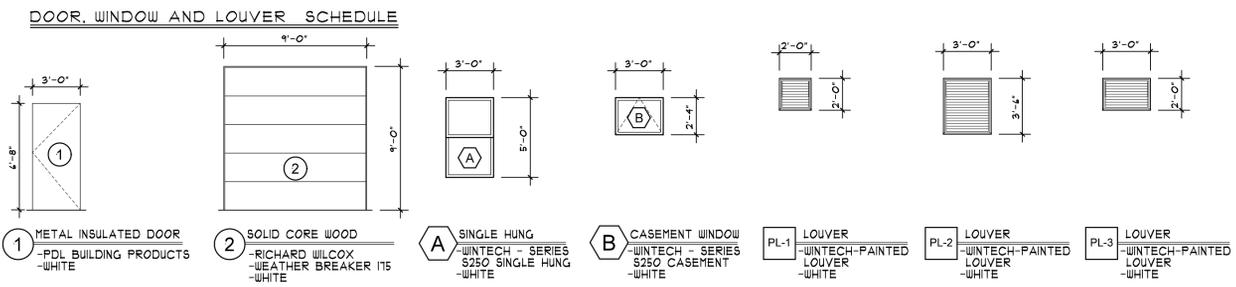
2 West Elevation (RIGHT SIDE)
A2.0 SCALE: 3/16" = 1'-0"

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© 9/26/2016

Date:	Revision:
08/01/16	PROGRESS SET
08/21/16	PROGRESS SET
08/26/16	PROGRESS SET



3 METAL PANEL COLORS
A2.0 SCALE: NO SCALE



1 North Elevation (FRONT)
A2.0 SCALE: 3/16" = 1'-0"

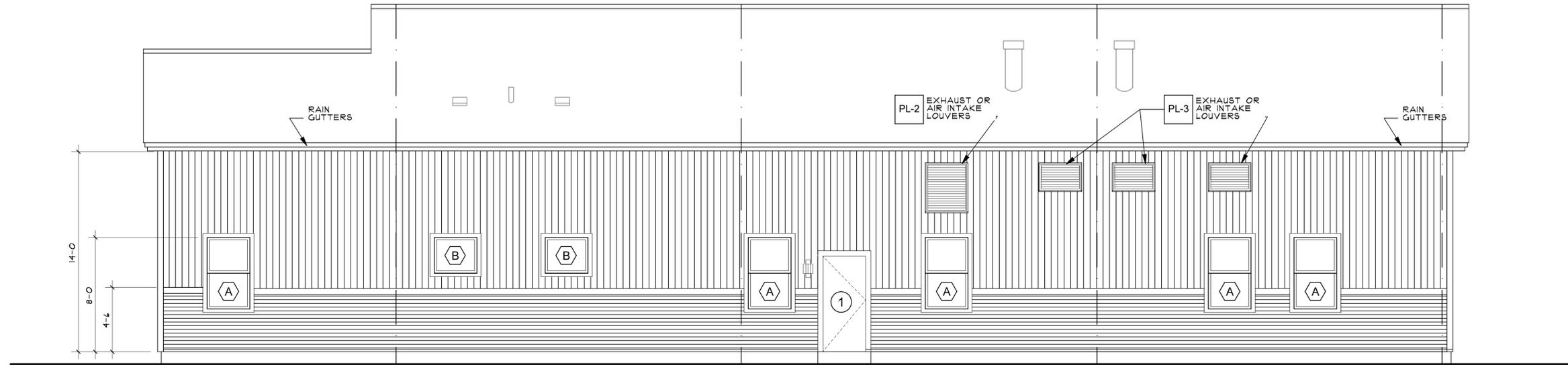
NIR - LAUNDRY FACILITY

170 Old South Road
Nantucket, MA

ELEVATIONS

Date:	Sep 1, 2016
Project No.	2161B
Scale:	AS NOTED
Drawn:	OBMP
Drawing No.	

A2.0

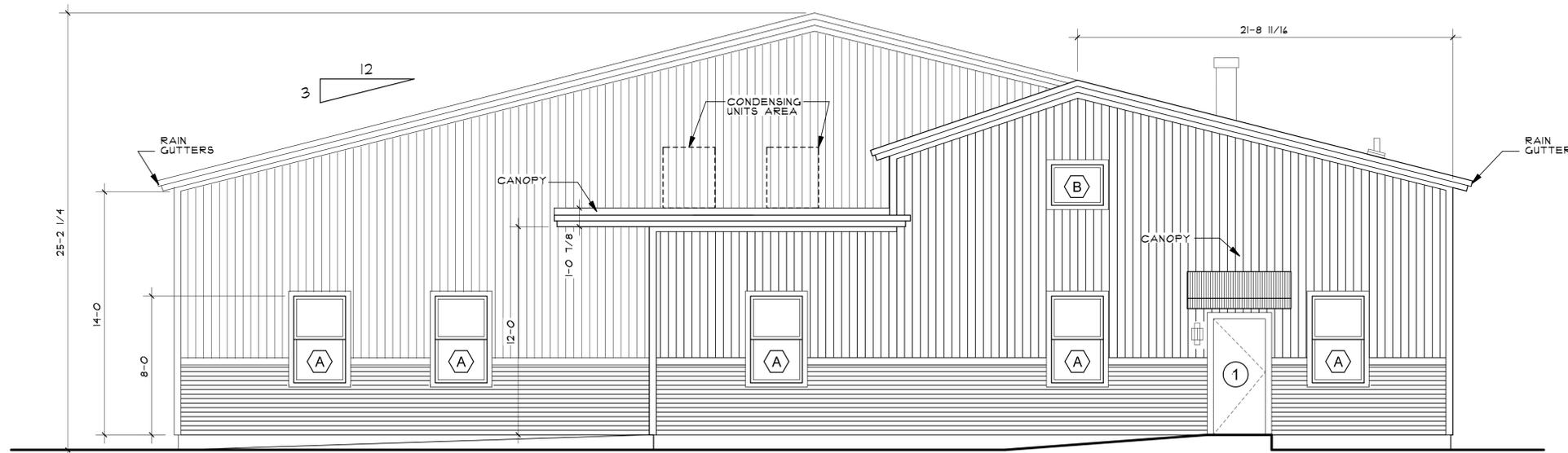
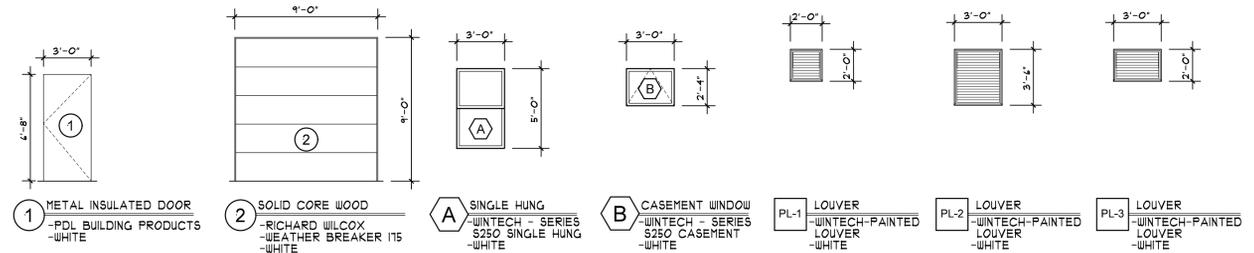


2 East Elevation (LEFT SIDE)
A3.0 SCALE: 3/16" = 1'-0"

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© 9/26/2016

Date:	Revision:
08/01/16	PROGRESS SET
08/21/16	PROGRESS SET
08/26/16	PROGRESS SET

DOOR, WINDOW AND LOUVER SCHEDULE



1 South Elevation (REAR)
A3.0 SCALE: 3/16" = 1'-0"

NIR - LAUNDRY FACILITY

170 Old South Road
Nantucket, MA

ELEVATIONS

Date:	Sep 1, 2016
Project No.	21618
Scale:	AS NOTED
Drawn:	OBMP

Drawing No.

A3.0