

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N^o: 42.3.2 PARCEL N^o: 10
 Street & Number of Proposed Work: 9 COFFIN STREET
 Owner of record: 17 WASHINGTON STREET % PERMIT
 Mailing Address: 19 FIVE MILE RIVER ROAD
DARIEN, CT 06800
 Contact Phone #: 203 767 9000 E-mail: SAN PERRENT @ MIA . COM

AGENT INFORMATION (if applicable)

Name: PERMITS PLUS, INC
 Mailing Address: PO BOX 3363
NANTUCKET, MA 02504
 Contact Phone #: 508 838 6419 E-mail: PERMITS@CONTACT.NET

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
 Must be acted on by: _____
 Extended to: _____
 Approved: _____ Disapproved: _____
 Chairman: _____
 Member: _____
 Member: _____
 Member: _____
 Member: _____
 Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District _____) Roof Other FENESTRATION CHANGES REMOVE DOORS, ADD WINDOWS
 Size of Structure or Addition: Length: N/A Sq. Footage 1st floor: _____ Decks/Patio: Size: _____ 1st floor 2nd floor
 Width: 4 1/2 Sq. Footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
 Sq. Footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North - South - East - West -
 Height of ridge above final finish grade: North - South - East - West -

Additional Remarks

Historic Name: _____
 Original Date: _____ (describe)
 Original Builder: _____
 Is there an HDC survey form for this building attached? Yes N/A
CIRCA 1930
REVISIONS: 1. East Elevation
 2. South Elevation ADD ELEVATED CONDENSING UNIT
 3. West Elevation
 4. North Elevation
 *Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers
 Masonry Chimney: Block Parged Brick (type) _____ Other _____
 Roof Pitch: Main Mass /12 Secondary Mass /12 Dormer /12 Other _____
 Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____
 Fence: Height: _____
 Type: _____
 Length: _____
 Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
 Manufacturer _____ Rough Opening _____ Size _____ Location _____
 Gutters: Wood Aluminum Copper Leaders (material) _____
 Leaders (material and size): _____
 Siding: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____
 Trim: A. Wood Pine Redwood Cedar Other _____
 B. Treatment Paint Natural to weather Other _____
 C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____
 Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square _____
 Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____
 Doors* (type and material): TDL SDL Front EXIST. Rear EXIST. Side _____
 Garage Door(s): Type H/L Material H/L
 Hardscape materials: Driveways H/L Walkways H/L Walls H/L

* Note: Complete door and window schedules are required.

COLORS SEE PHOTOS -- MATCH EXISTING

Sidewall PAINT TO MATCH EXISTING Clapboard (if applicable) - Roof MATCH JOINDER ON HIGHER COLOR
 Trim WHITE Sash WHITE Doors _____
 Deck _____ Foundation _____ Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.
 Date _____ Signature of owner of record WILLIAM W. POPE, AGENT Signed under penalties of perjury

MATCH EXIST. TRIM CONDITIONS



Planning and Land Use Services

2 Fairgrounds Road, Nantucket, Massachusetts 02554

Telephone: 508.325.7587, Fax: 508.228.7298

THIS CHECKLIST IS TO BE SUBMITTED WITH ALL HDC APPLICATIONS

17A WASHINGTON STREET LLC db SAM PIERPONT LOCUS: 9 COFFIN STREET M&P 423.2 - 18
REQUIRED WITH ALL APPLICATIONS:

- 1. Completed Application Form: Description of ALL work must be indicated on application form.
2. Property Owner's Signature: Current owner's signature preferred; if the agent is signing the application written authorization from the owner (letter, fax, email) must be provided.
3. Application Fee: See back of application for fee schedule or call the office.
4. Locus Map (4 copies): Location Map must include north arrow, parcel boundaries, primary and secondary streets. (Town GIS Map Site) https://www.nantucket-ma.gov/151/GIS-Maps
5. Site Plan (4 Copies): must include the following: lot dimensions, north arrow, all existing structures, proposed work (highlighted) with dimension to lot lines, scale, driveway, grade changes, and placement of HVAC units, electrical boxes, fuel tanks, etc..
6. 8-1/2" x 11" Copies of ALL Application Materials: Must include the following: application form (reduced 64%), locus map, plot plan, all elevations and floor plans, window schedule, photographs, other relevant supporting material. All material MUST BE LEGIBLE (font size no smaller than 12), collated and stapled.
7. Photographs: Required of ALL applications for alterations to an existing structure. Photographs must be clear and labeled with application address or contextual address.
8. Electronic submission: All documents submitted to the HDC office must be emailed to hdcsubmissions@nantucket-ma.gov.

REQUIRED WHERE APPLICABLE:

* NOTE: HABS FILE IS BLANK--NO DATA

- 1. Supplemental Information for Historic Buildings: It is the applicant's responsibility to research the historical status of any and ALL buildings. Additional information may be obtained from the Nantucket Historical Association Library. If not historic, denote on application. * HABS REPORT HAS NOT DATA
2. Exterior Elevations and Floor Plans (4 copies): Must be Y.-inch scale and include all affected sides of the building, cardinal points (N, S, E, W), dimensions, heights, floor and ceiling heights, elevations of finished grade, window details and placement of HVAC units, electrical boxes, fuel tanks, etc. All changes from approved or existing design must be clouded on drawings. All material MUST BE LEGIBLE, collated and stapled. Reduced sets should maintain a font size of 12.
3. As-Built Plans (1 copy): of existing elevations
4. Hardscaping Plans (4 copies): To legible scale. This includes fences, decks, porches, arbors, retaining walls, tennis courts, swimming pool, driveways, gazebos etc. All material MUST BE LEGIBLE, collated and stapled.
5. Topographic Map: Must show existing and proposed grade for any change of more than one foot in height on grade. Retaining walls must be applied for separately (see hardscaping plan).
6. Door and Window Schedule (4 copies): Must include window type (true divided, simulated divided), number of lights, dimensions, materials, manufacturers type name and type number.
7. I UNDERSTAND THAT A TRUE DIVIDED LIGHT WINDOW/DOOR IS DEFINED AS MULTIPLE INDIVIDUAL SINGLE PANES OF GLASS (i.e., NOT DOUBLE-PANED OR INSULATED) ASSEMBLED IN THE SASH/DOOR USING MUNTINS.
8. Abutter Notification Materials - Abutters list from Assessors Office, certified mail stubs, and a copy of letter are required for all applications for changes of 1000 square feet or more except in the Nantucket Historic Core and Sconset Historic Core where the requirement for new construction is 100 square feet.
9. Approvals from Planning Board, Zoning Board of Appeals, Conservation Commission etc.

(initial to indicate read and understand) MWP

17A Washington Street, LLC

19 Five Mile River Rd, Darien CT 06820 (203) 767-9222 SamPierpont@msn.com

January 26, 2020

LETTER OF AUTHORIZATION

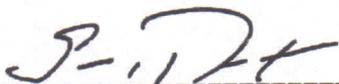
Representative:

Mark Poor Permits
Plus, Inc.
Nantucket, MA

To Whom It May Concern:

This letter confirms my designation of the above named individual and firm to act on my behalf to pull permits and obtain approvals matters concerning property at 9 Coffin Street.

This authorization is effective on the date signed and will remain in effect until terminated by either party upon 30 day notice.



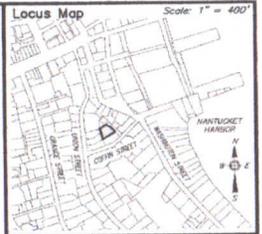
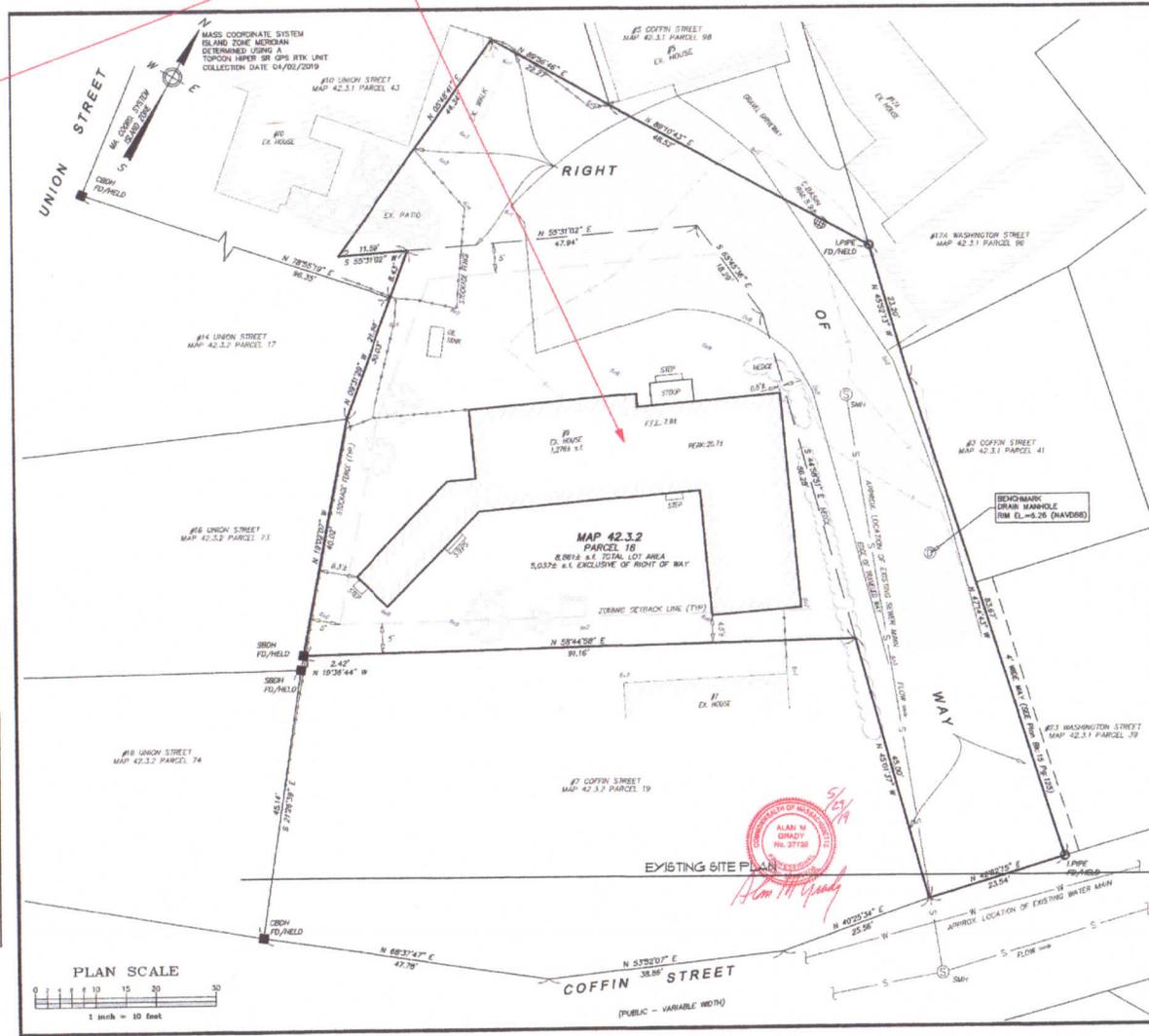
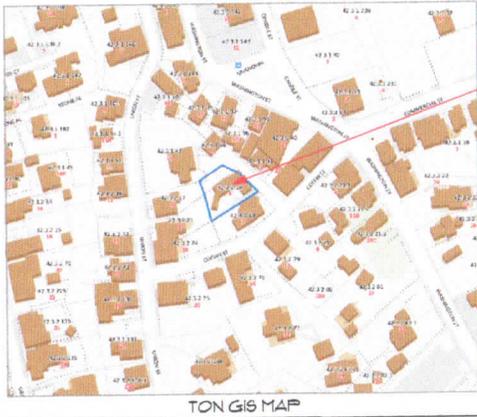
Samuel L. Pierpont
Manager
203-767-9222
SamPierpont@msn.com

Mark Poor

Telephone: _____

Date: _____

LOCUS



- Notes**
1. LOCUS: #9 COFFIN STREET MAP 42.3.2 PARCEL 18
 2. OWNER: HARRIET W. BACKUS c/o ROBERT E. MOSES 28 UNION STREET LEBANON, NH 03766
 3. DEED REF: Bk: 124 Pg: 402 Bk: 108 Pg: 290
 4. PLAN REF: Bk: 20 Pg: 110 (LOT 2) Bk: 12 Pg: 22 Bk: 10 Pg: 18 Bk: 7 Pg: 41 Bk: 11 Pg: 26 Bk: 16 Pg: 102
 5. LOCUS DOES FALL WITHIN A SPECIAL FLOOD HAZARD ZONE AE (EL. 9) AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP No. 25019C-0086-G dated 06/09/2014.
 6. LOCUS DOES NOT FALL WITHIN THE NATURAL HERITAGE and ENDANGERED SPECIES PROGRAM (NHESP) AREAS OF ESTIMATED HABITATS OF RARE WILDLIFE and PRIORITY HABITATS OF RARE SPECIES.
 7. LOCUS FALLS WITHIN ZONE "A" OF THE NANTUCKET HARBOR WATERSHED PROTECTION DISTRICT.

ZONE:	ROH REQUIRED	EXISTING
LOT AREA:	5,000 s.f.	5,0372 s.f.
FRONTAGE:	50'	74.54±
FRONT YARD:	0'	0.8'±
SIDE/REAR YARD:	5'	4.5'±
GROUND COVER:	40% (MAX)	26.3% (20%±)

SHEET INDEX	
	NAME
	EXISTING SITE PLAN & LOCUS MAP
S-1	EXISTING FOOTPRINT
E-1	ENGINEER'S DEMOLITION & FLOOR PLAN
A-1	FLOOR PLAN
P-1	EXISTING PHOTOS
P-2	EXISTING PHOTOS

Prepared By:

BRACKEN ENGINEERING, INC.

49 HERBING FORD ROAD BUZZARDS BAY, MA 02552 (PH) 603.235.8070 (FAX) 603.235.3282

19 OLD SOUTH ROAD NANTUCKET, MA 02584 (PH) 603.235.0044 (FAX) 603.235.0044 www.brackeneng.com

EXISTING CONDITIONS PLAN IN NANTUCKET, MASSACHUSETTS

Prepared For: **HARRIET W. BACKUS**

#9 COFFIN STREET MAP 42.3.2 PARCEL 18

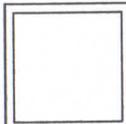
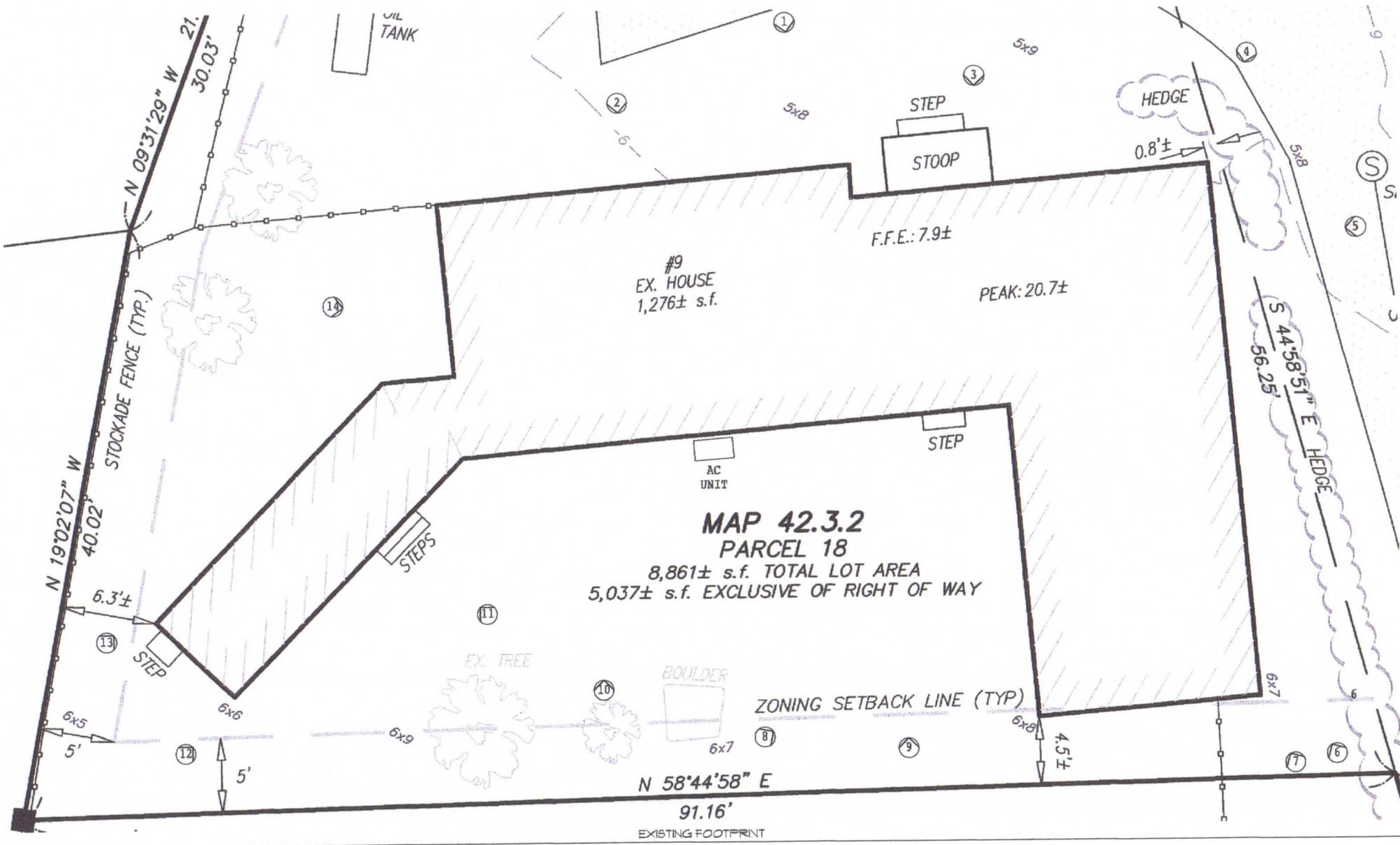
No.	Date	Revision Description	Checked	Sheet
	MAY 25, 2019	DAF/ERC/BEI	DPB/AMG	1 of 1

ALAN M. GRADY
No. 37736
5/21/19
Alan M. Grady

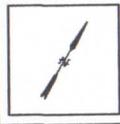
17a WASHINGTON ST. LLC c/o SAM PIERPONT
9 Coffin Street
Nantucket, MA, 02584
EXISTING SITE PLAN & LOCUS MAP

HDC SET:
RENOVATION
Property ID: 42.3.2
Scale: As Noted

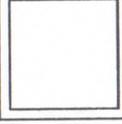
PERMITS PLUS, INC.
Technical Assistance Through the Permitting Process
508-228-6913 permit@permitsplus.com
P.O. BOX 3363 NANTUCKET, MA 02584



17a WASHINGTON ST. LLC c/o SAM PIERPONT
 9 Coffin Street
 Nantucket, MA, 02554
 EXISTING FOOTPRINT



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 P.O. BOX 3363 NANTUCKET, MA, 02584

S-1

THIS DRAWING IS THE PROPERTY OF THE ENGINEER. IT HAS BEEN SPECIFICALLY PREPARED FOR THE OWNER FOR THIS PROJECT AT THIS SITE AND IS NOT TO BE USED FOR ANY OTHER PURPOSE, LOCATION OR OWNER WITHOUT WRITTEN CONSENT OF THE ENGINEER.

Atlantic Consulting & Engineering LLC
 225 Ash Street
 Support Contractor
 02630-0000
 (508) 334-4147
 (508) 334-1234 FAX
 A-101
 info@ace-engine.com

HOME RENOVATION
9 COFFIN ST.
NANTUCKET, MA

Job Number:
20-4032

Start Date:
2/12/20

Issued For:	Date:
APPROVAL	2/14/20
PERMIT	2/21/20

REVISION	Date:

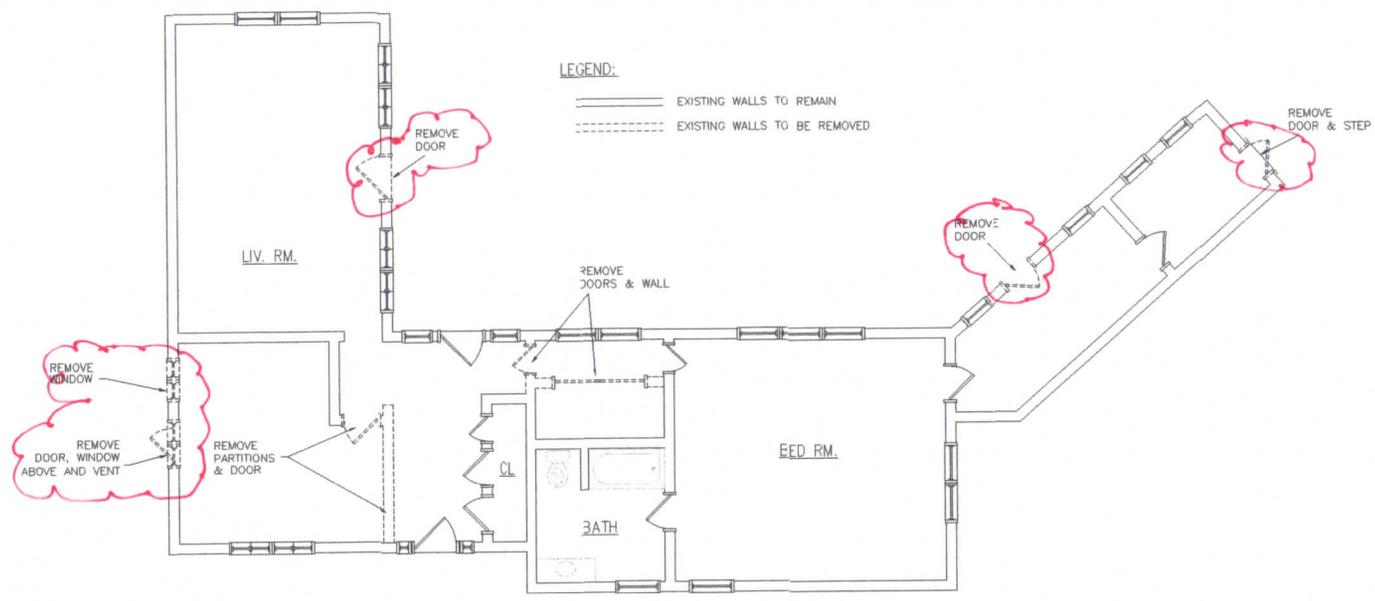
Drawn By: Checked By:
TJP JEQ



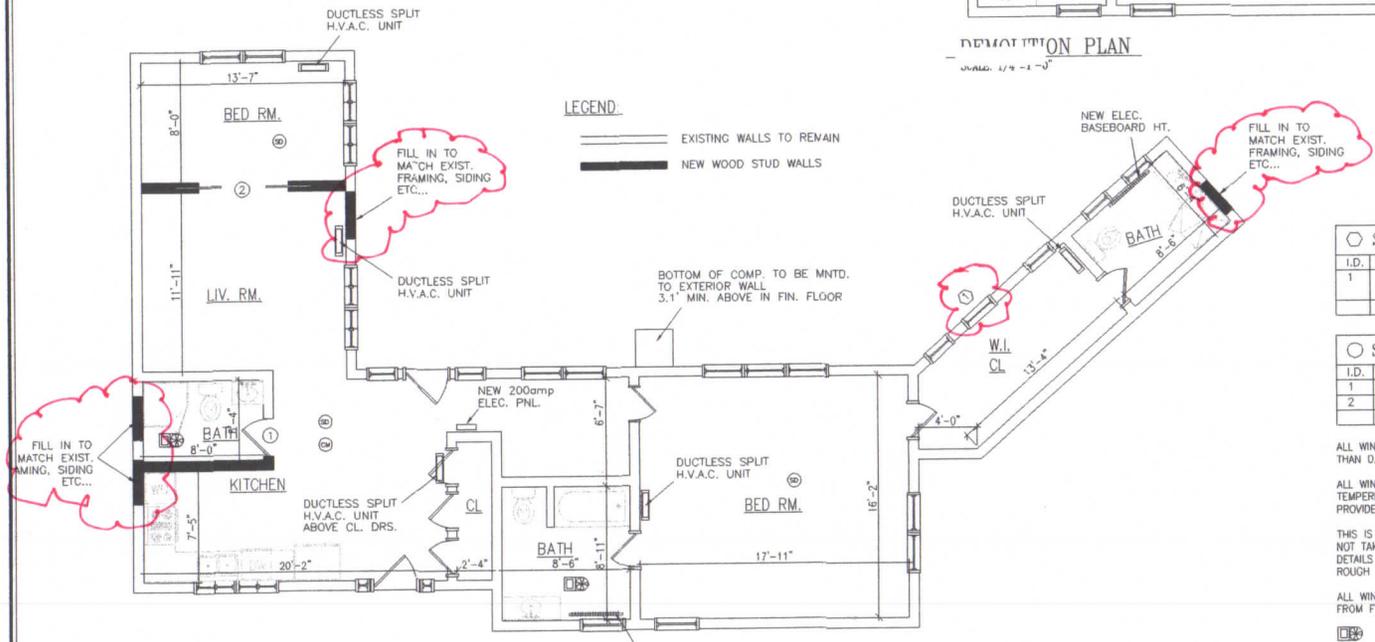
Sheet Title:
FLOOR PLAN

Scale:
AS NOTED

Sheet Number:
A-1



DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



FLOOR PLAN
SCALE: 1/4" = 1'-0"

LEGEND:
 ——— EXISTING WALLS TO REMAIN
 ——— NEW WOOD STUD WALLS

○ SYM WINDOW SCHED.

I.D.	SIZE	TYPE	QTY.
1	6/6	DBL HUNG - EGRESS SINGLE GLAZED	1

○ SYM DOOR SCHED.

I.D.	SIZE	TYPE	QTY.
1	2668	SINGLE HINGE WOOD INT.	1
2	6068	DOUBLE POCKET	1

ALL WINDOWS TO BE LOW "E" ARGON GAS FILLED WITH A "U" FACTOR OF NOT MORE THAN 0.29, INSULATED WITH THERMAL-BREAK FRAMES.

ALL WINDOWS SHALL BE EXTERIOR CLAD. SUPPLY SCREENS AS REQUIRED. PROVIDE TEMPERED GLASS WINDOWS AT ALL DOORS, STAIRS, AND TUB/SHOWER LOCATIONS. PROVIDE EGRESS WINDOWS AT ALL BEDROOM LOCATIONS.

THIS IS A PRELIMINARY WINDOW SCHEDULE. ATLANTIC CONSULTING & ENGINEERING DOES NOT TAKE ANY RESPONSIBILITY FOR SIZES, LOCATIONS, FRAMES, ETC. UNTIL ACCURATE DETAILS HAVE BEEN SUBMITTED FOR REVIEW. VERIFICATION OF EXACT WINDOW SIZES, ROUGH OPENINGS, ETC. RESTS SOLELY WITH THE GENERAL CONTRACTOR AND/OR THE OWNER.

ALL WINDOWS FACING THE WATER TO HAVE HURRICANE SHUTTERS FOR PROTECTION FROM WINDBOURNE DEBRIS.

- ☑ LIGHT AND EXHAUST FAN (2 SWITCH)
- Ⓜ SMOKE DETECTOR
- Ⓢ CARBON MONOXIDE DETECTOR



PHOTO #6



PHOTO #7



PHOTO #3



PHOTO #4



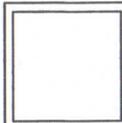
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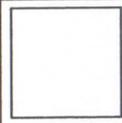
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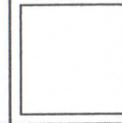
PHOTO #2



17a WASHINGTON ST. LLC d/b SAMPIERPONT
 9 Coffin Street
 Nantucket, MA, 02554
 EXISTING PHOTOS



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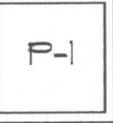




PHOTO #14



PHOTO #11



PHOTO #12

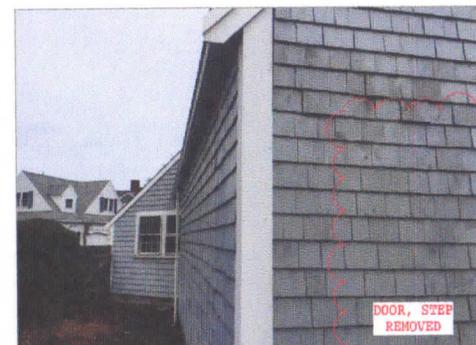


PHOTO #13



PHOTO #8



PHOTO #9



PHOTO #10

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P-2