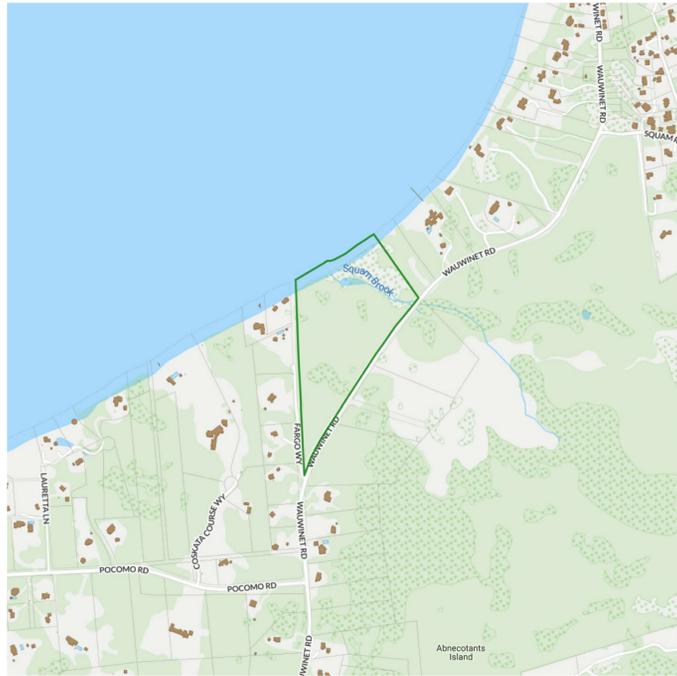
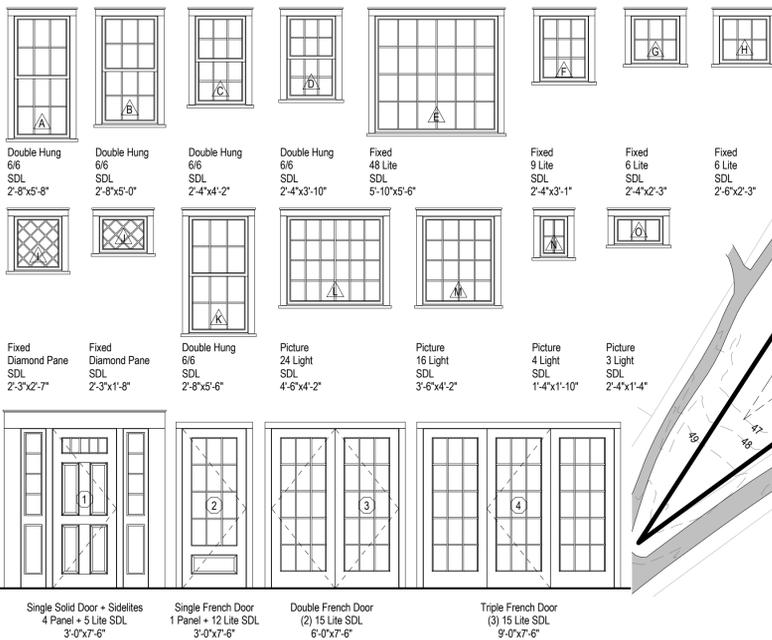


# 78 Wauwinet LLC

78 Wauwinet Road  
Nantucket, MA 02554



## Locus Map

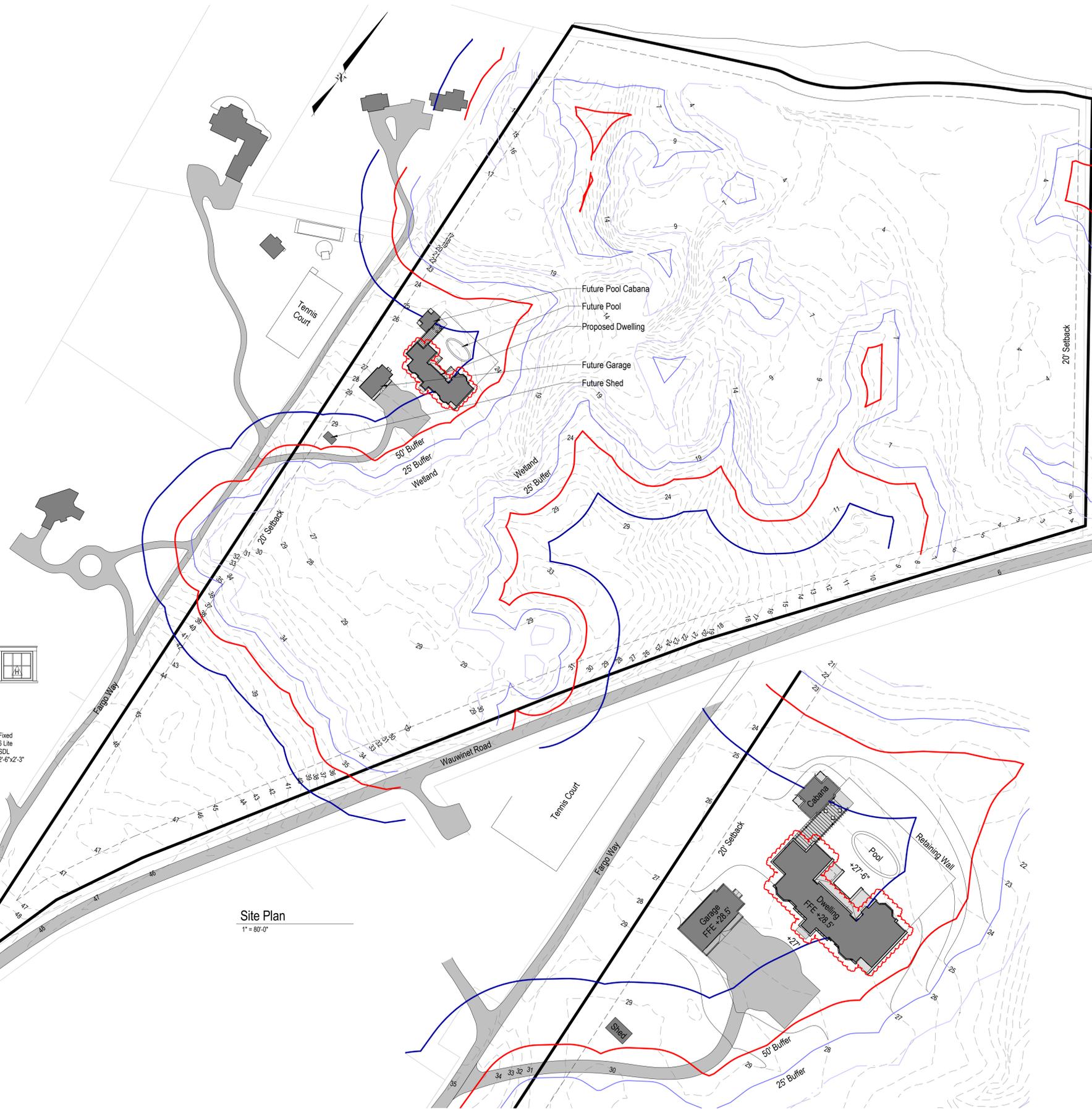


## Window & Door Legend

1/4" = 1'-0"

### WINDOW & DOOR NOTES

- Windows w/ DP Rating of 30 or Greater Required
- Refer To Plan For Tempered Glass Locations; Contractor To Verify Tempered Windows Are Provided Where Required
- Contractor Shall Install Self Adhesive Flexible Window Flashing by Grace or Equal
- General Contractor To Verify All Egress Windows Have @ Least 20"24" Clear Opening & Are In Accordance w/ Massachusetts Minimum Egress Requirements
- General Contractor To Verify Window & Door Order Matches Or Exceeds Required Energy Ratings Per HERS Calculation
- Contractor Shall Provide Architect w/ Window & Door Quote For Quantity & Type Verification Prior To Order
- Contractor To Verify All Window & Door Colors As Quoted Match The Latest HDC Approval Prior To Order
- The Unit Measurements Given In This Document Are For A Guide Only



Site Plan  
1" = 80'-0"

Enlarge Site Plan  
1" = 40'-0"

**1942**  
78 Wauwinet LLC  
78 Wauwinet Road  
Nantucket, MA 02554



## Cover Sheet

### Site Information

Map & Parcel:	14 / 18
Current Zoning:	LUG-3
Minimum Frontage:	200'
Front Setback:	35'
Side/Rear Setback:	20'
Lot Size:	1,092,874 SF
Min. Lot Size:	120,000 SF
Allowable G.C.:	32,786 SF +/- or 3%
Proposed G.C.:	3,851 SF
Total Proposed G.C.:	-----

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

### SHEET INDEX

- G.1.1 Cover Sheet
- A.1.1 First Floor Plan
- A.1.2 Second Floor Plan
- A.2.1 Exterior Elevations
- A.2.2 Exterior Elevations

## Revisions

THESE DRAWINGS AND THE DESIGNS THEY ILLUSTRATE ARE THE SOLE PROPERTY OF EMERITUS DEVELOPMENT LTD. AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION OF EMERITUS DEVELOPMENT LTD.

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**G.1.1**  
**1942**

1942

78 Wauwinet LLC

78 Wauwinet Road  
Nantucket, MA 02554



First Floor Plan

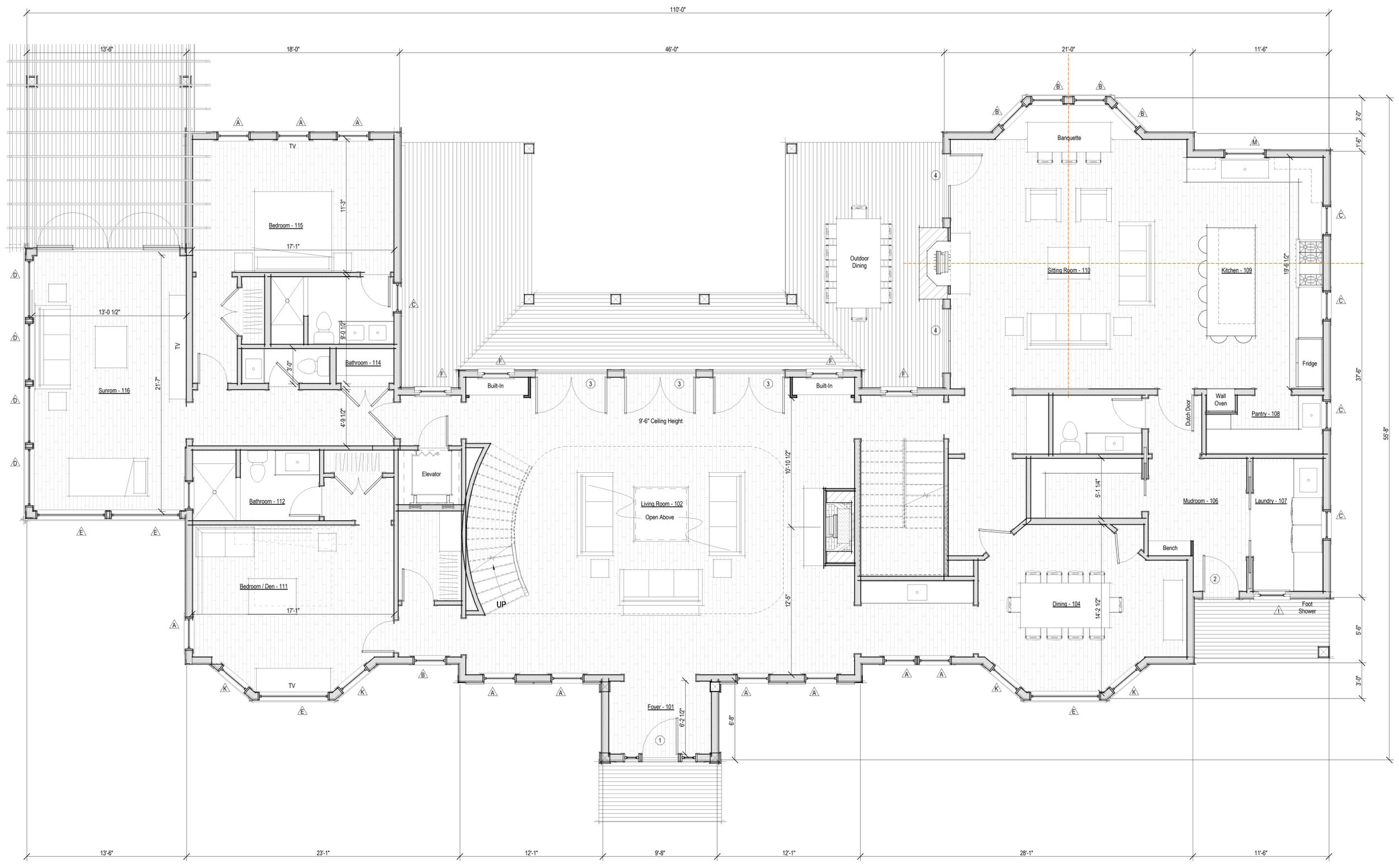
Site Information

Map & Parcel:	14 / 18
Current Zoning:	LUG-3
Minimum Frontage:	200'
Front Setback:	35'
Side/Rear Setback:	20'
Lot Size:	1,092,874 SF
Min. Lot Size:	120,000 SF
Allowable G.C.:	32,786 SF +/- or 3%
Proposed G.C.:	3,851 SF
Total Proposed G.C.:	-----

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SHEET INDEX

- G.1.1 Cover Sheet
- G.1.2 Site Section
- A.1.1 First Floor Plan
- A.1.2 Second Floor Plan
- A.2.1 Exterior Elevations
- A.2.2 Exterior Elevations



1 First Floor Plan  
1/4" = 1'-0"

Revisions

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A.1.1  
1942

# 1942

78 Wauwinet LLC

78 Wauwinet Road  
Nantucket, MA 02554



## Second Floor Plan

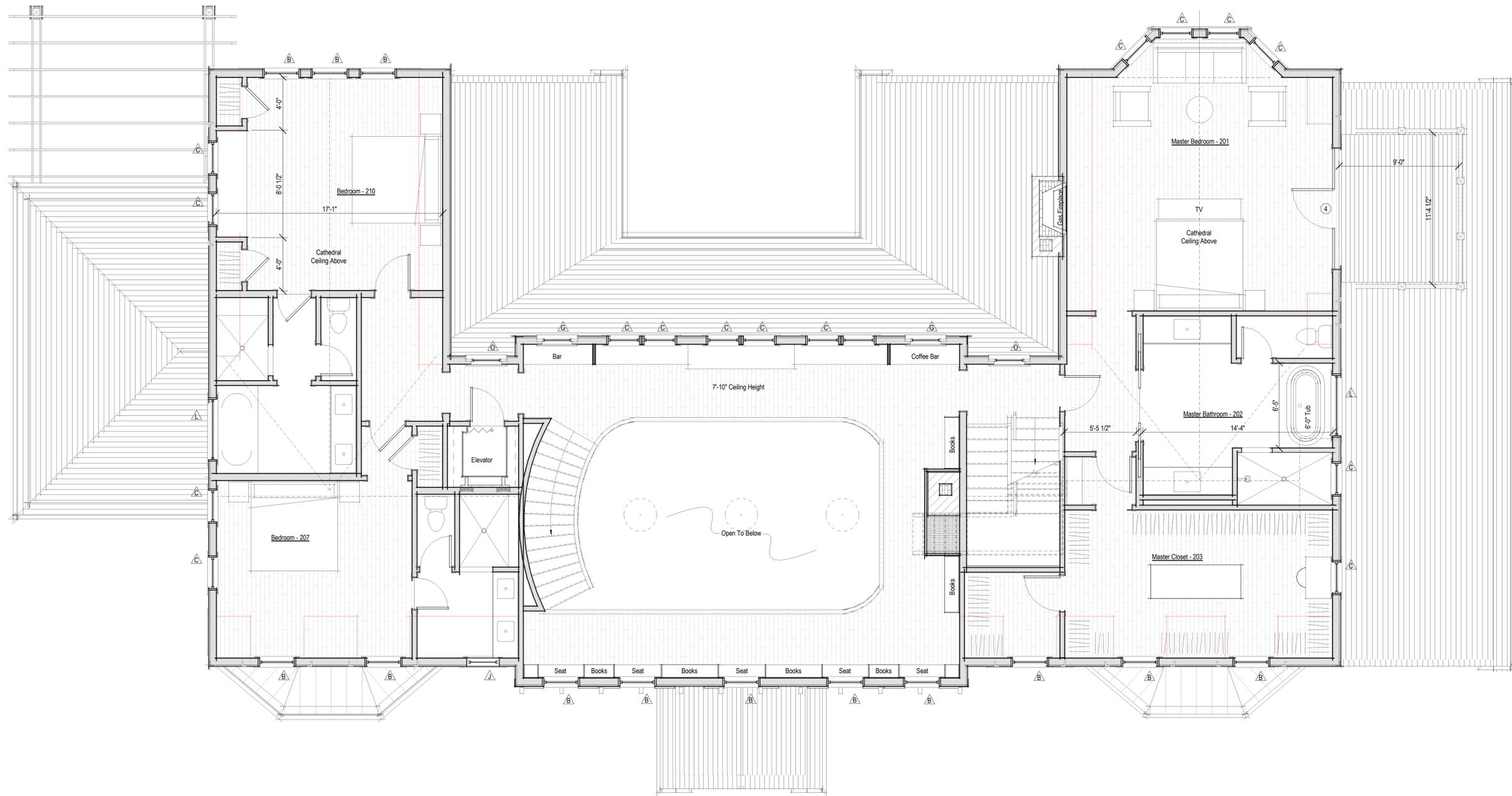
### Site Information

Map & Parcel:	14 / 18
Current Zoning:	LUG-3
Minimum Frontage:	200'
Front Setback:	35'
Side/Rear Setback:	20'
Lot Size:	1,092,874 SF
Min. Lot Size:	120,000 SF
Allowable G.C.:	32,786 SF +/- or 3%
Proposed G.C.:	3,851 SF
Total Proposed G.C.:	-----

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- G.1.2 Site Section
- A.1.1 First Floor Plan
- A.1.2 Second Floor Plan
- A.2.1 Exterior Elevations
- A.2.2 Exterior Elevations



**1** Second Floor Plan  
1/4" = 1'-0"

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# A.1.2

# 1942

**1942**  
78 Wauwinet LLC

78 Wauwinet Road  
Nantucket, MA 02554



**Exterior Elevations**

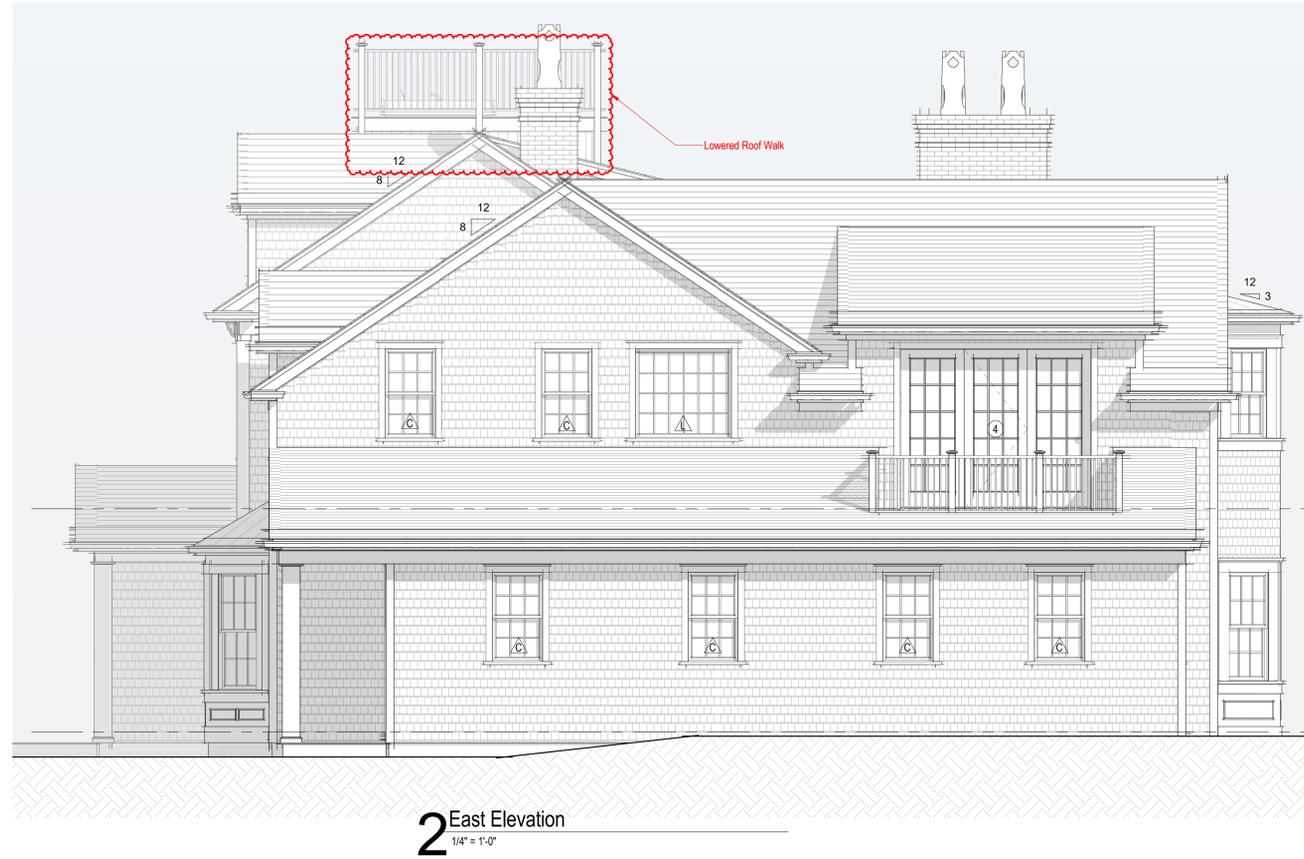
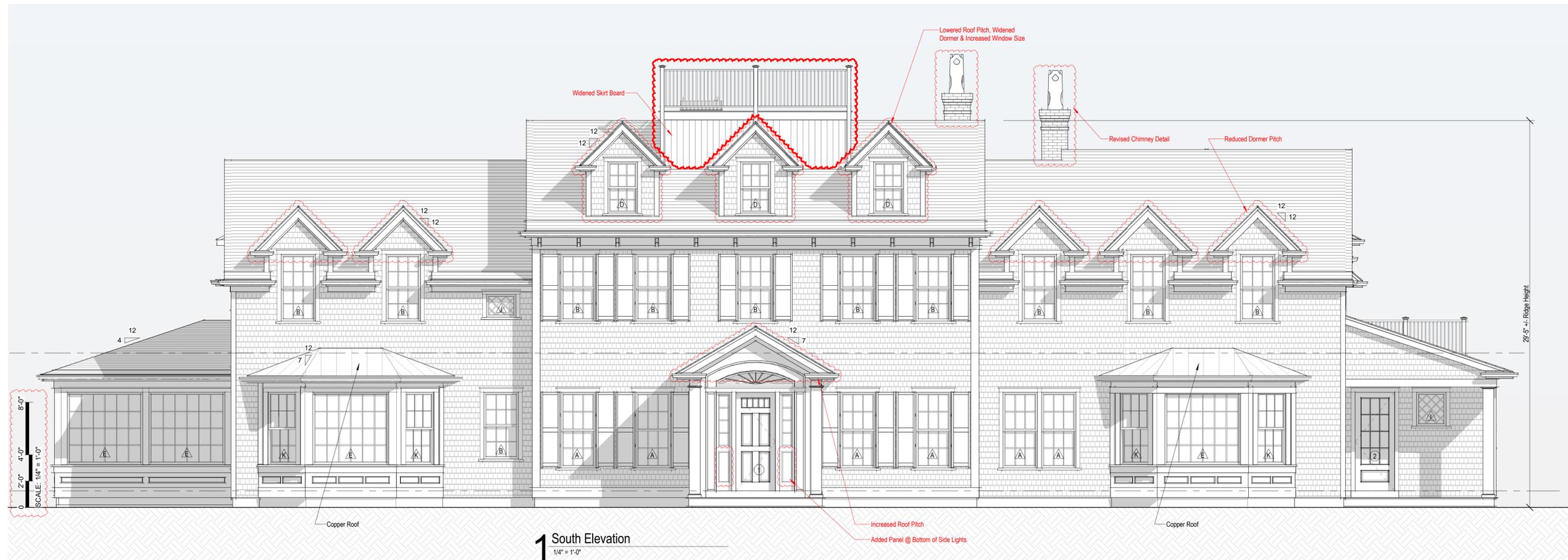
**Site Information**

Map & Parcel:	14 / 18
Current Zoning:	LUG-3
Minimum Frontage:	200'
Front Setback:	35'
Side/Rear Setback:	20'
Lot Size:	1,092,874 SF
Min. Lot Size:	120,000 SF
Allowable G.C.:	32,786 SF +/- or 3%
Proposed G.C.:	3,851 SF
Total Proposed G.C.:	-----

Information for this site plan was taken from the Nantucket C.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

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- A.2.1 Exterior Elevations
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**A.2.1**  
**1942**



**1** North Elevation  
1/4" = 1'-0"



**2** West Elevation  
1/4" = 1'-0"

**1942**

78 Wauwinet LLC

78 Wauwinet Road  
Nantucket, MA 02554



**Exterior Elevations**

**Site Information**

Map & Parcel:	14 / 18
Current Zoning:	LUG-3
Minimum Frontage:	200'
Front Setback:	35'
Side/Rear Setback:	20'
Lot Size:	1,092,874 SF
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**A.2.2**  
**1942**

# OLD BUSINESS CHECKLIST



## Planning and Land Use Services

### Historic District Commission

2 Fairgrounds Road, Nantucket, Ma 02554  
508-325-7587

This checklist **MUST** be submitted with your application.

\*Refer to the HDC Policies and Procedures for Applicants for further information link below:

<https://www.nantucket-ma.gov/DocumentCenter/View/28657/HDC-Policies-and-Procedures-for-Applicants-revised>

Failure to submit the required documents below for an Old Business meeting **MAY** result in delays.

X	HDC case number: (ex HDC2020-xx-xxxx), if applicable HDC2020-06-1065
X	<u>Copy of Minutes</u> (application item circled)
X	<u>Reduced (8 1/2 x 11) copy of application</u>
X	<u>Locus Map</u> : 4 copies: <a href="https://www.nantucket-ma.gov/151/GIS-Maps">https://www.nantucket-ma.gov/151/GIS-Maps</a>
X	Four (4) copies of additional information requested by Commission- if applicable (i.e. pictures, FEMA flood Certificate, etc.)
X	Four (4) Large (24"x36") sets of plans (circle all that apply) <ul style="list-style-type: none"> <li>Ⓐ Site Plan</li> <li>Ⓑ North Elevation</li> <li>Ⓒ South Elevation</li> <li>Ⓓ East Elevation</li> <li>Ⓔ West Elevation</li> <li>Ⓕ Window/Door Schedule</li> </ul>
X	<u>One set reduced plans</u> : 8 1/2 x 11
X	<u>Electronic Submission</u> : ALL documents <b>MUST BE</b> scanned to <a href="mailto:hdcsubmissions@nantucket-ma.gov">hdcsubmissions@nantucket-ma.gov</a> .

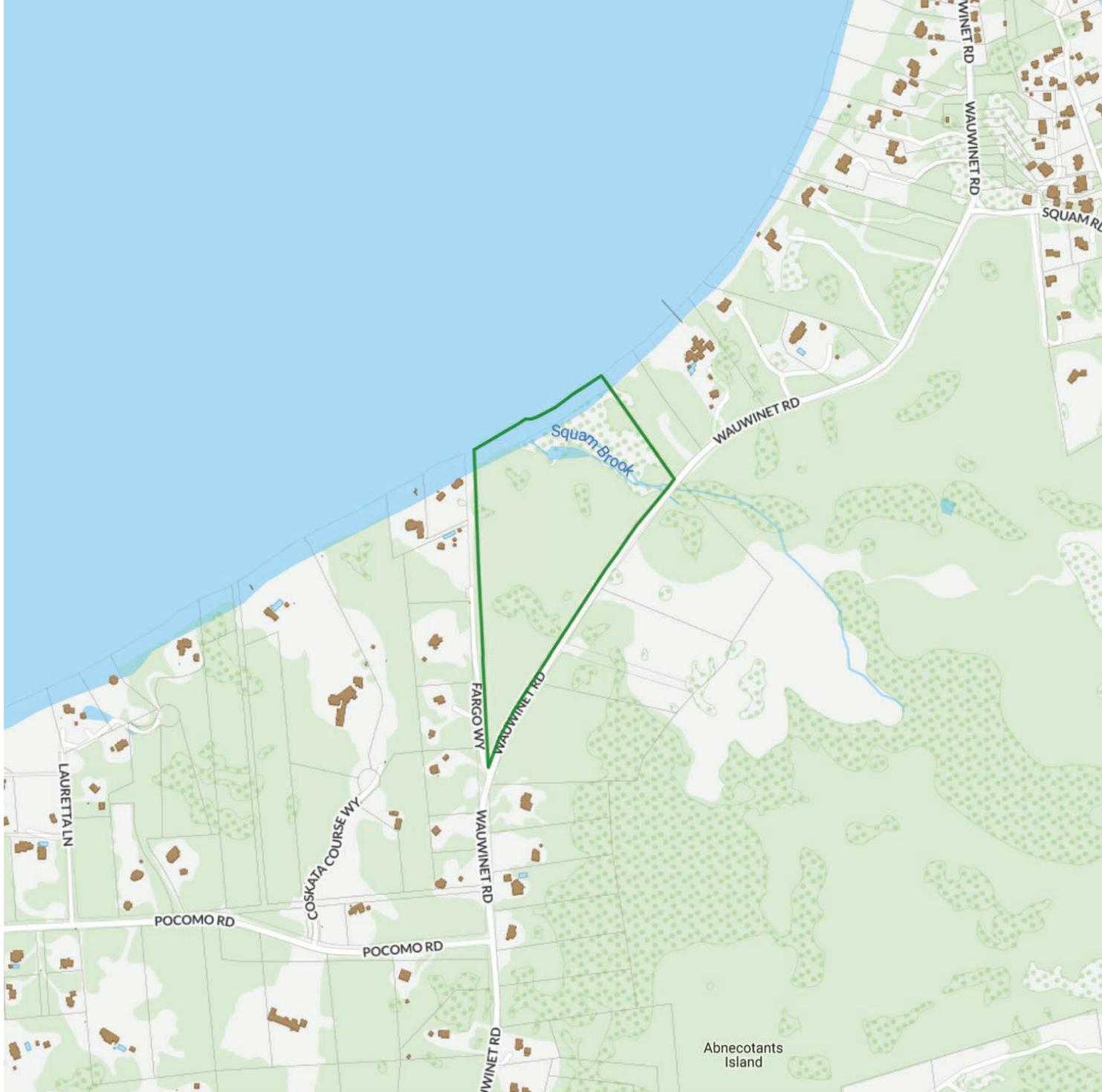
**\*\* PLUS staff is not responsible to research, gather, collate or submit documents on behalf of the applicant.**

### **Affidavit Certifying Completeness of Application**

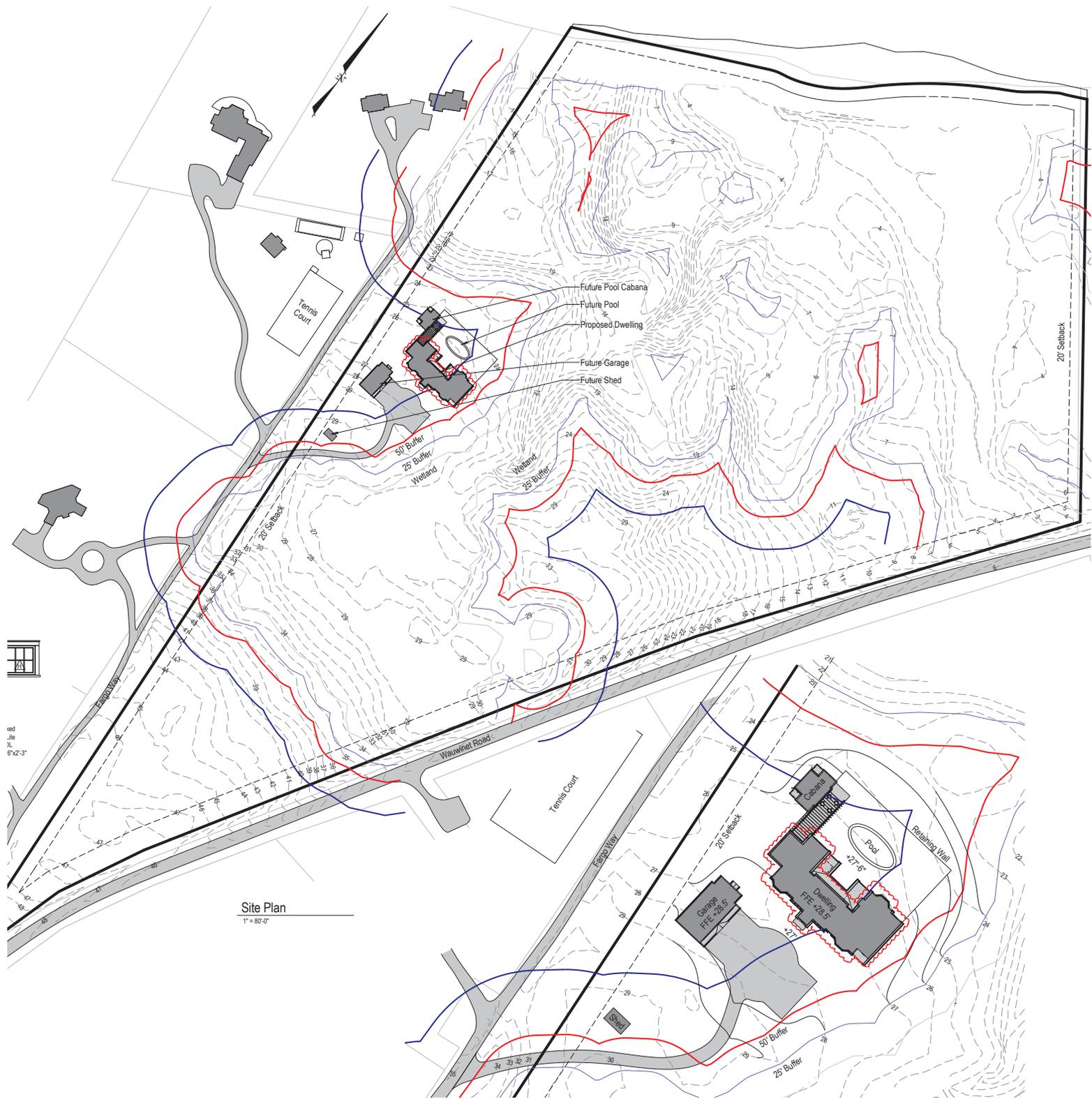
I hereby acknowledge that I have read the Nantucket Historic District Commission Policies and Procedures for Applicants. Furthermore, I confirm that the requirements for a complete application have been met.

Signature: \_\_\_\_\_ Date: 06.18.20

7.	78 Wauwinet LLC 06-1065	78 Wauwinet Road	New dwelling	14-18	Emeritus
Voting	Pohl, Coombs, Camp, Oliver, Welch				
Alternates	None				
Recused	None				
Documentation	Architectural elevation plans, site plan, and photos.				
Representing	Matt MacEachern, Emeritus Development				
Public	None				
Concerns (5:26)	<p><b>MacEachern</b> – We put up ridge poles if the commissioners want to ascertain visibility; reviewed context photos and 3D renderings and changes made per previous concerns.</p> <p><b>Oliver</b> – Asked what part of the house the height pole represent in the photo from Fargo – west 27-foot ridge. The roof and 3<sup>rd</sup>-floor dormers will be visible.</p> <p><b>Coombs</b> – If the roof walk were lowered, the skirt would be smaller; currently the skirt takes up half the roof and sits on the dormers. The panel shutters don't fit with this style of house; they should be louvered. The house is 110 feet long; suggested bringing in the south elevation, right-side wall to reduce the length. If this family owned the property for 40 years, she doesn't understand why they need a viewing platform on the property.</p> <p><b>Camp</b> – She shares the concern about the height. The main mass is overwhelmed by the right side but we're being told it won't be visible; we've been burnt a couple of times by brush cutting; if this is cleared to Fargo Way; it will stick out.</p> <p><b>Welch</b> – Asked about the frieze area on the South elevation. He agrees with comments made. To the extent this is visible, the Fargo view indicates the left section is 61 feet plus from the road; the main mass ridge would be only about 20 feet from the shown height pole. He wants to see a topographical site plan showing the neighbor's tennis court; it looks like the driveway will be at elevation 22 feet with the house stepped up a foot putting the top of floor around 23'6". The elevation at the house then drops to 10 feet at the ocean; feels that side of the house will be seen, especially without jurisdiction over clear cutting. We should be viewing retainage in connection with the house application.</p> <p><b>Pohl</b> – Other houses in the neighborhood are 2-stories with no 3<sup>rd</sup>-floor dormers; he feels everything above the 2<sup>nd</sup>-floor eave will be visible and it is all white. The skirt board on the roof walk traditionally would sit on the ridge; here it is 1-foot above the ridge, apparently for head room underneath. The skirt board should be 1-foot lower, which would lower the roof walk 1 foot. If this owner wants to clear cut to Fargo Way, we have no recourse to stop them; in his opinion, that makes the massing "fair game." The elevations show a flat site when there appears to be a 6-foot grade change over the footprint; he'd like to see an existing topo with the proposed topo to see ascertain how a flat site would be achieved. It's the ConCom who have enforcement power if cutting encroaches into the resource area no-disturb buffers.</p>				
Motion	<p><b>Motion to Hold for revisions and additional information to include a topographical map showing existing with overlay of proposed and indications of the neighbors to the northwest and a cross section through the southwest showing retainage. (Welch)</b></p>				
Roll-call Vote	Carried 5-0//Oliver, Camp, Coombs, Welch, and Pohl-aye.			Certificate #	
8.	Eric Rosenfeld 05-0974	57 Quidnet Road	Roof top solar	21-89	ACK Smart
Voting	Pohl, Coombs, McLaughlin, Camp, Oliver				
Alternates	Welch				
Recused	None				
Documentation	Architectural elevation plans, site plan, photos, manufacturer spec sheet, and solar array guidelines.				
Representing	Tobias Glidden, ACK Smart				
Public	None				
Concerns (6:27)	<p><b>Glidden</b> – Reviewed photos and changes made per previous concerns; feels the arrays won't be visible; they stand about 4" off the roof; panels are 3X5. He's willing to eliminate the three upper panels.</p> <p><b>Oliver</b> – The array can be seen from all four sides; the 3 panels on upper south elevation will be seen obliquely. There is a shed close to the house; suggested putting the upper-left 3 panels on the shed - the hedge and building shade the shed. This is a wood roof. There appears to be space to add 1 more panel to the lower array.</p> <p><b>Coombs</b> – She believes the south elevation panels will be visible; we've set solar-panel guidelines, which we aren't following. She'd be willing to try out arrays on the lower roof but not the upper roof. In the future we need to stick to the guidelines better.</p> <p><b>McLaughlin</b> – Wants to ensure there is no silver on the arrays. Feels the south elevation left array will be visible.</p> <p><b>Camp</b> – She's okay with the south lower set; her concern is the three on the upper left. Would like dimensions. She'd be okay with the lower array as long as the south-side hedge remains in place. Quidnet is the most pristine part of Nantucket; wants to keep it looking that way.</p> <p><b>Pohl</b> – This was held for a view; the drawing makes it look like the panels will stand about 8" off the roof. Suggested a mock-up of the three panels that we could view or photos to look at. A modified approval doesn't preclude coming back for the other three panels.</p>				
Motion	<p><b>Motion to Approve the lower 6 panels not to be visible at time of inspection and thereafter but through staff not the upper 3 panels at this time. (Oliver)</b></p>				
Roll-call Vote	Carried 5-0//Camp, Coombs, McLaughlin, Oliver, and Pohl-aye			Certificate #	HDC2020-05-0974



Locus Map

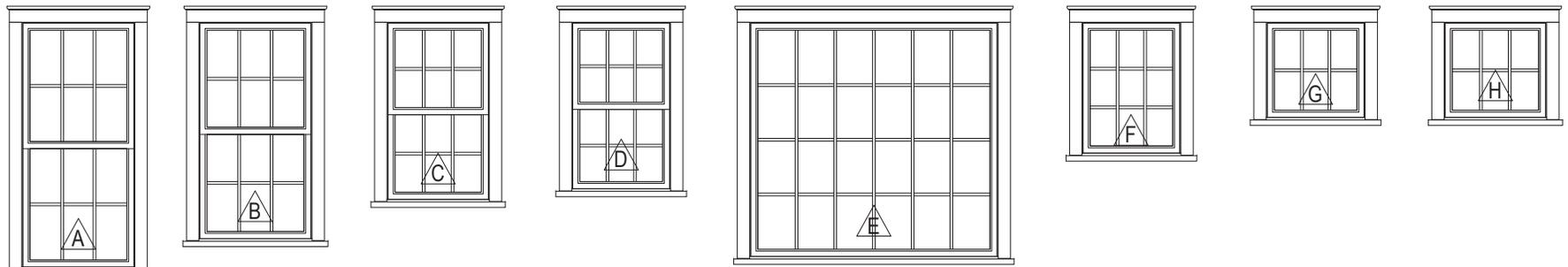


Site Plan  
1" = 80'-0"

Enlarge Site Plan

ed  
ite  
L  
6"x2'-3"





Double Hung  
6/6  
SDL  
2'-8"x5'-8"

Double Hung  
6/6  
SDL  
2'-8"x5'-0"

Double Hung  
6/6  
SDL  
2'-4"x4'-2"

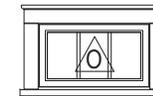
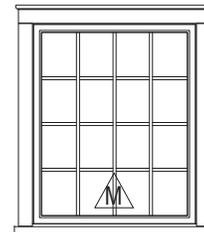
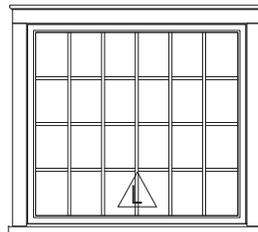
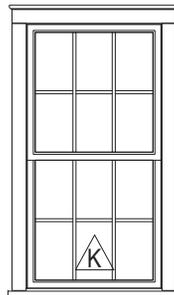
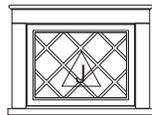
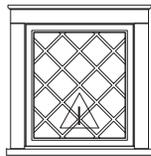
Double Hung  
6/6  
SDL  
2'-4"x3'-10"

Fixed  
48 Lite  
SDL  
5'-10"x5'-6"

Fixed  
9 Lite  
SDL  
2'-4"x3'-1"

Fixed  
6 Lite  
SDL  
2'-4"x2'-3"

Fixed  
6 Lite  
SDL  
2'-6"x2'-3"



Fixed  
Diamond Pane  
SDL  
2'-3"x2'-7"

Fixed  
Diamond Pane  
SDL  
2'-3"x1'-8"

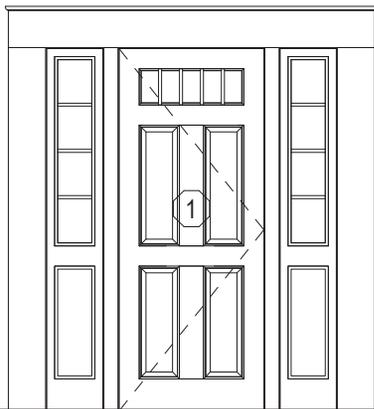
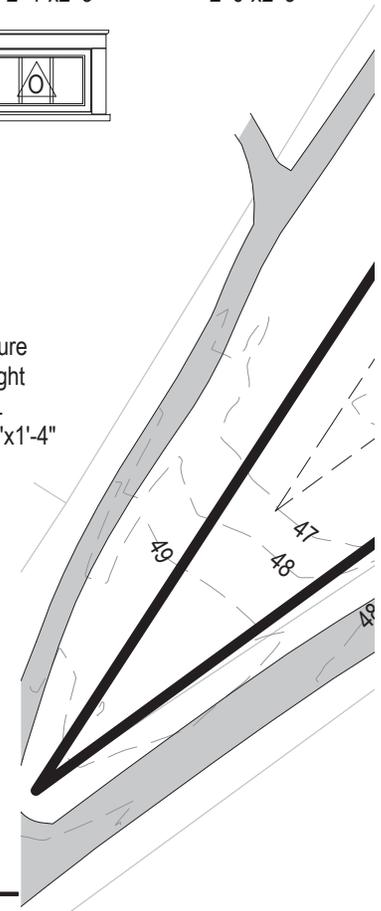
Double Hung  
6/6  
SDL  
2'-8"x5'-6"

Picture  
24 Light  
SDL  
4'-6"x4'-2"

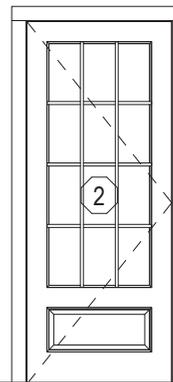
Picture  
16 Light  
SDL  
3'-6"x4'-2"

Picture  
4 Light  
SDL  
1'-4"x1'-10"

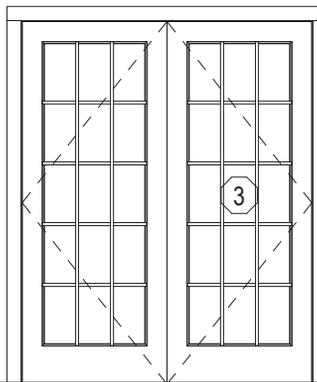
Picture  
3 Light  
SDL  
2'-4"x1'-4"



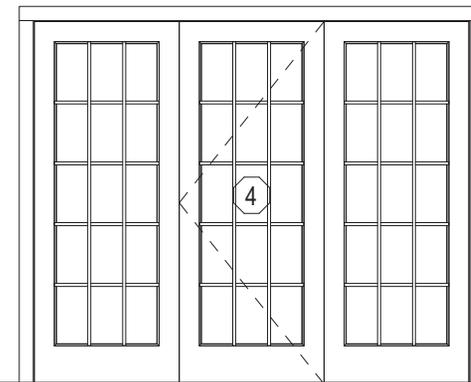
Single Solid Door + Sidelites  
4 Panel + 5 Lite SDL  
3'-0"x7'-6"



Single French Door  
1 Panel + 12 Lite SDL  
3'-0"x7'-6"



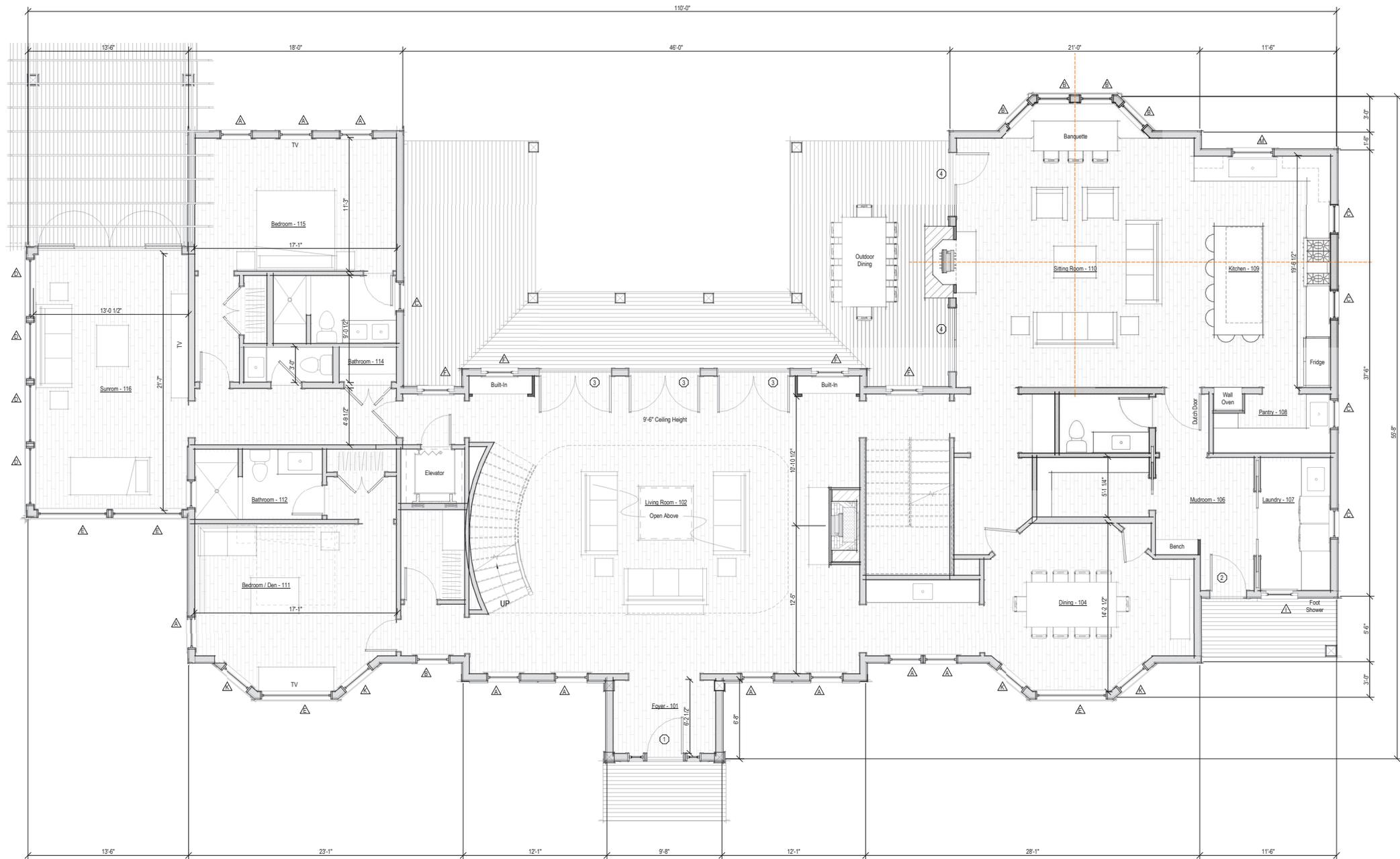
Double French Door  
(2) 15 Lite SDL  
6'-0"x7'-6"



Triple French Door  
(3) 15 Lite SDL  
9'-0"x7'-6"

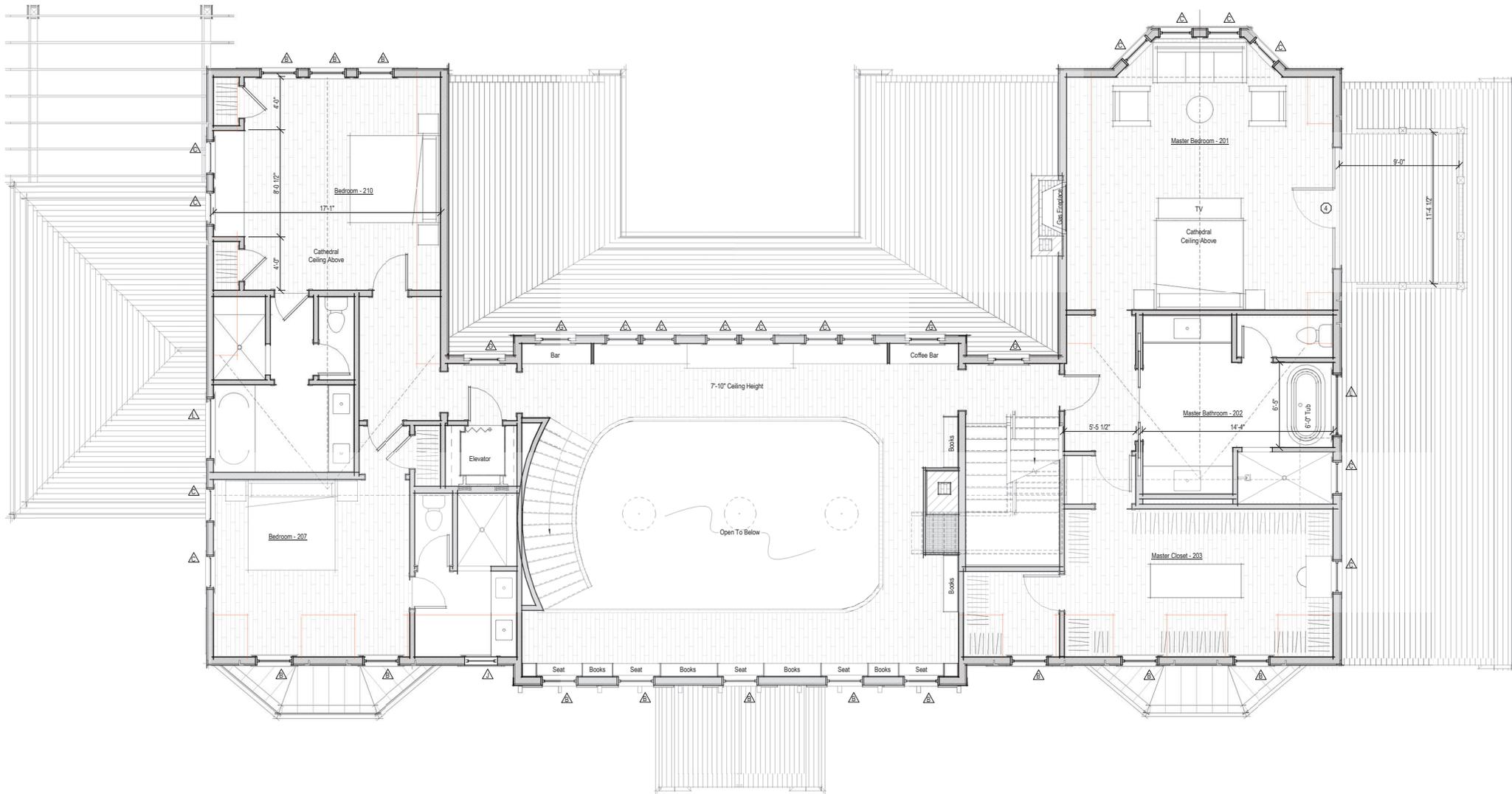
# Window & Door Legend

1/4" = 1'-0"



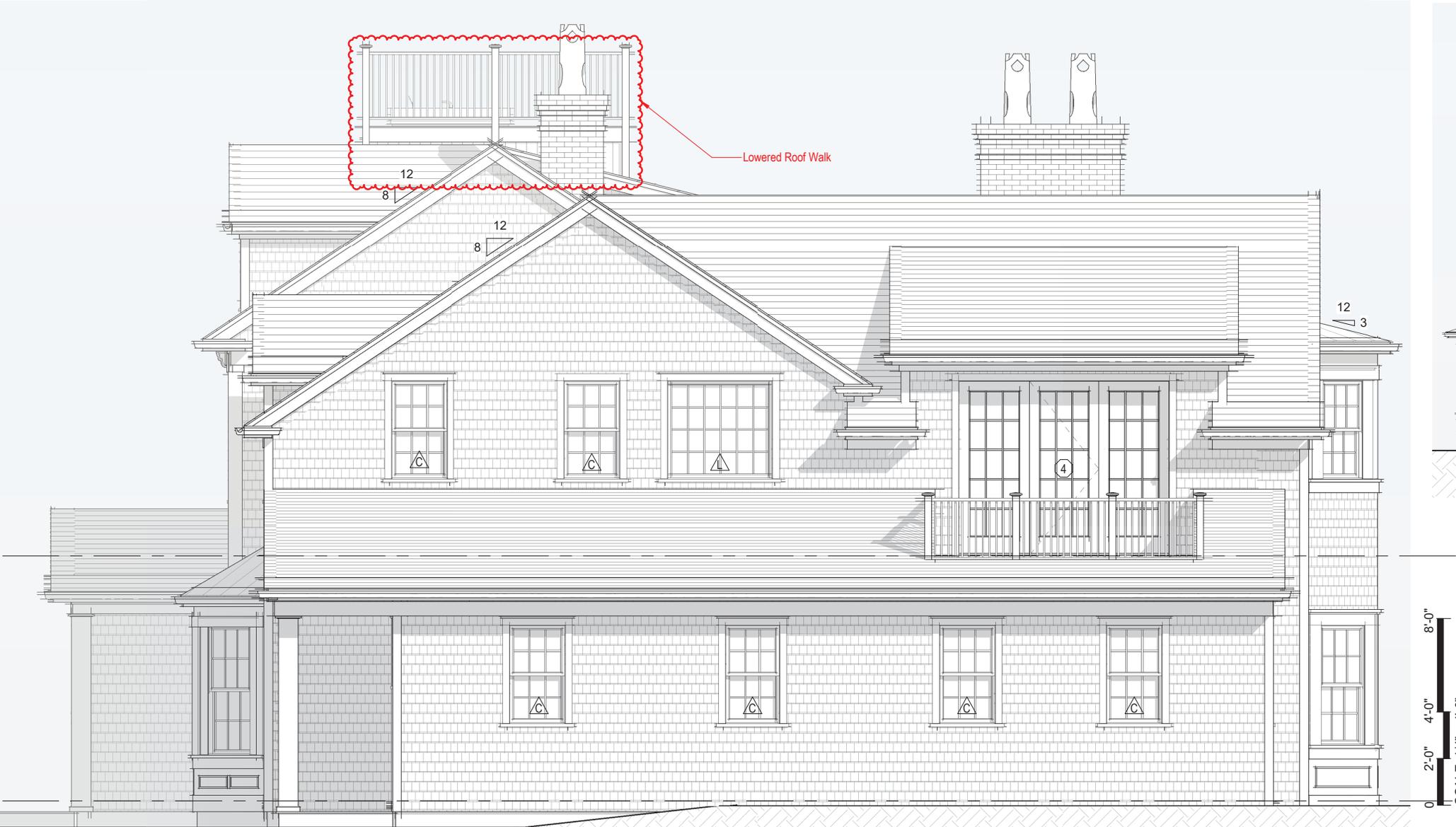
**1 First Floor Plan**

1/4" = 1'-0"



**1** Second Floor Plan  
 1/4" = 1'-0"



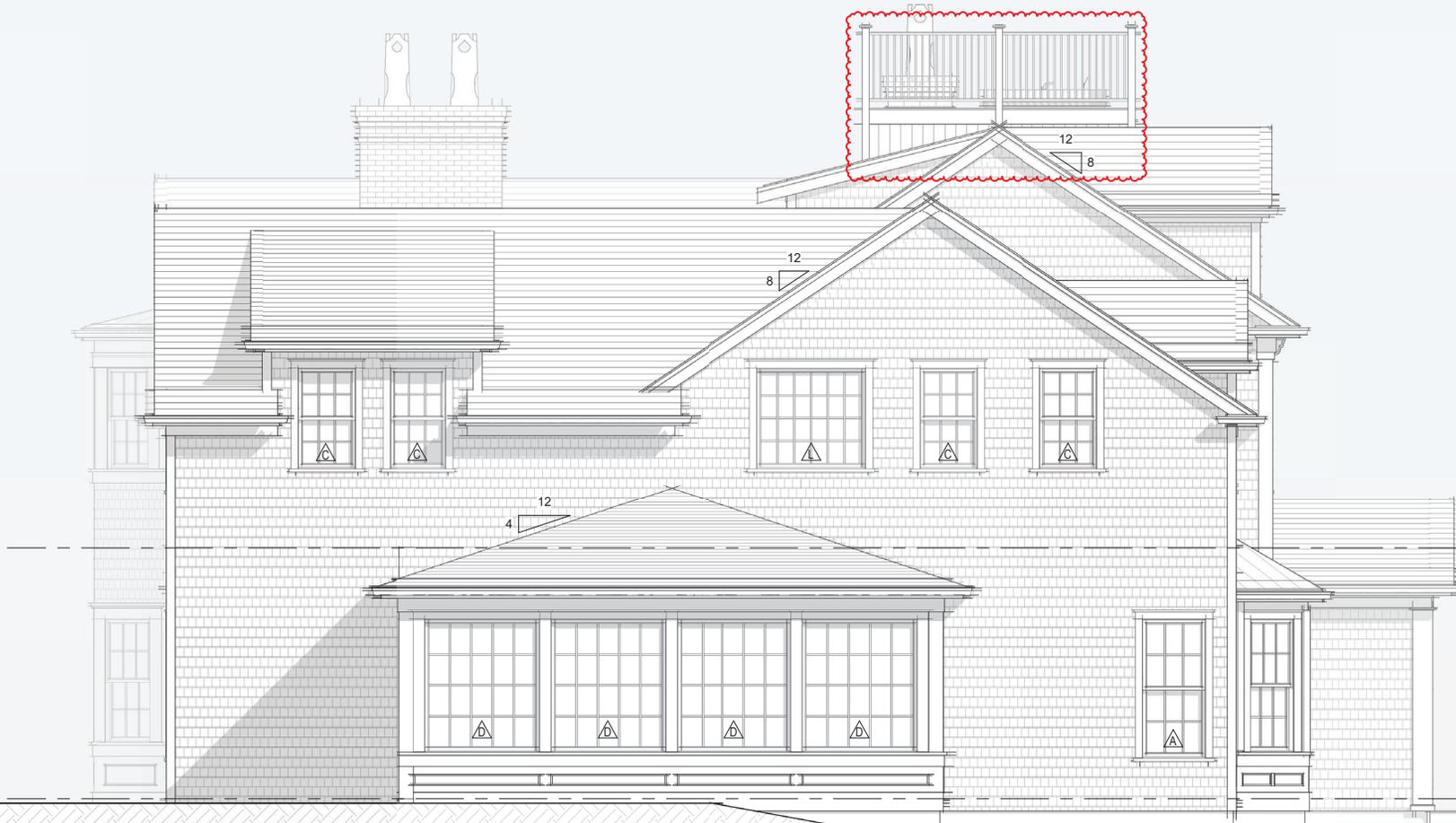


**2** East Elevation  
1/4" = 1'-0"



1 North Elevation  
1/4" = 1'-0"

8'-0"  
4'-0"  
2'-0"  
0  
SCALE: 1/4" = 1'-0"



**2** West Elevation  
1/4" = 1'-0"