

OLD BUSINESS CHECKLIST



Planning and Land Use Services

Historic District Commission

2 Fairgrounds Road, Nantucket, Ma 02554
508-325-7587

This checklist **MUST** be submitted with your application.

*Refer to the HDC Policies and Procedures for Applicants for further information link below:

<https://www.nantucket-ma.gov/DocumentCenter/View/28657/HDC-Policies-and-Procedures-for-Applicants-revised>

Failure to submit the required documents below for an Old Business meeting **MAY** result in delays.

X	HDC case number: (ex HDC2020-xx-xxxx), if applicable HDC2020-06-1070
X	<u>Copy of Minutes</u> (application item circled)
X	<u>Reduced (8 1/2 x 11) copy of application</u>
X	<u>Locus Map</u> : 4 copies: https://www.nantucket-ma.gov/151/GIS-Maps
X	Four (4) copies of additional information requested by Commission- if applicable (i.e. pictures, FEMA flood Certificate, etc.)
X	Four (4) Large (24"x36") sets of plans (circle all that apply) <ul style="list-style-type: none"> a. Site Plan b. North Elevation c. South Elevation d. East Elevation e. West Elevation f. Window/Door Schedule
X	<u>One set reduced plans</u> : 8 1/2 x 11
X	<u>Electronic Submission</u> : ALL documents MUST BE scanned to hdcsubmissions@nantucket-ma.gov .

**** PLUS staff is not responsible to research, gather, collate or submit documents on behalf of the applicant.**

Affidavit Certifying Completeness of Application

I hereby acknowledge that I have read the Nantucket Historic District Commission Policies and Procedures for Applicants. Furthermore, I confirm that the requirements for a complete application have been met.

Signature: _____ Date: 06.19.20

21. Diane Ash **06-1070** 23 Pine Street Rev. 05-0940: matl & clr chg 42.3.2-113 Emeritus

Voting Coombs (acting chair), McLaughlin, Camp, Oliver, Welch
 Alternates None
 Recused Pohl
 Documentation Architectural elevation plans, site plan, photos, historic documentation, and advisory comments.
 Representing Matt MacEachern, Emeritus Development
 Public None
 Concerns (8:16) **MacEachern** – Presented project; the colors are based upon the Hilfiger house on Lincoln Circle.
Flynn – Read Ms. Backus’ comments: Circa 1957; non-contributing; Seabrook for shutters and door not appropriate.
Camp – Seabrook is inappropriate for Pine Street; it could be greyed down. Okay with other changes.
Oliver – Seabrook is not Pine Street.
McLaughlin – The contrast between blue and brown is too much; Seabrook blue is not appropriate. The double doors are forward of the right front door, which should be a standard 6-panel door.
Welch – Agrees with respect to comments about the color. The shutters are appropriate.
 Motion **Motion to Hold for revisions. (McLaughlin)**
 Roll-call Vote Carried 5-0//Camp, Oliver, Welch, McLaughlin, and Coombs-aye Certificate #

VII. OLD BUSINESS

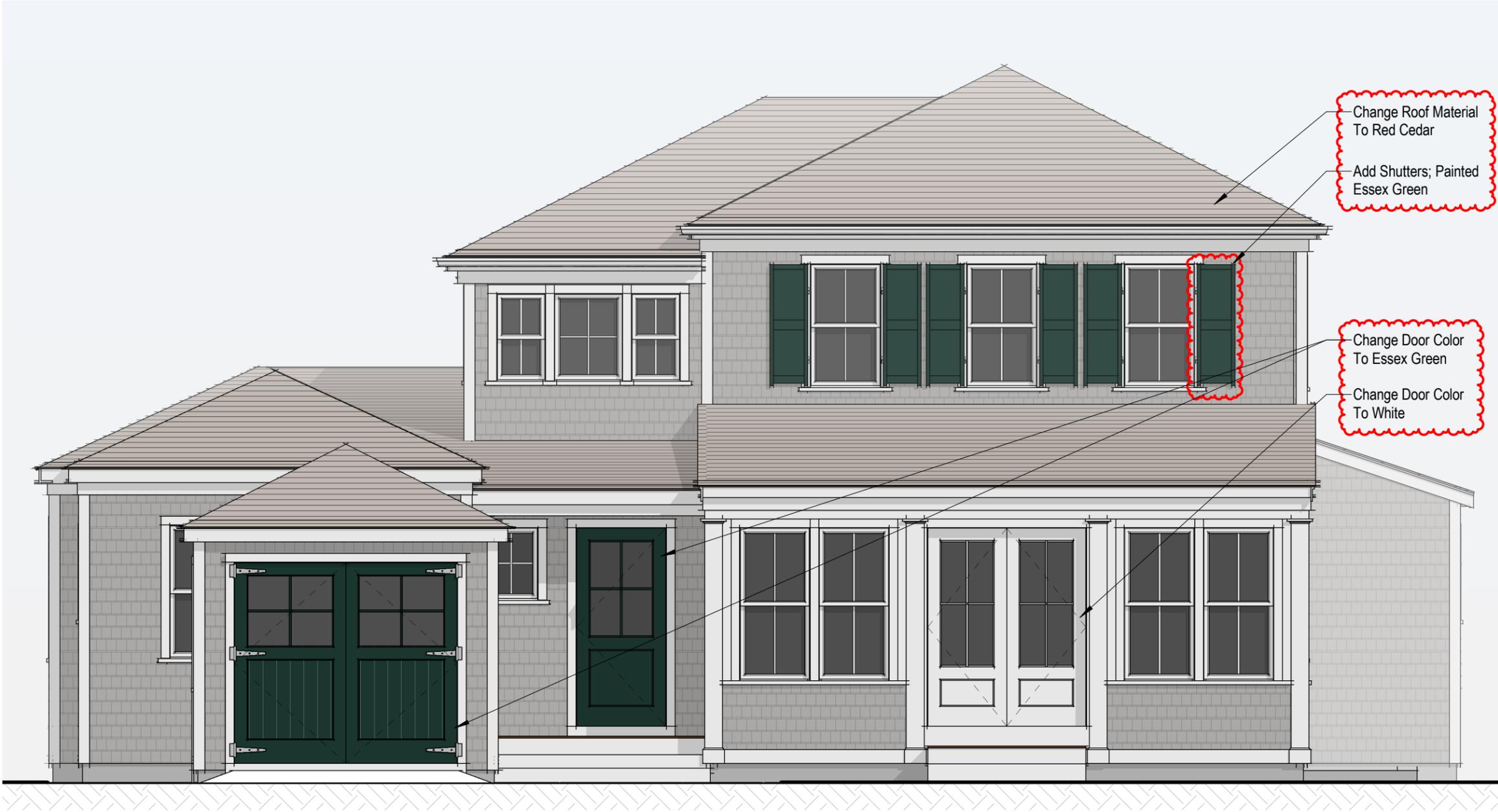
Property owner name	Street Address	Scope of work	Map/Parcel	Agent
1. Diane Ash 05-0939	23 Pine Street	Hardscaping	42.3.2-113	Emeritus

Voting Coombs (acting chair), McLaughlin, Camp, Oliver, Welch
 Alternates None
 Recused Pohl
 Documentation Landscape design plans, site plan, photos, and advisory comments.
 Representing Matt MacEachern, Emeritus Development
 Public None
 Concerns (8:28) Motion to move up on the agenda. (Welch) Carried 5-0//Oliver, Camp, McLaughlin, Welch, and Coombs-aye
MacEachern – Reviewed the project and changes made per previous concerns.
Oliver – Her comment was “less is more and there are no other pergolas on Pine Street”; the pergola too shallow and doesn’t offer anything. The patio area should be significantly reduced.
Camp – She wants more softening than was done; this is right on the street and needs to be screened from the public space. Agrees with Ms. Camp about the pergola. There are other plants beside privet that could be used; it should reflect the street more, which has trees.
McLaughlin – The pergola looks awful hanging off the front of the building.
Welch – Doesn’t disagree with retaining a transition from public to private space; however, this area of Pine Street between High and Twin Streets is all parking with trees; a tree in front would help. If the hardscaping isn’t visible, it’s our purview.
 Motion **Motion to Hold for revisions. (Oliver)**
 Roll-call Vote Carried 5-0//McLaughlin, Welch, Oliver, Camp, and Coombs-aye Certificate #

2. Faro Strada, LLC 05-0945	20 Sankaty Head Road	Garage	48-31	Botticelli & Pohl
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Voting Coombs (acting chair), Oliver, Welch
 Alternates None
 Recused Pohl
 Documentation Architectural elevation plans, site plan, photos, and advisory comments.
 Representing Lisa Botticelli, Botticelli & Pohl
 Public None
 Concerns (8:35) **Botticelli** – Reviewed changes made per previous concerns.
Oliver – She looked up different garages and compared this with the existing, this is an improvement.
Welch – Agrees with Ms. Oliver. The roof form is more appropriate.
 Motion **Motion to Approve as submitted. (Oliver)**
 Roll-call Vote Carried 3-0// Oliver, Welch, and Coombs-aye Certificate # **HDC2020-05-0945**

Essex Green



S.1

Ash Residence
23 Pine Street
Nantucket, MA 02554

Zoning Information

Map & Parcel: 42.3.2 / 113
Current Zoning: ROH
Minimum Frontage: 50'
Front Setback: None
Side/Rear Setback: 5'

Facade @ Garage

06.18.20



emeritus

8 Williams Lane Nantucket, MA
02554
P. 508.325.4995
F. 508.325.6980
www.emeritusdevelopment.com

Ash Residence

23 Pine Street
Nantucket, MA 02554



1944

Ash Residence

23 Pine Street
Nantucket, MA 02554



Cover Sheet

Site Information

Map & Parcel:	42.3.2 / 113
Current Zoning:	ROH
Minimum Frontage:	50'
Front Setback:	None
Side/Rear Setback:	5'
Lot Size:	3,833 SF +/-
Min. Lot Size:	5,000 SF
Allowable G.C.:	1,533 SF +/-
Existing G.C.:	751 SF +/-
Proposed G.C.:	1,145 SF

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

SHEET INDEX

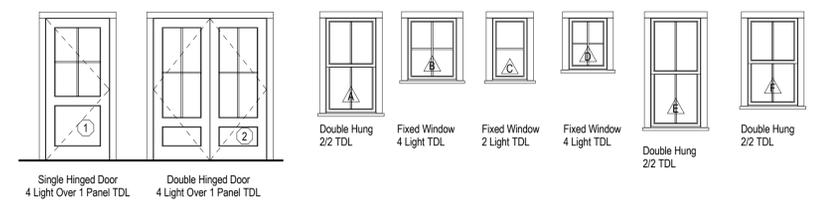
G.1.1	Cover Sheet
A.1.1	Floor Plans
A.1.2	Floor Plans
A.2.1	Exterior Elevations
F.1.1	Foundation Plan
S.1.1	Framing Plans
S.1.2	Roof Framing Plan
S.2.1	Building Sections
D.1.1	Exterior Trim Details

06.19.20



1 Locus Map

Not to Scale



WINDOW	QUANTITY	R.O. WIDTH	R.O. HEIGHT	MANUFACTURER	MODEL	DESCRIPTION	DP RATING
A	13	2' 6" 1/4"	4' 9 3/8"	Green Mountain	MDH 2424	EGRESS WINDOW	≥ 30
B	8	2' 5"	3' 1 1/4"	**	MCM 2836	FIXED WINDOW	≥ 30
C	8	1' 9"	3' 1 1/4"	**		FIXED WINDOW	≥ 30
D	1	2' 6 1/4"	5' 5 3/8"	**	MAW 2432	FIXED WINDOW	≥ 30
E	6	2' 6 1/4"	5' 5 3/8"	**	MDH 2428	EGRESS WINDOW	≥ 30
F	6	2' 6 1/4"	4' 5 3/8"	**	MDH 2422	EGRESS WINDOW	≥ 30

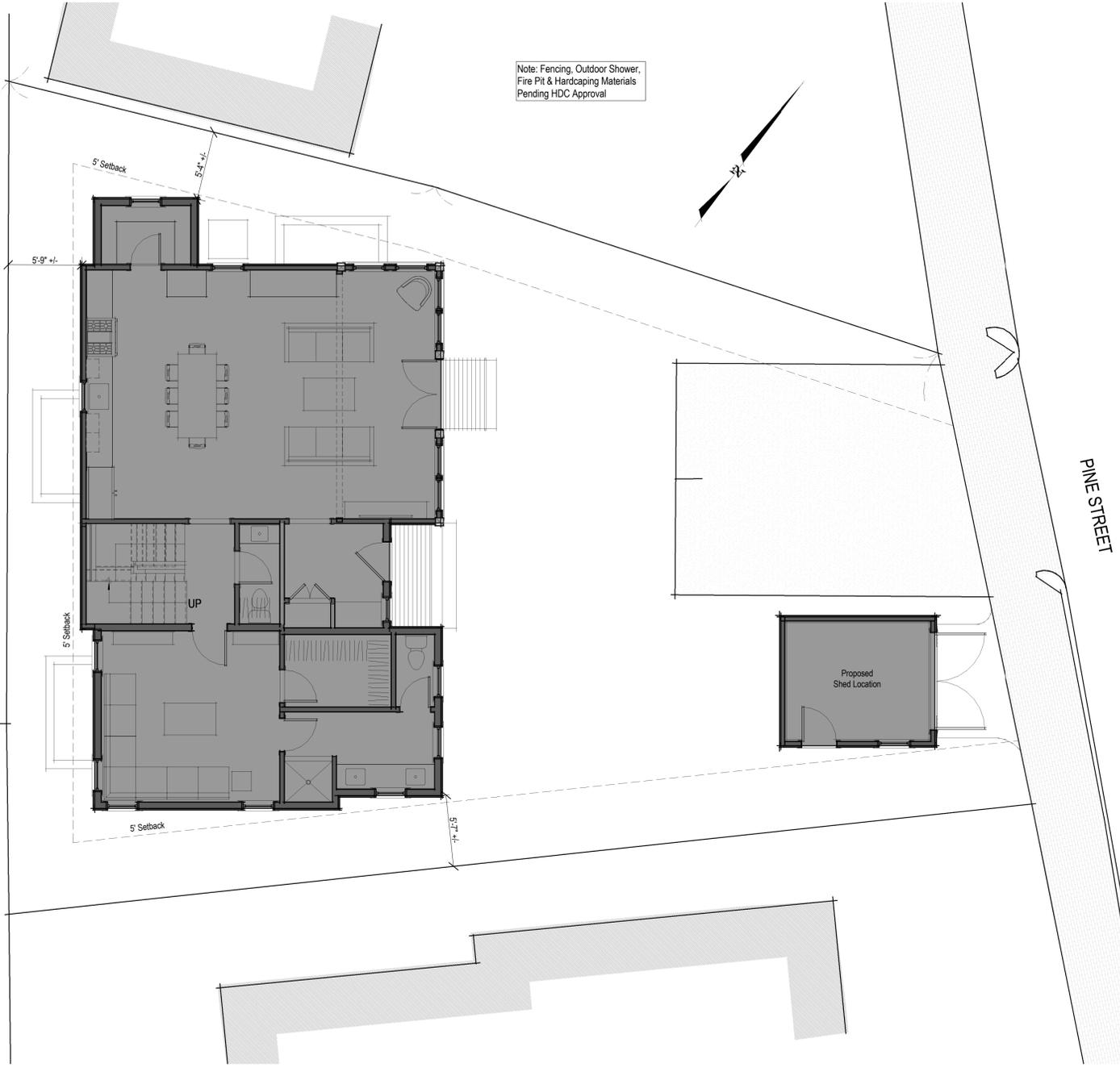
DOOR	QUANTITY	UNIT WIDTH	UNIT HEIGHT	MANUFACTURER	MODEL	DESCRIPTION	DP RATING
1	1	3'-0" +/-	6'-8" +/-	TBD	TBD		≥ 30
2	1	5'-4" +/-	6'-8" +/-				≥ 30

2 Window/Door Legend

1/4" = 1'-0"

- WINDOW & DOOR NOTES**
- Windows w/ DP Rating of 30 or Greater Required
 - Contractor to Confirm New Windows & Doors Match Existing Rough Openings Prior to Placing Order
 - Refer To Plan For Tempered Glass Locations; Contractor To Verify Tempered Windows Are Provided Where Required
 - Contractor Shall Install Self Adhesive Flexible Window Flashing by Grace or Equal
 - General Contractor to Verify All Egress Windows Have @ Least 20"24" Clear Opening & Are In Accordance w/ Massachusetts Minimum Egress Requirements
 - General Contractor To Verify Window & Door Order Matches Or Exceeds Required Energy Ratings
 - Contractor Shall Provide Architect w/ Window & Door Quote For Quantity & Type Verification Prior To Order
 - Contractor To Verify All Window & Door Colors As Quoted Match The Latest HDC Approval Prior To Order
 - The Unit Measurements Given In This Document Are For A Guide Only
 - Due To Slight Discrepancies & Changes In Manufacturing, Contractors Must Verify Rough Opening Dimensions Of All Windows & Doors w/ Manufacturer Prior Framing
 - All Windows Must Have A 0.32 U-factor Or Better
 - All Windows & Doors To Be Single Pane Glass, True Divided Lights & Have Low E Storms As Needed For Energy Requirements

HDC Submission



3 Site Plan

3/16" = 1'-0"

Revisions

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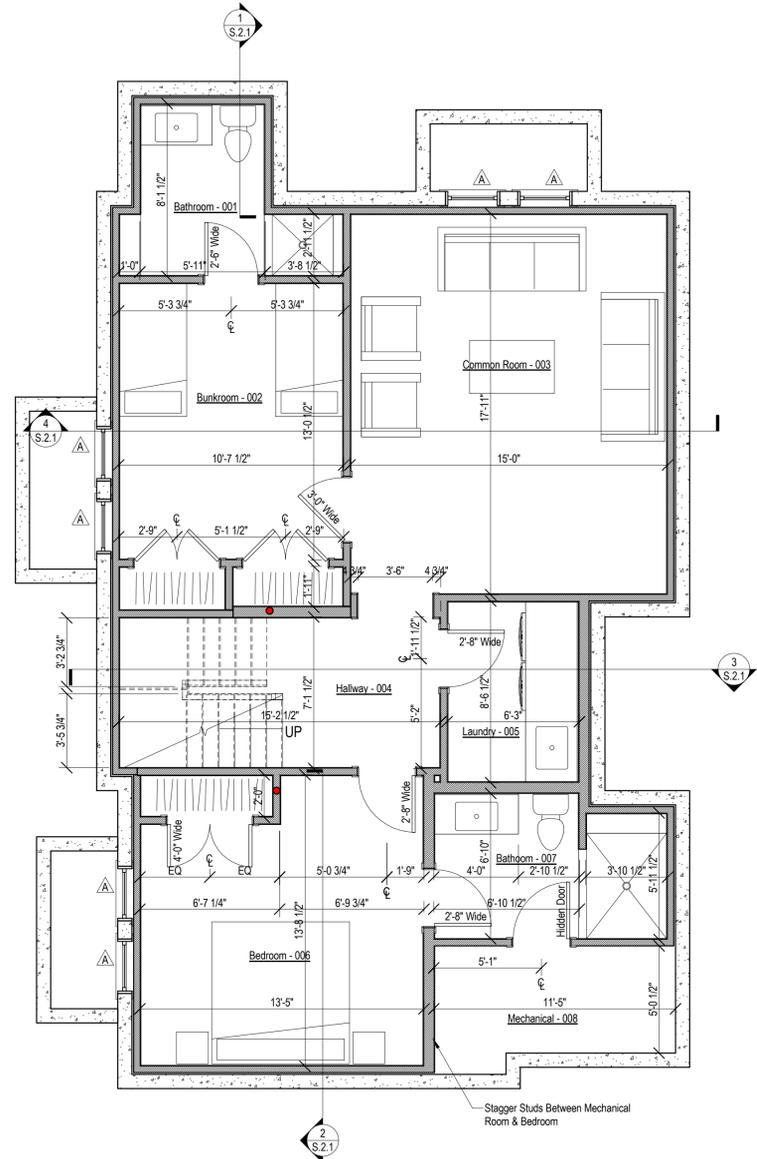
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G.1.1

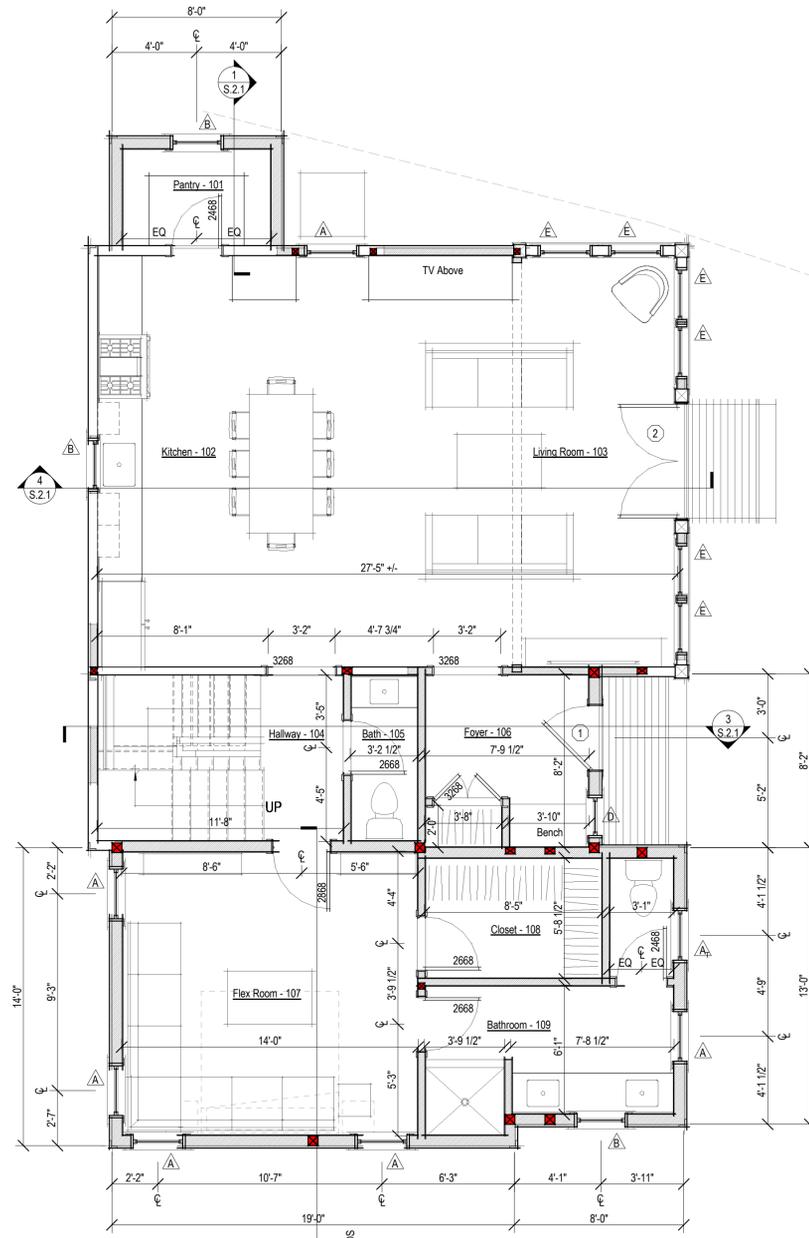
1944

06.19.20

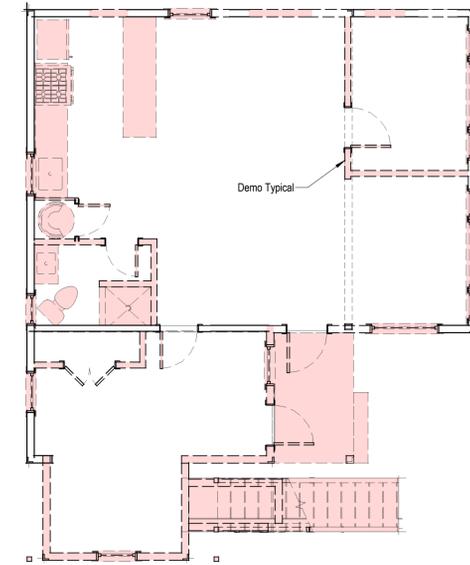
HDC Submission



1 Basement Plan
1/4" = 1'-0"



2 Proposed First Floor Plan
1/4" = 1'-0"



3 Existing First Floor Demo Plan
3/16" = 1'-0"

PARTITION LEGEND

	Existing 2x4 Partition, Dimensioned to Face of Wall Finish		Existing 2x6 Partition, Dimensioned to Face of Wall Finish
	Proposed 2x4 Partition, Dimensioned to Face of Stud		Proposed 2x6 Partition, Dimensioned to Face of Stud

EXISTING CONDITIONS NOTES:

- Plan Dimensions and Building Heights Reflected in Existing/Demolition Plans are Based on Field Measurements Recorded by Architect and Surveyor. Contractor to Notify Architect Immediately of Any Major Discrepancy Discovered Between the Drawings and the Actual Existing Conditions, Especially Where Concerning the Existing Foundation and Structure.
- Existing Framing Sizes and Span Directions to be Verified by Contractor Prior to Beginning Construction.
- Plumb Down From All Existing Stud Walls When Setting Foundation Forms. Verify All Foundation Wall Dimension in Field.

1944

Ash Residence

23 Pine Street
Nantucket, MA 02554



Floor Plans

Site Information

Map & Parcel:	42.3.2 / 113
Current Zoning:	ROH
Minimum Frontage:	50'
Front Setback:	None
Side/Rear Setback:	5'
Lot Size:	3,833 SF +/-
Min. Lot Size:	5,000 SF
Allowable G.C.:	1,533 SF +/-
Existing G.C.:	751 SF +/-
Proposed G.C.:	1,145 SF

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- A.1.1 Floor Plans
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- A.2.1 Exterior Elevations
- F.1.1 Foundation Plan
- S.1.1 Framing Plans
- S.1.2 Roof Framing Plan
- S.2.1 Building Sections
- D.1.1 Exterior Trim Details

Revisions

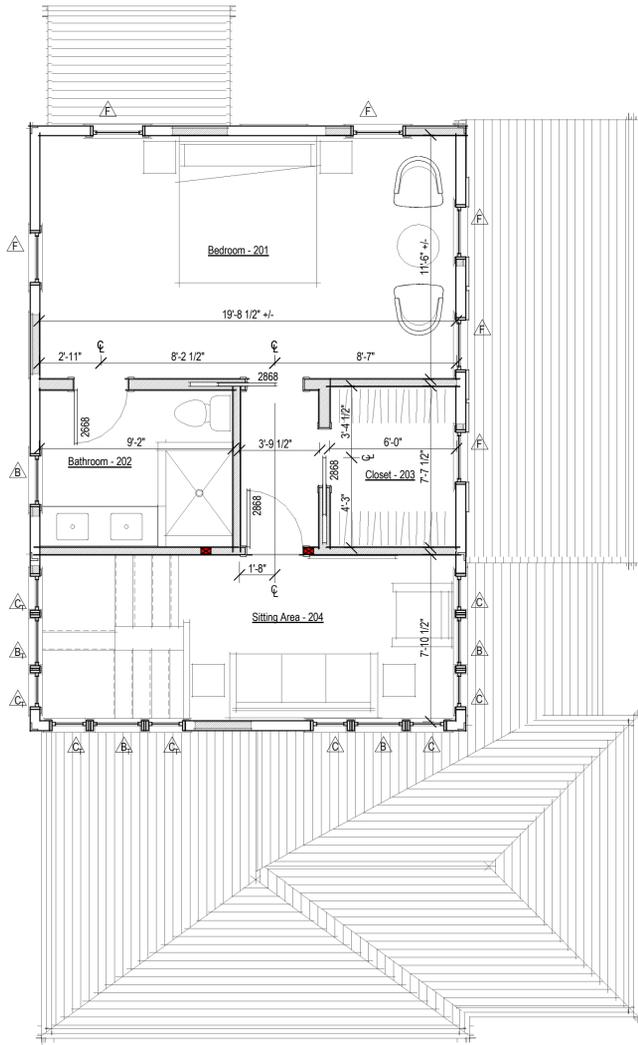
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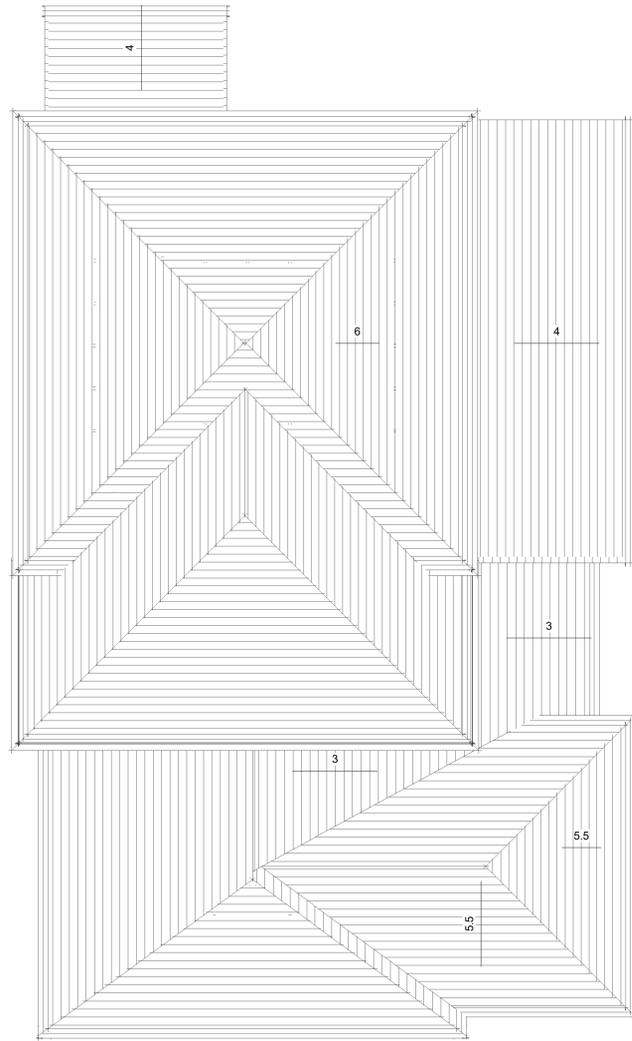
A.1.1
1944

06.19.20

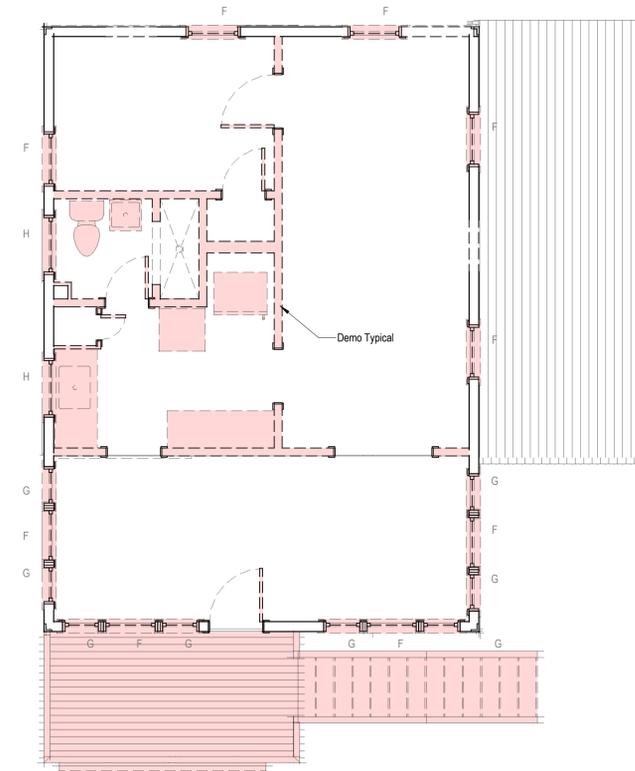
HDC Submission



1 Proposed Second Floor Plan
1/4" = 1'-0"



2 Roof Plan
1/4" = 1'-0"



3 Existing Second Floor Demo Plan
1/4" = 1'-0"

PARTITION LEGEND	
	Existing 2x4 Partition, Dimensioned to Face of Wall Finish
	Existing 2x6 Partition, Dimensioned to Face of Wall Finish
	Proposed 2x4 Partition, Dimensioned to Face of Stud
	Proposed 2x6 Partition, Dimensioned to Face of Stud

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1944
Ash Residence
23 Pine Street
Nantucket, MA 02554



Floor Plans

Site Information

Map & Parcel:	42.3.2 / 113
Current Zoning:	ROH
Minimum Frontage:	50
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Side/Rear Setback:	5'
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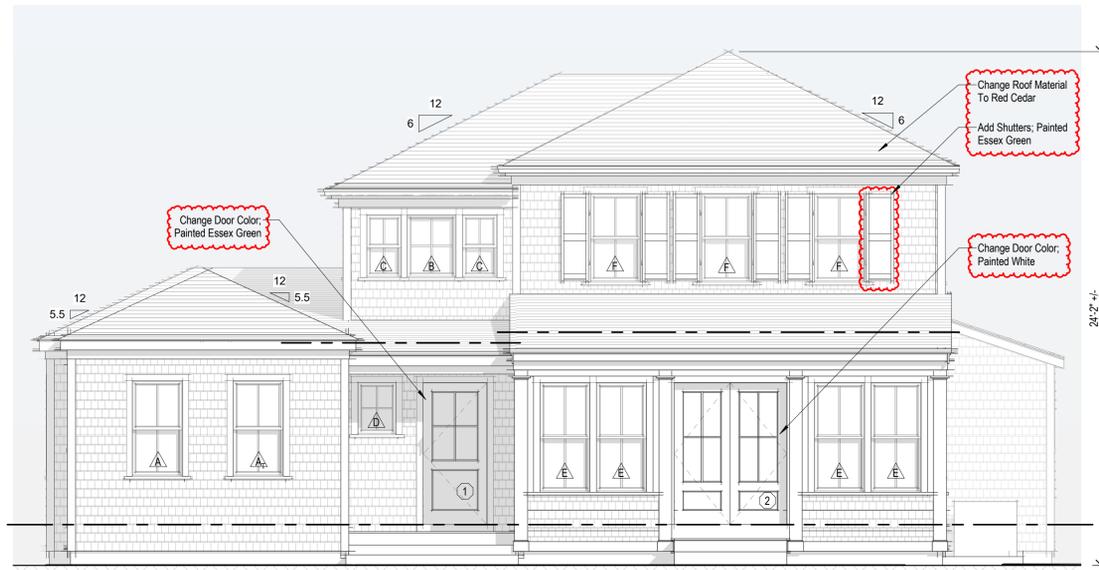
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Revisions

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A.1.2
1944

06.19.20



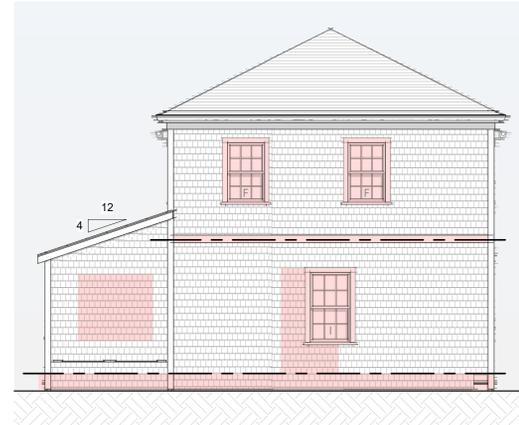
1 Proposed East Elevation
1/4" = 1'-0"



2 Proposed North Elevation
1/4" = 1'-0"



Existing East Elevation
3/16" = 1'-0"



Existing North Elevation
3/16" = 1'-0"



Existing West Elevation
3/16" = 1'-0"



Existing South Elevation
3/16" = 1'-0"



3 Proposed West Elevation
1/4" = 1'-0"



4 Proposed South Elevation
1/4" = 1'-0"

HDC Submission

1944

Ash Residence

23 Pine Street
Nantucket, MA 02554



Exterior Elevations

Site Information

Map & Parcel:	42.3.2 / 113
Current Zoning:	ROH
Minimum Frontage:	50'
Front Setback:	None
Side/Rear Setback:	5'
Lot Size:	3,833 SF +/-
Min. Lot Size:	5,000 SF
Allowable G.C.:	1,533 SF +/-
Existing G.C.:	751 SF +/-
Proposed G.C.:	1,145 SF

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- S.2.1 Building Sections
- D.1.1 Exterior Trim Details

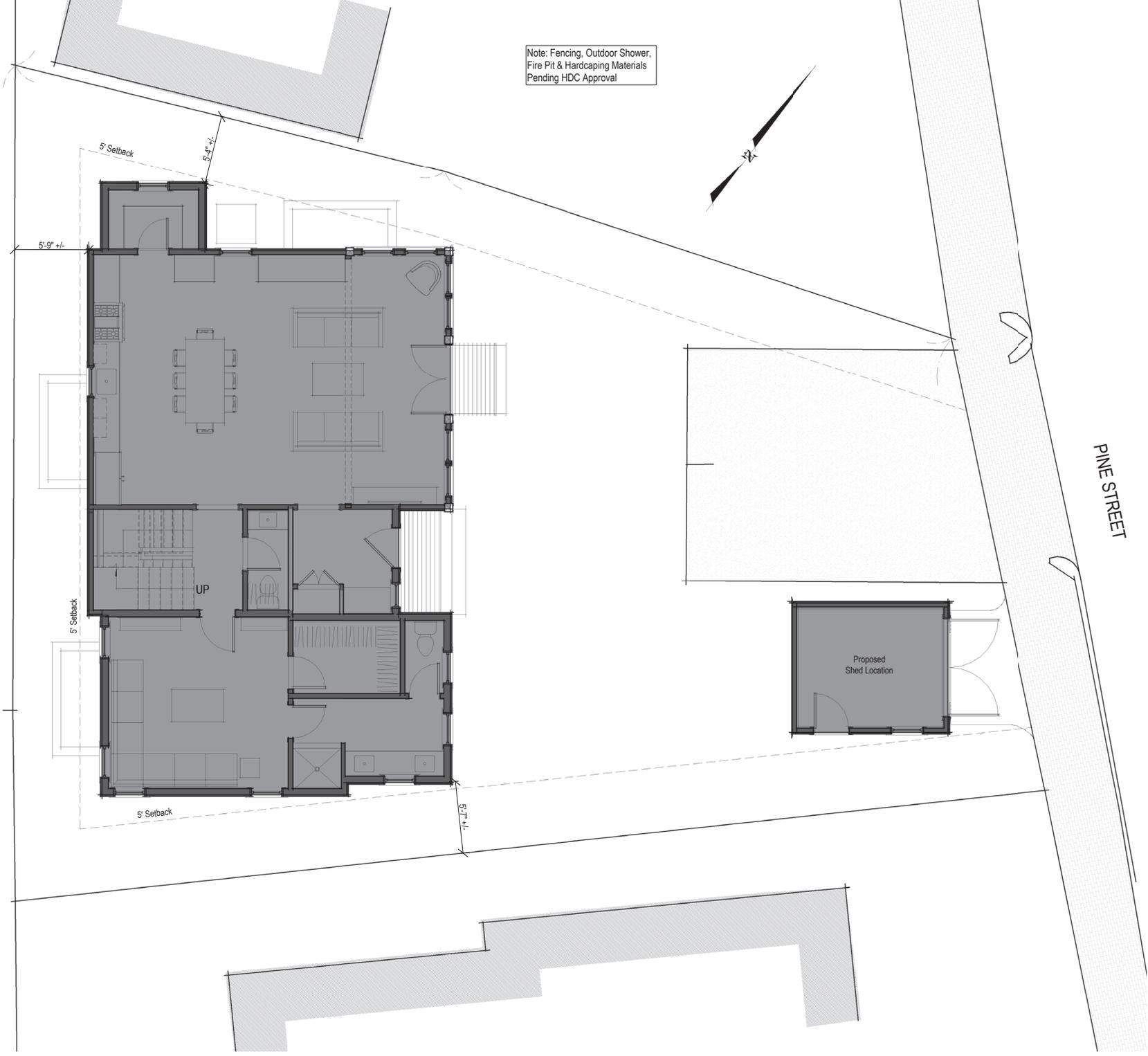
Revisions

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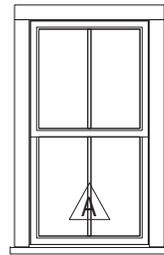
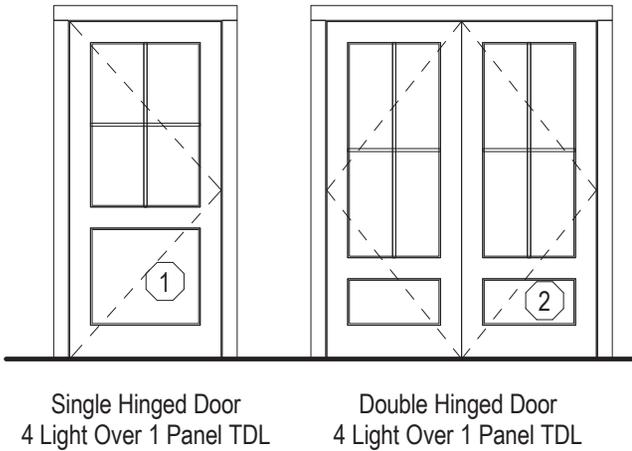
A.2.1

1944

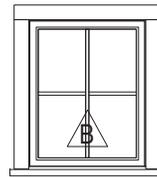
Note: Fencing, Outdoor Shower,
Fire Pit & Hardcaping Materials
Pending HDC Approval



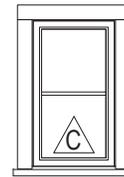
PINE STREET



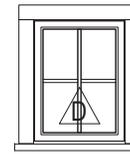
Double Hung
2/2 TDL



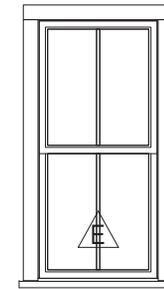
Fixed Window
4 Light TDL



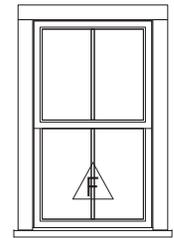
Fixed Window
2 Light TDL



Fixed Window
4 Light TDL



Double Hung
2/2 TDL



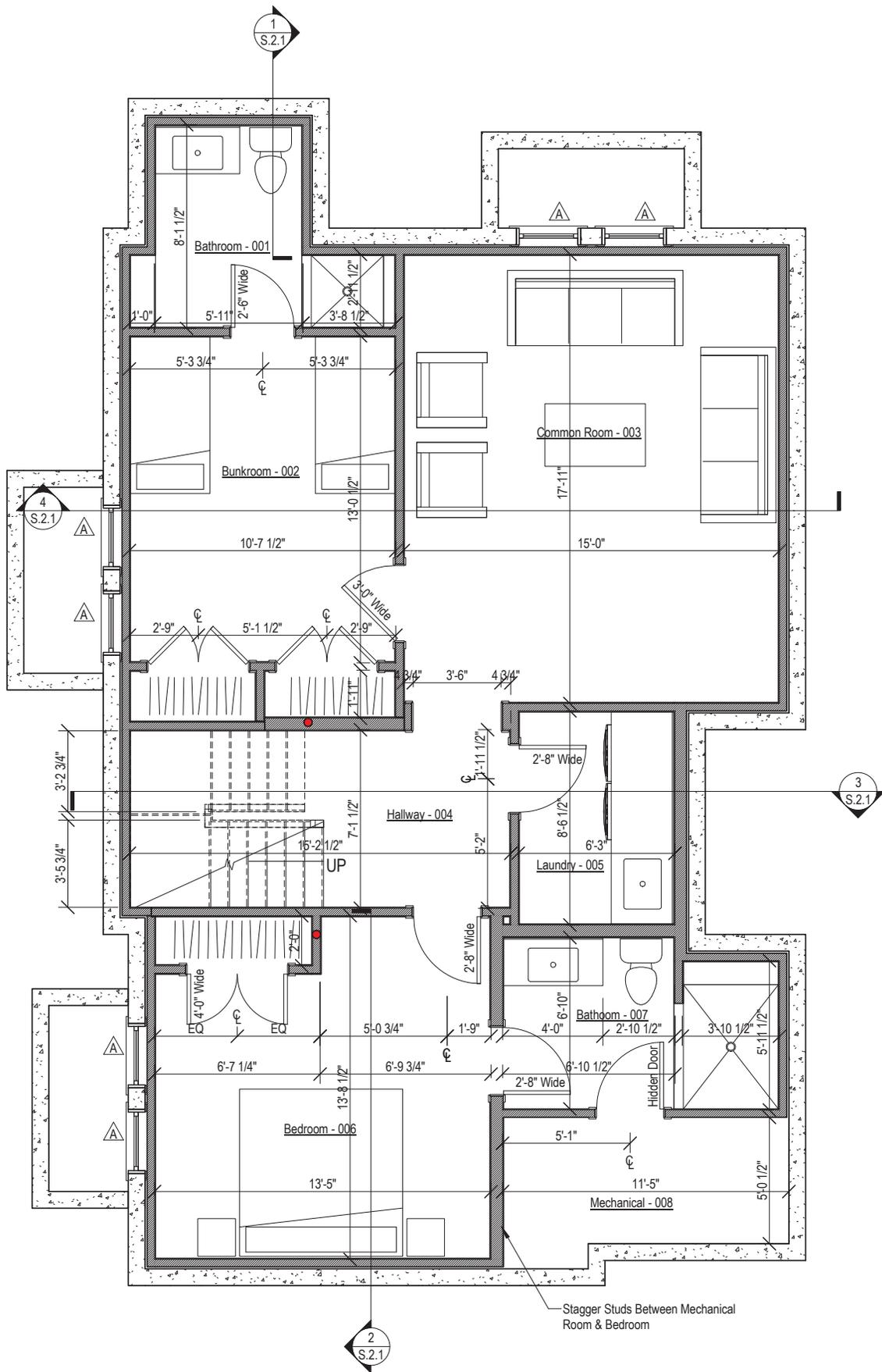
Double Hung
2/2 TDL

WINDOW SCHEDULE							
WINDOW	QUANTITY	R.O. WIDTH	R.O. HEIGHT	MANUFACTURER	MODEL	DESCRIPTION	DP RATING
A	13	2' 6" 1/4"	4' 9 3/8"	Green Mountain	MDH 2424	EGRESS WINDOW	≥ 30
B	8	2' 5"	3' 1 1/4"	" "	MCM 2836	FIXED WINDOW	≥ 30
C	8	1' 9"	3' 1 1/4"	" "			≥ 30
D	1			" "	MAW 2432	FIXED WINDOW	≥ 30
E	6	2' 6 1/4"	5' 5 3/8"	" "	MDH 2428	EGRESS WINDOW	≥ 30
F	6	2' 6 1/4"	4' 5 3/8"	" "	MDH 2422	EGRESS WINDOW	≥ 30

EXTERIOR DOOR SCHEDULE							
DOOR	QUANTITY	UNIT WIDTH	UNIT HEIGHT	MANUFACTURER	MODEL	DESCRIPTION	DP RATING
1	1	3'-0" +/-	6'-8" +/-	TBD	TBD		≥ 30
2	1	5'-4" +/-	6'-8" +/-				≥ 30

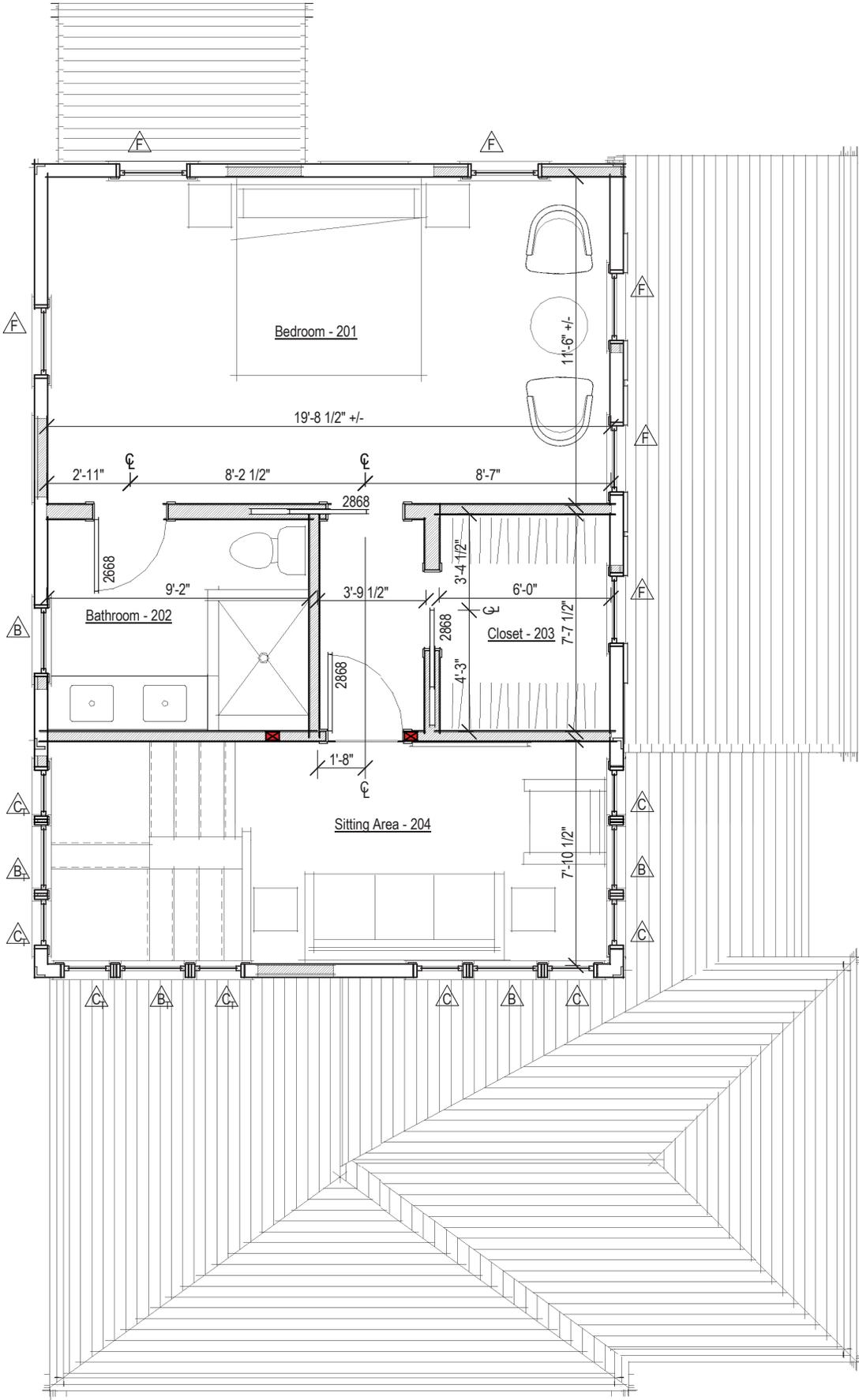
2 Window/Door Legend

1/4" = 1'-0"



1 Basement Plan

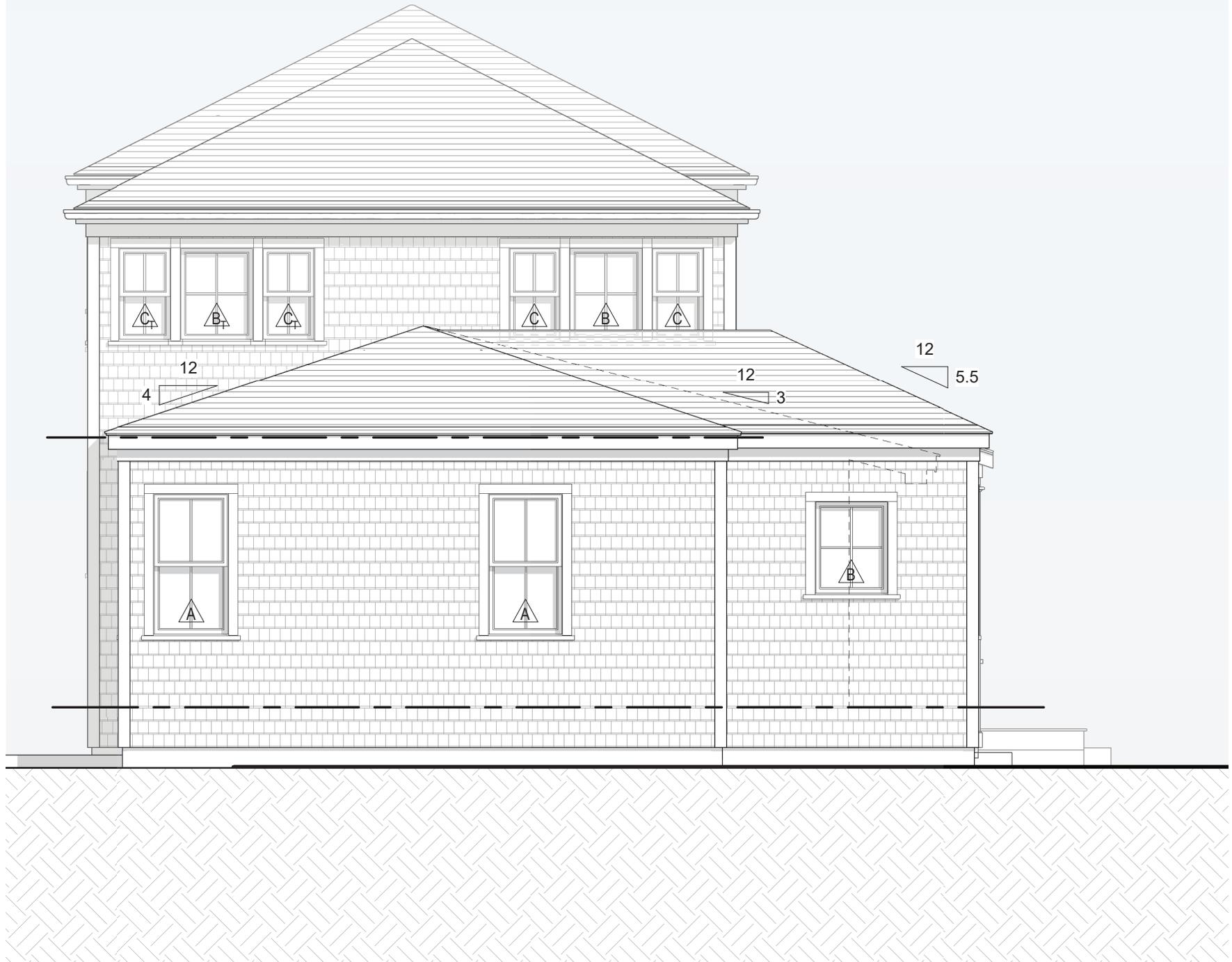
1/4" = 1'-0"



1 Proposed Second Floor Plan
 1/4" = 1'-0"



1 Proposed East Elevation
1/4" = 1'-0"



4 Proposed South Elevation
1/4" = 1'-0"



3 Proposed West Elevation
1/4" = 1'-0"



2 Proposed North Elevation
1/4" = 1'-0"